



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>Rainbow Building Solutions - PA\24\0222</b>
PROPERTY ADDRESS:	<b>1420 Mole Creek Road CHUDLEIGH (CT: 10746/1)</b>
DEVELOPMENT:	<b>Resource development (farm shed) - setback, karst.</b>

The application can be inspected until **Tuesday, 30 April 2024**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

**Please note: Council will be closed from 5.00pm Wednesday 24 April 2024 & will reopen at 8:30am Friday 26 April 2024.**

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 April 2024.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No
  - Have you already received a Planning Review for this proposal?  Yes  No
  - Is a new vehicle access or crossover required?  Yes  No
- Indicate by ✓ box

#### PROPERTY DETAILS:

Address:	<input type="text" value="1420 Mole Creek Road"/>	Certificate of Title:	<input type="text" value="10746 / 1"/>
Suburb:	<input type="text" value="Chudleigh TAS"/>	Lot No:	<input type="text" value="1"/>
Land area:	<input type="text" value="9.1 Ha"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="dwelling &amp; farm"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST):  *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building:  *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area:  m<sup>2</sup>      New building height:  m

Materials: External walls:  Colour:

Roof cladding:  Colour:

SEARCH OF TORRENS TITLE

VOLUME 10746	FOLIO 1
EDITION 9	DATE OF ISSUE 13-Sep-2023

SEARCH DATE : 26-Mar-2024

SEARCH TIME : 04.33 PM

DESCRIPTION OF LAND

Parish of WOODBRIDGE, Land District of WESTMORLAND  
 Lot 1 on Sealed Plan 10746  
 Derivation : Part of 860 Acres Gtd. to P. Oakden  
 Prior CT 3708/63

SCHEDULE 1

M459201, M954906 & M978234 TRANSFER to NELLY JAEHNE  
 Registered 13-Sep-2023 at 12.01 PM

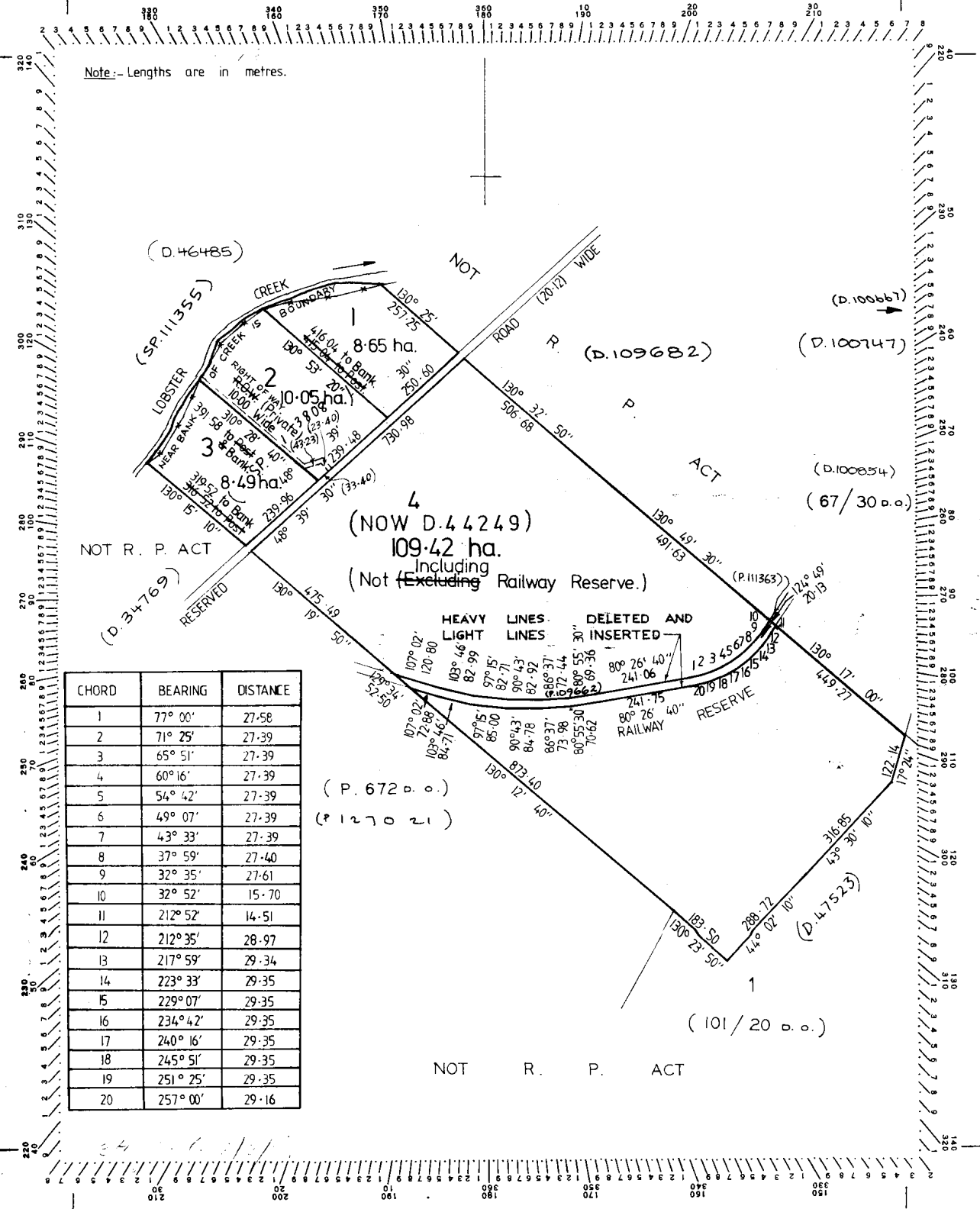
SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP 10746 FENCING COVENANT in Schedule of Easements  
 E361129 MORTGAGE to MyState Bank Limited Registered  
 13-Sep-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p><b>Owner:</b> Steckwell Pty. Ltd.</p>	<p><b>PLAN OF SURVEY</b></p> <p>by Surveyor <u>G. J. Fisher</u> of land situated in the</p>	<p>Registered Number: <b>S.P.10746</b></p>
<p><b>Title Reference:</b> Conv. No. 40/8855</p>	<p>LAND DISTRICT OF WESTMORELAND PARISH OF WOODBRIDGE.</p>	<p>Effective from: <b>15 AUG 1922</b></p>
<p><b>Grantee:</b> Part of 860 Acres Gtd. to Philip Philip Oakden.</p>	<p>Scale: 1:10000 Scale: H1000</p>	<p><i>M. Wilkinson</i> Recorder of titles</p>





SCHEDULE OF EASEMENTS

Plan No. 10746

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

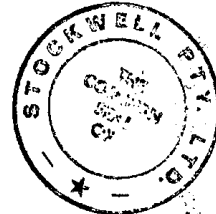
EASEMENTS

Lot 2 is subject to a full right and liberty for Tansy Hill Pty. Ltd. the owner of the land comprised in Indenture No. 50/9664 ( hereafter called the said land) and its successors and assigns owners and occupiers for the time being of the said land at all times and for all purposes with or without horses carts or other vehicles to pass and repass and to drive sheep, cattle and other animals over and along the right of way private shown hereon.

FENCING COVENANT

The owner of each lot shown on the plan covenants with the Vendor Stockwell Pty.Ltd. that the Vendor shall not be required to fence.

THE COMMON SEAL of STOCKWELL )  
PTY.LTD. ( the registered )  
 proprietor of the land com- )  
 prised in Conveyance No. )  
 40/8855) was hereunto affixed )  
 in the presence of )



Directors *R. J. How*  
 Secretary *Stolen M. Row*

SIGNED by ALAN MAURICE GRAVES )  
 and LIONEL HERBERT ABBOTT )  
 as Attorneys for AUSTRALIAN )  
MUTUAL PROVIDENT SOCIETY(the )  
 Mortgagee under Mortgage No. )  
 40/8856) under Power No. 21763 )  
 (and they hereby severally )  
 declare that they have no )  
 notice of revocation of the )  
 said Power) in the presence )  
 of )

*[Signature]*  
 Investment & Property Manager

*[Signature]*  
 Corporate Services Manager

*[Signature]*

EXECUTED by the AUSTRALIA AND NEW )  
ZEALAND BANKING GROUP LIMITED by )  
being signed sealed and delivered )  
by its Attorney KENNETH DANIEL FOLEY )

(the Mortgagee under Mortgage No. )  
45/6650) in the presence of )

AUSTRALIA AND NEW ZEALAND )  
BANKING GROUP LIMITED )  
By its *Kenneth Foley* )  
) Chief Manager Banking Tasmania )

Who hereby certifies that he has  
received the amount of redemption  
of the Mortgage No. **227511**  
granted to him at the date hereof.

*[Signature]*  
**BANK OFFICER, HOBART**

Certified correct for the purposes of the Real Property Act 1862, as amended.

.....  
Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of .....  
(Insert Subdivider's Full Name)

STOCKWELL Pty. LTD. .... affecting land in

Conv. No. 40/8855  
.....  
(Insert Title Reference)

Sealed by MUNICIPALITY OF DELORaine on 20th FEBRUARY 1978

.....  
*[Signature]*  
Council Clerk/Town Clerk

10384

10746

APPROVAL BY LOCAL AUTHORITY

The subdivision shown in this Plan is approved

Insert here any qualification to the approval under section 468 (12), section 472 or section 477B of the Local Government Act 1962. Rule through any blank space.

Seal

In witness whereof the common seal of the Warden, Councillors and Electors of the Municipality of Deloraine

has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the 20th day of February 19 78, in the presence of us this 3rd day of March, 1978

*Keith Owen* } Members  
*G. J. Elliott* }  
*Alan Shigley* Acting Council Clerk

LOT/AREA	VOL	FOL
1	3708	63
2		66 } see SP 3808
3		64
4		65

TO BE COMPLETED AND SIGNED BY COUNCIL CLERK OR OWNER

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated/I nominate

As his/my solicitor *Harold Bushby & Partners*

As his/my surveyor *G. I. Fisher & Associates*

*Alan Shigley* M Council Clerk/Owner

Surveyor's Certificate

TO BE FILLED IN BY SURVEYOR

Survey commenced *24-10-77*

Survey finished *26-10-77*

Error of Close *See calcs*

OFFICE EXAMINATION

Plot Checked

Mathematically Checked

Examined as to boundaries *ABT 1.5.78*

Entered on Card

I, *Gary Iain Fisher* of *Launceston* in Tasmania, registered surveyor, hereby certify that this plan:

1. Has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field-check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Laws 1966;
2. Complies with all statutory provisions relating to anything appearing thereon; and
3. Requires the approval of the local authority, which has been obtained (or, does not require the approval of any local authority)

Dated this *31st* day of *October* 1977

*G. I. Fisher*  
Registered Surveyor

05 379





### Notes

- Proposed 9.0m x 15.0m x 4.2m open front farm shed, proposed SW into new water tank via 2/90mm round PVC downpipes. Overflow to ground away from building and neighbouring properties.  
NS 26/03/2024, 4:47 AM
- Existing access / driveway to remain, no changes proposed.  
NS 20/03/2024, 4:04 AM
- Farm shed located as to not feter or interfere with existing agricultural farm land, making best use of existing driveway access. Size and bulk of shed is consistent with existing buildings nearby.  
NS 26/03/2024, 4:47 AM
- Existing waste wate system - to remain.  
NS 07/04/2024, 11:25 AM

Client Name Nelly Jaehne Client Email firestonelodge@gmail.com Client Phone 0407633976 Client Signature \_\_\_\_\_

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 nick@rainbowbuilding.com.au

**Phone**

**Sheet name**  
 Site Plan

**Lic no.**  
 181916529

**Property Details**  
 1420 Mole Creek Rd, Chudleigh, TAS 7304, Australia 1/10746

Meander Valley  
 Lot/DP: 1/10746

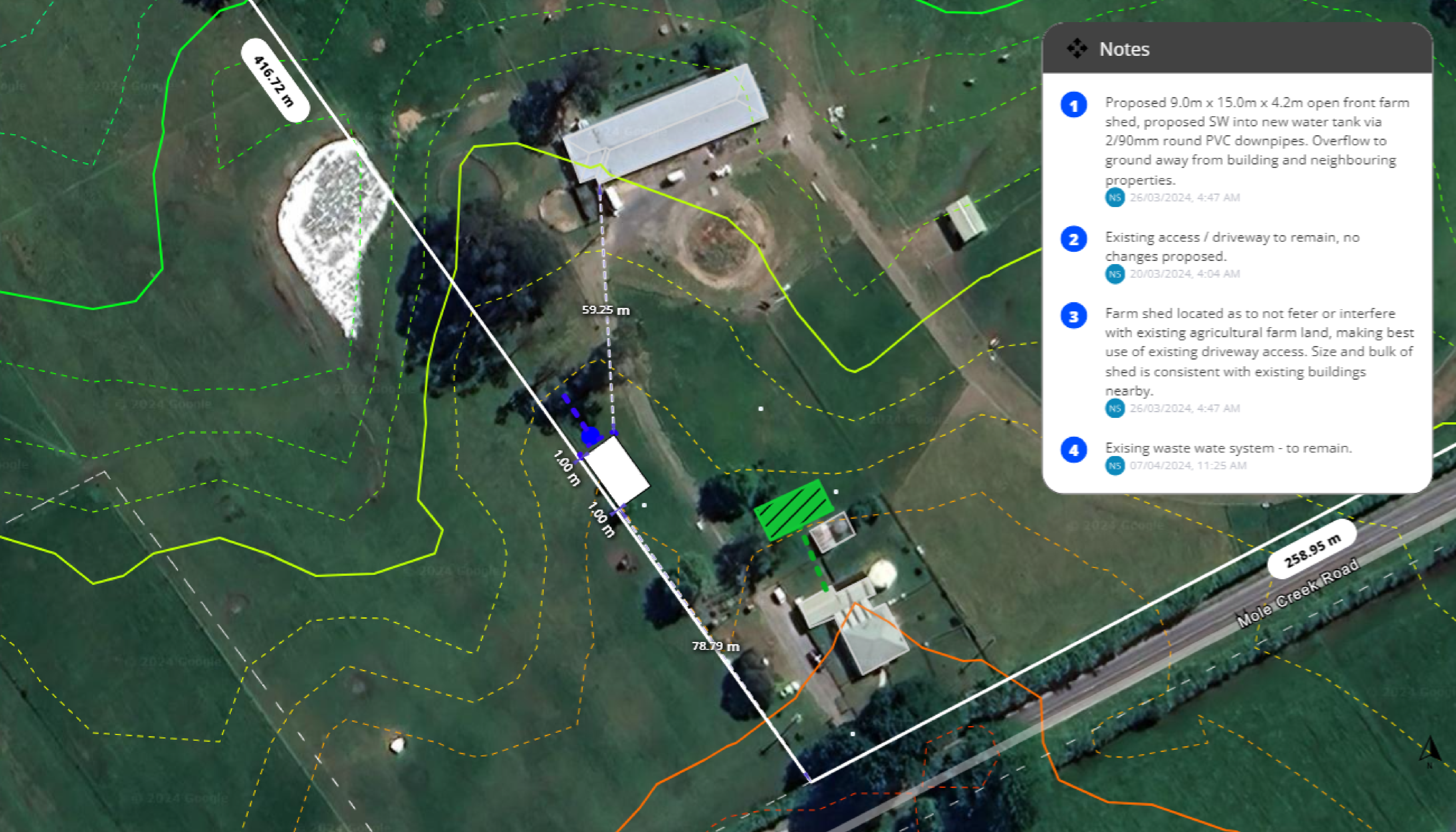
**Design**  
 Title: Nelly Jaehne -9x15x4.2m farm shed

**Date** Sun Apr 07 2024

**Scale**  
 1:2000







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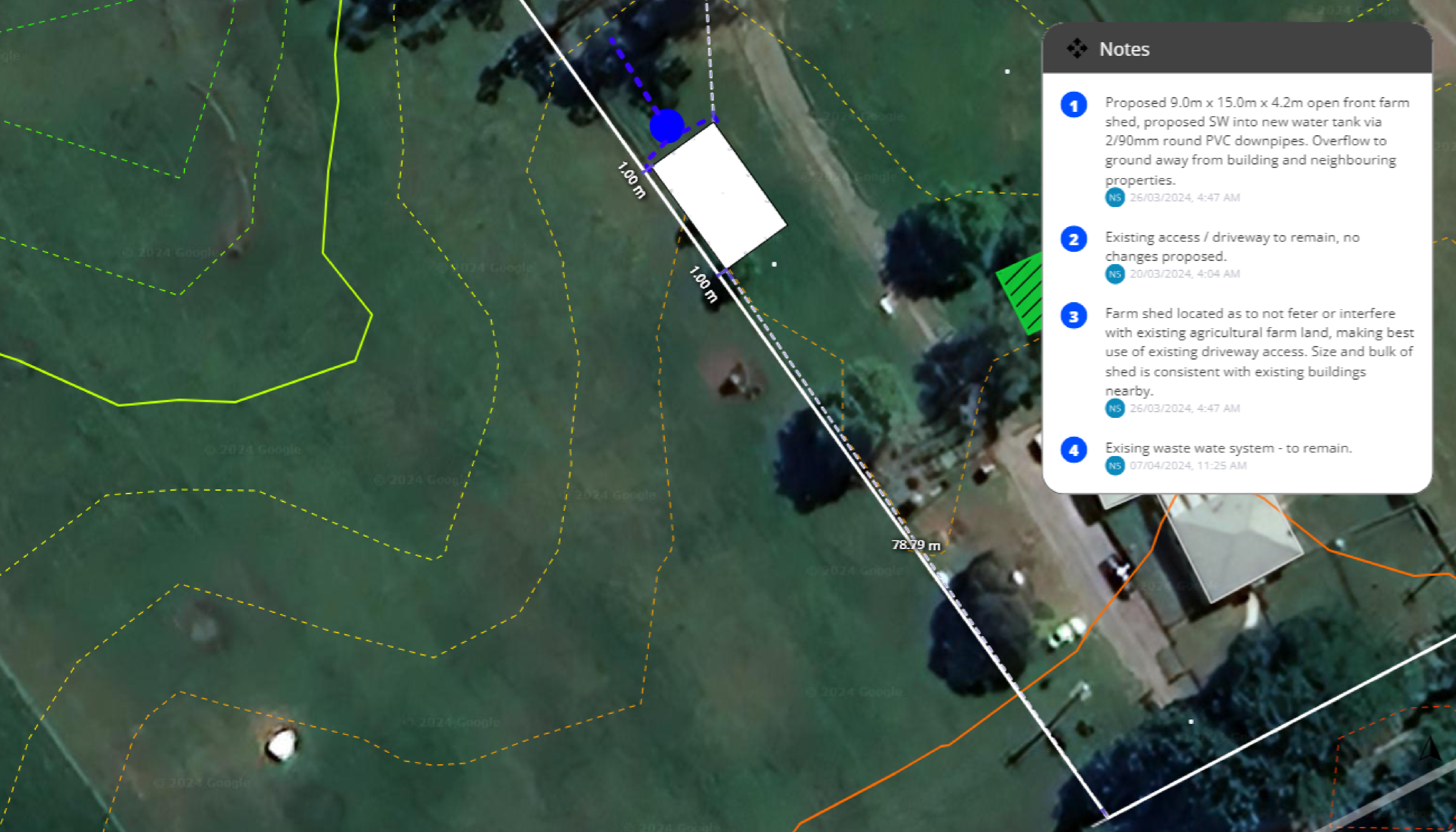
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### Notes

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- ### Notes
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NS 26/03/2024, 4:47 AM
  
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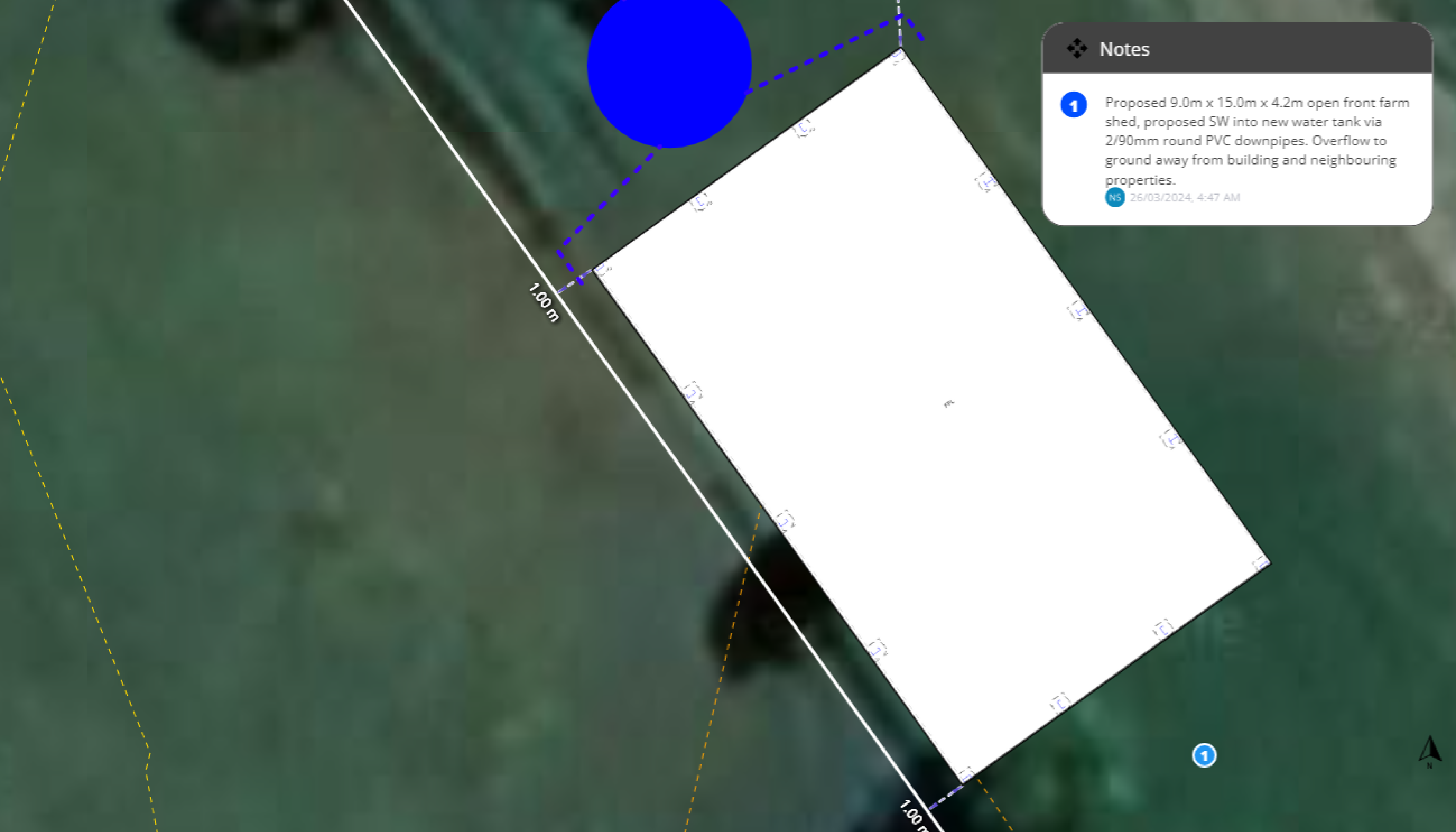
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 Meander Valley  
 Lot/DP: 1/10746

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**Date** Sun Apr 07 2024

**Scale**  
 1:200





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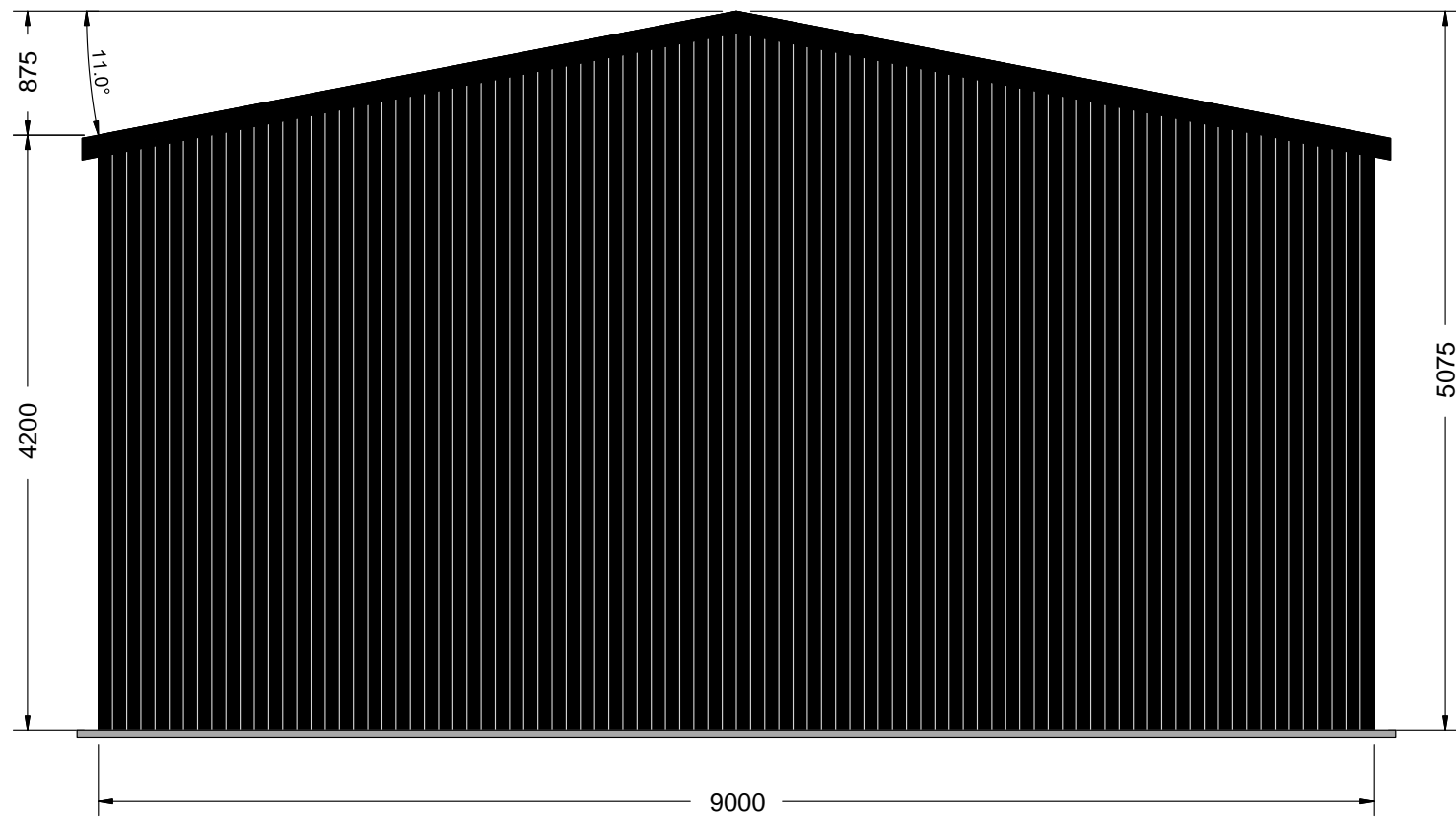
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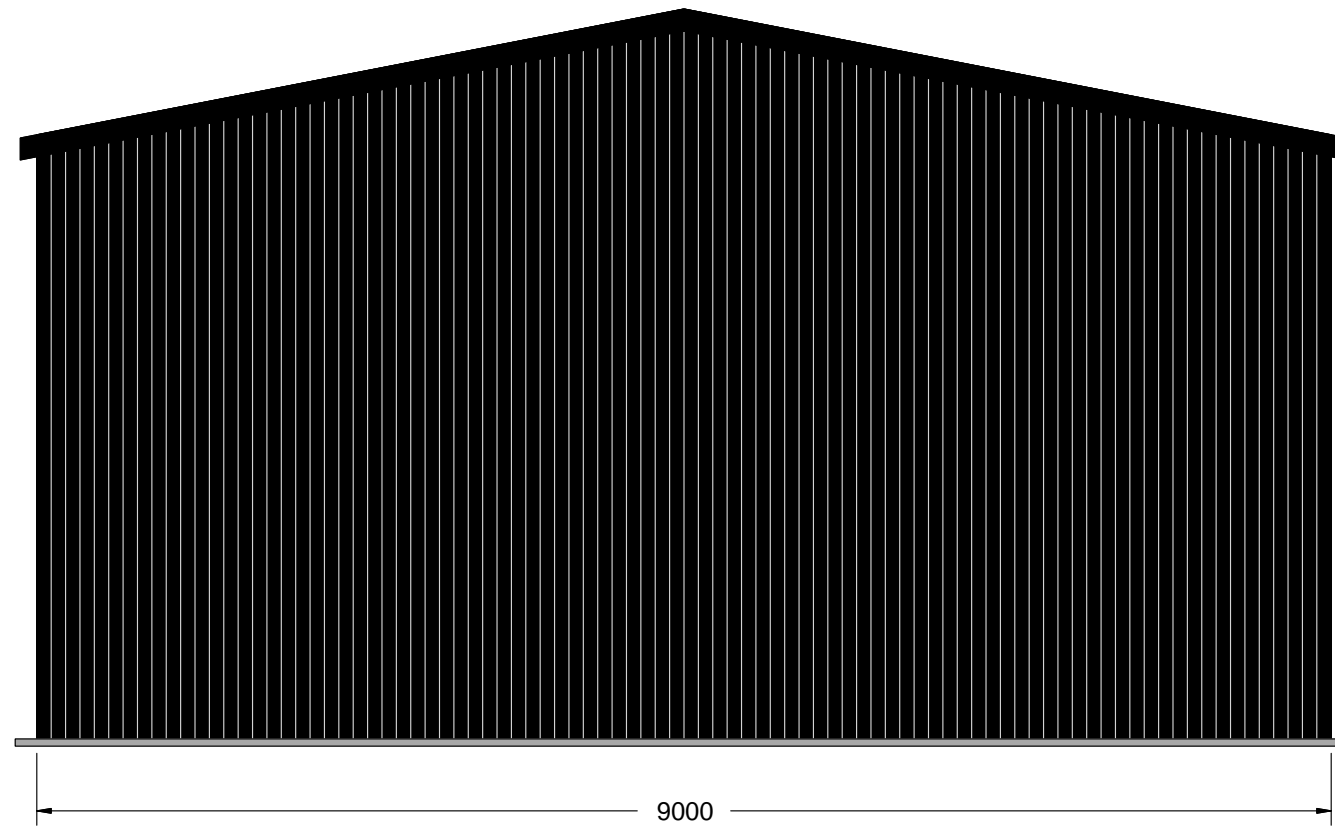
**Date** Sun Apr 07 2024

**Scale**  
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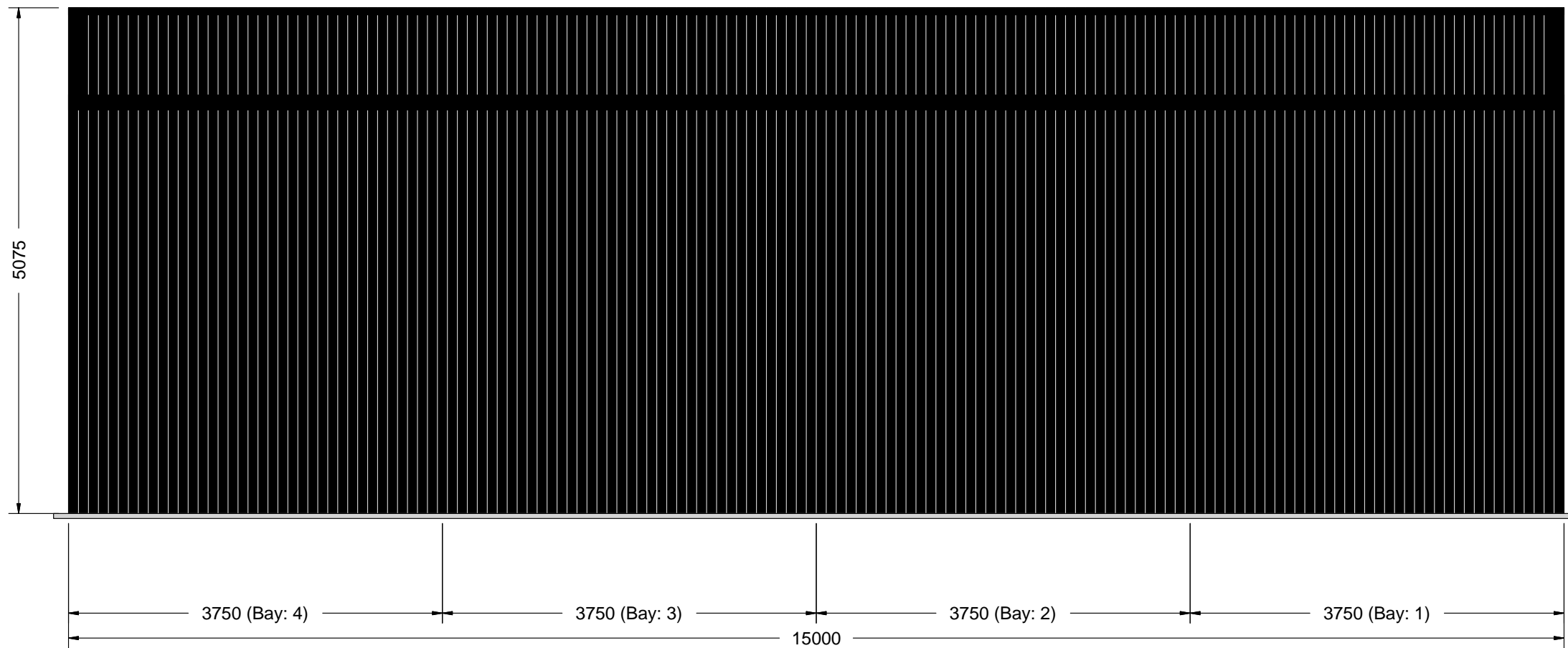




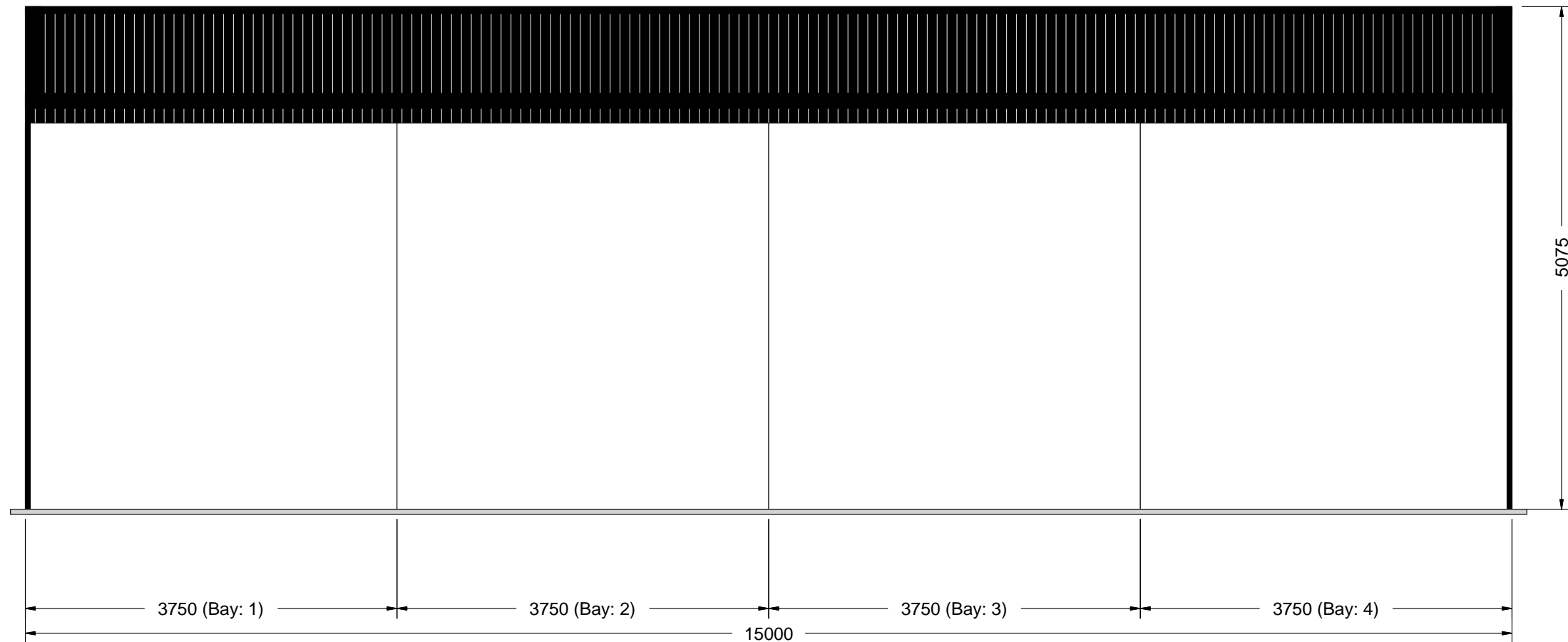
FRONT ELEVATION



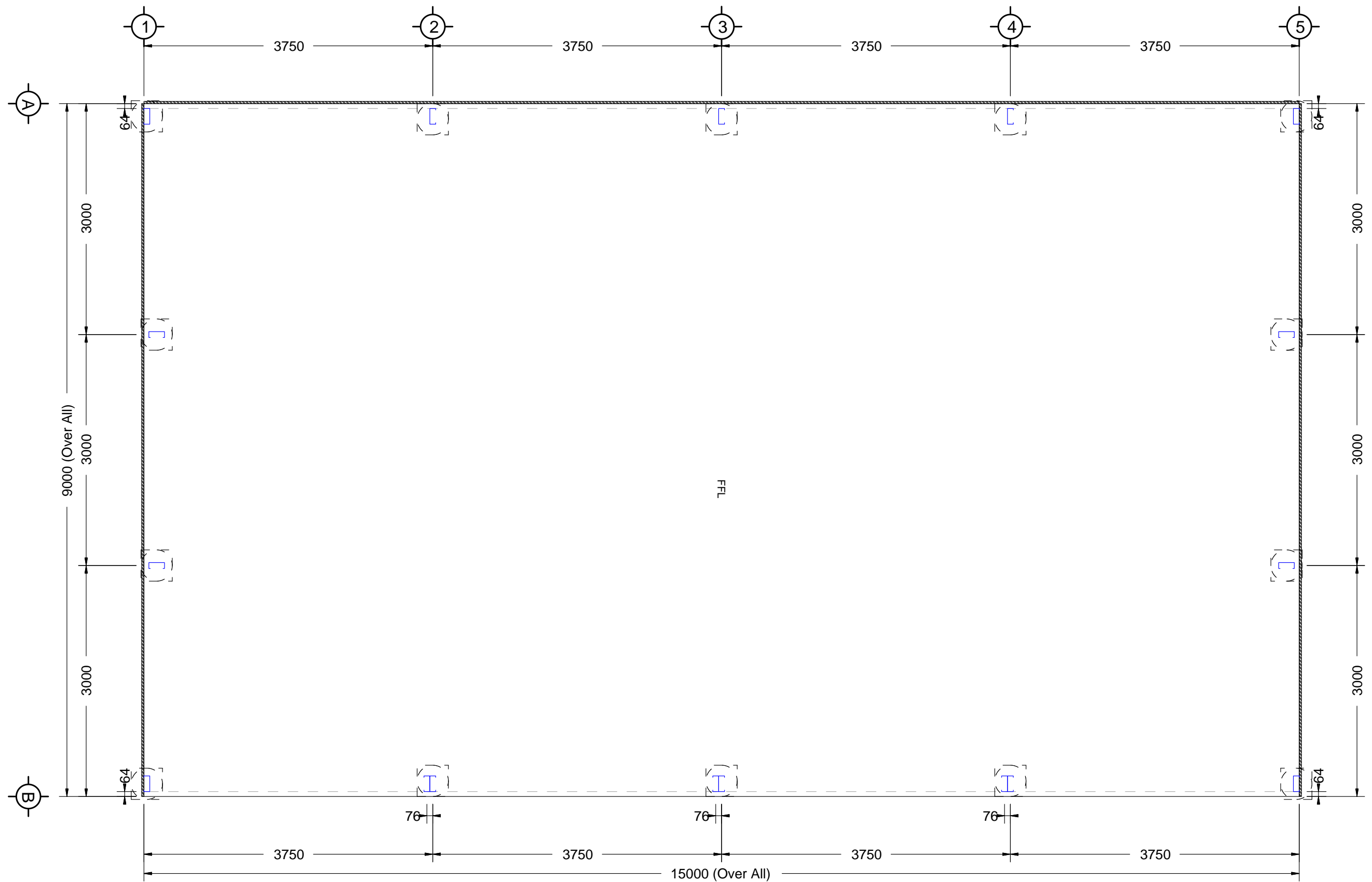
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



## FLOOR PLAN