



Meander Valley Council
Working Together

AGENDA

ORDINARY COUNCIL MEETING

Tuesday 14 February 2023

Time 3.00pm

Location Council Chambers
26 Lyall Street
Westbury, Tasmania

Phone (03) 6393 5300

Our Values

Our seven values help guide our decisions and underpin all we do.

Respect, listen and care for one another

Be trustworthy, honest and tolerant

Be positive and receptive to new ideas

Be innovative, creative and learn

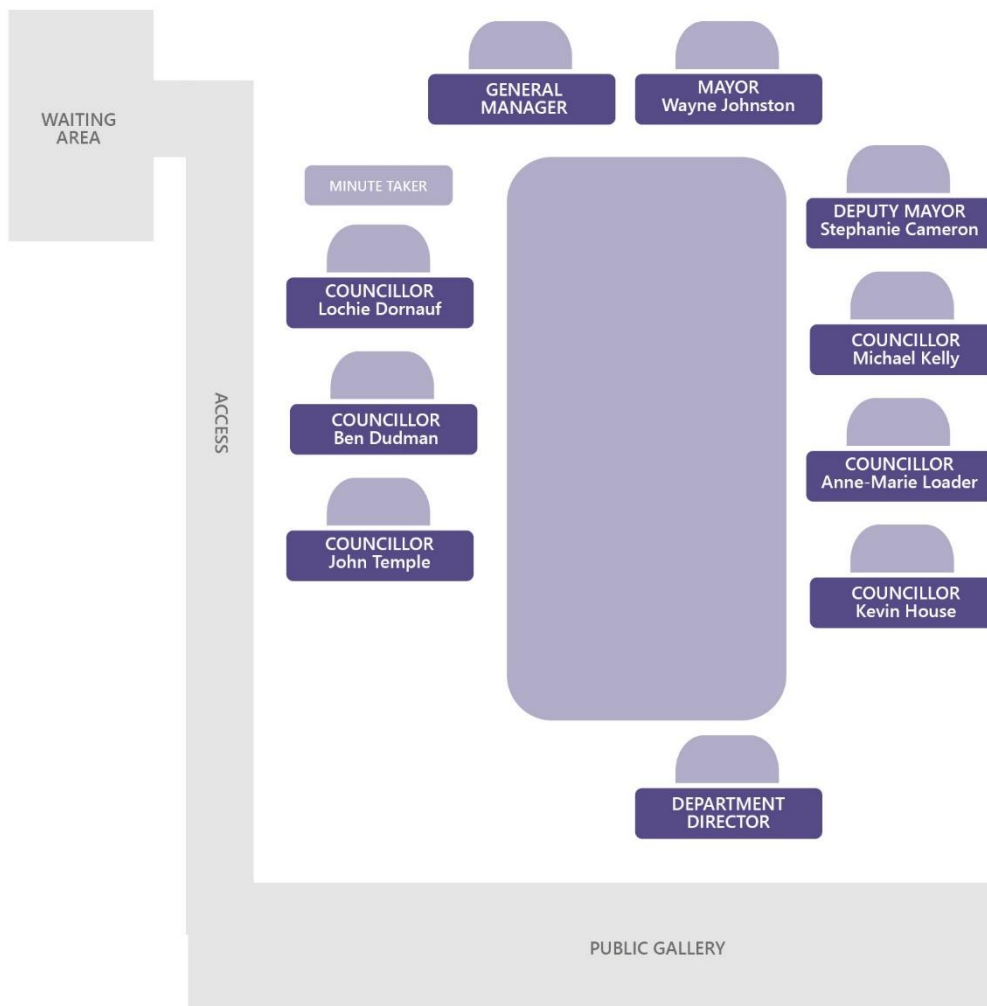
Take a fair, balanced and long term approach

Use sound business practices

Work together

Council Chambers

Seating Plan



Conduct at Council Meetings

Visitors are reminded that Council Meetings are a place of work for staff and Councillors.

Council is committed to meeting its responsibilities as an employer and as host of this important public forum, by ensuring that all present meet expectations of mutually respectful and orderly conduct.

It is a condition of entry to the Council Chambers that you cooperate with any directions or requests from the Chairperson or Council officers.

The Chairperson is responsible for maintaining order at Council Meetings. The General Manager is responsible for health, wellbeing and safety of all present. The Chairperson or General Manager may require a person to leave Council premises following any behaviour that falls short of these expectations. It is an offence to hinder or disrupt a Council Meeting.

Access & Inclusion

Council supports and accommodates inclusion for all who seek participation in Council Meetings, as far as is practicable.

Any person with a disability or other specific needs is encouraged to contact Council before the meeting on (03) 6393 5300 or via email to ogm@mvc.tas.gov.au to discuss how we can best assist you with access.

Certificate of Qualified Advice

A General Manager must ensure any advice, information or recommendation is given to Council by a person with the necessary qualifications or experience: section 65, *Local Government Act 1993*.

Council must not decide on any matter without receiving qualified advice, or a certification from the General Manager.

Accordingly, I certify that, where required:

- (i) the advice of a qualified person was obtained in preparation of this Agenda; and
- (ii) this advice was taken into account in providing general advice to Meander Valley Council; and
- (iii) A copy of any such advice (or a written transcript or summary of oral advice) is included with the agenda item.



John Jordan
GENERAL MANAGER

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Meeting Open - Attendance & Apologies

Acknowledgment of Country

Council acknowledges the Pallitore and Panninher past peoples and the traditional owners and custodians of the land on which we gather for the Council Meeting, with respects paid to elders past and present and extended to all Aboriginal and Torres Strait Islander peoples present.

Confirmation of Minutes

Motion Receive and confirm minutes of the last Ordinary Council Meeting held Tuesday 17 January 2023.

Vote Simple majority

Declarations of Interest

Nil received prior to agenda publication.

Council Workshop Report

Topics Discussed – 24 January 2023

Mayor & Councillor Discussion

Westbury Bicentennial Celebrations " Westbury Champions Parade"

Pool Facilities Discussion - Deloraine, Caveside & Mole Creek

Northern Regional Prison Project Briefing - Colin Shepherd

Communication Strategy Kick Off

Measuring Council's Performance

Mayor & Councillor Report

Councillor Official Activities and Engagements Since Last Meeting

18 January 2023

Meeting: Platypus Tour, Deloraine

Attended by:

Cr Loader

21 January 2023

Community Event: Harveydale Rodeo, Birralelee

Attended by:

Cr Dudman

23 January 2023

Meeting: Homelessness Advisory Committee, Launceston

Attended by:

Cr Dudman

25 January 2023

Council Event: Australian Citizenship and Volunteer Awards Night, Prospect Vale

Presented by:

Mayor Johnston

Deputy Mayor Cameron

Cr House

Cr Lee

Cr Loader

Attended by:
Cr Dudman
Cr Temple

26 January 2023

Community Event: Rotary Club Australia Day Breakfast, Westbury

Attended by:
Cr Dudman
Cr Loader

28 January 2023

Community Event: Opening of Shopping Village, Blackstone Heights

Attended by:
Cr House
Cr Loader

Community Event: Inaugural Port Sorell Open Table Tennis Championships, Deloraine

Presented by:
Mayor Johnston

Meeting: Westbury & Districts Historical Society, Westbury

Attended by:
Cr Loader

1 February 2023

Meeting: Northern Tasmanian Development Corporation SGM & Members Meeting

Attended by:
Mayor Johnston

Meeting: Blackstone Heights Community News Association, Blackstone Heights

Attended by:
Cr Dudman

Meeting: Blackstone Heights Community Group, Blackstone Heights

Attended by:
Cr House

7 February 2023

Meeting: Carrick Hall Committee

Attended by:
Cr House
Cr Loader

Petitions

Nil received prior to agenda publication.

For further information about petitions, refer to the *Local Government Act 1993*: ss57-60A.

Community Representations

Nil requests received.

Formerly referred to as “deputations”, community representations are an opportunity for community members or groups to request up to three minutes to address Council on a topic of particular interest.

Requests received at least fourteen days prior to a Council Meeting will be considered by the Chairperson. For further information, contact the Office of the General Manager on (03) 6393 5317 or email ogm@mvc.tas.gov.au.

Public Question Time

Members of the public may ask questions in person or using our online form.

[Click here](#) to submit an online question.

Refer to pages 3 and 4 of this agenda for more information about attending a Council Meeting.

This Month's Public Questions With Notice

Question 1: *Joy Kachina, Deloraine TAS (received via email)*

Are you going to clean up the mess, the chemicals and poisons that have clearly leached into the waterway and provide a regeneration plan for the site?

John Jordan, General Manager advised that recent work completed at the Rotary Park, Deloraine was necessary to ensure debris from the flood was removed before it was spread over a wider area and to recover the area for safe public use.

There is no evidence to suggest chemicals and poisons have leached into the Meander River due to the deposited flood debris or subsequent work that was undertaken with the involvement of Council's environmental health officers. Regardless of the extent of cleanup, it is reasonable to expect that any large flood event would result in some residual debris as it is not possible to locate and clear all debris, particularly where it is underwater or potentially from a source upstream. Equally residue from stormwater runoff from nearby built-up areas is a routine source of foreign material.

At present, the Council's priority is to focus on the remaining work to recover from the flood and to allow the area to settle. As advised by media release before the clean-up works started; the approach to remediation of the site, including revegetation, is to be assessed post clean-up. Any further remediation of the site will seek input and due approvals from the Department of Natural Resources and Environment.

Question 2: *Joy Kachina, Deloraine TAS (received via email)*

Why was it deemed necessary to clear fell so many healthy trees on the Meander Riverbank devastating the foraging areas of our local platypus population and birdlife?

John Jordan, General Manager advised that the approach to the water clean-up was planned and approved by the Department of Natural Resources and Environment.

The use of mechanical extraction as the most viable method of cleaning up over and around the waterway inevitably meant the loss of some trees. While such loss is regrettable, action was taken to minimise tree loss and leaving the debris in situ would have resulted in more environmental impacts over a larger area, particularly in the event of another flood.

Question 3: *James Redgrave, Deloraine (received via website)*

Swimming Pool issues in MVC

The October 2022 floods in the Municipality saw Deloraine Pool damaged. It saw plenty of neighbours and community support to get businesses and farms back up and running. Community support for families affected was commendable.

There were direct offers of support and free manpower to both the Mayor and General Manager from very large organisations which would have allowed the ratepayers funds to go so much further. With the state and federal flood relief funds that have come in, why wasn't the Deloraine pool prioritised to be re commissioned and up and running for the summer season?

Why is both Mole Creek and Caveside pools closed at the same time? These assets were built and funded by the community for the community and it's not good enough for the General Manager to state that we can't find lifeguards or any other excuse?

An external review into what is really going on with the Pools is required ASAP!...

John Jordan, General Manager advised that:

The community efforts to recover from the October flood are worthy of note, as is the effort of Council officers who have worked many extra hours to prioritise recovery work at the same time as continuing normal services.

The Deloraine Pool was closed because of flood damage, not because of inaction by the Council. This damage was covered by insurance and subject to assessment and the organisation of licensed contractors to undertake the work. Equally, it was necessary to source new equipment, install it and bring the pool water quality up to standard. Allowing for the Christmas closedown and reduced availability of trades and suppliers, having the pool repaired and operational by late January was a good result. That said, the loss of the pool over the school holiday period when the season is so short is a very disappointing consequence of the flood.

The Caveside Pool is closed because it was also damaged by the flood and repair work is pending, that said it faces similar operating issues as Mole Creek (outlined below).

The Mole Creek pool is not owned by Council and independently operated by a community organisation. In advance of the swimming season, the operators were aware of an inability to secure public liability insurance without addressing changed expectations of safety. When the Council became aware of the situation, it offered to fund and arrange the lifesaver training of the volunteers needed to secure insurance and operate the pool. Unfortunately, this could not be achieved because of the availability of volunteers and lifesaver trainers. Reallocating lifeguards from the closed Deloraine Pool to Mole Creek was also an option but was not pursued by the community organisation which subsequently determined to not open the pool this season.

An item on today's Council agenda, seeks approval to progress an external review of Council pools.

Question 4: *James Redgrave, Deloraine (received via website)*

Deloraine Traffic issues that must be addressed

The Intersection of Parsonage street and Emu Bay Road on the British Hotel side should have turn left only sign.

That Emu Bay Road should be Load limited to 4.5 tonne from Sunrise Trailers at Beefeater Street to Emu Bay Road intersection with West Barrack Streets before someone gets killed in the main street.

Serious consideration should be given to a rethink of how traffic flows at the intersection of Emu Bay Road and A5 Highland Lakes Road. It's very dangerous.

The community of Deloraine at certain times of the day and especially through summer find it very hard to get a park in the main street. It's either enforce the Australian road rules that council is responsible for or time to rethink the Deloraine Town Master Plan to include a multistorey car parking facility.

John Jordan, General Manager advised that Council officers have received several requests from the community to assess safety concerns at intersections along Emu Bay Road. Information on parking constraints, an option for the construction of multistorey parking and improvements to West Parade were discussed at Council Workshop several years ago. Officers will provide this information to the current Council at an upcoming Workshop.

A project to undertake an engineering assessment of the higher priority intersections will be considered as part of the 2023-24 budget.

Question 5: *Christina Macrow, Deloraine (received via website)*

The fire risk posed by tall trees in and around Elizabeth Town is a great cause of concern to the community and must be addressed by Council allowing land owners to clear their land of Trees that have the potential to fall on power lines and start a fire.

The Victorian Black Saturday and the 2019 nationwide fires along with investigations and reports show us just how dangerous trees falling on power lines really are. Both Council and Power companies have been found Liable when shown that they have restricted landowners and failed in their duty of care to the community to allow Land owners to clear. This includes endangered trees because Life comes before the environment.

I'm calling on all Councillors to show leadership in allowing all landowners to clear at least the length of the tallest tree to be cleared from power lines without a permit to ensure the communities safety coming into a huge fuel load fire season next year and the year after.

Evidence is clear with the wind event last year in Elizabeth Town with many trees down over powerlines some still there as I write this letter for Questions on Notice. Some of those trees caught fire.

This is not a TAS Networks issue. Council controls private land and tree preservation laws. So is Liable once a fire threat has been established and Council chooses not to act.

John Jordan, General Manager agreed that vegetation management, particularly near power lines is a critical issue. There are two considerations, the provision of the Tasmanian Planning Scheme – Meander Valley (the Scheme) and rules imposed by TasNetworks.

In relation to the Scheme, Elizabeth Town has areas of mapped priority habitat which includes threatened flora and fauna. As such, vegetation removal on private properties must be considered on a case-by-case basis. It is also noted that some properties within Elizabeth Town have conservation covenants registered on the titles. These covenants operated independently of Council, potentially may also control the vegetation clearance.

The Scheme provides an exemption pathway for some types of vegetation removal in accordance with Clause 4.4.1. Exemptions consider matters including, but not limited to:

- vegetation removal within two metres of power lines;

- vegetation clearance for fire hazard management works in accordance with a plan for fire hazard management endorsed by Tasmania Fire Service; and
- vegetation removal is required to remove an unacceptable risk to public or private safety.

The above measures are intended to balance preservation with the need to manage risk and provide an avenue for owners to manage their circumstance.

To achieve an exemption from requiring a planning permit, it will need to be demonstrated that the exemption provisions in the Scheme are complied with. It is recommended that individual property owners within Elizabeth Town (and the municipality more broadly) contact Council's Planning Team to discuss any proposed vegetation removal on their property.

In relation to TasNetworks, their website (refer [Trees near Powerlines - TasNetworks](#)) outlines responsibilities and options, stating that in most cases "vegetation that is located inside a customer's property boundary is their responsibility for keeping it a safe distance away from the power lines. If the vegetation is located on public land, TasNetworks will make sure it is maintained to a safe distance". Their website also indicates that they are responsible for maintaining the clearance zone around all TasNetworks-owned distribution powerlines. It is noted that TasNetworks states that tree trimming within the clearance zone is only permitted by authorised contractors or TasNetworks. Residents should contact TasNetworks for further information.

This Month's Public Questions Without Notice

Nil received prior to agenda publication.

Councillor Question Time

This Month's Councillor Questions With Notice

Question 1: *Councillor Anne-Marie Loader (received via email)*

At the December 2022 Ordinary meeting, a motion was passed to approve a development at 8 Bonney Street, Deloraine. Several representors against the development voiced their concerns about road safety due to the narrowness of Bonney St. While the motion was passed, there was a commitment to discuss road safety issues with the Bonney Street residents, to be undertaken in January. Has this been done?

John Jordan, General Manager clarified that the time commitment to discuss road safety issues with Bonney Street residents was for early in the new year, rather than January specifically.

Regardless, officers from the Council's Infrastructure Department have prepared a preferred solution to the traffic concerns in Bonney Street. This option would limit parking on one side of the street and line mark parking spaces on the other. A letter and copy of the plan will be sent to owners and residents in the next two weeks to seek comments on the recommended solution prior to any final decisions or work being undertaken.

This Month's Councillor Questions Without Notice

Nil received prior to agenda publication.

Council as a Planning Authority

In planning matters, Council acts as a Planning Authority under the *Land Use Planning and Approvals Act 1993*. The following applies to all Planning Authority reports:

Strategy Council has an Annual Plan target to process planning applications in accordance with delegated authority and statutory timeframes.

Policy Not applicable.

Legislation Council must process and determine applications under the *Land Use Planning and Approvals Act 1993* (LUPAA) and its Planning Scheme. Each application is made in accordance with LUPAA, s57.

Consultation The "Agency Consultation" section of each Planning Authority report outlines the external authorities consulted during the application process.

Community consultation in planning matters is a legislated process. The "Public Response – Summary of Representations" section of each Planning Authority report outlines all complying submissions received from the community in response to the application.

Budget & Finance Where a Planning Authority decision is subject to later appeal to the Tasmanian Civil and Administrative Tribunal (Resource & Planning Stream), Council may be liable for costs associated with defending its decision.

Risk Management Risk is managed by all decision-makers carefully considering qualified advice and inclusion of appropriate conditions on planning permits as required.

Alternative Motions Council may approve an application with amended conditions, or may refuse an application.

Regardless of whether Council seeks to approve or refuse an application, a motion must be carried stating its decision and outlining reasons. A lost motion is not adequate for determination of a planning matter.

Motion Simple majority

Planning Authority Report

3885 Meander Valley Road, Exton

Proposal	Single Dwelling
Report Author	George Walker Town Planner - Consultant
Authorised by	Krista Palfreyman Director Development & Regulatory Services
Application reference	PA\23\0134
Decision due	15 February 2023
Decision sought	It is recommended that Council approves this application. <i>See section titled "Planner's Recommendation" for further details.</i>

Applicant's Proposal

Applicant	P Dingemans
Property	3885 Meander Valley Road, Exton (CT: 182165/2)
Description	<p>The applicant seeks planning permission for the construction of a single dwelling and agricultural outbuilding.</p> <p>It is noted that the agricultural outbuilding complies with the relevant standards of the Scheme and is a 'No Permit Required' use and development.</p> <p><i>Documents submitted by the Applicant are attached, titled "Application Documents".</i></p>



Figure 1: Aerial photograph of the subject site and adjoining land.

Planner's Report

Planning Scheme Tasmanian Planning Scheme - Meander Valley ("the Scheme")

Zoning Agriculture

Applicable Overlays Nil

Existing Land Use Vacant Land

Summary of Planner's Assessment Residential use is classed as discretionary in this zone (Agriculture) where it is for a new use.

Discretions For this application, two discretions are triggered. This means Council has discretion to approve or refuse the application based on its assessment of:

21.3.1 P4(a) Discretionary uses

21.4.2 P2 Setbacks

Before exercising a discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

See attachment titled "Planner's Advice - Performance Criteria" for further discussion.

Performance Criteria & Applicable Standards

This proposal is assessed as satisfying the relevant Performance Criteria and compliant with all Applicable Standards of the Scheme.

See attachments titled "Planner's Advice – Performance Criteria" and "Planner's Advice – Applicable Standards" for further discussion.

Public Response

Four responses ("representations") were received from the public. All representations are objections.

See attachment titled "Public Response – Summary of Representations" for further information, including the planner's advice given in response.

Agency Consultation

Nil

Internal Referrals

Infrastructure Services

No infrastructure notes or conditions are required for this proposal. It is noted that the stormwater will be contained on-site.

Environmental Health

No environmental health conditions are recommended. However, if approved, the following note is to be included:

An onsite wastewater design report by a suitably qualified person is required at the plumbing permit stage.

Planner's Recommendation to Council

The planner's recommendation, based on a professional assessment of the planning application and its compliance with the Planning Scheme, is set out below.

Council must note the qualified advice received before making any decision, then ensure that reasons for its decision are based on the Planning Scheme. Reasons for the decision are also published in the minutes.

For further information, see Local Government Act 1993, s65, Local Government (Meeting Procedures) Regulations 2015, s25(2) and Land Use Planning and Approvals Act 1993, s57.

Recommendation

This application by P Dingemans for a Single Dwelling on land located at 3885 Meander Valley Road, Exton (CT: 182165/2), is recommended for approval generally in accordance with the Endorsed Plans, and recommended Permit Conditions and Notes.

Endorsed Plans

- a) Philip M Dingemans Architecture + Design; Dated: 2/12/22; Job No.: 22003; Drawing No.: DA.01 – DA.05 (inclusive).
- b) Pinion Advisory; Dated: September 2022; Agricultural Assessment and Compliance Report; Pages 1-36 (inclusive).

Permit Conditions

1. The livestock and fodder crop enterprise described within the endorsed Agricultural Assessment and Compliance Report prepared by Pinion Advisory, must be established, and continually operated for the duration of the use of the dwelling. All necessary steps must be carried out to improve and maintain the quality of the land for pasture and fodder cropping to support a carrying capacity of 500 dry sheep equivalent (DSE) per year or an average of 25 DSE per hectare.
2. The existing vegetation located in the area labelled 'vegetation buffer' shown on the map in Appendix A of this Permit is to be maintained in a healthy condition for the duration of the use of the dwelling (refer to Appendix A of this Permit). Any deceased plants must be replaced with the same or similar species and in the same or proximate location to provide a vegetative buffer between the dwelling and the adjoining property to the west.

Permit Notes

1. An onsite wastewater design report by a suitably qualified person is required at the plumbing permit stage.
2. Any other proposed development or use (including amendments to this proposal) may require separate planning approval. For further information, contact Council.
3. This permit takes effect after:
 - a. The 14-day appeal period expires; or
 - b. Any appeal to the Tasmanian Civil & Administrative Tribunal (TASCAT) is determined or abandoned; or
 - c. Any other required approvals under this or any other Act are granted.

4. Planning appeals can be lodged with TASCAT Registrar within 14 days of Council serving notice of its decision on the applicant. For further information, visit the TASCAT website.
5. This permit is valid for two years only from the date of approval. It will lapse if the development is not substantially commenced. Council has discretion to grant an extension by request.
6. All permits issued by the permit authority are public documents. Members of the public may view this permit (including the endorsed documents) at the Council Office on request.
7. If any Aboriginal relics are uncovered during works:
 - a. All works to cease within delineated area, sufficient to protect unearthed or possible relics from destruction;
 - b. Presence of a relic must be reported to Aboriginal Heritage Tasmania; and
 - c. Relevant approval processes for state and federal government agencies will apply.

Attachments

1. Public Response - Summary of Representations [12.1.1 - 4 pages]
2. Representation 1 - N Atkins [12.1.2 - 1 page]
3. Representation 2 - E Walker [12.1.3 - 1 page]
4. Representation 3 - A & G Moore [12.1.4 - 1 page]
5. Representation 4 - B & P Neate [12.1.5 - 2 pages]
6. Planner's Advice - Applicable Standards [12.1.6 - 13 pages]
7. Planner's Advice - Performance Criteria [12.1.7 - 8 pages]
8. Application Documents [12.1.8 - 45 pages]
9. Appendix A - Vegetation Buffer [12.1.9 - 1 page]

12.1.1 Public Response - Summary Of Representations

Public Response

Summary of Representations

A summary of concerns raised by the public about this planning application is provided below. Four responses ("representations") were received during the advertised period.

This summary is an overview only and should be read in conjunction with the full responses (see attached). In some instances, personal information may be redacted from individual responses.

Council offers any person who has submitted a formal representation the opportunity to speak about it before a decision is made at the Council Meeting.

Representation 1

Name N Atkins

Concern *"I wish to strongly oppose to the Development Application (PA/23/0134) as advertised at 3885 Meander Valley Road, Exton (CT: 182165/2).*

Further details will be forwarded when required."

Planner's Response A site visit was undertaken at the representors property, which is the adjoining property to the west, south and east of the site. The site visit provided an opportunity to understand the concerns the representor has with the application which can be summarised into the following points:

1. The site should not be allowed to have a dwelling on it in order to preserve it for agricultural use, including for the potential inclusion with adjoining lots. If a dwelling is to be approved on the site, it should be located toward the northern boundary in proximity to the adjoining dwelling to the north (3869 Meander Valley Road).
2. The location of the proposed dwelling will impact the ability to farm the adjoining agricultural land in terms of constraining the activities that are required to be undertaken to farm the adjoining land including spraying, noise and odour from cropping and grazing activities.

With respect to Point 1, the application has been made on the basis that the proposed dwelling is required to support an agricultural use. The application included an agricultural assessment which provided relevant information to

12.1.1 Public Response - Summary Of Representations

address the specific provisions of this pathway. The assessment concluded that the scale, complexity and operational requirements of the agricultural use (livestock grazing and fodder cropping) necessitated the operator of the farm to live in a dwelling on the site.

To this extent, a condition has been recommended requiring the agricultural use described within the application to be undertaken for the duration of the use of the dwelling.

The location of the dwelling is guided by the setbacks prescribed by Acceptable Solution 21.4.2 A2(a) which requires dwellings to be setback a minimum of 200m from all boundaries. The proposed dwelling satisfies the Acceptable Solution relative to the northern, eastern and southern boundaries. Locating the proposed dwelling closer to the northern boundary would likely trigger a discretion against the corresponding Performance Criteria. It would also locate the proposed dwelling within the class 3 agricultural land which is the highest grade of agricultural land within the site which is not an outcome that is desired by the Scheme.

With Respect to Point 2, the siting of the proposed dwelling satisfies the Acceptable Solution setback of a minimum of 200m relative to the northern, eastern and southern boundaries. The assessment has determined that the siting of the proposed dwelling relative to the western boundary will minimise potential conflict with the adjoining residential and agricultural use on the representors property to the west.

A condition has been recommended that the existing vegetation buffer be maintained between the proposed dwelling and western boundary for the duration of the use of the dwelling which will aid in minimising potential land use conflict between the two properties.

Representation 2

Name *E Walker*

Concern *"I wish to strongly oppose to the Development Application (PA/23/0134) as advertised at 3885 Meander Valley Road, Exton (CT: 182165/2).*

Further details will be forwarded when required."

Planner's Response Please refer to the response to Representation 1. This representation is the same as Representation 1.

12.1.1 Public Response - Summary Of Representations

Representation 3

Name G & A Moore

Concern *"We believe this development is inappropriate for this site and will conflict with the land use of the farming land surrounding it."*

Planner's Response The assessment has determined that the proposed residential dwelling is appropriate for the site and will minimise potential conflict with adjoining and surrounding agricultural use. It is considered that the application has demonstrated that the proposed dwelling is required to support an agricultural use and the reduced building setback relative to the western boundary is sufficient to minimise impacts upon the adjoining residential and agricultural use.

Representation 4

Name B & P Neate

Concern *"I write in connection with the above planning application. I have examined the plans and I know the site well. I wish to object strongly to the development of these buildings in this location for the following reasons:*

- *Additional housing adjacent to rural properties causes more issues for farmers to manage any ongoing issues with "domestic" neighbours.*
- *Proximity to house on adjacent land.*
- *Reduction in agricultural land for agricultural use (long and short term)."*

Planner's Response The application is made on the basis that the proposed dwelling is required to support an agricultural use. The agricultural use will be a livestock grazing and fodder cropping operation. The land will therefore be used for agriculture which will be compatible with established agricultural uses on the adjoining land to the east, south and west.

The proposed dwelling satisfies the 200m boundary setback requirement relative to the northern, eastern and southern boundaries. It will have a setback of 172m from the western boundary. The reduced setback relative to the western boundary is considered appropriate under the terms of Performance Criteria 21.4.2 P2 insofar as the distance and existing

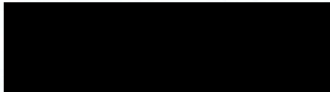
12.1.1 Public Response - Summary Of Representations

topographical and vegetation features will provide sufficient buffers between the adjoining dwelling and agricultural land to the west to the degree that it minimises potential conflict with these uses.

Note: The planning application was advertised in a local newspaper and on Council's website for a statutory period of 14 days from 7 January 2023 to 23 January 2023. The property was also signposted.

Dwelling

Index No. 21363	
Date	
RCVD	16 JAN 2023 MVC
Area/Office MA	Dept. OES
FOI	OD



16th January, 2023

The General Manager
Meander Valley Council
P.O. Box 102
Westbury Tas 7303

Dear Sir,

I wish to strongly oppose the Development Application (PA/23/0134) as advertised at 3885 Meander Valley Road, Exton (CT: 182165/2).

Further details will be forwarded when required.

Yours faithfully

Neil A. Atkins



12.1.3 Representation 2 - E Walker

Dwelling

Q1363



16 JAN 2023		MVC
MA	Dept.	005
	OD	✓

16th January, 2023

The General Manager
Meander Valley Council
P.O. Box 102
Westbury Tas 7303

Dear Sir,

I wish to strongly oppose the Development Application (PA/23/0134) as advertised at 3885 Meander Valley Road, Exton (CT: 182165/2).

Further details will be forwarded when required.

Yours faithfully

Elizabeth D. Walker



12.1.4 Representation 3 - A & G Moore

From: Garth Moore [REDACTED]
Sent: Saturday, 21 January 2023 4:16 PM
To: Planning @ Meander Valley Council
Subject: Development application PA/23/0134
Attachments: 20230121_160407.jpg

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Hi folks letter attached please give me a ring on [REDACTED] to discuss further
Regards
Garth Moore
[REDACTED]

General Manager
Meander Valley Council
P.O. Box 102
Westbury Tas 7303

20th January, 2023

planning@mvc.tas.gov.au

Dear General Manager,

As adjoining property owners, we wish to show our concerns regarding the Development Application – PA\23\0134, 3885 Meander Valley Road, Exton (CT: 182165/2), for the dwelling and associated infrastructure.

We believe this development is inappropriate for this site, and will conflict with the land use of the farming land surrounding it.

Garth and Andrew Moore
[REDACTED]

Garth Moore

Andrew Moore

12.1.5 Representation 4 - B & P Neate

From: [REDACTED]
Sent: Mon, 23 Jan 2023 11:10:09 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au> [REDACTED]
Subject: Fwd: Planning Development (CT:182165/2)

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Sent from my iPhone

Begin forwarded message:

From: [REDACTED]
Date: 23 January 2023 at 11:01:52 am AEDT
To: [REDACTED]
Subject: Planning Development (CT:182165/2)

planning@mvc.tas.gov.au

Ben and Phillipa Neate
[REDACTED]

23rd January 2023

Planning Application: PA\23\0134
3885 Meander Bally Road EXTON (CT:182165/2)

I write in connection with the above planning application. I have examined the plans and I know the site well. I wish to object strongly to the development of these buildings in this location for the following reasons:

- **Additional housing adjacent to rural properties causes more issues for farmers to manage any ongoing issues with "domestic" neighbours.**

12.1.5 Representation 4 - B & P Neate

- Proximity to house on adjacent land
- Reduction in agricultural land for agricultural use (long and short term)

Kind regards

Ben and Phillipa Neate



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 *Please consider the environment. Do you really need to print this email?*

12.1.6 Planner's Advice - Applicable Standards

Planner's Advice: Applicable Standards

Background

The proposal involves the construction and use of a single dwelling on land located at 3885 Meander Valley Road, Exton (CT: 182165/2 – “the site” refer to Figure 1).



Figure 1: Aerial image showing the location and spatial extent of the site.

The site comprises a single internal lot that has an area of 26.69ha. The access strip of the internal lot has a uniform width of 8m and a uniform length of 115m. It provides vehicle access between Meander Valley Road and the north-western corner of the main body of the lot.

Land contained within the site is undulating. It is predominately modified agricultural land which currently comprises improved pasture which is used for stock grazing, hay and silage production.

There is a large area of remnant vegetation which is interspersed with hawthorn shrubs located in the south-eastern corner (refer to Figure 2). Most of the length of the western boundary is planted with a row of trees of mixed species with a smaller area of vegetation cover located in the north-western corner of the site (refer to Figure 3).

12.1.6 Planner's Advice - Applicable Standards



Figure 2: Photo taken from the location of the proposed dwelling looking south-east showing the undulating agricultural land and the remnant vegetation in the south-eastern corner of the site.



Figure 3: Photo taken from the location of the proposed dwelling looking north-west showing the undulating agricultural land and the tree lined western boundary and area of vegetation cover in the north-western corner of the site.

The site and adjoining land in all directions (excluding Meander Valley Road) is assigned to the Agriculture Zone. Meander Valley Road, Bass Highway and the Western Line are assigned to the Utilities Zone and a cluster of smaller lots to the north-west are assigned to the Village Zone (refer to Figure 4).

12.1.6 Planner's Advice - Applicable Standards

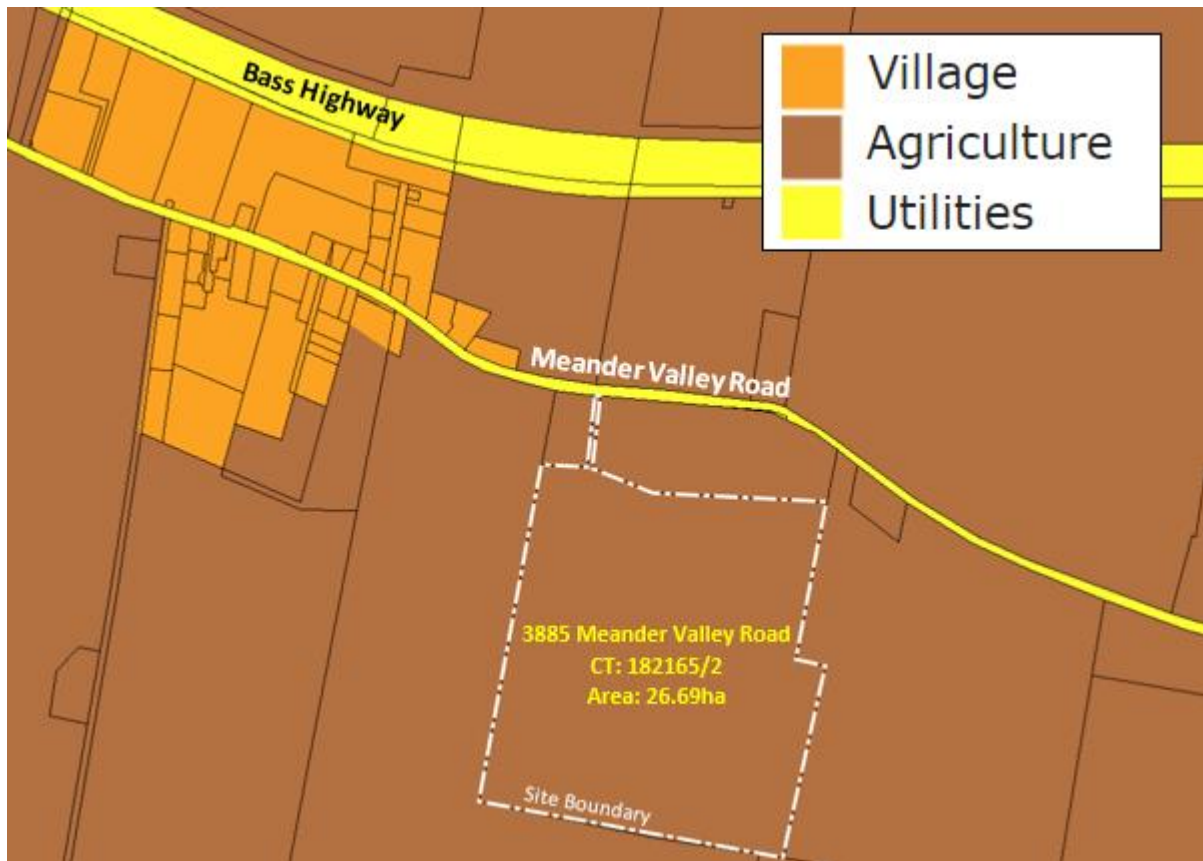


Figure 4: Zone map identifying the zoning of the site, adjoining and adjacent land.

It is proposed to locate the dwelling and outbuilding in a central position within the site (refer to Figure 5). The proposed dwelling will have a footprint of 277m² and will comprise 3 bedrooms, music retreat which will open out to a deck on the northern side, bathroom, laundry, open plan kitchen dining and living area which will open out to a deck on the northern and eastern sides, and an attached carport (refer to Figure 6). The proposed dwelling will have a maximum building height of 4.2m measured to the roof ridge (refer to Figure 7).

12.1.6 Planner's Advice - Applicable Standards



Figure 5: Excerpt of the Site Location Plan showing the location of the proposed dwelling and outbuilding within the site.

12.1.6 Planner's Advice - Applicable Standards

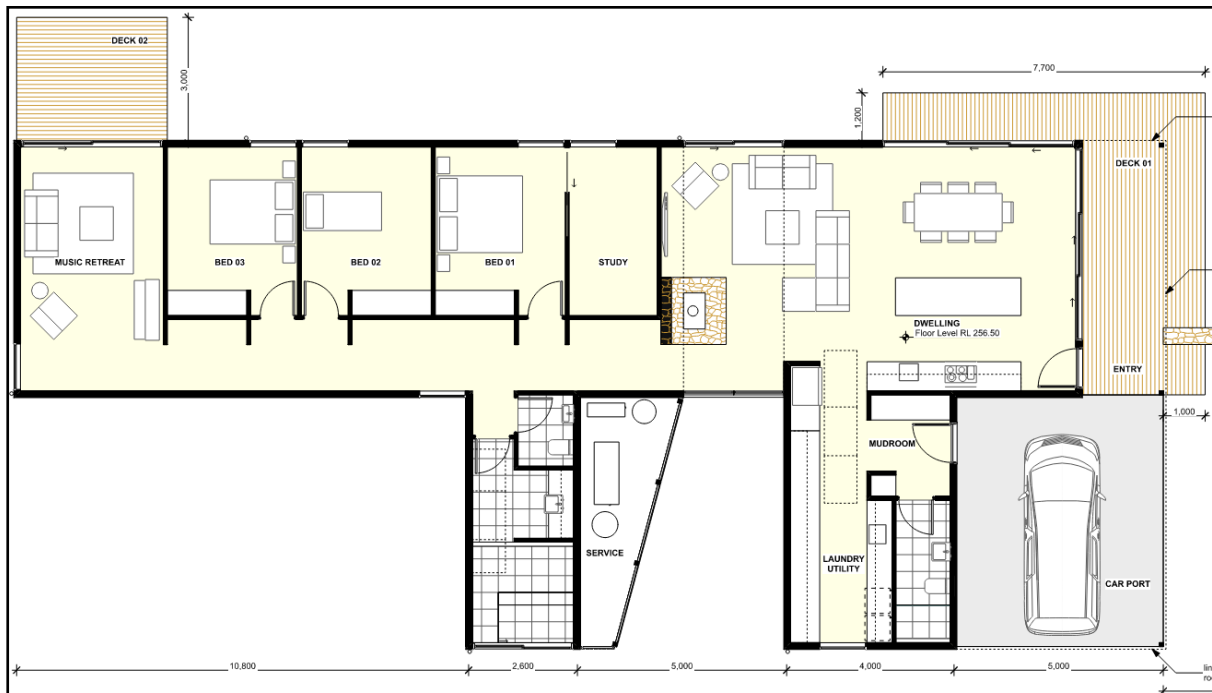


Figure 6: Excerpt of the Floor Plan showing the layout of the proposed dwelling.

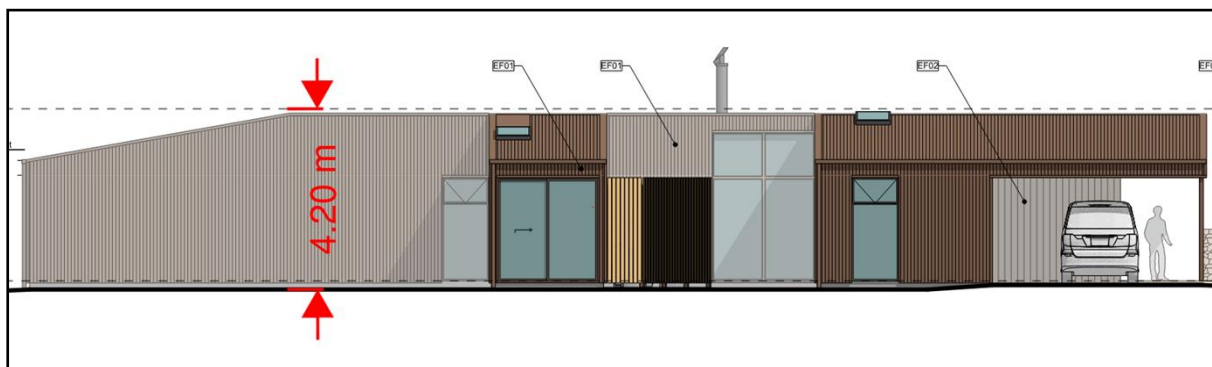


Figure 7: Excerpt of the South Elevation showing the height of the proposed dwelling.

The proposed outbuilding will have a footprint of 240m² and will have a maximum building height of 5.6m measured to the roof ridge (refer to Figures 8 and 9).

12.1.6 Planner's Advice - Applicable Standards

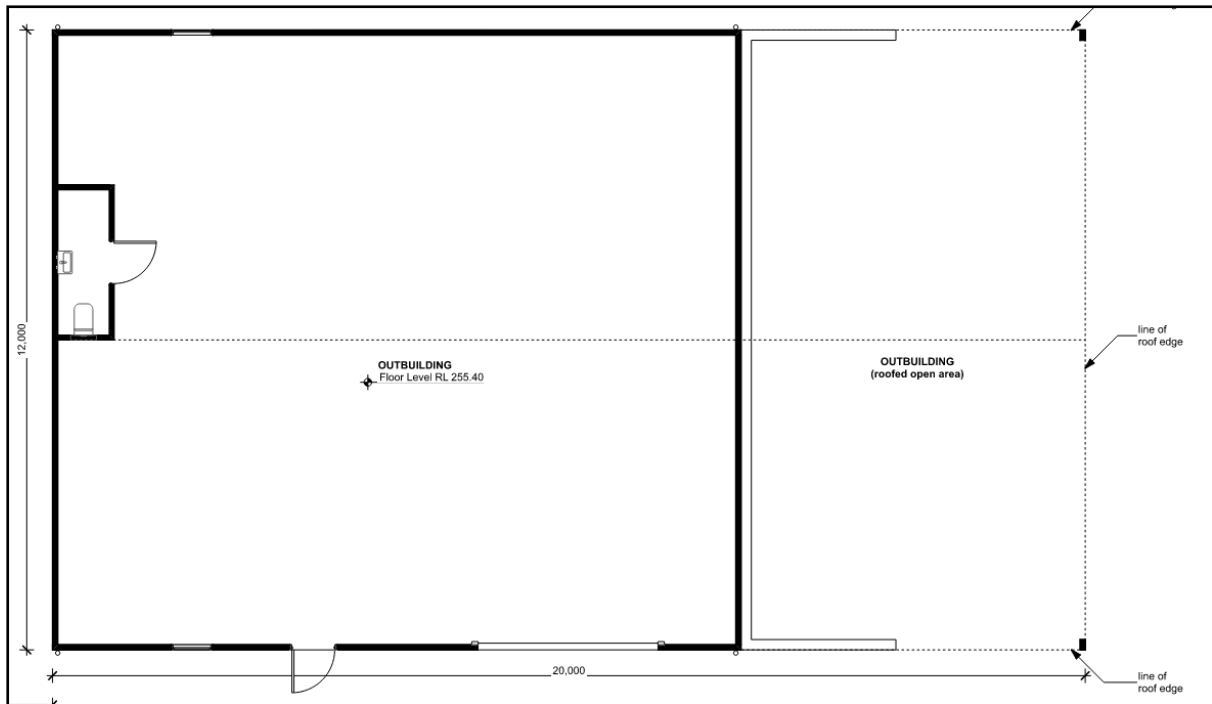


Figure 8: Excerpt of the Outbuilding Floor Plan showing the layout of the building.

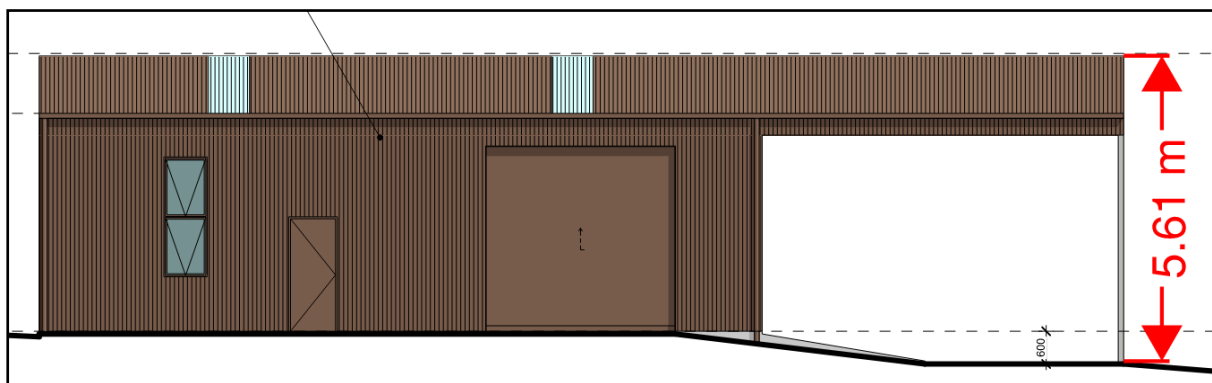


Figure 9: Excerpt of the southern elevation of the proposed outbuilding showing the maximum building height.

It is noted that the proposed outbuilding is not required to obtain a permit in its own right in accordance with clause 6.6.1 of the Scheme on the basis that it is associated with an agricultural use and satisfies all acceptable solutions of applicable standards. This position has been corroborated through the Notifiable Building Work notification NBW\23\0114 which recognised the 'No Permit Required' status of the outbuilding under the Scheme. The notification of the Notifiable Building Work was submitted to Council after the submission of this application.

Notwithstanding, reference to, and assessment of, the outbuilding is included within this report. The outbuilding does not invoke discretion under any clause of the Scheme.

12.1.6 Planner's Advice - Applicable Standards

Summary of Planner's Advice

This application was assessed against General Provisions Standards, as well as the Applicable Standards for this Zone, any relevant Codes and Specific Area Plans.

All Standards applied in this assessment are taken from the Planning Scheme.

This application is assessed as compliant with the relevant Acceptable Solutions, except where "*Relies on Performance Criteria*" is indicated (see tables below).

Council has discretion to approve or refuse the application based on its assessment of the Performance Criteria, where they apply. Before exercising discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

For a more detailed discussion of any aspects of this application reliant on Performance Criteria, see the attachment titled "Planner's Advice - Performance Criteria".

21.0 Agriculture Zone

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
21.3	<i>Discretionary uses</i>	
A1 – A3	The proposal involves a Discretionary use (Residential) for the purposes of a single dwelling. Notwithstanding, the corresponding Performance Criteria for each of the Acceptable Solutions explicitly excludes consideration of the Residential Use Class. Accordingly, each of the Acceptable Solutions and corresponding Performance Criteria are not applicable to the proposal.	Not Applicable
A4	The proposal involves a Discretionary use (Residential) for the purposes of a single dwelling. There is no Acceptable Solution.	Relies on Performance Criteria
21.4.1	<i>Building Height</i>	
A1	The buildings will have the following heights:	Complies

21.0 Agriculture Zone

Scheme Standard

Planner's Assessment

Assessed Outcome

Building	Height
Dwelling	4.2m
Outbuilding	5.61m

21.4.2 *Setbacks*

A1 The buildings will have the following boundary setbacks:

Complies

Building	Setbacks (Direction)			
	N	S	E	W
Dwelling	202m	318m	253m	172m
Outbuilding	210m	315m	201m	225m

A2 The proposed dwelling will be setback approximately 172m from the western boundary which does not satisfy the Acceptable Solution.

Relies on Performance Criteria

The outbuilding is excluded from consideration under this clause on the basis that it is not a sensitive use.

21.4.3 *Access for new dwellings*

A1 The site has 8m of frontage to Meander Valley Road and there is an existing vehicle crossing that provides access to the road which is maintained by the Department of State Growth.

Complies

12.1.6 Planner's Advice - Applicable Standards

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.5.1	<i>Car parking numbers</i>	
A1	Table C2.1 requires 1 space per bedroom or 2 spaces per 3 bedrooms for a dwelling in any zone other than the General Residential zone. The proposed dwelling will comprise 3 bedrooms and 2 car parking spaces are therefore required. In this instance, 1 car parking space will be made available within the attached carport and 2 car parking spaces will be provided within the associated accessway.	Complies
C2.5.2	<i>Bicycle parking numbers</i>	
A1	Table C2.1 does not require bicycle parking spaces to be required for single dwellings.	Not Applicable
C2.5.3	<i>Motorcycling parking numbers</i>	
A1	Clause 2.5.3 does not apply to single dwellings in accordance with clause C2.2.2 of the Scheme.	Not Applicable
C2.5.4	<i>Loading bays</i>	
A1	Clause C2.5.4 does not apply to the Residential use class in accordance with clause C2.2.3 of the Scheme.	Not Applicable
C2.5.5	<i>Number of car parking spaces within the General Residential Zone and Inner Residential zone</i>	

12.1.6 Planner's Advice - Applicable Standards

C2.0 Parking and Sustainable Transport Code		
<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
A1	Clause C2.5.5 does not apply to the Residential use class in accordance with clause C2.2.4 of the Scheme.	Not Applicable
<i>C2.6.1 Construction of parking areas</i>		
A1	The proposed access way will be constructed of compacted gravel with stormwater runoff to be managed on-site.	Complies
<i>C2.6.2 Design and layout of parking areas</i>		
A1.1	The proposed driveway and parking area will have a gradient of less than 25% and will serve 2 car parking spaces. Car parking spaces will be a minimum width of 2.6m and minimum length of 5.4m. The manoeuvring area will have a width of 9m and the garage door will have a minimum clearance of 2.1m. The width of the proposed driveway will be 3m. Table C2.2 does not require passing bays to be provided for driveways greater than 30m in length where they are on land assigned to the Agricultural Zone.	Complies
A1.1	Accessible parking spaces are not required for a single dwelling.	Not Applicable
<i>C2.6.3 Number of accesses for vehicles</i>		
A1	No additional vehicle accesses are proposed.	Not Applicable
A2	The site is not located within the Central Business zone.	Not Applicable

12.1.6 Planner's Advice - Applicable Standards

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.6.4	<i>Lighting of parking within the General Business Zone and Central Business Zone</i>	
A1	The site is not located in the General Business zone or Central Business zone.	Not Applicable
C2.6.5	<i>Pedestrian access</i>	
A1.1	A single dwelling requires less than 10 car parking spaces.	Not Applicable
A1.2	Accessible parking spaces are not required for a single dwelling.	Not Applicable
C2.6.6	<i>Loading bays</i>	
A1	The proposal is not required to provide loading bays.	Not Applicable
A2	The proposal is not required to provide loading bays.	Not Applicable
C2.6.7	<i>Bicycles parking and storage facilities within the General Business Zone and Central Business Zone</i>	
A1	The site is not located in the General Business zone or Central Business zone.	Not Applicable
A2	The site is not located in the General Business zone or Central Business zone.	Not Applicable

12.1.6 Planner's Advice - Applicable Standards

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.6.8	<i>Siting of parking and turning areas</i>	
A1	The site is not located within the Inner Residential zone, Village zone, Urban Mixed Use zone, Local Business zone or General Business zone.	Not Applicable
A2	The site is not located in the Central Business zone.	Not Applicable
C2.7.1	<i>Parking precinct plan</i>	
A1	The site is not subject to a parking precinct plan.	Not Applicable

C3.0 Road and Railway Assets Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
3.5.1	<i>Traffic generation at a vehicle crossing, level crossing or new junction</i>	
A1.1	Meander Valley Road is not a category 1 road or limited access road.	Not Applicable
A1.2	The proposal does not require the construction of a new vehicle crossing.	Not Applicable
A1.3	The proposal does not involve the construction of a private level crossing.	Not Applicable

12.1.6 Planner's Advice - Applicable Standards

C3.0 Road and Railway Assets Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
A1.4	The proposed single dwelling will generate approximately 10 AADT vehicle movements per day which is less than the maximum amount of vehicle movements per day as prescribed by Table C3.1.	Complies
A1.5	Meander Valley Road is not a major road.	Not Applicable
C3.6.1	<i>Habitable buildings for sensitive uses within a road or railway attenuation area</i>	
A1	The proposed dwelling will not be located within the attenuation area of Bass Highway and Western Line (railway) which are located a minimum distance of 330m to the north of the frontage of the site. Meander Valley Road is identified as a category 5 road and is therefore not subject to an attenuation area.	Not Applicable

21.0 Agriculture Zone

Planning Scheme Provision	21.3.1 Discretionary Uses
	<p>Objective</p> <p><i>That uses listed as Discretionary:</i></p> <ul style="list-style-type: none"> <i>(a) support agricultural use; and</i> <i>(b) protect land for agricultural use by minimising the conversion of land to non-agricultural use.</i>
	<p>Performance Criteria P4</p> <p><i>A Residential use listed as Discretionary must:</i></p> <ul style="list-style-type: none"> <i>(a) be required as part of an agricultural use, having regard to:</i> <ul style="list-style-type: none"> <i>(i) the scale of the agricultural use;</i> <i>(ii) the complexity of the agricultural use;</i> <i>(iii) the operational requirements of the agricultural use;</i> <i>(iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and</i> <i>(v) proximity of the dwelling to the agricultural use; or</i> <i>(b) be located on a site that:</i> <ul style="list-style-type: none"> <i>(i) is not capable of supporting an agricultural use;</i> <i>(ii) is not capable of being included with other agricultural land (regardless of ownership) for agricultural use; and</i> <i>(iii) does not confine or restrain agricultural use on adjoining properties.</i>

Summary of Planner's Advice

The development is assessed as satisfying Performance Criteria P4(a) and is consistent with the objective.

Details of the planner's assessment against the provision are set out below.

Scheme Provision	Planner's Assessment
<p>21.3.1 Performance Criteria P4</p>	<p>Performance Criteria 21.3.1 P4 is in two parts, being Performance Criteria P4(a) and P4(b). Performance Criteria P4(a) provides a pathway for a dwelling where it is required as part of an agricultural use, whereas Performance Criteria P4(b) provides a pathway for a dwelling where the land on which the dwelling is proposed is not capable of supporting an agricultural use.</p> <p>An application is only required to satisfy one of the parts of the Performance Criteria to demonstrate compliance with the provision.</p>

12.1.7 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	<p>In this instance, the proposal relies on Performance Criteria P4(a). To this extent, an Agricultural Assessment and Compliance Report ('the agricultural assessment') accompanied the proposal. The agricultural assessment was prepared by Pinion Advisory and provided information necessary to assess and determine compliance with Performance Criteria P4(a).</p> <p>With respect to the field of agriculture, Pinion Advisory constitute a 'suitably qualified person' which the Scheme defines in Table 3.1 as:</p> <p style="text-align: center;"><i>"means a person who can adequately demonstrate relevant tertiary qualifications (or equivalent) and experience in a recognised field of knowledge, expertise or practice with direct relevance to the matter under consideration."</i></p> <p>For clarity, Performance Criteria P4(b) is not assessed on the basis that the application does not rely on the provision for compliance with the Standard.</p>
21.3.1 Performance Criteria P4 (a)	<p>The application is made on the basis that the proposed dwelling is required as part of an agricultural use. In this regard, the agricultural use is a livestock enterprise that includes fodder cropping.</p>
21.3.1 Performance Criteria P4 (a)(i)	<p>The agricultural assessment determined that the site is suitable for livestock grazing use indicating that the land is capable of supporting a potential carrying capacity of 500 dry sheep equivalents (DSE) per year or an average of 25 DSE per hectare, where the existing pastureland is improved and maintained.</p> <p>The agricultural assessment indicates that the land has the potential to support a livestock enterprise at a scale of 120 breeding ewes (producing 170 lambs, 150 as prime lambs and 20 as replacement ewe lambs or 30 breeding cows, which represents an approximate forecast annual gross margin of \$22,500 (at a gross margin of \$45/DSE) or \$1,125/ha.</p> <p>The agricultural assessment implies that the scale of the livestock grazing use necessitates a person to live in a dwelling on the site.</p>

12.1.7 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
<p style="text-align: center;">21.3.1 Performance Criteria P4 (a)(ii)</p>	<p>The agricultural assessment states that the livestock enterprise is a sufficiently complex operation to necessitate a person to live in a dwelling on the site in order to manage the use. Aspects of the enterprise that require an onsite presence include:</p> <ul style="list-style-type: none"> • ensuring a high level of animal health and welfare standards; • supplementary feeding regimes; • pasture and grazing management and associated management of liveweight gain outcomes. <p>The agricultural assessment details that the complexity of the agricultural use is enhanced where sheep and cattle are grazed together alongside fodder crop production. It concludes that the dwelling will allow the owner of the farm to be present on site and respond at short notice to attend the various operational activities associated with the use in addition to aiding the security of the operation including farm infrastructure, equipment and animals.</p>
<p style="text-align: center;">21.3.1 Performance Criteria P4 (a)(iii)</p>	<p>The agricultural assessment details that the operational requirements of the use are such that would require the owner of the farm to live onsite in terms of being able to regularly and readily monitor and feed stock, manage fodder crops and pasture, rotate stock and for security purposes.</p>
<p style="text-align: center;">21.3.1 Performance Criteria P4 (a)(iv)</p>	<p>The agricultural assessment states that the scale, complexity and operational requirements of the livestock enterprise will be sufficient to necessitate a person to live in a dwelling on the site.</p>
<p style="text-align: center;">21.3.1 Performance Criteria P4 (a)(v)</p>	<p>The proposed dwelling will be located in a central position within the site. This location avoids the class 3 agricultural land, which is prime agricultural land, located in the northern region of the site and avoids the need to remove or displace existing farm fencing and road infrastructure. The agricultural assessment recognises that the location of the proposed dwelling will provide good line of sight to most of the farm to observe livestock and is in close proximity to the outbuilding which will enhance operational efficiency of the agricultural use.</p> <p>It is observed that the location of the proposed dwelling, in terms of being located within a central position within the site, is largely guided by clause</p>

12.1.7 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	21.4.2 A2(a) which requires buildings for sensitive use (in this case a dwelling) to be setback a minimum distance of 200m from all site boundaries. By default, this requirement places the dwelling as deep as practical within the site.
21.3.1 Performance Criteria P4 - Conclusion	<p>The information contained within the agricultural assessment is not disputed. Accordingly, it is contended that Performance Criteria P4(a) is satisfied.</p> <p>Notwithstanding, it is recommended that a condition be applied to the permit requiring the agricultural use, being the livestock enterprise, to be carried out in accordance with the agricultural assessment. To this extent, the recommended wording of such a condition is as follows:</p> <p><i>The livestock and fodder crop enterprise described within the Agricultural Assessment and Compliance Report prepared by Pinion Advisory, must be established and continually operated for the duration of the use of the dwelling. All necessary steps must be carried out to improve and maintain the quality of the land for pasture and fodder cropping to support a carrying capacity of 500 dry sheep equivalent (DSE) per year or an average of 25 DSE per hectare.</i></p>

12.1.7 Planner's Advice - Performance Criteria

Planning Scheme Provision	21.4.2 Setbacks
	Objective
	<i>That the siting of buildings minimises potential conflict with use on adjoining properties.</i>
	Performance Criteria P2 <i>Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to:</i> <ul style="list-style-type: none"> <i>(a) the size, shape and topography of the site;</i> <i>(b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties;</i> <i>(c) the location of existing buildings on the site;</i> <i>(d) the existing and potential use of adjoining properties;</i> <i>(e) any proposed attenuation measures; and</i> <i>(f) any buffers created by natural or other features.</i>

Summary of Planner's Advice

The development is assessed as satisfying Performance Criteria P2, and is consistent with the objective.


Details of the planner's assessment against the provision are set out below.

Scheme Provision	Planner's Assessment
21.4.2 Performance Criteria P2	<p>The proposed dwelling will be setback 202m from the northern boundary, 253m from the eastern boundary, 318m from the southern boundary and 172m from the western boundary. Accordingly, the proposed dwelling satisfies Acceptable Solution 21.4.2 A1(a) with respect to the northern, eastern and southern boundaries and invokes discretion against Performance Criteria 21.4.2 P1 with respect to the western boundary.</p> <p>The following assessment is therefore focussed on the siting of the proposed dwelling relative to the western boundary only. The assessment is informed by information contained within the agricultural assessment and observations from a site visit undertaken on Thursday 19 January 2023.</p>
21.4.2 Performance Criteria P2 (a)	<p>The site has an area of 26.69ha. It is an internal lot with a short access strip, relative to the depth of the lot, and a large predominately rectangular shaped body that has a depth of 537m and width of 505m. The size and shape of the main body of the lot enables the proposed dwelling to satisfy the 200m Acceptable Solution setback distance relative to the northern, eastern and southern boundaries. With respect to the western boundary, the undulating</p>


12.1.7 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	nature of the land and presence of established vegetation between the building area of the proposed dwelling and western boundary provide sufficient buffers to enable the reduced western boundary setback of 172m.
21.4.2 Performance Criteria P2 (b)	<p>The proposed dwelling will have a significantly greater (western) boundary setback than the prevailing setbacks of existing dwellings on adjoining properties.</p> <p>In this regard, the adjoining dwelling to the west (3907 Meander Valley Road) is setback 23m from the western boundary of the site and the adjoining dwelling to the north (3869 Meander Valley Road) is setback 68m from the northern boundary of the site. These setbacks are less than the 200m setback required by Acceptable Solution 21.4.2 A2 and less than the western boundary setback of the proposed dwelling which will be 172m.</p>
21.4.2 Performance Criteria P2 (c)	The site does not contain existing buildings.
21.4.2 Performance Criteria P2 (d)	<p>The adjoining land that is immediately adjacent to the western boundary of the site contains a dwelling and associated outbuildings and structures (refer to Figure 1 below). Land to the north and south of the dwelling is used for agriculture for varying activities and intensity. Currently the agricultural land to the north of the site is used for grazing and the agricultural land to the south of the dwelling is used for irrigated cropping (although the land immediately to the south of the dwelling is not used for high intensity agriculture due to the acute slope of the land which falls away from the curtilage of the dwelling).</p> <p>The location of the proposed dwelling will be compatible with the adjoining dwelling in terms of use and it is therefore not expected to conflict or interfere with the use of the adjoining dwelling. Furthermore, the proposed dwelling will be setback approximately 250m from the adjoining dwelling to the west.</p> <p>The proposed dwelling will be setback approximately 330m from the irrigated cropping land to the south of the dwelling. The setback distance, along with the established vegetation buffer and topography will ensure that the siting</p>

12.1.7 Planner's Advice - Performance Criteria

<p>Scheme Provision</p>	<p>Planner's Assessment</p>
	<p>of the proposed dwelling relative to this land will not conflict or interfere with the agricultural use.</p> <p>The existing vegetation and topographical buffer between the building area of the proposed dwelling and the western boundary of the site will ensure that the proposed dwelling will not confine or constrain the adjoining agricultural land to the west.</p>  <p><i>Figure 1: Aerial photo demonstrating the buildings on the land to the west of the subject site.</i></p>
<p>21.4.2 Performance Criteria P2 (e)</p>	<p>The agricultural assessment does not recommend any attenuation measures.</p>
<p>21.4.2 Performance Criteria P2 (f)</p>	<p>The buffers between the proposed dwelling and the western boundary and, by virtue, the adjoining agricultural land due west of the proposed dwelling, created by distance, topography and vegetation are sufficient to ensure that the proposed dwelling will not confine and constrain the existing agricultural use on the adjoining land.</p>

12.1.7 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
<p>21.4.3 Performance Criteria P2 Conclusion</p>	<p>Based on the assessment against the sub-clauses of Performance Criteria 21.4.3 P2, it is contended that the siting of the proposed dwelling, including the setback distance and presence of vegetation and topographic buffers between the proposed dwelling and western boundary, will minimise potential conflict with the existing residential and agricultural use on the adjoining property to the west.</p> <p>Notwithstanding, it is recommended that a condition be applied to the permit requiring the existing vegetation located between the proposed dwelling and western boundary to be maintained in a healthy state for the duration of the use of the dwelling. To this extent, the recommended wording of such a condition is as follows:</p> <p><i>The existing vegetation located in the area labelled 'vegetation buffer' shown on the map in Appendix A of this Permit is to be maintained in a healthy condition for the duration of the use of the dwelling (refer to Appendix A of this Permit). Any deceased plants must be replaced with the same or similar species and in the same or proximate location to provide a vegetative buffer between the dwelling and the adjoining property to the west.</i></p> <p>Appendix A:</p> 



APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="3885 Meander Valley Road"/>	Certificate of Title:	<input type="text" value="182165"/>
Suburb:	<input type="text" value="Exton"/> <input type="text" value="7304"/>	Lot No:	<input type="text" value="2"/>
Land area:	<input type="text" value="26.69ha"/> m ² / ha		
Present use of land/building:	<input type="text" value="vacant"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box Building work Change of use Subdivision Demolition
 Forestry Other

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m² New building height: m

Materials: External walls: Colour:

Roof cladding: Colour:

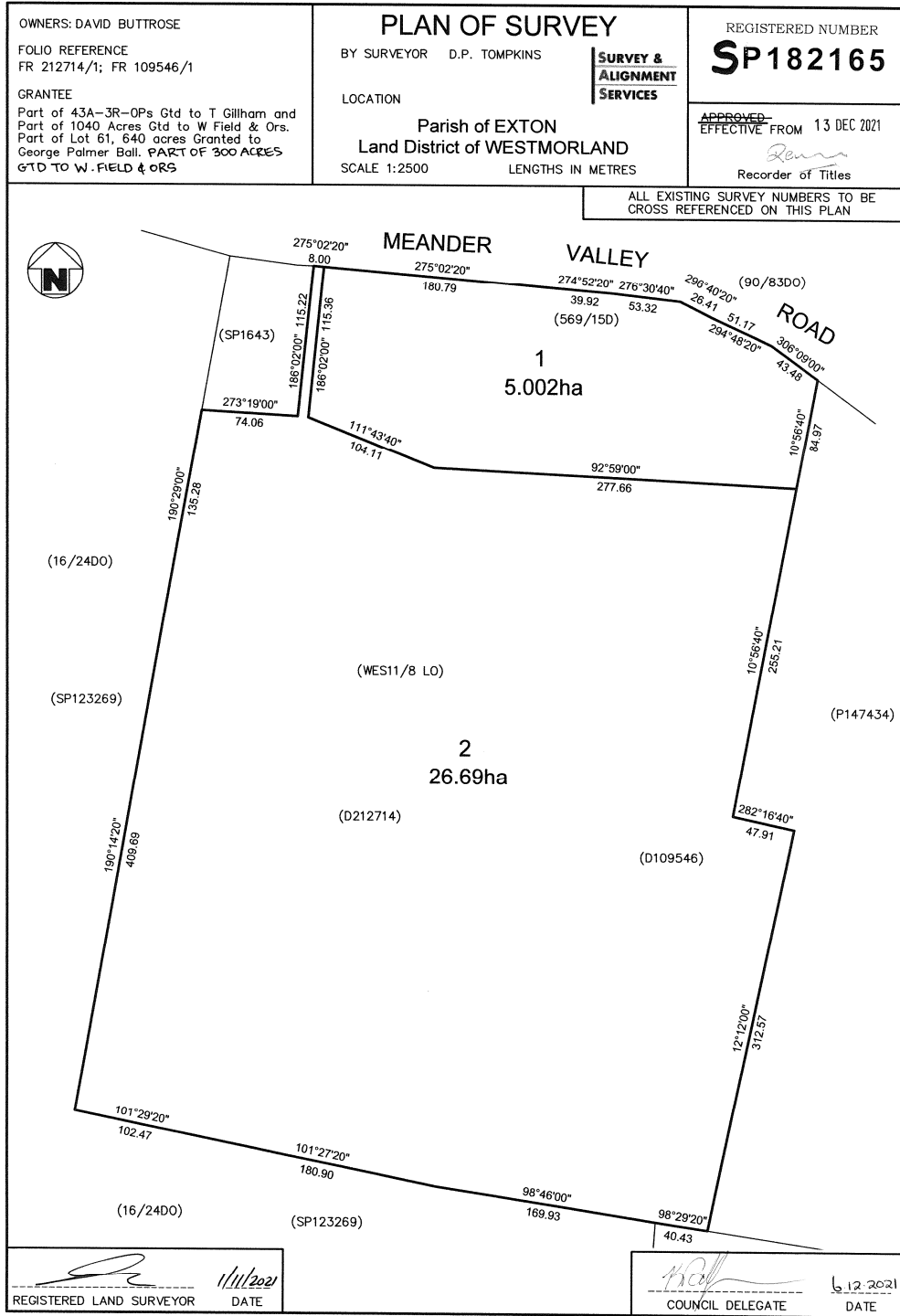
12.1.8 Application Documents



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



12.1.8 Application Documents



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 182 165

PAGE 1 OF 1 PAGE

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANTS

The Owner of each lot on the plan covenants with the Vendor, David Buttrose, that the Vendor shall not be required to fence any lot on the plan.

SIGNED by **DAVID BUTTROSE** the Registered Proprietor of the land comprised in Folios of the Register Volume 109546 Folio 1 and Volume 212714 Folio 1 in the presence of:

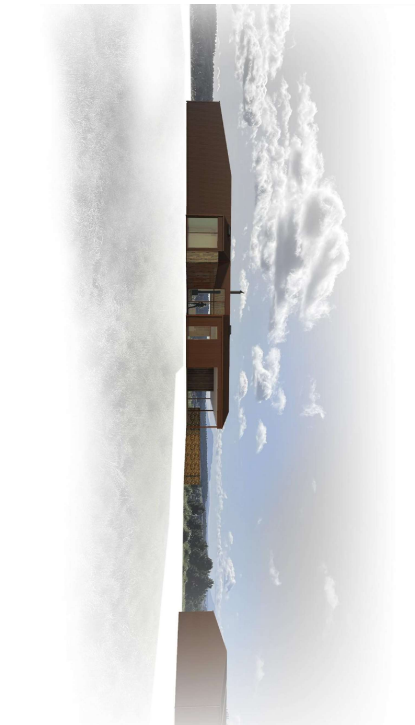
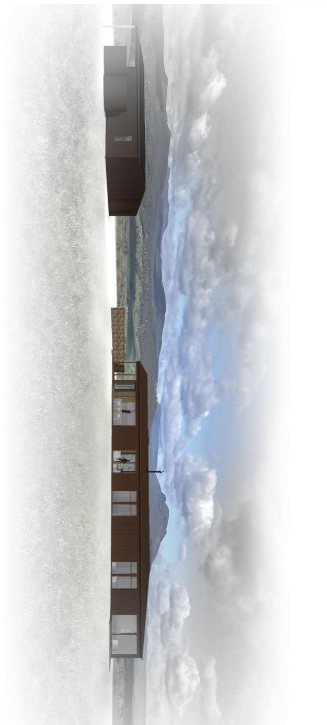
) David Buttrose
)

Witness:
 Witness full name: GEORGE ALBION
 Occupation: RETIRED
 Address: 90 ACBURY'S ROAD
 HUONVILLE TAS

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAVID BUTTROSE	PLAN SEALED BY: Meander Valley Council
FOLIO REF: VOLUMES 109546/1 & 212714/1	DATE: 6 December 2021
SOLICITOR & REFERENCE: Rae & Partners (M Kerrison) 214912	PA/21/0222
	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

o:\Docs\214912\2798576.docx



Project Information

Title Reference: Volume 1821151 F-16 2
 Design Wind Speed - TBC (AS 4055 - 2012)
 Soil Classification: TBC (AS2970 - 2011)
 Climate Zone: 7
 BAL Rating (dwelling): TBC
 Alpha Area: NA
 Concrete Environment: TBC
 Other Known Hazards: Bushfire Prone Areas
Tasmanian Planning Scheme - Meander Valley
 2.19 Agriculture Zone
Agricultural Assessment and Compliance Report
 Project Name: 28154 Project No. 7529
 Survey
 Site drawings incorporate detail survey data by D.J. McCulloch Surveying (revised 22/06/22).

Finishes Key

Exterior Finish (EF)
 EF1 - Profile metal sheeting - deep end (Cedarboard Marine Red)
 EF2 - Brick
 EF3 - Stone, variation: natural
 EF4 - Stone, variation: natural
 EF5 - Terrazzo
 EF6 - Colour match EF1

Area Analysis

Site Coverage DWELLING: 240m²
 Site Coverage OUTBUILDING: 240m²
 Site Coverage TOTAL: 480m²
 Site Coverage as %: 0.18%
 Gross Floor Area DWELLING: 188m²
 Gross Floor Area OUTBUILDING: 188m²
 (Site Coverage: area covered by roofered buildings)
 (Gross Floor Area: total floor area measured from the outside of the external walls)

- DA.01 Cover Sheet
- DA.02 Plan Site Location
- DA.03 Plan Site
- DA.04 Plan
- DA.05 Elevations

No.	Revisions Description	DATE	REV

ALL INFORMATION IN THESE PLANS IS UNCLASSIFIED. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

PHILIP M. DINGEMANSE ARCHITECTURE + DESIGN

PHILIP DINGEMANSE
 ARCHITECT REGISTRATION NO. 36115
 BUILDING PROFESSIONAL REGULATIONS NO. CC0014
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PHILIP M. DINGEMANSE ARCHITECTURE + DESIGN

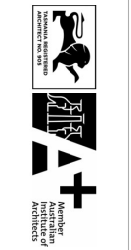
OWNER Evelyn, Hannah	DRAWING Cover Sheet	DATE 18/02/2023
PROJECT Dwelling, Outbuilding 7529 Valley Road East 7529 TAS 7524 AUS	DRAWING CODE Dwelling Application 21/222	CHECKED TVA
		DATE 18/02/2023
		SCALE As Shown

DA.01
COVER SHEET
REVISION

12.1.8 Application Documents

Document Set ID: 180269
 Version: 1, Version Date: 08/03/2023

No.	Revisions Description	DATE	REV



Phillip Dingenanse
 Architect
 Address: Phillip Dingenanse Architects Pty Ltd
 Building: Phillip Dingenanse Architects Pty Ltd
 mobile: 0428 899 726
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CLIENT: Eborak, Ithihara
 PROJECT: Dwelling, Outbuilding, 75/55 Meander Valley Road Eborak

PHASE: Plan Site Location
 DRAWING: Development Application
 DATE: 27/02/23

DATE: 27/02/23
 DRAWN: [Name]
 CHECKED: [Name]
 SCALE: 1:5000
 PROJECT: [Name]

1 Plan Site Location
 1:5000

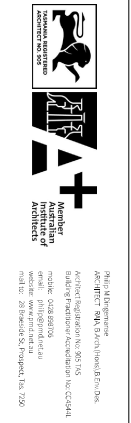


12.1.8 Application Documents

Document Set ID: 180269
Version: 1, Version Date: 08/02/2023

No.	Revisions Description	DATE	REV

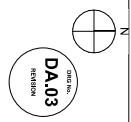
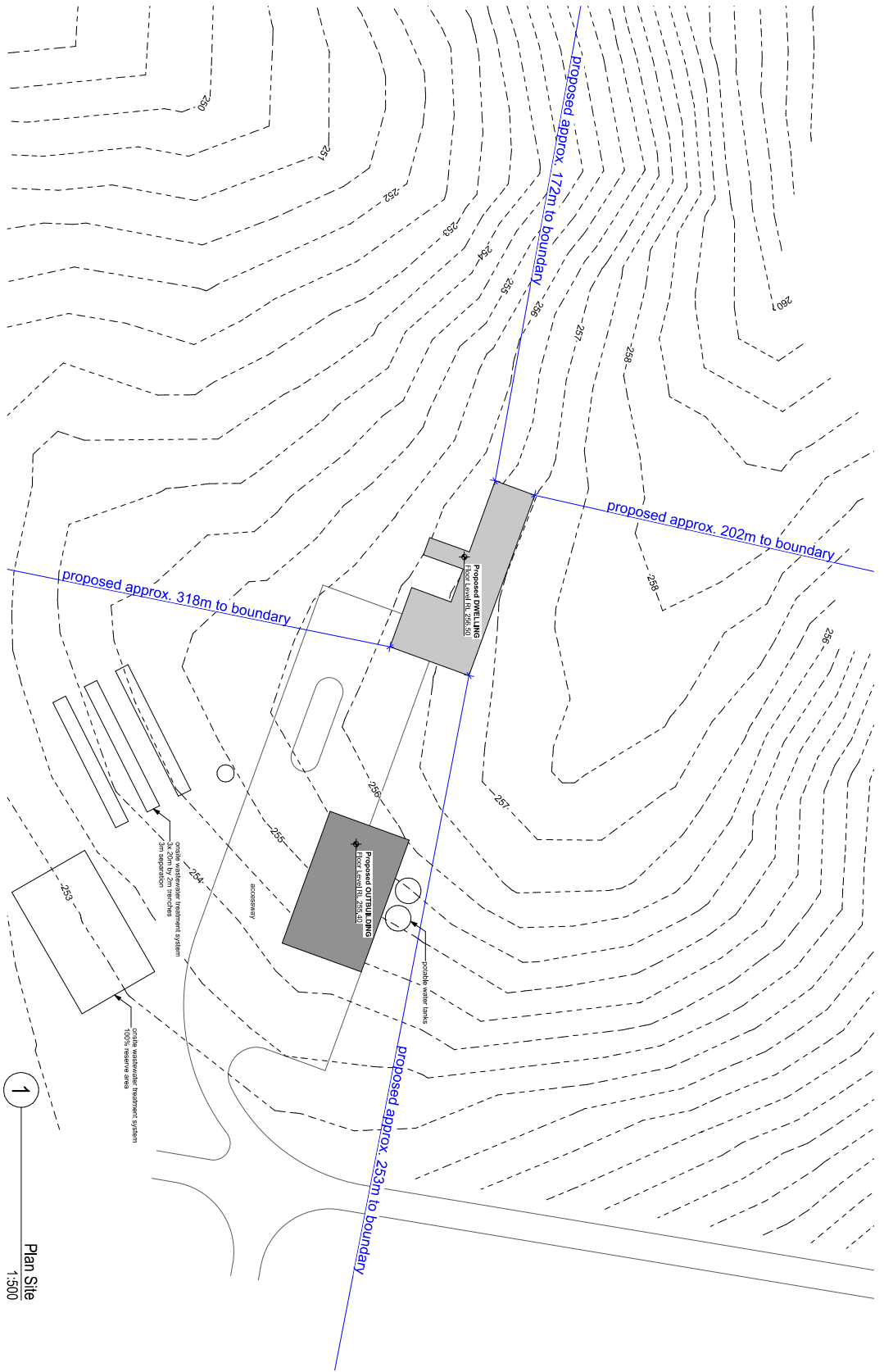
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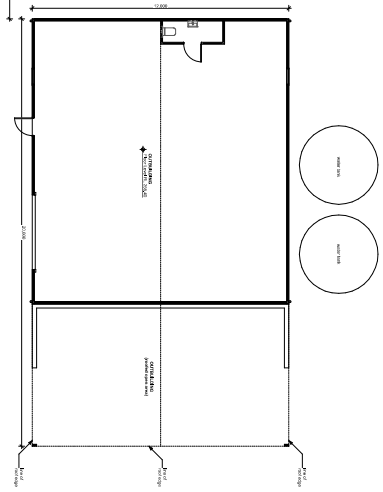
PHILIP M DINGEMANSE ARCHITECTURE-DESIGN
28 BROADWAY PROJECT 150, 7520
7520 BROADWAY PROJECT 150, 7520
www.phdm.com.au

DATE	BY	DESCRIPTION

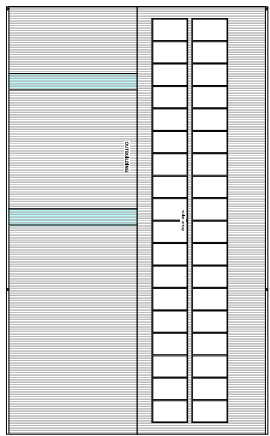
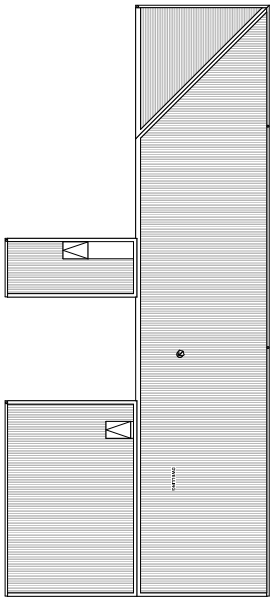
1
Plan Site
1:500

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1
Plan
1:200



2
Plan Roof
1:200

No.	REVISION DESCRIPTION	DATE	REV

ALL MEASUREMENTS IN MILLIMETRES.
 CONSTRUCTION OF THIS PLAN IS SUBJECT TO THE PROVISIONS OF THE BUILDING REGULATIONS 2011 AND THE BUILDING REGULATIONS 2012. THE CLIENT ACCEPTS THAT THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE MEASUREMENTS SHOWN ON THIS PLAN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO HIM OR HER BY THE CLIENT.

PHILIP N DINGEMANSE
 ARCHITECTURE + DESIGN

PHILIP DINGEMANSE
 ARCHITECTURE + DESIGN
 ARCHITECT NO. 531

PHILIP DINGEMANSE
 ARCHITECTURE + DESIGN
 ARCHITECT NO. 531

PHILIP DINGEMANSE
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 ARCHITECT NO. 531

PHILIP N DINGEMANSE
 ARCHITECTURE + DESIGN

PHILIP DINGEMANSE
 ARCHITECTURE + DESIGN
 ARCHITECT NO. 531

CLIENT	OWNER	PROJECT	DATE
Eberle, Barbara	Dwelling, Outbuilding	201202	01/02/2022
Dwelling, Outbuilding	Dwelling, Outbuilding	201202	01/02/2022
7457 7504 AHS	7457 7504 AHS	201202	01/02/2022

DATE: 01/02/2022
 DRAWN: PHILIP DINGEMANSE
 CHECKED: PHILIP DINGEMANSE
 SCALE: 1:200

DA04
 REVISION

0 1 2 3 4 5

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2 South Elevation 1:200

3 East Elevation 1:200

4 West Elevation 1:200

5 East Elevation (OUTBUILDING) 1:200

6 West Elevation (OUTBUILDING) 1:200

PHILLIP DINGEMANSE ARCHITECTURE + DESIGN
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NO.	REVISION DESCRIPTION	DATE	REV.

DA05
 DRAFT APPLICATION FOR DA
 RESUBMISSION



MATTHEW EBERLE AND KUNIKO ISHIHARA
**Agricultural assessment and
compliance report**

3885 Meander Valley, Exton TAS 7303

SEPTEMBER 2022



12.1.8 Application Documents



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Report author: Faruq Isu MAppSc (AgrSc), BEnvSc

An appropriate citation for this report is: Pinion Advisory, 2022, Agricultural assessment and planning scheme compliance report – 3885 Meander Valley Road, Matthew Eberle and Kuniko Ishihara, Launceston, TAS

Document status: Version 1.0

Date	Status /Issue number	Reviewed by	Authorised by	Transmission method
05/09/2022	Draft	JL	FI	Email
30/09/2022	Draft QA	SJ	FI	Email
04/10/2022	Version 1.0	FI	FI	Email

Cover image: Taken by Faruq Isu at 3885 Meander Valley Road, Exton on 13/09/2022.

This report has been prepared in accordance with the scope of services described in the contract or agreement between Pinion Advisory and the Client. Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Pinion Advisory accepts no responsibility for its use by other parties.

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

Executive summary

This agricultural assessment report has been prepared on behalf of the proponents, Matthew Eberle and Kuniko Ishihara, and covers various aspects of the proposed development at 3885 Meander Valley Road, Exton TAS 7303.

The property in question covers approximately 26.71ha and consists of class 3e (1approx. 10% or 2.75ha), prime agricultural land; class 4e (1approx. 71% or 18.83ha) and class 5+4 (approx. 19% or 5.13ha) land which is not prime agricultural land.

The class 3e land is suitable for cropping and intensive grazing. The class 4e land is suitable for restricted cropping and well suited for grazing with slight limitations. About 40% of the class 5+4es land is suitable for restricted cropping and suitable for grazing with slight limitations, while 60% of this land area is unsuitable for cropping but suitable for grazing with moderate limitations.

The proposed development would consist of establishing a livestock enterprise and building a residential dwelling and farm sheds.

The proposed residential dwelling development would utilise less than 1% of the total property area and have no significant effect on the grazing or productive capacity of the land and would be integral to the effective operation and management of the proposed agricultural land use on the property.

This report supports the proposed dwelling as it does not diminish the productive capacity of the land and will not negatively affect agricultural land use on the property itself or neighbouring land. The development will allow the property to be farmed to its full potential resulting in increased productivity and agricultural land use efficiency. Therefore, the proposed development will not confine, constrain or interfere with any current or future agricultural or primary industry land use activities on adjoining properties.

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

1 Purpose

This report has been undertaken on behalf of Matthew Eberle and Kuniko Ishihara (the proponents) to support an application for a dwelling and sheds at 3885 Meander Valley Road, Exton TAS 7303.

The document provides an agricultural assessment of the property in question and reports on how the proposal complies with provisions of the Tasmanian Planning Scheme – Meander Valley. This report reviews the current agricultural usage of the property and the surrounding area in relation to the Land Capability and Land Classification. This includes soils, aspect, topography, water resource, economic feasibility, and impact of the proposed development in relation to agricultural activities.

1.1 General overview

1.1.1 Land Capability

The currently recognised reference for identifying land capability is based on the class definitions and methodology described in the Land Classification Handbook, Second Edition, C.J Grose, 1999, Department of Primary Industries, Water and Environment, Tasmania.

Most agricultural land in Tasmania has been classified by the Department of Primary Industries and Water at a scale of 1:100,000, according to its ability to withstand degradation. A scale of 1 to 7 has been developed with class 1 being the most productive for agriculture and resilient to degradation and class 7 the least suitable to agriculture. Class 1, 2 and 3 is collectively termed “prime agricultural land”. For planning purposes, a scale of 1:100,000 is often unsuitable and a re-assessment is required at a scale of 1:25,000 or 1:10,000. Factors influencing capability include elevation, slope, climate, soil type, rooting depth, salinity, rockiness and susceptibility to wind, water erosion and flooding.

1.1.2 Report Author(s)

Faruq Shahriar Isu, holds a Master of Applied Science (Agricultural Science) and a Bachelor of Environmental Science degree with over two years’ experience in agribusiness and agricultural research in Tasmania. Faruq is trained to carry out land capability and suitability assessments. He has previously used these skills to select trial sites for agricultural research and more recently to undertake agricultural assessments in northern Tasmania.

1.1.3 Tasmanian Planning Scheme – Meander Valley

The Tasmanian Planning Scheme – Meander Valley establishes the requirements for use and development of land in the Meander Valley municipality in accordance with the *Land Use and Approvals Act 1993*.

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

2 Property details

2.1 Location

The property at 3885 Meander Valley Road, Exton TAS 7303 is owned Matthew Eberle and Kuniko Ishihara (Figure 1).

Table 1 Property location identification details

Address	Property ID	Title Reference	Hectares (Approx.)
3885 Meander Valley Road, Exton TAS 7303	7030720	182165/2	26.71ha

The property is located in Exton, south of the Meander River and Bass Highway.

The topography is predominantly undulating plains on low hills with open slopes up to 40% and depressions. There is an unnamed minor tributary on the southwestern part of the property (Figure 2).

The property has frontage to, and access from, Meander Valley Road via an access strip. There is no residential dwelling currently on the property.

The vegetation present on the property is predominantly improved pastures. *Eucalyptus viminalis* grassy forest on woodland recorded on low hill near eastern boundary but is degraded and mostly covered in hawthorn.

The property is held as private freehold land and immediately surrounded by the same (Figure 3).

The property is zoned Agriculture under the Tasmanian Planning Scheme and immediately surrounded by the same (Figure 4).

The property is in the Greater Meander Valley irrigation district but has no access to any Tasmanian Irrigation scheme pipeline infrastructure.

There are no Threatened Native Vegetation Communities (TNVC 2020) at the property.

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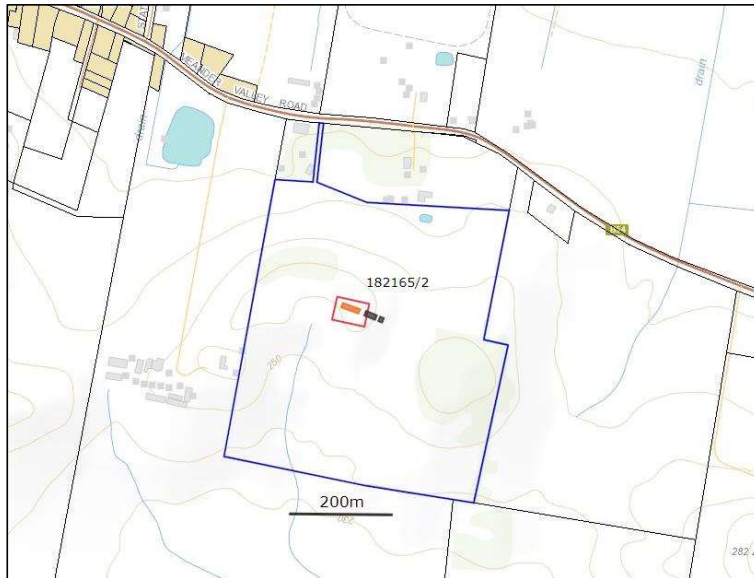


Figure 1. Location of the property, outlined in blue. Red outline indicates approximate boundary within which dwelling would be located. Orange fill denotes proposed dwelling location and grey fills denotes sheds (Source: The LISTMap).

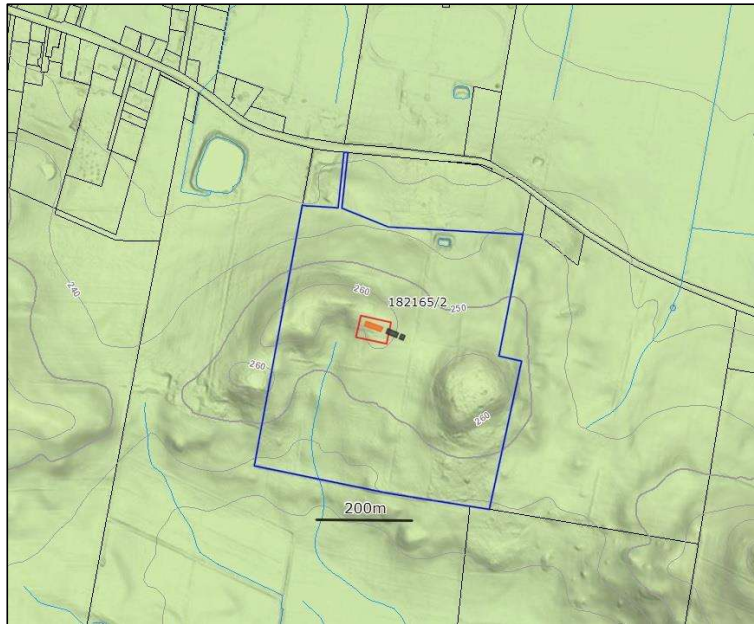


Figure 2. Topographic map of the property (Source: The LISTMap).

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Figure 3. Land tenure of the property is private freehold (yellow) and immediately surrounded by the same. Grey area is casement (roads) (Source: The LISTMap).

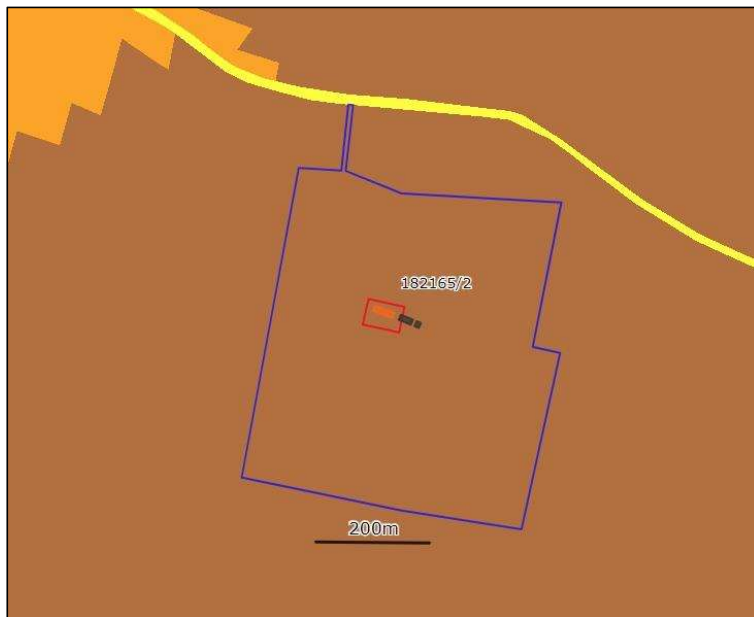


Figure 4. Property is zoned Agriculture (brown) under the Tasmanian Planning Scheme – Meander Valley and immediately surrounded by the same. Yellow area denotes utilities and orange area is village zone (Source: The LISTMap).

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

3 Land capability

Land capability of the property was assessed according to the Tasmanian Land Capability Classification System (Grose, 1999). Land is ranked according to its ability to sustain a range of agricultural activities without degradation of the land resource. Class 1 land is considered to be prime agricultural land and class 7 land is unsuitable for agriculture due to severe limitations. A wide range of limitations are considered, and the most significant limitation determines its final classification. Limitations in relation to soils include stoniness, topsoil depth, drainage and erosion hazard. Limitations to topography include slope and associated erosion hazard.

3.1 Site visit

Desktop research was conducted prior to a site visit to review available data associated with geology, topography, presence of threatened native vegetation, land capability and soil information and climate data of the subject site and surrounding area.

A site visit was conducted on 13 September 2022 by Pinion Advisory consultant Faruq Isu, to ground-truth the available information. The site assessment included inspection of the soil profile (spade depth), confirmation of mapped land capability, review of topography, visual inspection of vegetation, review of land use on the subject site and neighbouring properties, proposed setbacks and potential impacts of the proposed development on agriculture.

3.2 Land capability assessment

This property consists of class 3e (approx. 10% or 2.75ha), prime agricultural land; class 4e (approx. 71% or 18.83ha) and class 5+4 (approx. 19% or 5.13ha) land which are not prime agricultural land (Figure 5).

The class 3e land is suitable for cropping and intensive grazing. The class 4e land is suitable for restricted cropping and well suited for grazing with slight limitations with the areas of depression along watercourse being susceptible to waterlogging. About 40% of the class 5+4es land is suitable for restricted cropping and suitable for grazing with slight limitations, while 60% of this land area is unsuitable for cropping but suitable for grazing with moderate limitations.

The primary limitation of all land classes is erosion, based on topography, landform and soil type. However, there are varying degrees of stoniness present in the soil profile across the property.

Table 2. Land class definitions relevant to the site.

Class	Definition
3	Land suitable for cropping and intensive grazing. Moderate levels of limitation restrict the choice of crops or reduce productivity in relation to Class 1 or Class 2 land. Soil conservation practices and sound management are needed to overcome the moderate limitations to cropping use. Land is moderately productive, requiring a higher level of inputs than Classes 1 and 2. Limitations either restrict the range of crops that can be grown or the risk of damage to the soil resource is such that cropping should be confined to three to five years out of ten in a rotation with pasture.

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3885 Meander Valley Road, Exton | Agricultural assessment and compliance report

4	Land well suited to grazing but which is limited to occasional cropping or to a very restricted range of crops. The length of cropping phase and/or range of crops are constrained by severe limitations of erosion, wetness, soils, or climate. Major conservation treatments and/or careful management are required to minimize degradation. Cropping rotations should be restricted to one to two years out of ten in a rotation with pasture or equivalent to avoid damage to the soil resource. In some areas longer cropping phases may be possible but the versatility of the land is very limited.
5+4	At least 60% land unsuited to cropping and with slight to moderate limitations to pastoral use. Up to 40% land well suited to grazing or limited to occasional cropping on a very restricted range of crops.

The key land capability limitations associated with this property are:

Primary:

- Erosion (e): caused by surface water run-off if soils are left bare or exposed.



Figure 5. Land capability map of the property (Source: The LISTMap).

Table 3 Land capability assessment over titles.

Land Capability Class (ha)	Land Characteristics							
	Geology & Soils	Slope (%)	Topography & Elevation	Erosion Type & Severity	Soil Qualities	Agricultural Versatility	Main Land Management Requirements	Climatic Limitations ¹
3e (Approx. 2,75ha)	Ferrosol, as per the Deloraine soil profile association. Friable, clay dark reddish brown to reddish brown, clay loam gradational soil developed on tertiary basalt. Some coarse fragments and few stones in profile.	0-10%	Undulating plains on low hills 230-240m above sea level.	Moderate sheet erosion.	Well drained and slowly permeable soil.	Suitable for cropping and intensive grazing with slight limitations.	Avoid situations that lead to the exposure of bare soil, therefore maintain sufficient ground cover. The risk of compaction in winter from machinery and stock increases significantly during periods of water saturation and logging.	Minor climatic limitations. This region experiences cold winter and warm summer conditions. Receives an average of 846mm annual rainfall, can experience 25 frost days annually 980 GDD (October – April) and 1145 chill hours (May – August).

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Land Capability Class (ha)	Land Characteristics							
	Geology & Soils	Slope (%)	Topography & Elevation	Erosion Type & Severity	Soil Qualities	Agricultural Versatility	Main Land Management Requirements	Climatic Limitations ¹
4e (Approx. 18,83ha)	Ferrosol, as per the Deloraine soil profile association. Friable, reddish brown, clay loam gradational soil developed on tertiary basalt. Some stones in profile.	10-20%	Undulating plains on low hills and open slopes 230-250m above sea level.	Moderate sheet erosion and low gully erosion. Moderate waterlogging risk on depressions and along water courses.	Moderately well drained to well drained and slowly permeable soil.	Suitable for restricted cropping. Suitable for pastoral use with slight limitations.	Avoid situations that lead to the exposure of bare soil, therefore maintain sufficient ground cover. The risk of compaction in winter from machinery and stock increases significantly during periods of water saturation and logging.	Minor climatic limitations. This region experiences cold winter and warm summer conditions. Receives an average of 846mm annual rainfall, can experience 25 frost days annually 980 GDD (October – April) and 1145 chill hours (May – August).

12.1.8 Application Documents

Land Capability Class (ha)	Land Characteristics							
	Geology & Soils	Slope (%)	Topography & Elevation	Erosion Type & Severity	Soil Qualities	Agricultural Versatility	Main Land Management Requirements	Climatic Limitations ¹
5+4 (Approx. 9,96ha)	Ferrosol, as per the Deloraine soil profile association. Friable, reddish brown, clay loam gradational soil developed on tertiary basalt. Frequent stones in profile.	20-40%	Low hill and open slopes. 240+260m above sea level.	Moderate to high sheet erosion and low slumping.	Well drained and slowly permeable.	Unsuitable for cropping but some areas on gentler slopes maybe cropped with careful management. Suitable for pastoral use with slight to moderate limitations.	Avoid situations that lead to the exposure of bare soil, therefore maintain sufficient ground cover. The risk of compaction in winter from machinery and stock increases significantly during periods of water saturation and logging.	Minor climatic limitations. This region experiences cold winter and warm summer conditions. Receives an average of 846mm annual rainfall, can experience 25 frost days annually 980 GDD (October – April) and 1145 chill hours (May – August).

¹ Source: The LIST

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Image 1. Ferrosol soil profile. General soil profile of the property, reddish brown clay loam developed on tertiary basalt (taken 13/09/22).



Image 2. Varying sizes and abundance of stone in soil profile (taken 13/09/22).

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Image 3. Stock water hole on class 3 land of the property (taken 13/03/22).



Image 4. Northerly view from proposed house site, on class 4 land of the property of the property (taken 13/09/22).

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Image 5. Easterly view from proposed dwelling location, class 5+4 land in the background under Hawthorn cover (taken 13/09/22).



Image 6. Westerly view from proposed dwelling location showing topographic and vegetative buffer (taken 13/09/22).

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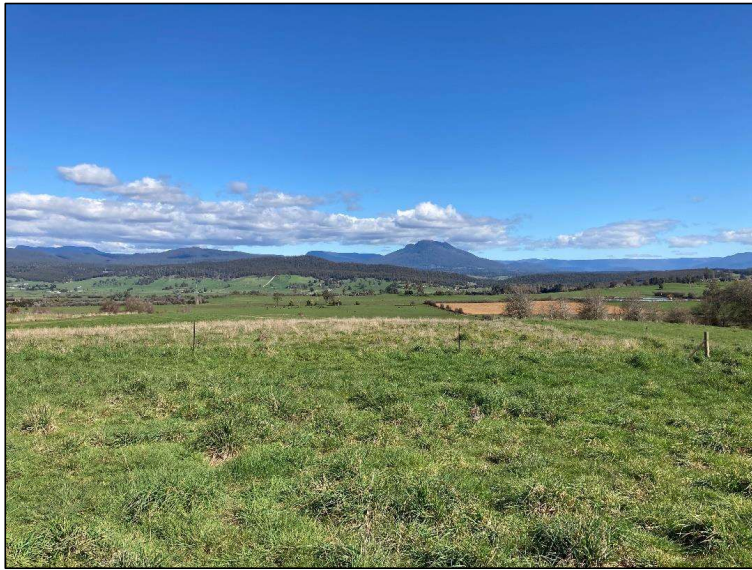


Image 7. Southerly view from proposed dwelling location (taken 13/09/22).



Image 8. Existing access connecting property to Meander Valley Road (taken 13/09/22).

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4 Proposed development

4.1 Dwelling and sheds

The proposal is to build a dwelling on the property for the proponents to live in. A livestock enterprise which would include sheep and cattle grazing, as well as the production of fodder crops (hay, lucerne and silage) is to be developed.

The location of the proposed dwelling is shown in Figure 6. The proposed location is atop a small hill to provide good line of sight of the grazing areas while also allowing for good topographic buffers from neighbouring land which is further aided by vegetation and ample setback distances. The dwelling will be accessed from Meander Valley Road utilising existing farm laneways and access strip that connects the property to the road. The proposed dwelling would utilise less than 1% (or 0.035ha) of the total property area and located on class 4 land. Thus, the proposed dwelling will have no significant effect on the grazing or productive capacity of the land. The tentative location of proposed dwelling and sheds is given in appendix B. However, it is noted that the final location dwelling and sheds is subject to survey and to be confirmed based on council inputs.

The proposed land use would be consistent with the agricultural zone and the dwelling will support the agricultural land use at the property. Therefore, proposed dwelling will not have any adverse impact on the agricultural land use of the property and would be integral and subservient to the livestock enterprise at the property.

It is noted that the proposed sheds are exempt from planning requirements (as confirmed by Meander Valley Council through an email sent by Mr. Matthew Abell to proponent on 17 August 2022 at 04:39pm) and hence will not be addressed in this report.



Figure 6. Approximate position of the proposed development. Red outline indicates approximate boundary within which dwelling would be located. Orange fill denotes proposed dwelling location (subject to survey) and grey fill denotes sheds (Source: The LISTMap).

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4.1.1.1 Livestock management

Livestock management requires regular supervision to ensure the animals' needs are met and any issues can be detected and treated promptly. This is particularly the case during lambing/calving, when livestock needs to be checked every four hours day and night, and more frequently when there are animal health issues or during wet and cold weather conditions that increase stress on livestock. Management of a livestock enterprise requires the operators to be present on the property and available day and night for the purpose of:

- Animal husbandry activities – including feeding, health treatments and general care.
- Monitoring sheep/cattle from late pregnancy and throughout the lambing/calving and lactation period to ensure all animal health and welfare outcomes are realised.
- Grazing management – to ensure livestock are allocated sufficient pasture to meet nutritional requirements, avoid over grazing and minimise the use of waterlogged paddocks to decrease pasture damage through soil pugging.
- Feeding of fodder – to ensure feed can be allocated in a timely manner to supplement the animals' diet and guarantee growth and reproductive outcomes are achieved.
- Regular monitoring and general observation – animal health, welfare and security outcomes are a priority.
- Property development activities – to ensure timely execution of the planned development activities such as irrigation infrastructure, laneways, sowing pastures, and infrastructure such as improvements to stockyards, shearing shed and stock water system.
- Monitoring and maintenance of equipment – to ensure there are personnel on hand to detect and fix breakdowns of essential equipment such as water troughs and fencing.
- Provision of essential services – including visits by sales representative, veterinarians, agronomists, mechanics and consultants, as farmers often receive regular external advice from specialists that will require access to the property for assessment of machinery, pastures, livestock, etc.
- Security – farms can be a prime target for theft of specialised machinery, vehicles, fencing materials, fuel, livestock and equipment. Living on farm is an ideal deterrent.

Therefore, the proposed dwelling would be integral and subservient to the livestock enterprise (and subsequently the fodder enterprise) at 3885 Meander Valley Road.

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4.2 Setback distances

The approximate setback distances of the proposed dwelling envelop (Appendix A), within which the dwelling would be located, from the title boundaries are shown in Figure 7. The shortest distance is approximately 160m to the western boundary (subject to survey).

The setback of the proposed dwelling from surrounding agricultural land on adjoining land would be also aided by topography and vegetation. Setbacks to the eastern and western boundary are 230m and 300m, respectively and being in an agriculture zone, the land use is similar to that proposed for the property.

Although a sensitive use, the dwelling is integral and subservient to the proposed agricultural land use on the property. Since the purpose of the dwelling is housing for those attending to the animals at the property, there will be no fettering issues arising from regular farm activities conducted in close proximity to the dwelling.

Therefore, the setbacks along with the topographic and vegetative buffers, reduces the risk of the agricultural land use conflicting with the residential dwelling and vice versa.



Figure 7. Setback distances (yellow lines) of proposed dwelling envelop (red outline) from title boundaries (blue lines). Setbacks greater than 200m have not been shown (Source: The LISTMap).

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5 Land use activity

5.1 Current agricultural activities conducted

The proponent's acquired the property in April 2022. There are currently no agricultural activities on the property but the proponents plan to move 30-60 head of sheep to the property before lambing in December. The proposed land use after development would be split between grazing (sheep and cattle) and fodder crops (hay, lucerne and silage), following significant investment in pasture renovation, improvements to access and fencing, acquisition of farm machineries and sheds.

5.1.1 Adjacent land use activity

Dryland grazing is conducted to the north, east and west, which is consistent with proposed land use. Irrigated cropping is conducted to the south.

5.2 Potential agricultural land use activity

5.2.1 Pastoral use

The property is suitable for pastoral use with minimal limitations on class 3 land, slight limitations on class 4 and with slight to moderate limitations on class 5+4 land. Based on the property's size (excluding proposed dwelling, farm laneways, stock water dam and area under established trees), land capability, topography and in conjunction with growing season duration and rainfall and assuming the whole farm is used for pasture (with pasture renovation activities undertaken to improve the quality of the pasture), it would be reasonable to consider that it can support a potential carrying capacity of 500 DSE/year or an average of 25 DSE/ha.

Thus, it is reasonable to consider that the property has the potential to support 120 breeding ewes (producing 170 lambs, 150 as prime lambs and 20 as replacement ewe lambs) or 30 breeding cows, which represents an approximate forecast annual gross margin of \$22,500 (at a gross margin of \$45/DSE) or \$1,125/ha.

Please note that depending upon the seasonal conditions the exact number of livestock run on the property (sheep or cattle) may vary.

5.2.2 Cropping use

The class 3 land on the property is suitable for cropping and class 4 land for restricted cropping and can be used for mixed farming, including various vegetables and broadacre crops, supported by irrigation. The proponent plans to harvest fodder off the property to meet livestock feed requirements. Variation from current practice would require significant capital investment for infrastructure development (i.e., irrigation) and gross margins would depend on the choice of crop.

The property lacks irrigation water resources, and therefore, any cropping which can and could be undertaken would be limited to dryland farming (e.g. cereals) and therefore, comes with a significant level of risk and a lower expectation of grain yields and associated gross margin income. Higher value crops, such as poppies, peas, potatoes cannot be grown without a guaranteed supply of irrigation water.

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5.2.3 Perennial horticulture use

Although the topography, soil type and climate are suitable to horticultural crops, commercial horticultural enterprise on this property (including berries and viticulture) would require significant capital investment in infrastructure. The property lacks irrigation water resources and therefore, perennial horticulture is not a realistic option for this property. It would also reduce the land area of the core livestock enterprise that would operate on the property. Any diversification of enterprises will dilute the resources on the farm adversely affecting the existing enterprises.

5.3 Impact on agricultural activities and residential amenity of neighbouring land

The proposed dwelling would be integral and subservient to the agricultural land use on the property. It has a minimum setback of approximately 160m (Figure 7), that is aided by topography and vegetation. The nearest residence on neighbouring land is approximately 220m to the southwest, separated by existing shelter belt. Therefore, the proposal will have no impact on the land use activities of the agriculture zoned area.

After inspecting the site (26 August 2022), it has been concluded that the proposed buffer distances, along with topographic and vegetative buffers, are sufficient to prevent unreasonable impact of agricultural land use on residential amenity and vice versa in the greater area.

5.4 Impact of agricultural activity on neighbouring land to the proposed development

The proposed dwelling utilises approximately 1% of the total property area at 3885 Meander Valley Road and is sufficiently setback from title boundaries.

Normal agricultural activities are not expected to have any unreasonable impact on the proposed development and vice versa in the future. An assessment of the key risks is summarised in Table 4. This has been compiled on the basis that the neighbouring farm activities are likely to include cropping and livestock grazing.

Table 4 Potential risk from agricultural land use activities on neighbouring land

Potential risk from neighbouring agricultural land use activity	Extent of risk & possible mitigation strategy
1. Spray drift and dust	Risk = Medium. Existing buffer distances and topography will mitigate the impact of sprays and dust if applied under normal recommended conditions. Ground or spot spraying is a practical and mostly used alternative on the adjacent agricultural land used for pastoral land use activities. Spraying events should be communicated in a timely manner to the inhabitants of the dwelling. The use and application of agricultural sprays must abide by the Tasmanian Code of practice for ground spraying 2014.

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2. Noise from machinery, livestock and dogs.	Risk = low. Some occasional machinery traffic will occur when working and undertaking general farming duties on adjacent land.
3. Irrigation water over boundary	Risk = low. Existing buffers and setback will mitigate the issue.
4. Stock escaping and causing damage.	Risk = low. Provided that boundary fences are maintained in sound condition and livestock are checked regularly.
5. Electric fences	Risk = low. Mitigated by the proponent attaching appropriate warning signs on boundary fencing.

5.5 Impact of proposed development on agricultural activity of neighbouring land

The proposed dwelling, in consideration with the buffer zones, physical barriers and agricultural land use, have all been assessed as low risk impact to agricultural activity on neighbouring land. These potential impacts are usually manifested as complaints that could be made by residents of nearby dwellings. Other risks to neighbouring agricultural activity are outlined Table 5. Some of these risks rely on an element of criminal intent and it could well be argued that this is very much lower with inhabitants of the dwelling than with other members of the public.

Table 5 Potential risk from proposed development on neighbouring agricultural land use and activity

Potential risk to neighbouring agricultural land use activity	Extent of risk & possible mitigation strategy
1. Trespass	Risk = low. Mitigation measures include installation and maintenance of sound boundary fencing, lockable gates and appropriate signage to warn inhabitants and visitors about entry onto private land; report unauthorised entry to police.
2. Theft	Risk = low. Ensure there is good quality boundary fencing on neighbouring properties and appropriate signage to deter inadvertent entry to property; limit vehicle movements, report thefts to police.
3. Damage to property	Risk = low. As for theft.
4. Weed infestation	Risk = low. Risks are expected to be negligible, with the proponents committed to the productivity and sustainability of their property and weed control is a key activity. Biosecurity practices are followed with dirt covered vehicles washed down before visiting the property and vehicles staying on established gravel roads.
5. Fire outbreak	Risk = low. Fire risk can be mitigated by careful operation of outside barbeques and disposal of

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	rubbish. A bushfire management plan may be required for the proposed development.
6. Dog menace to neighbouring livestock	Risk = low. Mitigated by ensuring that good communication is maintained between the proponent and residents of the neighbouring properties. Dogs would be managed as per the guidelines determined by the council.

5.6 Impact of proposed development on amenity of dwellings on nearby land

Six residential dwellings have been identified within 500m of the proposed dwelling at 3885 Meander Valley Road (Figure 8).

There are no dwellings within 200m of the proposed development (Figure 9). The nearest neighbouring amenity from the proposed dwelling is approximately 220m to the southwest and aided by topographic and vegetative buffers.

Therefore, there would be no adverse impact on the amenity of nearby lands and vice versa.



Figure 8. Neighbouring dwellings in (blue pin) within 500m (light blue circle) of proposed dwelling area (red outline) at the property (Source: The LISTMap).

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Figure 9. No neighbouring dwellings (blue pins) within 200m (yellow circle) of proposed development area (red outline) (Source: The LISTMap).

5.7 Water storage and resources

The property (title 101977/2) is serviced by TasWater for water but not for sewage (The LIST).

There is a small stock water dam near the northern boundary of the property.

The property is in the Greater Meander Valley irrigation district which is fully allocated. Nearest irrigation pipeline (scheme ID GM4) is approximately 3.2km to the southwest.

No waterways are present on the property which offers an available riparian right.

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6 Planning compliance report – 21.0 Agriculture Zone

6.1 Clause 21.1 Zone purpose

Zone purpose statements:	Response:
<p>The purpose of the Agriculture Zone is:</p> <p>21.1.1 To provide for the use or development of land for agricultural use.</p> <p>21.1.2 To protect land for the use or development of agricultural use by minimising:</p> <ul style="list-style-type: none"> (a) conflict with or interference from non-agricultural uses; (b) non-agricultural use or development that precludes the return of the land to agricultural use; and (c) use of land for non-agricultural use in irrigation districts. <p>21.1.3 To provide for use or development that supports the use of the land for agricultural use.</p>	<p>21.1.1 The proposed dwelling will be integral and subservient to the fodder crop and rotational grazing (sheep and cattle) agricultural land use at the property.</p> <p>21.1.2</p> <ul style="list-style-type: none"> (a) The proposed dwelling would have a minimum setback of 160m, aided by topographic and vegetative buffers. Therefore, no conflict or interference is anticipated from the proposal. (b) The proposed dwelling would utilise less than 1% (or ~0.035ha) of the total land area (26.71ha) at the property. The dwelling would be located on class 4 land that is restricted for cropping but suitable for grazing with slight limitations. The dwelling would be integral and subservient to the proposed agricultural land use at the property, allowing proponents to efficiently perform operational requirements of fodder crops and rotational grazing. (c) The property is in the Greater Meander Valley irrigation district. However, the scheme is fully allocated and the nearest irrigation pipeline (scheme ID GM4) is approximately 3.2km to the southwest. The proposal does not diminish the possibility of irrigation development at the property. <p>21.1.3 The proposed dwelling would be integral and subservient to the fodder crop and grazing enterprise, i.e., agricultural land use activity, on the property. Th proponents purchased this land to be able to live on site and undertake and be engaged in operating and managing a livestock enterprise. Being on site would provide operational efficiency and security for the agricultural enterprises.</p>

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6.2 Clause 21.3 Use standards

6.2.1 Clause 21.3.1 Discretionary uses

Objective:	Response
<p>That uses listed as Discretionary:</p> <p>(a) support agricultural use; and</p> <p>(b) protect land for agricultural use by minimising the conversion of land to non-agricultural use.</p>	<p>(a) The proposed dwelling would be integral and subservient to the proposed agricultural land use at the property.</p> <p>(b) The proposed dwelling would utilise less than 1% of the total area (~0.035ha of 26.71) of the property and would be located on lower land capability class 4 land. The land loss is negligible and the prime agricultural land on the property is retained for agricultural land use.</p>
Performance Criteria	Response
<p>P4</p> <p>A Residential use listed as Discretionary must:</p> <p>(a) be required as part of an agricultural use, having regard to:</p> <ul style="list-style-type: none"> (i) the scale of the agricultural use; (ii) the complexity of the agricultural use; (iii) the operational requirements of the agricultural use; (iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and (v) proximity of the dwelling to the agricultural use; or 	<p>P4</p> <p>(a) The proposed dwelling would be integral and subservient to the livestock enterprise at the property:</p> <ul style="list-style-type: none"> (i) The proposed agricultural land use at the property would be fodder crops (hay, lucerne silage) and rotational grazing of sheep and cattle. (ii) The livestock enterprise is a sufficiently complex operation and involves various aspects of ensuring a high level of animal health and welfare standards, supplementary feeding, successful pasture and grazing management and subsequent animal liveweight gain outcomes. The level of complexity is enhanced due to grazing both sheep and cattle, alongside fodder crop production. The proponent is required to be present on site and respond at short notice to attend to the various operational activities and potential management issues, particularly around animal husbandry, health and welfare and feed/fodder and grazing management. The proposed dwelling will also ensure the security of the property including infrastructure, farm equipment and animals. (iii) The livestock enterprise would require regular monitoring of stock, feed fodder and pasture rotation management.

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	<p>(iv) It is very important that the proponents live on site as there needs to be constant care and attention given to the animals – from monitoring the sheep/cattle health and welfare, shifting livestock to new pasture, supplementary feeding, providing security and meet with external service providers (e.g. vet, agronomists, etc.). It also enables tending to maintenance requirements of fodder crops at first sign of a problem (pest or diseases) and efficient management planning. Being on site allows for an extra layer of security provided since there will be significant investment (pasture improvement, farm infrastructure, acquiring animals, etc) made toward the livestock and fodder crop enterprise.</p> <p>(v) The dwelling would be centrally located on class 4 land atop a small hill, providing good line of sight and in close proximity for operational efficiency at the property. At the same time, the dwelling would be sufficiently setback with topographic and vegetative buffers so as to not confine or constrain agricultural land use on adjoining land.</p>
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6.3 Clause 21.4 Development standards for buildings and works

6.3.1 Clause 21.4.1 Building height

Objective:	Response
<p>To provide for a building height that:</p> <p>(a) is necessary for the operation of the use; and</p> <p>(b) minimises adverse impacts on adjoining properties.</p>	<p>The proposal will be consistent with Acceptable Solutions A1.</p>
Acceptable Solutions:	Response
<p>A1</p> <p>Building height must be not more than 12m</p>	<p>A1</p> <p>Building height will be less than 12m as per compliance requirements.</p>

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6.3.2 Clause 21.4.2 Setbacks

Objective:	Response
That the siting of buildings minimises potential conflict with use on adjoining properties.	The proposal does not meet Acceptable Solutions A2 for sensitive use and therefore Performance Criteria P2 is addressed.
Performance Criteria:	Response
<p>P2</p> <p>Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to:</p> <ul style="list-style-type: none"> (a) the size, shape and topography of the site; (b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties; (c) the location of existing buildings on the site; (d) the existing and potential use of adjoining properties; (e) any proposed attenuation measures; and (f) any buffers created by natural or other features. 	<p>P2</p> <ul style="list-style-type: none"> (a) The property covers approximately 26.71ha of land, on an internal block with an access strip providing frontage to Meander Valley Road. The topography is predominantly undulating plains on low hills with open slopes up to 40% and depressions. The proposed dwelling has sufficient setbacks, aided by topographic and vegetative buffers so as to not conflict or interfere with surrounding agricultural land use. (b) The prevailing setbacks of nearest existing dwellings on adjoining properties to the north, northwest and southwest range from ~5m to 65m, from the boundaries of the title in question. The shortest setback of the proposed dwelling area is approx. 160m (<i>See section 4 of the agricultural assessment</i>). (c) There are no existing buildings on site. (d) Dryland grazing is conducted to the north, east and west, which is consistent with proposed land use. Irrigated cropping is conducted to the south. The surrounding land use is unlikely to be changed or intensified. (e) N/A. (f) The proposed dwelling is centrally located and is buffered by topography on all side. Existing shelter belts and residual native cover also provides vegetative buffers, predominantly to the east and west. Therefore, the proposal will not confine or constrain surrounding land use and residential amenities.

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6.3.3 Clause 21.4.3 Access for new dwellings

Objective:	Response
That new dwellings have appropriate vehicular access to a road maintained by a road authority.	The proposal is consistent with Acceptable Solutions A1.
Acceptable Solutions:	Response
A1 New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.	A1 The property has access from and frontage with Meander Valley Road (<i>see Image 8</i>).

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7 Conclusion

1. The property consists of land capability class 3e, 4e and 5+4e land.
2. The class 3, prime agricultural land, is suitable for cropping and intensive grazing.
3. The class 4 land is suitable for restricted cropping and grazing with slight limitations.
4. About 40% of the class 5+4 land is suitable for restricted cropping and grazing with slight limitations, the remainder is unsuitable for cropping but suitable for grazing with moderate limitations.
5. The proposed dwelling would be integral and subservient to the proposed fodder crop and livestock enterprise at the property.
6. The proposed development would utilise less than 1% (or 0.035ha) of the of total property area (approx. 26.71ha).
7. The proposed dwelling would be centrally located on class 4 land, providing good sight lines to livestock pastures and with generous setbacks aided by topography and vegetation.
8. The proposed development would not create any additional constraints on the capability/capacity of agricultural activities on the property or neighbouring land.
9. Any future irrigation and agricultural development at the farm will not be affected by the proposed development.
10. The proposal is consistent with the Tasmanian Planning Scheme Agriculture zone purpose, local area objectives, desired future character statement, use standards, development standards, acceptable solutions and performance criteria statements 21.1, 21.3.1 P4(a), 21.4.1 A1, 21.4.2 P2 and 21.4.3 A1.

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8 References

Cotching B. (2009) Soil Health for Farming in Tasmania.

Grose C.J. (1999) Land Capability Handbook: Guidelines for the Classification of Agricultural Land in Tasmania. 2nd Edition, DPIWE, Tasmania.

Isbell R.F., National Committee on Soil and Terrain (2021), 'The Australian Soil Classification. 3rd edn. CSIRO Publishing Melbourne.

National Committee on Soil and Terrain (2009) 'Australian soil and land survey field handbook (3rd edn).' (CSIRO Publishing: Melbourne).

Tasmanian Planning Scheme.

9 Declaration

I declare that I have made all the enquiries which I consider desirable or appropriate, and no matters of significance which I regard as relevant have, to my knowledge, been withheld.

Faruq Isu

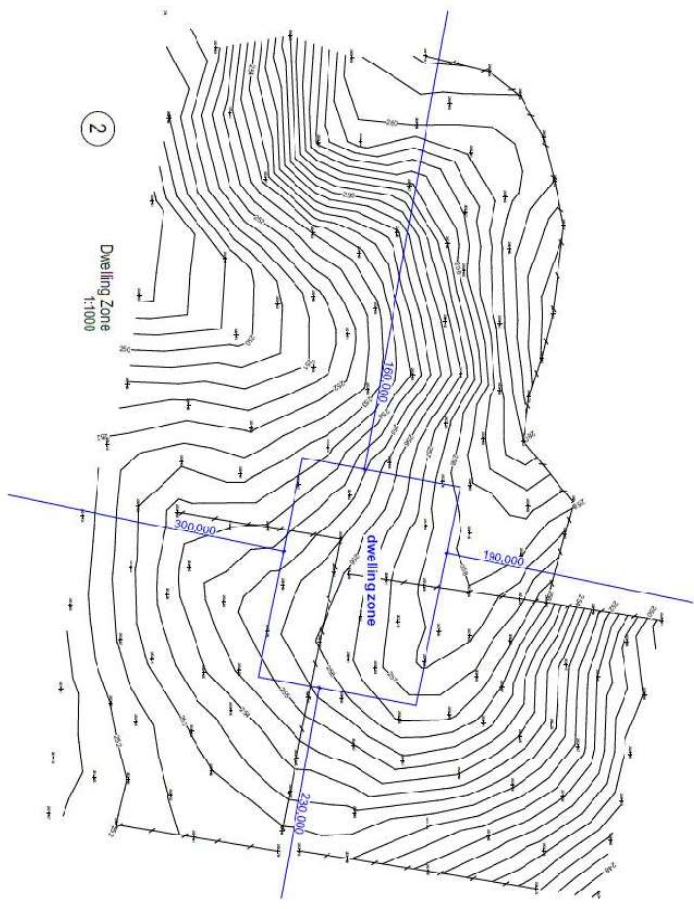
Mr. Faruq Isu MAppSc (AgrSc), BEnvSc
Consultant
Pinion Advisory Pty Ltd
September 2022

12.1.8 Application Documents

Appendices

Appendix A – Proposed dwelling envelop

3885 Meander Valley Road, Exton | Agricultural assessment and compliance report



NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUED FOR PERMIT	2022	PHILIP M. JINGE	PHILIP M. JINGE
2	ISSUED FOR PERMIT	2022	PHILIP M. JINGE	PHILIP M. JINGE

THIS DOCUMENT IS THE PROPERTY OF PHILIP M. JINGE ARCHITECTURE + DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PHILIP M. JINGE ARCHITECTURE + DESIGN.

PHILIP M. JINGE ARCHITECTURE + DESIGN
 18216512
 20.63ha

PHILIP M. JINGE ARCHITECTURE + DESIGN
 ARCHITECTURE + DESIGN

DATE	DESCRIPTION	BY	CHKD BY
2022	MADE BUILDING	PHILIP M. JINGE	PHILIP M. JINGE
2022	CONTRIBUTOR'S NAME: PHILIP M. JINGE ARCHITECTURE + DESIGN	PHILIP M. JINGE	PHILIP M. JINGE
2022	CONTRIBUTOR'S ADDRESS: 18216512, 20.63ha	PHILIP M. JINGE	PHILIP M. JINGE
2022	CONTRIBUTOR'S PHONE: 081 027 2022	PHILIP M. JINGE	PHILIP M. JINGE
2022	CONTRIBUTOR'S EMAIL: philip@philipmunge.com	PHILIP M. JINGE	PHILIP M. JINGE

Scale: 1:500

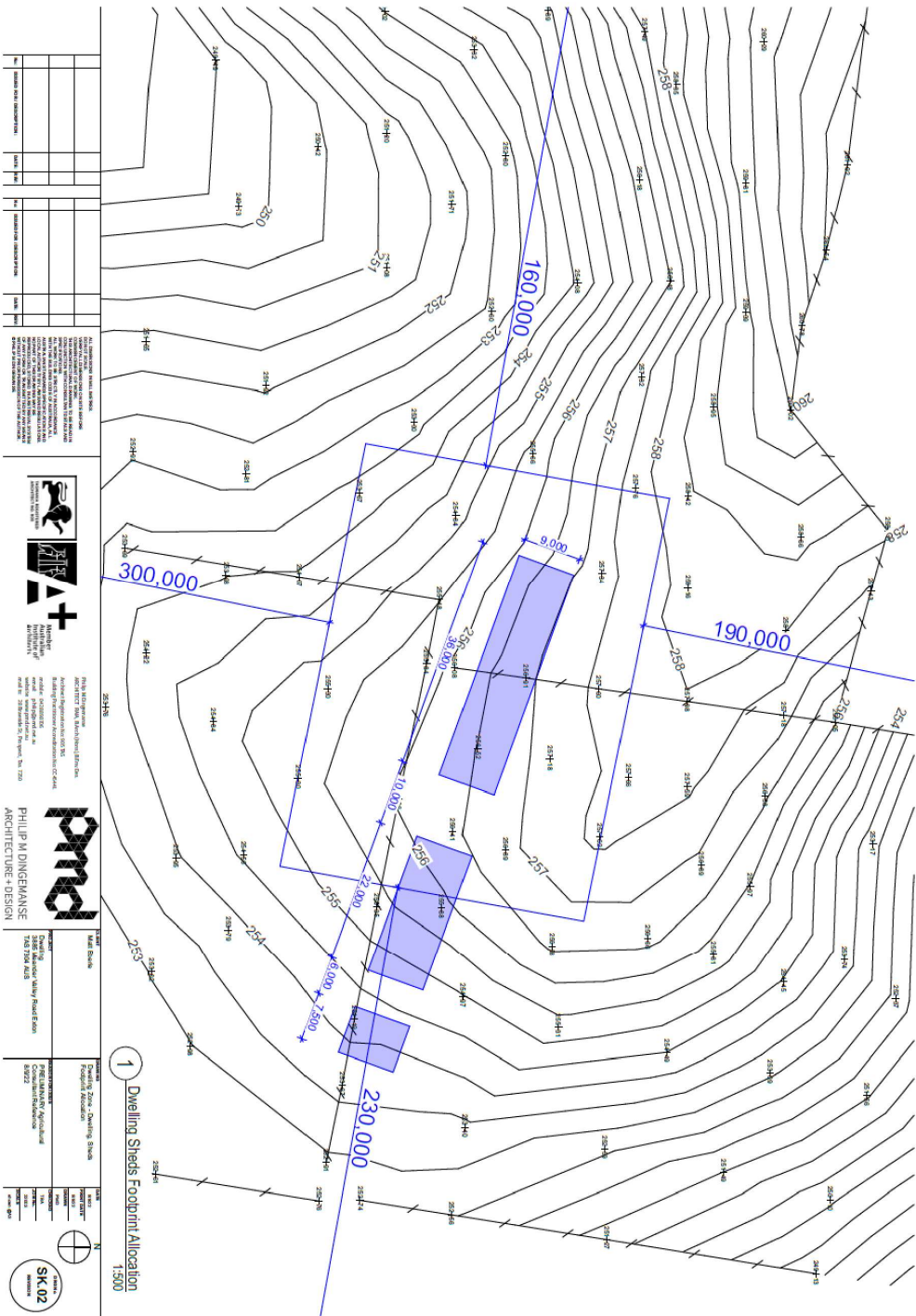
North Arrow

SK 01



Appendix B - Proposed dwelling (within envelop) and shed location. Subject to final survey.

3885 Meander Valley Road, Exton | Agricultural assessment and compliance report



NO.	REVISION	DATE	BY	CHKD.



Philip M. Dingemans
ARCHITECTURE + DESIGN

<p>PHILIP M. DINGEMANS ARCHITECTURE + DESIGN</p>	<p>PHILIP M. DINGEMANS ARCHITECTURE + DESIGN</p>	<p>PHILIP M. DINGEMANS ARCHITECTURE + DESIGN</p>	<p>PHILIP M. DINGEMANS ARCHITECTURE + DESIGN</p>
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12.1.9 Appendix A - Vegetation Buffer

Recommended Appendix A

Aerial photo demonstrating the vegetation buffer to be maintained in accordance with Condition 2 of PA\23\0134.



Corporate Services

Council Audit Panel: Receipt of Meeting Minutes

Report Author Jonathan Harmey
Director Corporate Services

Decision Sought Council receives the minutes of the December Audit Panel Meeting.

Vote Simple majority

Recommendation to Council

That Council receives the minutes of the Audit Panel meeting held on 20 December 2022.

Report

The purpose of this report is for Council to receive the minutes of the Council Audit Panel meeting held on 20 December 2022.

The meeting was the first for newly appointed members Councillors Lee and House. Councillor Dudman was unable to attend the meeting on this occasion.

The minutes of the meeting have been reviewed and endorsed by the General Manager and Council Audit Panel Chairperson. The minutes are provided for the Council's information as required under its Audit Panel Charter.

Attachments 1. Audit Panel Minutes - 20 December 2022 [13.1.1 - 7 pages]

Strategy Supports the objectives of Council's strategic future direction 5: innovative leadership and community governance.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy The recommendation fulfils the requirements outlined in Council's Audit Panel Charter confirmed at the July 2022 Council Meeting.

Legislation Sections 85, 85A and 85B of the *Local Government Act 1993* and the *Local Government (Audit Panels) Orders*.


Consultation Not applicable

Budget & Finance Not applicable

Risk Management Not applicable

Alternative Motions Council can approve the recommendation with amendment.

13.1.1 Audit Panel Minutes - 20 December 2022

 Meander Valley Council Working Together	<h1 style="margin: 0;">Audit Panel Minutes</h1>
Meeting Time & Date: 9:30 am, 20 December 2022	Venue: Meander Valley Council Chambers
Present:	
Chairman Andrew Gray	Councillor Kevin House
Mr Ken Clarke	Councillor Barry Lee
In Attendance:	
John Jordan, General Manager	Tania Sharman, Work Health & Safety Officer
Dino De Paoli, Director Infrastructure Services	Susan Ellston, Finance Officer
Krista Palfreyman, Director Development & Regulatory Services	Christopher Norton, Senior Financial Auditor, Tasmanian Audit Office <i>via Zoom</i>
Jon Harmey, Director Corporate Services	Simone Lee, Manager Financial Audit, Tasmanian Audit Office <i>via Zoom</i>
Justin Marshall, Team Leader Finance	
Apologies:	
Matthew Millwood, Director Works	Councillor Ben Dudman

ORDER OF BUSINESS

The Chair adjusted the order of business to accommodate external presentations, covering agenda items 10, 11, and 12 out of order.

10. Consider any available audit reports

Simone Lee, Manager Financial Audit – Tasmanian Audit Office (TAO) attended the meeting via Zoom and provided an overview of the Audit of the Financial Report for the year ended 30 June 2022 and thanked all those, including the Team Leader Finance, that assisted leading to a smooth audit.

The audit opinion for the annual Financial Report for the year ended 30 June 2022 was noted as:

- (a) presents fairly, in all material respects, Council's financial position as at 30 June 2022 and its financial performance and its cash flows for the year then ended
- (b) is in accordance with the Local Government Act 1993 and Australian Accounting Standards.

No high-risk findings were identified; however, three low risk audit findings were identified. No instances of non-compliance with applicable laws and regulations were observed that would have an impact on the financial report.

New Audit Findings

1. IT policies and controls (*Low risk*) – An absence of up-to-date policies may not provide staff with current practices or identify control weaknesses in the IT process.

MINUTES – Council Audit Panel	Meeting – 20 December 2022	Page 1
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13.1.1 Audit Panel Minutes - 20 December 2022

2. Payroll control improvements (*Low risk*) - By not undertaking or evidencing review of payroll exceptions or variances, this may lead to incorrect payment of salary and wages occurring.
3. General journal review (*Low Risk*) – It is recommended that Council implement a regular review of general journals to occur, with evidence of journal reviews to be documented.

The actions for the identified new audit findings will be considered and implemented by Council.

11. Review management's implementation of audit recommendations

Previously reported audit findings that are now marked unresolved: -

1. Provision for Aftercare of Tip Sites (*Moderate risk*)
2. Identifying and assessing business risks relevant to financial reporting objectives (Low risk)
3. Documentation of financial procedures and control activities (Low risk)

These unresolved findings are all in progress and will be resolved by 30 June 2023 as per the TAO Memorandum Of Audit Findings document.

12. Consider any performance audit reports that will be undertaken by the Tas Audit Office and address implications for the Council

None to Report.

ITEM	
1.	Declaration of Pecuniary Interests/conflict of interest Ken Clark declared he is a sitting Board member for Dulverton Waste Management Authority.
2.	Adoption of Previous Minutes It was resolved that the minutes of the meeting held on 27 September 2022 be received and confirmed.
3.	Outstanding from previous meeting - Action Sheet 3.1 - Policy No. 23 – Responsibilities of Council Representatives - A complete re-write of this policy has been completed. Draft is subject to consultation and review prior to submission to the Council Ordinary Meeting - Deferred due to October flood event. Progress in January-March Quarter 2023. 3.2 - Policy No. 67 – Personal Information Protection - updated and approved by Council at the July 2022 Ordinary Meeting – Completed. - Policy No. 84 – Gifts and Benefits - updated and approved by Council at the July 2022 Ordinary Meeting – Completed. Confirmed by WH&S Officer that Volunteer, Employee & Councillor inductions/refreshers are being delivered. 3.3 - Policy No. 66 – Security for Incomplete Works in Subdivisions - this policy has been reviewed and the draft is to be considered by the Executive Management Team. Anticipate presentation to the next Audit Panel Meeting and endorsement by Council in December- February 2023 time frame.

- **Policy No. 81** – Online Communication (Social Media Councillors) - a complete re-write of this policy has been completed. Draft is subject to consultation and review prior to submission to the October 2022 Ordinary Meeting. Finalisation of review and approval deferred due to October flood event. Delivery expected in January-March 2023 Quarter.

3.4 Submit a list of Policies which have been identified as requiring Audit Panel Review

A list of Policies requiring Audit Panel review was provided by Director Corporate Services for discussion.

The list has been expanded to include Policy No. 45 - Information Management.

The GM provided a written brief on the Information Management policy suite and it was discussed that Director Corporate Services will progress work in line with the brief.

3.5 - Policy No. 37 – Vegetation Management - deferred to consider relevance of policy. Likely current policy will be replaced with either a new policy focused on risk management of trees in public areas, or procedural responses as part of asset management work practice.

No Progress or further comment on this since last meeting.

- **Policy No. 43** – Dog Management – Completed.

Policy was confirmed for continuation at the October 2022 General Council Meeting.

- **Policy No. 80** – Management of Public Art - this has been reviewed and a draft circulated for comment and is pending workshop presentation.

- **Policy No. 85** – Open Space - review deferred as it will form part of a broader review on open space planning and developer contributions (as per recent discussions at Council Workshop). Tentatively scheduled for March 2023 Quarter.

No Progress or further comment on this since last meeting.

- **Policy No. 89** – Camping on Council Reserves – deferred due to work priorities and consideration of the appropriateness of a by-law to manage this space.

Policy Review Matrix updated to include Policy No. 88 - Related Party Disclosures policy.

3.6 Consider any available audit reports

Report back to the Panel on contractor audits.

Waiting for final approval from Director Infrastructure Services.

3.7 Review processes to manage insurable risks and existing insurance cover

Councils Crime Insurance Policy was discussed with a focus on value for money of the insurance versus likelihood and quantum of loss. Council to take this into consideration for Insurance renewal process.

Received and Noted.

Governance and Strategy	
4.	<p>Review policies and procedures</p> <p>There were no policies up for review.</p>
5.	<p>Review performance of plans, strategies and policies including performance against identified benchmarks.</p> <ul style="list-style-type: none"> • Capital Works projects have been significantly affected by the Flood events of October 2022. The financial impact of the floods will be between \$2.5 – \$3 million dollars, although expecting to recovery some of this from State Government flood relief funding packages. • Approximately \$930,000 has already been spent on the rectification works. Post flood the Capital works programme will have to be adjusted/reduced. <p>Received and Noted.</p>
Financial and Management Reporting	
6.	<p>Review most current results and report any relevant findings to Council</p> <p>The financial report as at 31 October 2022 was presented.</p> <p>November and December costs for the October 2022 Floods are appearing and all other areas are tracking well. The meeting discussed the inclusion of more explanation and commentary in the accompanying cover brief. While notes within the report identified material issues it was considered that more detail in the cover brief would assist people’s understanding. The GM indicated that he supported this. Action: Future report cover briefs to include more detail of material differences to budget, significant one-off/abnormal items and other issues.</p> <p>Report Received and Noted.</p>
7.	<p>Review any business unit or special financial reports</p> <p>Nil to Report.</p>
Internal Audit	
8.	<p>Consider any available audit reports.</p> <p>The current Audit schedule was presented.</p> <p>Recently completed Audits –</p> <ol style="list-style-type: none"> 1. Poor processes for the disclosure and management of staff conflicts of interest leading to partial decision making. Primary finding was that different notification forms exist. Council to review current forms with view to combining into one form that can be used for multiple notification situations. <p>Current Internal Audits –</p> <ol style="list-style-type: none"> 1. The Home-based work policy. Compliance with the policy and procedure is currently under review by WH & S Officer and HR Officer. <p>Report Received and Noted.</p>

<p>9. Review management's implementation of audit recommendations Corrective Actions Register was presented for comment.</p> <ul style="list-style-type: none"> ▪ Contractor Management Process is waiting on approval from Director Infrastructure Services on a roll out timeframe. ▪ Major Projects Variation Controls –Waiting on Director Infrastructure Services to action recommendations from Synectic Audit - 26 August 2022. Delay due to workload. ▪ Poor process for the disclosure and management of staff Conflicts of Interest leading to partial decision making – Currently draft Audit is with Director Corporate Services for review. Review of the current forms is with WH & S Officer with the intention to make recommendation for a combined form. <p>Report Received and Noted.</p>
<p>External Audit</p>
<p>10. Consider any available audit reports The following reports were presented: -</p> <p>10.1.1 – 2021-22 Audited Financial Statements</p> <p>10.1.2 – Independent Auditors Report (Opinion) – Financial Statements for the year ended 30 June 2022. The TAO provided an overview of the Audit of the Financial Report for the year ended 30 June 2022 and thanked all those, in particular the Team Leader Finance, that assisted leading to a smooth audit.</p> <p>10.1.3 – Report to those charged with governance - Year ending 30 June 2022 The TAO acknowledged milestones were not met with reporting and communication. This was largely due to staff shortages and staff turnover within the TAO.</p> <p>10.2.1 – Independent Auditors Report (Opinion) – Roads to Recovery – 30 June 2022 The financial statement was prepared, in all material respects, in accordance with the financial reporting provisions of the <i>National Land Transport Act 2014</i> (the Act) and is in accordance with the Roads to Recovery Funding Conditions 2019 (the Conditions).</p> <p>10.2.2 – Roads to Recovery – Annual Financial Statement - 30 June 2022</p> <p>10.3.1 – Independent Auditors Report – Local Roads and Community Infrastructure (LRCI) – 30 June 2022 The Annual Reports were prepared, in all material respects, in accordance with the financial reporting provisions of the <i>COVID-19 Local Roads and Community Infrastructure Program Guidelines</i> for Phase 1, Phase 2 and Phase 3 (Guidelines).</p> <p>10.3.2 – LRCI Phase 1 – CEO Financial Statement – 30 June 2022</p> <p>10.3.3 – LRCI Phase 2 – CEO Financial Statement – 30 June 2022</p> <p>10.3.4 – LRCI Phase 3 – CEO Financial Statement – 30 June 2022</p> <p>10.4 – Independent Auditors Report – Deloraine Pump Track – Period Ended 30 September 2022 The Statement was prepared, in all material respects, in accordance with the financial reporting provisions of Item 11 and Clause 7.2 of the Grant Deed. The funding was expended in accordance with the Grant Deed.</p> <p>10.5 – Auditor-General's report on the financial statements of State Entities – Volume 1</p> <p>Reports Received and Noted.</p>

<p>11. Review management’s implementation of audit recommendations The following reports were presented from the Tasmanian Audit Office: -</p> <p>11.1 – Meander Valley Council – Memorandum of Audit findings (MOAF) – Cover letter – 30 June 2022 11.2 – Meander Valley Council - Memorandum of Audit findings (MOAF) – 30 June 2022</p> <p>These documents reflect internal controls within Council. No high-risk findings were identified; however, three low risk audit findings were identified and three further low risk audit findings remain unresolved. The new findings are in progress and the unresolved findings are all in progress and will be resolved by 30 June 2023.</p> <p>Reports Received and Noted.</p>
<p>12. Consider any performance audit reports that will be undertaken by the Tas Audit Office and address implications for the Council None to Report.</p>
<p>Risk Management and Compliance</p>
<p>13. Annual Review of risk management framework policies Risk Management framework is progressing. The GM advised that this also includes a reviewed Risk Management Policy (Policy 1), indicating that it was a priority to update the overall approach to corporate risk management (noting the new WH&S framework was being implemented). A review of risk appetite and the risk register will also be progressed.</p> <p>Received and Noted.</p>
<p>14. Receive material risk management reports (risk profile, risk management and treatment and periodical/rotational risk review)</p> <ul style="list-style-type: none"> ▪ The following Internal audits from this current quarter :- <ol style="list-style-type: none"> 1. The Poor processes for the disclosure and management of staff conflicts of interest leading to partial decision making. 2. Major project variation controls – access project reporting and variation approval practices for larger projects greater than 100K. 3. Building applications not being assessed within legislative timeframes. 4. Contractors are being effectively inducted before commencing work. are all noted and the corrective actions and opportunities for improvements have been listed in the corrective actions report. ▪ Incident reports have all been registered and logged in the incident register with no major incidents recorded in the past quarter requiring investigation. ▪ Registered minor first aid and minor plant damage only. <p>Received and Noted.</p>

<p>15. Review Information and communications technology governance, including processes and controls for management and use of data, information and knowledge</p> <ul style="list-style-type: none"> ▪ Cyber security insurance policy has been in place since 1 July 2022 ▪ Password process for employees implemented April 2022 ▪ Phishing and security awareness program implemented with external provider July 2022 ▪ Information Management Policy reviewed and adopted August 2022 ▪ Internal audit titled "ICT Governance - assess and evaluate processes and controls" expected to be undertaken in 2023. <p>The GM reiterated the approach would also address the issues outlined in the tabled brief relating to Information Management Policy.</p> <p>Received and Noted.</p>
<p>16. Review Business Continuity Plan</p> <p>Business Continuity Plan reviewed, and contents updated in October 2022, provided to the BCP group for review. The October floods tested some aspects of the planning, a desktop testing is planned to occur in the March Quarter 2023.</p> <p>Received and Noted.</p>
<p>17. Review W H & S Management process</p> <p>WH&S Framework adopted by management. Roll out to employees in Works has commenced with other areas to follow.</p> <p>Received and Noted.</p>
<p>18. Monitor any major claims or lawsuits by or against the Council and complaints against the Council</p> <p>The GM advised nil to report.</p>
<p>19. Oversee the investigation of any instances of suspected cases of fraud or other illegal and unethical behaviour</p> <p>The GM advised nil to report.</p>
<p>Other Business</p> <ol style="list-style-type: none"> 1. The Financial Statements (2021-22) were approved at the Annual General Meeting held on 13 December 2022. 2. The Meander Valley Council Enterprise Agreement (2022) was approved by Fair Work Commission on 16 December 2022.
<p>Meeting close</p> <p>This meeting closed at 10:57 am.</p>
<p>Next Meeting</p> <p>The next meeting will be held on Tuesday 28 March 2022 at 10:30 am.</p>

Infrastructure Services

Proposed Road Name - Crezzco Street

Report Author Jarred Allen
Team Leader Engineering

Authorised by Dino De Paoli
Director Infrastructure Services

Decision Sought Council approval of the street name Crezzco Street, Deloraine.

Vote Simple majority

Recommendation to Council

That Council:

1. Approves, pursuant to Section 11 of the *Place Names Act 2020*, the name Crezzco Street, for the existing section of public road currently known as East Moriarty Street, Deloraine; and
2. Approves, pursuant to Section 11 of the *Place Names Act 2020*, Crezzco Street for the private road within Crown Land off Highland Lakes Road, Deloraine.

Report

Council received a request from Mr Tony Cresswell of Cresswell Transport, Deloraine, that Council consider re-naming East Moriarty Street, Deloraine and also the private road within the Crown Land road reserve off Highland Lakes Road.

The suggested name put forward to Council was Crezzco Place. Refer to Image 1 for the location.

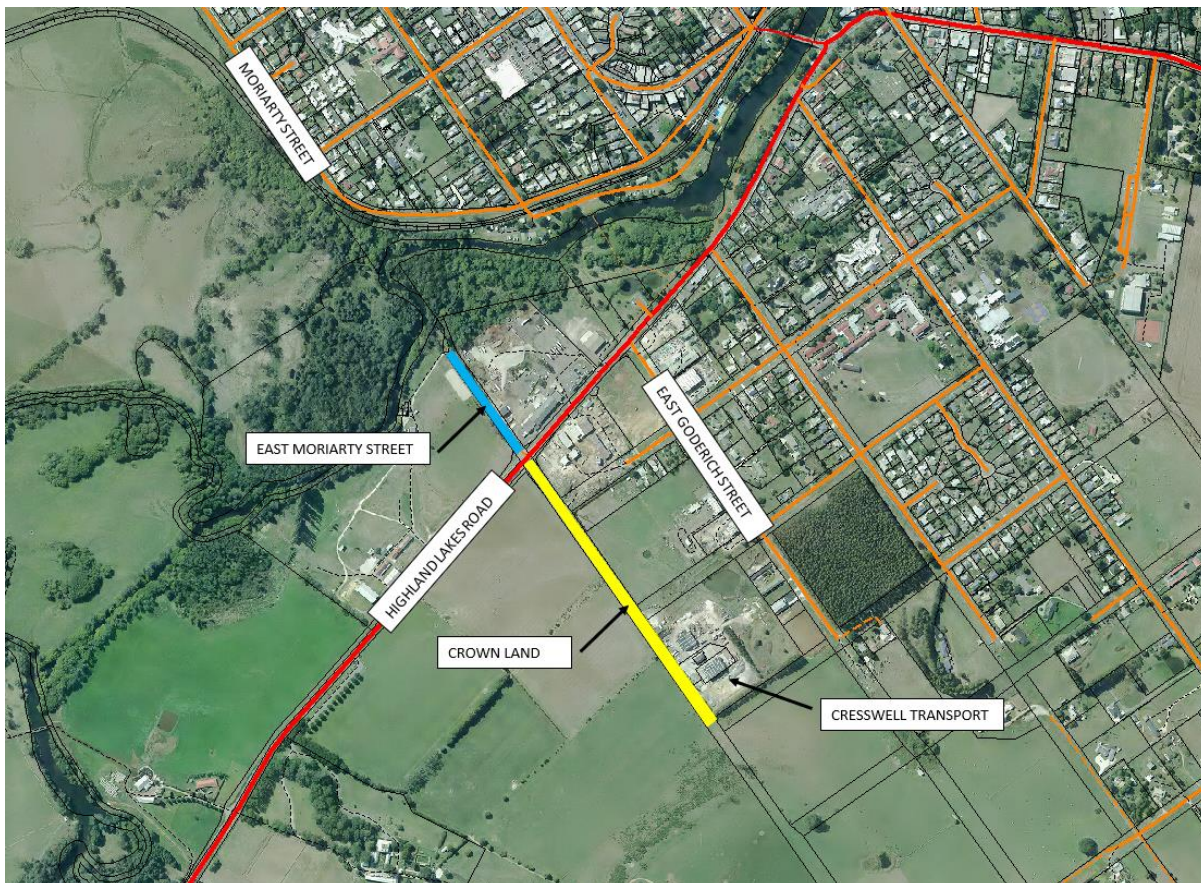


Image 1: Location of East Moriarty Street and Crown Land.

Cresswell Transport is located at 30 East Moriarty Street. Mr Cresswell has indicated he is often contacted by suppliers who have mistakenly driven to Moriarty Street on the western side of the Meander River, asking for directions to his facility off Highland Lakes Road.

Council officers referred this request to the Department of Natural Resources and Environment (NRE) who indicated their support noting that they have no records (official or otherwise) of the street name East Moriarty Street and that naming the section of Crown Land would be beneficial for addressing purposes and identification for emergency services.

It was requested by NRE that Crezzco Street be used instead of Crezzco Place. The Tasmanian Place Naming Guidelines (the reference guideline used by place naming authorities) recommends that the suffix 'Place' should be reserved for a *short, sometimes narrow, enclosed roadway*, for example a short cul-de-sac. There are currently no properties addressed as East Moriarty Street.

The Tasmanian Place Naming Guidelines indicates that *cardinal directional indicators such as 'North' or West', may be used in place naming other than for roads and streets.*

NRE do not currently require councils to change existing road names, however, any new road names must not contain these directional indicators.

Council officers note that the Tasmanian Place Naming Guidelines states that:

'All formal roads, including private roads that are generally open to the public or to services, should be named' and 'naming a road on private land does not mean that the naming authority is accepting responsibility for that road, other than ensuring its name conforms to the Standard'.

There is a licence in place over the Crown land road reserve that formalises the access rights over the road reserve to private property. The existing section of road is privately maintained. The formal allocation of a name to this road under the provisions of the Act does not impact any future consideration that Council may make in respect to taking over the responsibility for maintenance of the road as a public road.

The name 'Crezzco' derives from the business name Cresswell Transport, which is a local Deloraine transport and civil contracting company.

Attachments Nil

Strategy Furthers the objectives of Council's strategic future direction 2: a thriving local economy.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy Not applicable

Legislation *Place Names Act 2020*

Consultation Council endorsed road names are required to be submitted to the Placenames Tasmania database which is administered by NRE.

Budget & Finance Not applicable

Risk Management Risk is managed through the formal process of ratifying road names to avoid conflict with existing named roads in other municipalities within Tasmania. Non-duplication of names also ensures greater address clarity for emergency services.

Alternative Motions

1. Council can choose a name other than that proposed.
2. Council can delegate the responsibility of choosing another name to Council staff.

Governance

External Consultancy for the Review of Council Pools

Report Author John Jordan
General Manager

Decision Sought Council approval of additional budget and authority to proceed with a review to determine the future levels of service, investment, and safe operation of pools and natural swimming sites in Meander Valley.

Vote Absolute majority

Recommendation to Council

That Council:

1. Approves by absolute majority a new project for the 2022-23 financial year with a budget of \$40,000 to undertake a review of Council pools.
2. Notes the review will address levels of service, asset condition, future investment requirements, and legal and insurance advice on safety standards and operating arrangements for Council pools.

Report

A review of pool facilities and operations to determine requirements and how the Council will provide and safely manage Council owned pools and natural swimming sites along waterways in the municipality is needed. An examination of how the Council may assist community organisations and private pool operators to continue to safely operate pools is also needed.

Issues

Recent events have highlighted:

- The vulnerability of Council pools at Deloraine and Caveside to flood events.
- Changed risk tolerance from regulators and public liability insurers.
- A lack of clarity on Council's responsibilities at known natural swimming areas.

- A need to define more clearly the terms under which Council pools are operated by community committees or contracted operators.

Expanding on the above, the risk tolerance of insurers and the circumstances under which they are prepared to provide public liability insurance for pool and aquatic facilities has changed. Facilities must meet higher minimum standards for safety and supervision. However, the minimum standard of safety and supervision is not clear with a mix of regulations, standards, and guidelines in play.

The change in risk and access to public liability affects all pools, but particularly traditional community volunteer based operating models for pools such as Caveside Pool. They will also potentially have an influence on how Council manages risks at natural swimming areas in waterways such as those located at Egmont and Bracknell.

Where Council shares operating responsibility and use of a pool with the surrounding community or other organisations it must ensure that these organisations have appropriate occupational health and safety management systems in place to address risks and hazards, they may be exposed to. Council (the General Manager) is responsible for ensuring that its pools are always managed in a safe manner, regardless of the user/s. Past safety performance expressed through the mindset of 'we have operated this way for many years without incident' has no bearing on the future ability to obtain insurance or defend a claim against Council in the event of an accident or injury. Council's responsibilities at known natural swimming areas are also a key area to be addressed.

A key deliverable from the review will be legal and insurance advice on the above considerations. This will include a risk assessment and management plan for each pool facility and associated operating arrangements.

Future investment and levels of service.

Council's pools are ageing assets, with their location more related to historical circumstance than current population spread or demand.

There is a need to examine the differing levels of resident access to local swimming facilities and determine an appropriate level of service standard to inform future pool related investment. Relevant considerations in this space are:

- Demand for the service and patronage in a location.
- Travel distance to a pool facility.
- Length of 'season' for a facility relative to patronage,
- Type of activity supported (recreational swimming, club swimming, etc.).

- Remaining useful asset life and renewal cost.
- Operating costs and the amount of subsidy using public funds (for example the Deloraine Pool had a patronage of 4078 total in 2021-22 with the cost to Council per use being \$24.04).

Other factors to be examined include:

- A review of operating costs and updating of commercial terms to ensure the outsourcing of pool operations remains a viable choice for Council and contracted pool operators.
- Compliance with disability access and other standards.
- A need to understand and make transparent the costs, subsidy, and investment in pool facilities. Due to the need to ensure the above matters can be addressed in time for the next swimming season, it is proposed to use external resources for the review.

The deliverables from the review will be:

1. A condition, risk assessment, and a safety compliance audit of Deloraine and Caveside Pools, including cost estimates to achieve any works or upgrades needed to achieve safety or flood resilience.
2. A municipal pools strategy, informed by a level of service and investment required to achieve safety, customer experience and cost efficiency outcomes. This includes considering the role pools owned and operated by organisations other than the Council play in delivering swimming opportunities to residents.
3. Legal and insurance expert advice on the standards to be achieved to continue the safe and insured operation of municipal pools.
4. Consultation with existing pool operators to determine the appropriateness of existing operating arrangements and the nature of any assistance from Council.
5. A review of commercial arrangements for the operation of pools.
6. Consultation with the general community about levels of service.

Attachments Nil

Strategy Supports the objectives of Meander Valley Community Strategic Plan 2014-24:

- Future direction (4) - A healthy and safe community
- Future direction (6) - Planned infrastructure services

Policy Not applicable

Legislation New budget allocation is enabled under section 82(4) of the Local Government Act 1993.

The review addresses duty of care obligations under the Workplace Health and Safety Act 2012 and addresses long term asset management and levels of service needs consistent with the Local Government Act 1993.

Consultation Community consultation with pool committees and contracted operators will be a part of the brief for reviewers.

Budget & Finance Proceeding with the recommended review will require a new budget allocation of \$40,000 for the 2022-23 financial year.

Risk Management The recommended review addresses risks and issues which are impacting the safe operation of pools in the municipality.

Alternative Motions The Council may elect to vary or replace the motion with an alternative.

Motion to Close Meeting

Motion Close the meeting to the public for discussion of matters in the list of agenda items below.

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(1)*.

Vote Absolute majority

Closed Session Agenda

Confirmation of Closed Minutes

Refer to *Local Government (Meeting Procedures) Regulations 2015: s34(2)*.

Leave of Absence Applications

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(h)*.

Deloraine Suspension Bridge - Flood Damage Remediation

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(d)* regarding contracts, and tenders, for the supply of goods and services and their terms, conditions, approval and renewal.

Release of Public Information

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(8)*.

Meeting End
