



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Woodbury Co Pty Ltd - PA\24\0213
PROPERTY ADDRESS:	57 Mount Leslie Road PROSPECT VALE (CT: 10897/8)
DEVELOPMENT:	Extension to Single dwelling - frontage fence.

The application can be inspected until **Tuesday, 30 April 2024**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

Please note: Council will be closed from 5.00pm Wednesday 24 April 2024 & will reopen at 8:30am Friday 26 April 2024.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 April 2024.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="57 MOUNT LESLIE RD"/>	Certificate of Title:	<input type="text" value="10897"/>
Suburb:	<input type="text" value="PROSPECT VALE TAS"/>	<input type="text" value="7250"/>	Lot No: <input type="text" value="8"/>
Land area:	<input type="text" value="671"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="RESIDENTIAL"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: New building height:

Materials:

External walls:	<input type="text" value="JH AXO CLADDING"/>	Colour:	<input type="text" value="WHITE"/>
Roof cladding:	<input type="text" value="STEEL"/>	Colour:	<input type="text" value="SURFMIST"/>

SEARCH OF TORRENS TITLE

VOLUME 10897	FOLIO 8
EDITION 6	DATE OF ISSUE 08-Sep-2020

SEARCH DATE : 19-Feb-2024

SEARCH TIME : 10.13 AM

DESCRIPTION OF LAND

Town of PROSPECT VALE
 Lot 8 on Sealed Plan 10897
 Derivation : Part of Location to J. Rowe
 Prior CT 3760/29

SCHEDULE 1

M839567 TRANSFER to KELLY JEAN RENNY Registered 08-Sep-2020
 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 10897 COVENANTS in Schedule of Easements
 SP 8930 & 9976 FENCING PROVISION in Schedule of Easements
 SP 10897 FENCING COVENANT in Schedule of Easements
 E232389 MORTGAGE to Credit Union Australia Ltd Registered
 08-Sep-2020 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

DEVELOPMENT APPLICATION

PROJECT INFORMATION
05/04/24

GENERAL RESIDENTIAL ZONE

BUILDING AREAS

EXISTING AREA	
EXISTING DWELLING	105.31m ²
EXISTING CARPORT	18.13m ²
EXISTING PATIO	28.6m ²
PROPOSED AREA	
ADDITION TO DWELLING	54.77m ²
PROPOSED DECK	24.52m ²
PROPOSED POOL	20.7m ²
PROPOSED NEW BUILDING AREA	54.77m²
SITE COVERAGE	
TOTAL ROOFED AREA (DWELLING+CARPORT+PATIO)	243.59m ²
TOTAL SITE AREA	671m ²
36.3% SITE COVERAGE	

BUILDING DESIGNER:	JO WOODBURY
ACCREDITATION No:	551573843
LAND TITLE REFERENCE NUMBER:	C.T. 10897/8
DESIGN WIND SPEED:	REFER ENG.
SOIL CLASSIFICATION:	REFER ENG.
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	NA
ALPINE AREA:	NOT APPLICABLE
CORROSION ENVIRONMENT:	MED
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	UNKNOWN
MINE SUBSIDENCE:	NO
COASTAL INUNDATION:	NO
LANDFILL:	UNKNOWN
DATUM LEVEL AT KERB:	REFER DWGS
GROUND LEVEL:	REFER DWGS
FINISHED FLOOR LEVEL:	REFER DWGS
OVERFLOW RELIEF GULLY LEVEL:	MIN 150MM BELOW LOWEST FIXTURE

ASSOCIATED DOCUMENTS

SITE CLASSIFICATION +
ENERGY EFFICIENCY REPORT BY TECHNISCH
ENGINEERING DWGS BY EXCEED ENGINEERING.
REFERENCED MANUFACTURERS SPECIFICATIONS

NOTES

these drawings are for permit approval purposes and additional information may be required to inform construction

drawings are subject to owner discretion.

contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.

drawings used for construction must carry building surveyor certification. Ensure there is only one version of construction dwgs being used.

contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or unclarity of all documents applicable to this construction.

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering..

57 MOUNT LESLIE RD PROSPECT VALE TAS 7250

ALTERATIONS & ADDITON + POOL

KELLY RENNY



DRAWING SHEETS

Sheet	Drawing	Current Revision	Current Revision Date
A001	TITLE SHEET		
A002	MATERIAL NOTES		
A100	SITE PLAN	1	Date 1
A101	EXISTING & DEMOLITION PLAN		
A102	FLOOR PLAN		
A201	ELEVATIONS		
A202	ELEVATIONS		
A203	ELEVATION - FENCE		
A301	3D VISUALS		
A302	3D VISUALS		
A303	3D VISUALS		



Jo Woodbury.
Ph: 0407 319 437
Email: jo@woodburyco.com.au
www.woodburyco.com.au

MATERIAL NOTES

WALL CLADDINGS, INSULATION AND MEMBRANES

INSTALL ALL CLADDINGS, MEMBRANES AND LININGS IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND NCC RECOMMENDATIONS.

EXTERIOR WALL CLADDINGS

EC01 James Hardie 'Axon' Sheet cladding on JH cavity batten system in accordance with manufacturers specification . Texture paint finish in accordance with manufacturers technical guide. Paint in white - t.b.c with owner
INSTALLATION GUIDE

https://assets.ctfassets.net/rg5y8r6t6cjr/75S0wcW88Z0l2OeN7wrCFa/5f0c3425b62e66749adb914f9c3f0d7/Axon_Cladding_Installation_Guide_Sep_2021.pdf

WINDOWS AND GLAZED DOORS

DOUBLE GLAZED UNITS U.O.N. (REFER WINDOW SCHEDULE)

FRAME TYPE: ALUMINIUM
COLOUR: SURFMIST

FLOOR FINISHES

FF01: Overlay flooring - supply by owner.
FF02: Tiles. Contractor to allow for fully compliant waterproof membrane to AS3740 and laying of owner supplied tiles.
FF03: Selected Carpet on underlay installed in accordance with manufacturers specification
FF04: ModWood decking.
FF05: Selected External Paving.

ROOF CLADDING

R01 Galvanised steel custom orb roof sheet on 35mm timber roof battens @ 900crs typical. Roof membrane 'Proctor Group' High Tensile HT-R vapour permeable roofing underlay, shall be installed in accordance with AS/NZS 4200.2 Pliable Building Membranes and Underlays, Part 2 Installation in accordance with manufacturers specifications, and with the printed face upwards. Color Surfmist - tbc with owner.

GUTTERS & FASCIAS

G01: Metroll Hi-Front Quad Gutter OR SIMILAR- Colorbond Surfmist - tbc with owner
F01: Metroll Metroline Fascia system OR SIMILAR- Colorbond Surfmist - tbc with owner

MEMBRANES

Wall Membrane:

Class 4 'Proctor Group' ProctorWrap RW' Residential Wrap typical under all claddings installed to manufacturers spec in accordance with AS/NZS 4200.2. Supply refer Bradford Insulation Group

Roof Membrane:

Class 4 Bradford Enviroseal™ ProctorWrap™ HTS vapour permeable membrane, shall be installed in accordance with AS/NZS 4200.2 Pliable Building Membranes and Underlays, Part 2 Installation Requirements, and with the printed face upwards.

INSULATION

Typical External Wall Insulation:

'Bradford Gold' Hi- Performance batts' R2.7 90mm wall batts typical throughout to all external walls unless specified otherwise.

Typical Ceiling Insulation:

'Bradford Gold' Hi- Performance batts' R5.0 240mm
OR 'Bradford Gold' Hi- Performance batts' R2.7.0 90mm where required to ensure min. 25mm ventilation to roof cavity

Typical Floor Insulation:

'Bradford' Optimo Underfloor batts' R2.5 90mm typical throughout to all suspended timber floors above unconditioned / externally exposed spaces.

Exposed Steel Work:

All exposed steelwork to be painted in accordance with the Australian Standard AS/NZS 2312:2002, "Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings"

INTERNAL WALL LININGS:

10mm 'Knauf MastaShield' Plasterboard, paint finish, Dulux Professional® enviro2 LowSheen Interior Acrylic colour to be specified

WET AREA LININGS

6mm Villaboard or 10mm 'Knauf MastaShield' Wet Area Plasterboard, Dulux Professional® Wash & Wear Kitchen & Bathroom Low Sheen to be used in all wet areas Colours to be specified.

CEILINGS:

CL01

10mm 'Knauf MastaShield' Plasterboard, Rondo '226' fixing clip' and 'Rondo '308' 16mm furring channel,

WET AREA CEILING LINING

CL02

10mm 'Knauf MastaShield' Wet Area Plasterboard Dulux Professional® Wash & Wear Kitchen & Bathroom Ceiling Flat to all wet area ceilings


EXTERNAL CEILING / SOFFIT LININGS

CL03

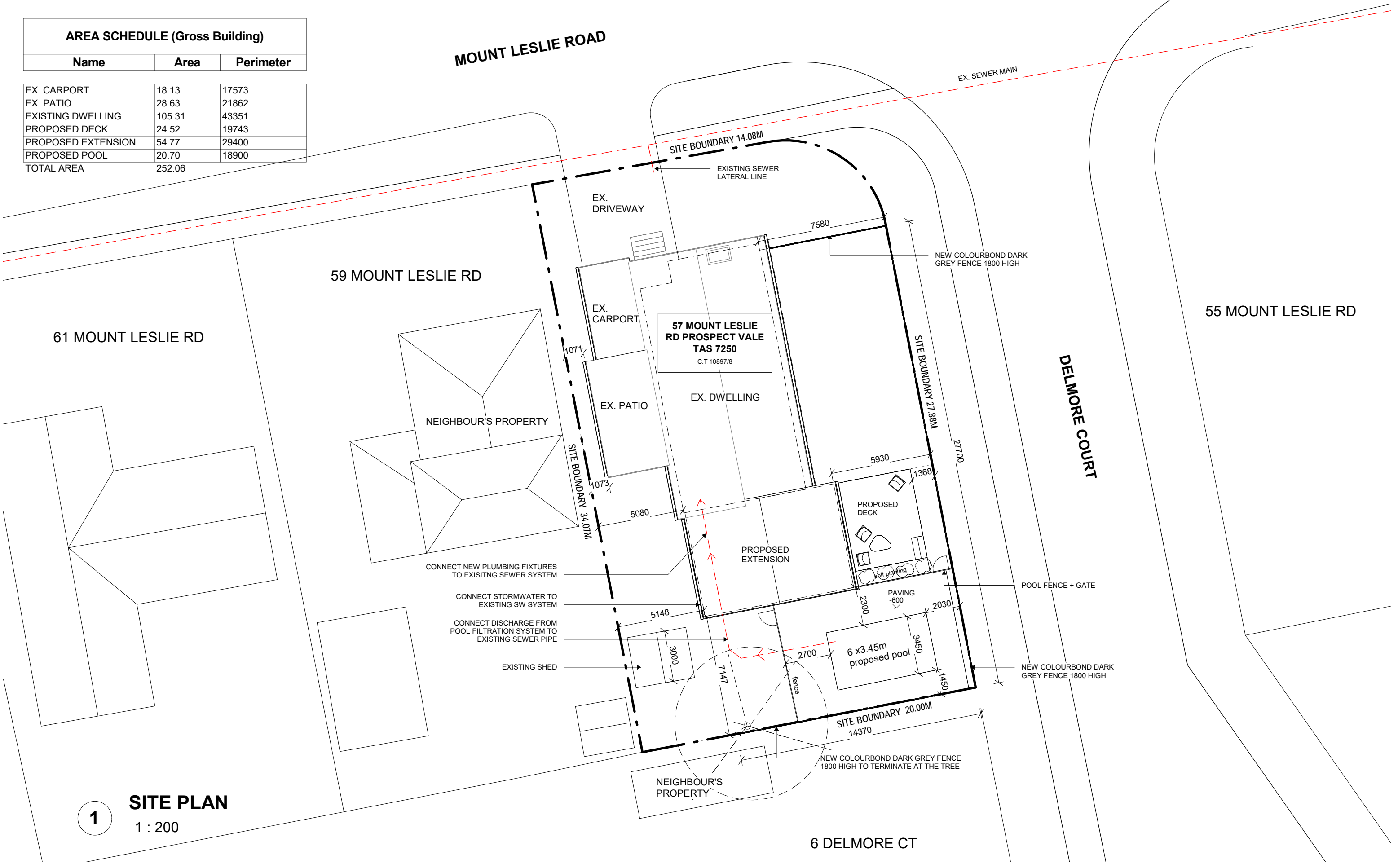
4.5mm Cement sheet eaves lining with propriety joining strips

CL04

6mm James Hardie™ Flex Sheet

 WOODBURY & CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road/ West Launceston TAS 7250 jo@woodburyco.com.au	REVISION:	DESCRIPTION:	DATE:		Client: KELLY RENNY	Project No:	Drawing Title	COPYRIGHT: This is the sole property of Woodbury & Co, and may not be used in whole, or in part without written or formal consent from Woodbury & Co. Legal action will be taken against any person/s infringing the copyright.	Sheet No:
					Project: ALTERATION & ADDITON	KR 2024	MATERIAL NOTES		A002
					at 57 MOUNT LESLIE RD PROSPECT VALE TAS 7250	Drawn By: Jo Woodbury	Date: 04/2024		5/04/2024 12:29:51 PM
						Accreditation No. 551573843	Scale:		

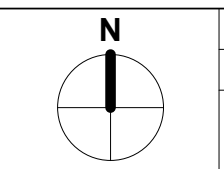
AREA SCHEDULE (Gross Building)		
Name	Area	Perimeter
EX. CARPORT	18.13	17573
EX. PATIO	28.63	21862
EXISTING DWELLING	105.31	43351
PROPOSED DECK	24.52	19743
PROPOSED EXTENSION	54.77	29400
PROPOSED POOL	20.70	18900
TOTAL AREA	252.06	



1 SITE PLAN
1 : 200

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REVISION:	DESCRIPTION:	DATE:
1	Revision 1	Date 1



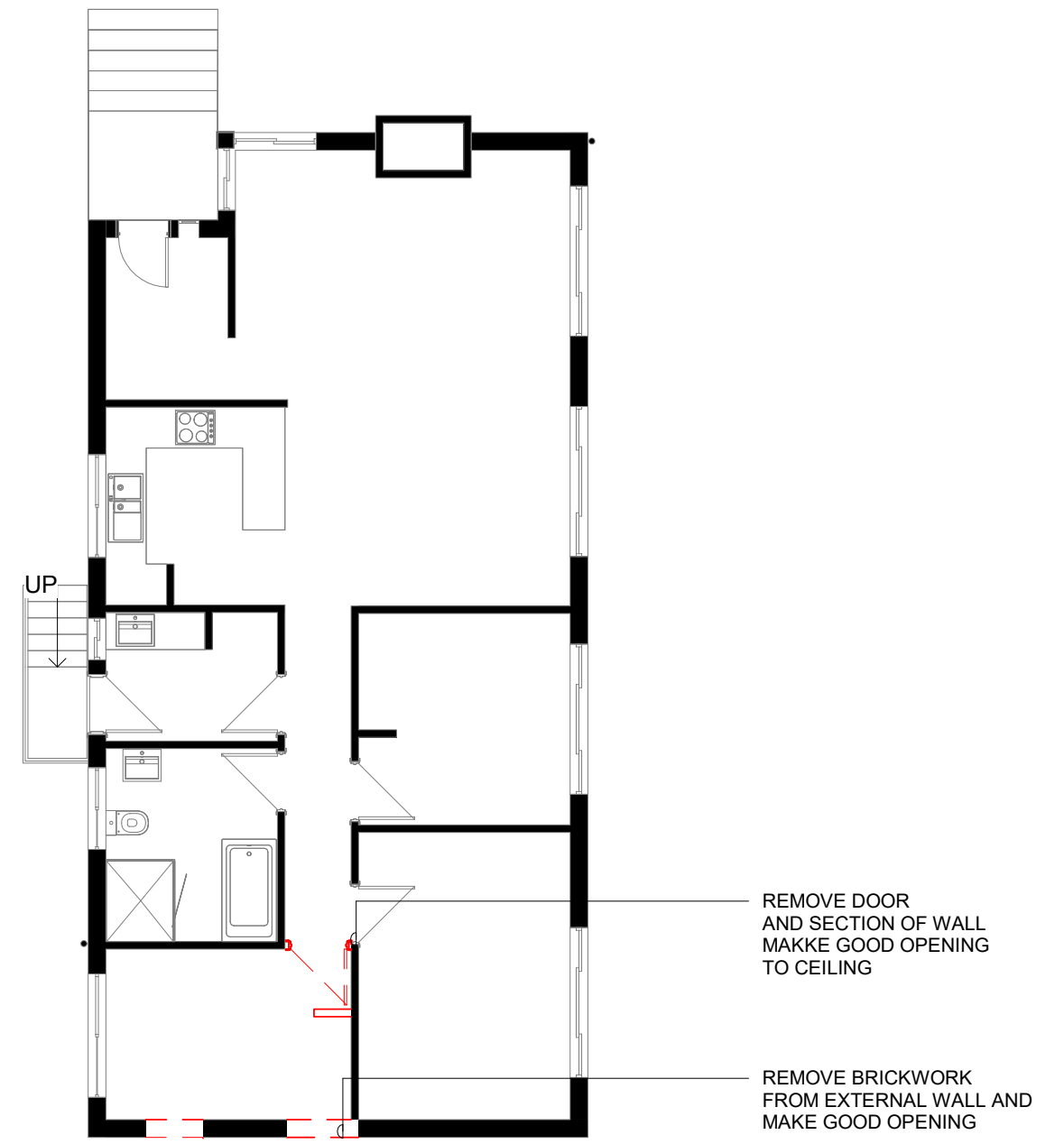
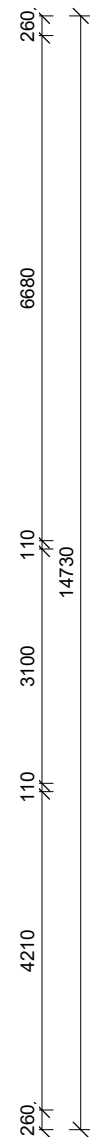
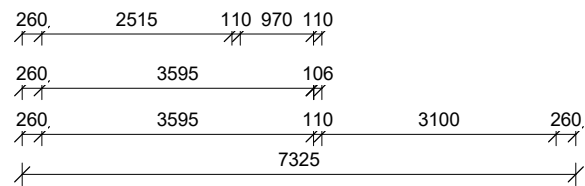
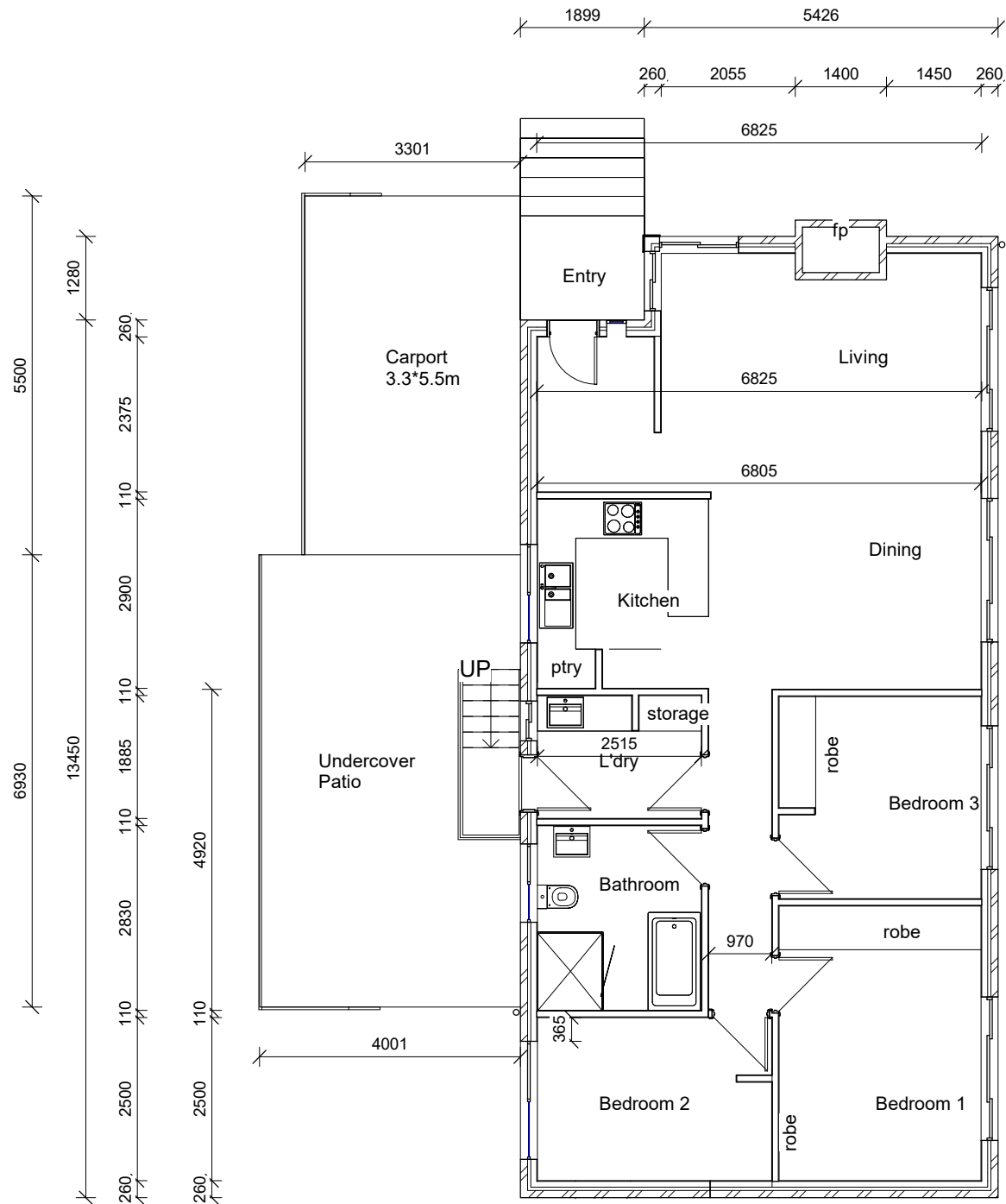
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Project: ALTERATION & ADDITON
at 57 MOUNT LESLIE RD PROSPECT VALE TAS 7250

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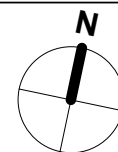


DEMOLITION LEGEND	
	TO BE DEMOLISHED
	EXISTING - TO BE KEPT

2 EXISTING PLAN
1 : 100

1 DEMOLITION PLAN
1 : 100

REVISION:	DESCRIPTION:	DATE:



Client: KELLY RENNY
Project: ALTERATION & ADDITON
at 57 MOUNT LESLIE RD PROSPECT
VALE TAS 7250

Project No: **KR 2024**
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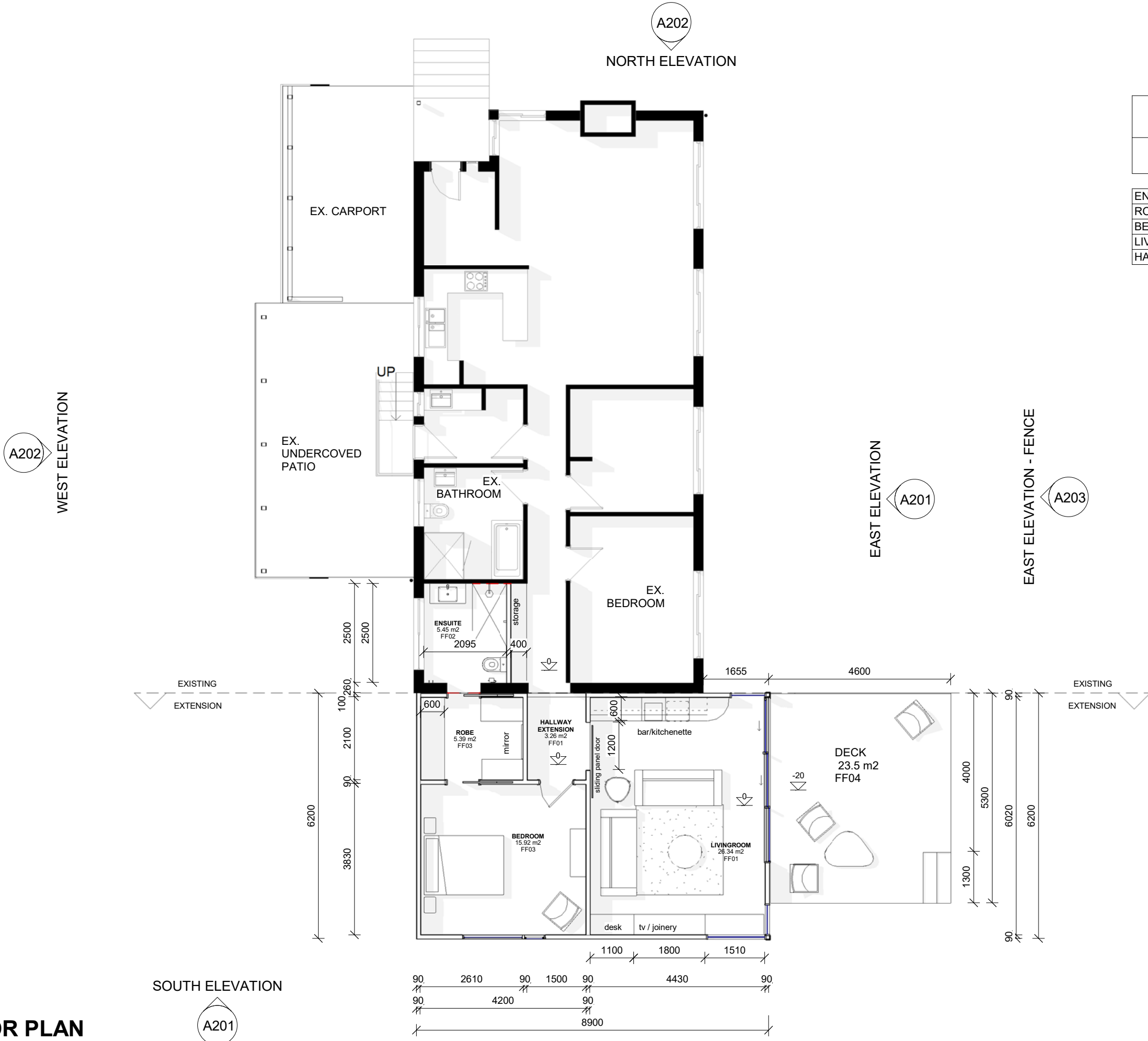
Drawing Title: **EXISTING & DEMOLITION PLAN**
Date: 04/2024
Scale: 1 : 100

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1

FLOOR PLAN
1 : 100



ROOM SCHEDULE		
Name	Area	Floor Finish
ENSUITE	5.45	FF02
ROBE	5.39	FF03
BEDROOM	15.92	FF03
LIVINGROOM	26.34	FF01
HALLWAY EXTENSION	3.26	FF01



PROJECT
ALTERATION & ADDITON

FOR
KELLY RENNY

LOCATION
57 MOUNT LESLIE RD PROSPECT
VALE TAS 7250

DRAWING TITLE
FLOOR PLAN

DATE: 04/2024 SCALE: 1 : 100

SHEET NO: **A102** PROJECT NO: KR 2024



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Jo Woodbury LICENSE No 551573843

REVISIONS	
DATE	

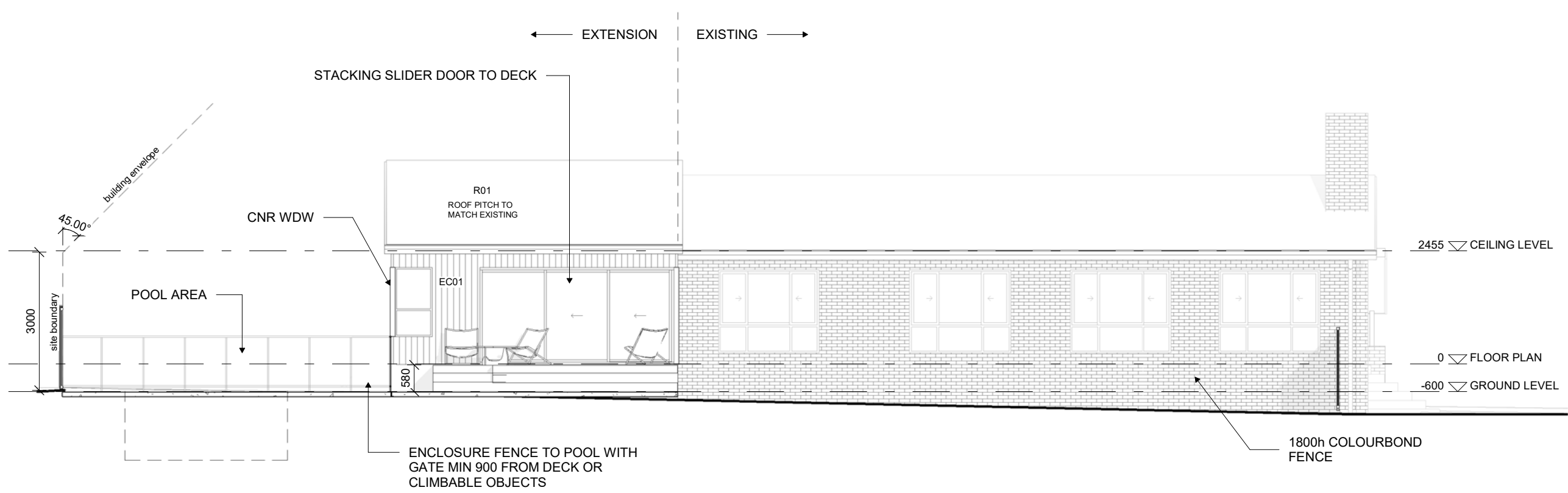
ELEVATION LEGEND

- EC01** James Hardie 'Axon' Sheet cladding
- R01** Colourbond Custom Orb - SURFMIST finish
- G01** Metroll Hi-Front Quad Gutter OR SIMILAR. Colorbond 'SURFMIST'
- F01** Metroll Metroline Fascia system OR SIMILAR- Colorbond 'SURFMIST'

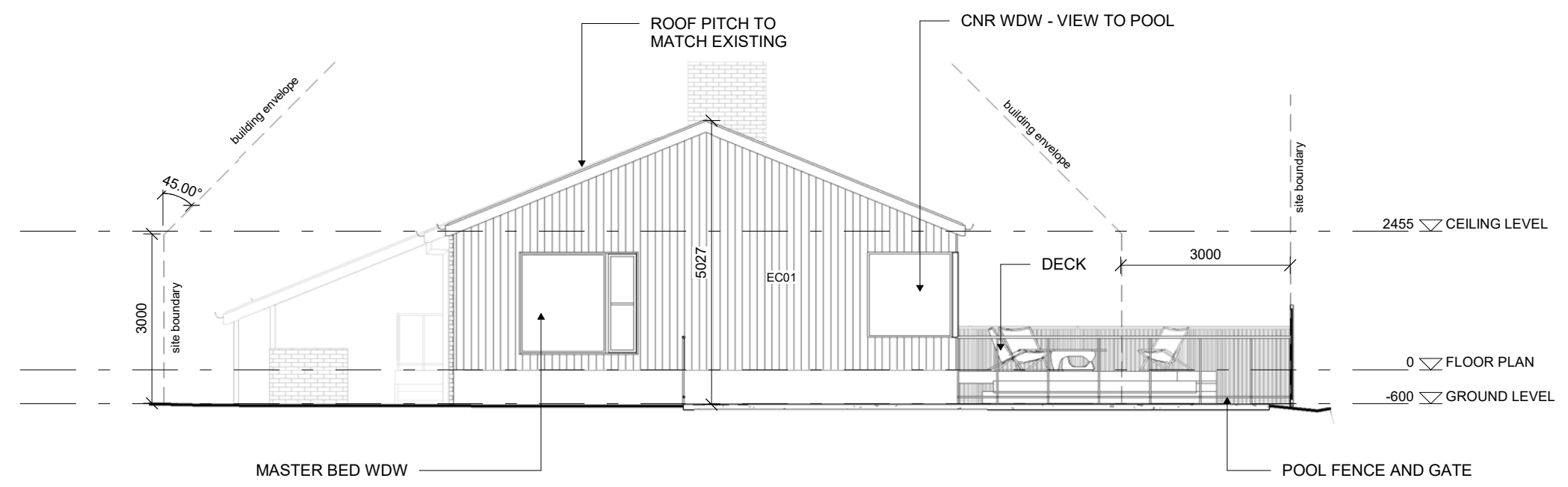
All propriety products to be installed in accordance with manufacturers specification

Refer material notes for detailed information

Windows & doors - refer schedules



1 EAST ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100

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REVISION:	DESCRIPTION:	DATE:

Client: **KELLY RENNY**
Project: **ALTERATION & ADDITON**
at **57 MOUNT LESLIE RD PROSPECT VALE TAS 7250**

Project No: **KR 2024**
Drawn By: **Jo Woodbury**
Accreditation No. **551573843**

Drawing Title: **ELEVATIONS**
Date: **04/2024**
Scale: **1 : 100**

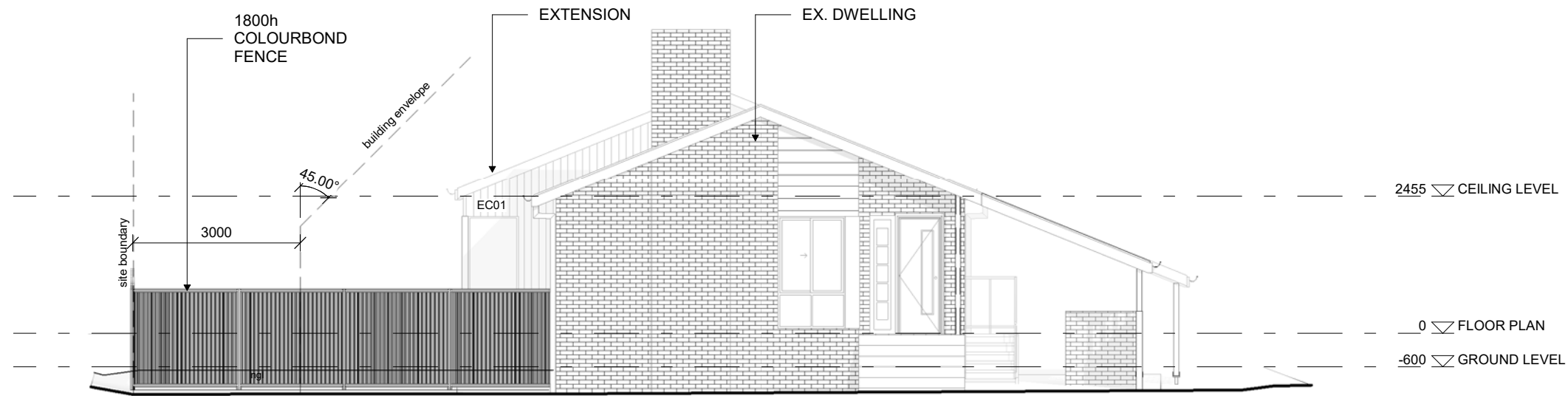
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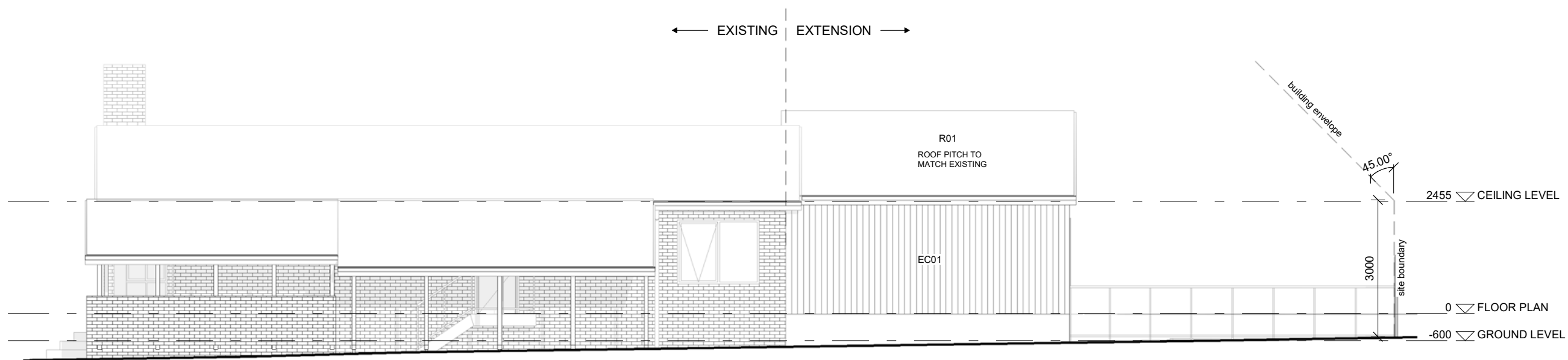
ELEVATION LEGEND

- EC01** James Hardie 'Axon' Sheet cladding
- R01** Colourbond Custom Orb - SURFMIST finish
- G01** Metroll Hi-Front Quad Gutter OR SIMILAR. Colorbond 'SURFMIST'
- F01** Metroll Metroline Fascia system OR SIMILAR- Colorbond 'SURFMIST'

All propriety products to be installed in accordance with manufacturers specification
 Refer material notes for detailed information
 Windows & doors - refer schedules

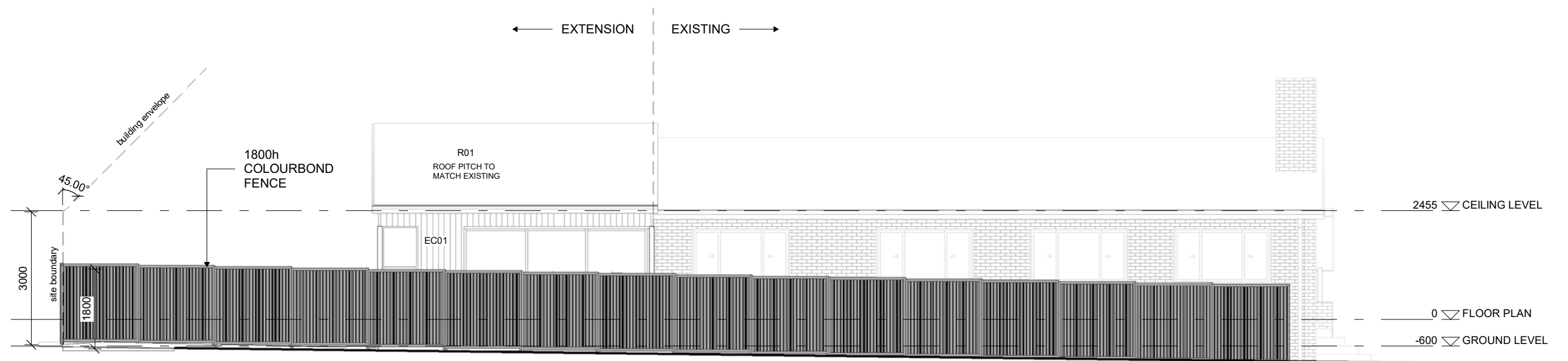


3 NORTH ELEVATION
 1 : 100




4 WEST ELEVATION
 1 : 100

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				Project: ALTERATION & ADDITON	KR 2024	ELEVATIONS	This is the sole property of Woodbury & Co, and may not be used in whole, or in part without written or formal consent from Woodbury & Co. Legal action will be taken against any person/s infringing the copyright.	A202
				at 57 MOUNT LESLIE RD PROSPECT VALE TAS 7250	Drawn By: Jo Woodbury	Date: 04/2024		5/04/2024 12:29:55 PM
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1 EAST ELEVATION - FENCE
1 : 100

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				Project: ALTERATION & ADDITON	Drawn By: Jo Woodbury	Date: 04/2024		5/04/2024 12:29:56 PM
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Job Title	ALTERATION & ADDITON	Date:	04/2024	Drawing Title	3D VISUALS
Client	KELLY RENNY	Drawn By:	Jo Woodbury	Sheet No:	A301
at	57 MOUNT LESLIE RD PROSPECT VALE TAS 7250	Accreditation No.	551573843	Project No:	KR 2024
		Scale:			

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Job Title	ALTERATION & ADDITON	Date:	04/2024	Drawing Title	3D VISUALS
Client	KELLY RENNY	Drawn By:	Jo Woodbury	Sheet No:	A302
at	57 MOUNT LESLIE RD PROSPECT VALE TAS 7250	Accreditation No.	551573843	Project No:	KR 2024
		Scale:			




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Job Title	ALTERATION & ADDITON	Date:	04/2024	Drawing Title	3D VISUALS
Client	KELLY RENNY	Drawn By:	Jo Woodbury	Sheet No:	A303
at	57 MOUNT LESLIE RD PROSPECT VALE TAS 7250	Accreditation No.	551573843	Project No:	KR 2024
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