



Meander Valley Council
Working Together

AGENDA

ORDINARY COUNCIL MEETING

(as amended Planning Authority Report)

Tuesday 17 January 2023

Time 3.00pm

Location Council Chambers
26 Lyall Street
Westbury, Tasmania

Phone (03) 6393 5300

Our Values

Our seven values help guide our decisions and underpin all we do.

Respect, listen and care for one another

Be trustworthy, honest and tolerant

Be positive and receptive to new ideas

Be innovative, creative and learn

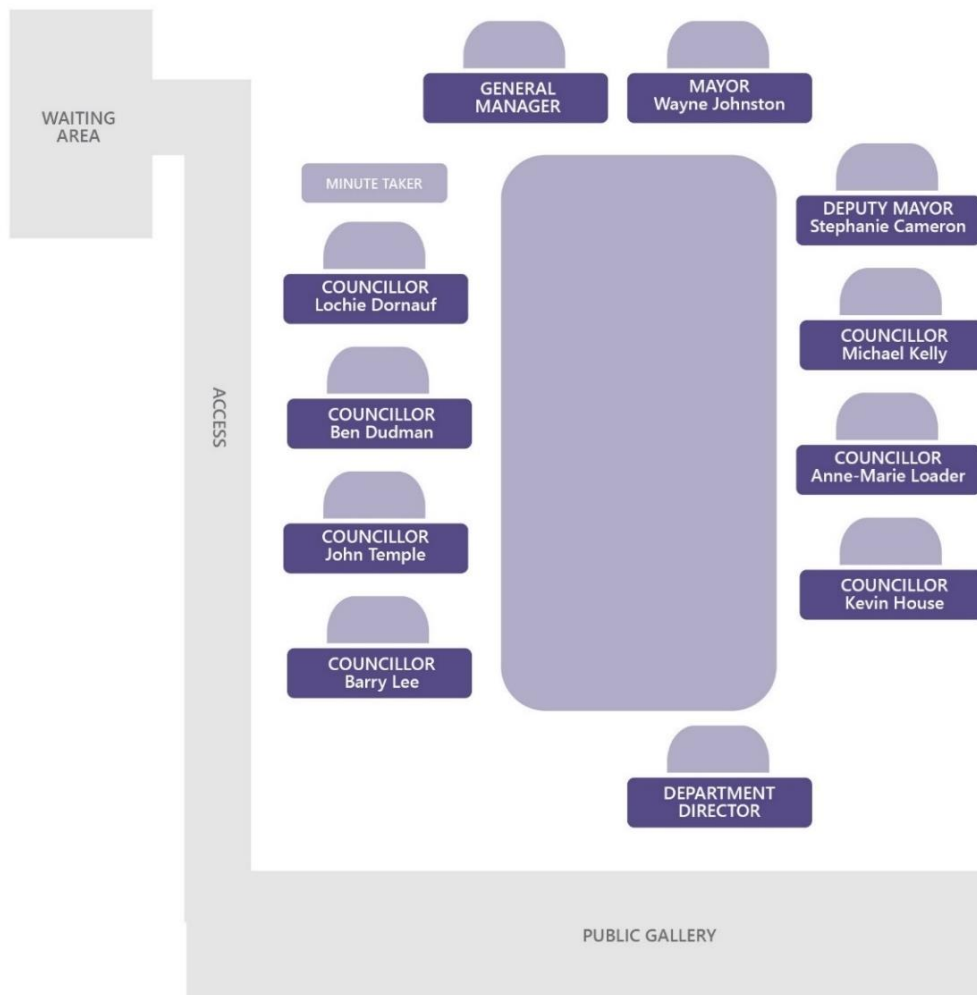
Take a fair, balanced and long term approach

Use sound business practices

Work together

Council Chambers

Seating Plan



Going to a Council Meeting

Members of the community are encouraged to engage with Council's monthly meetings. You can submit questions online or attend in person.

Our website offers handy fact sheets with information about what to expect at a Council Meeting, including how to participate in Public Question Time.

After the meeting, you'll find minutes and an audio recording online.

Hard copies of agendas and minutes are also available to view at the Council offices.

Learn more

Click here to find fact sheets about attending a Council meeting, or to submit a question online.

A copy of the latest agenda and minutes are available to view at the Council offices in Westbury. **Click here** to view agendas and minutes online, or listen to audio of our meetings.

You can also contact the Office of the General Manager by phone on (03) 6393 5317, or email ogm@mvc.tas.gov.au to submit a question or learn more about opportunities to speak at a Council Meeting.

Public Access to Chambers

Social distancing requirements have been relaxed and there is no longer a limit on the number of people that may attend the public gallery (beyond the practical limits of the room).

Where there is a need to manage demand, seating will be prioritised as follows:

For planning decisions: applicants and representors have first priority. A representor is a community member who writes to Council to object to or support a planning application (statutory timeframes apply for becoming a representor during the planning process).

For all decisions: Members of the media are welcome to take up any seats not in use by the public, or email ogm@mvc.tas.gov.au to request specific information about a Council decision. Media requests received by email before close of business (or the end of the meeting) will receive a same-day response.

Council operates under a COVID Safety Plan. If you are experiencing any symptoms associated with COVID-19, you are encouraged to stay home.

Conduct at Council Meetings

Visitors are reminded that Council Meetings are a place of work for staff and Councillors.

Council is committed to meeting its responsibilities as an employer and as host of this important public forum, by ensuring that all present meet expectations of mutually respectful and orderly conduct.

It is a condition of entry to the Council Chambers that you cooperate with any directions or requests from the Chairperson or Council officers.

The Chairperson is responsible for maintaining order at Council Meetings. The General Manager is responsible for health, wellbeing and safety of all present. The Chairperson or General Manager may require a person to leave Council premises following any behaviour that falls short of these expectations. It is an offence to hinder or disrupt a Council Meeting.

Access & Inclusion

Council supports and accommodates inclusion for all who seek participation in Council Meetings, as far as is practicable.

Any person with a disability or other specific needs is encouraged to contact Council before the meeting on (03) 6393 5300 or via email to ogm@mvc.tas.gov.au to discuss how we can best assist you with access.

Certificate of Qualified Advice

A General Manager must ensure any advice, information or recommendation is given to Council by a person with the necessary qualifications or experience: section 65, *Local Government Act 1993*.

Council must not decide on any matter without receiving qualified advice, or a certification from the General Manager.

Accordingly, I certify that, where required:

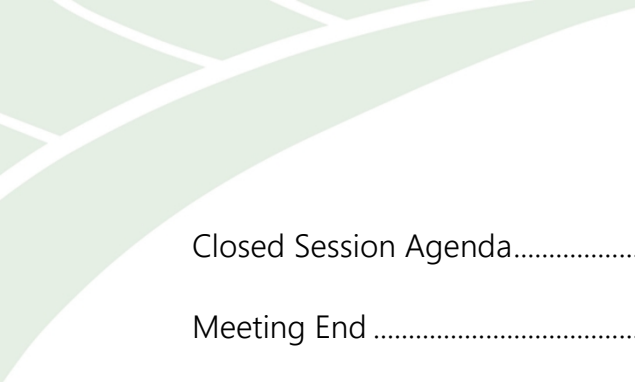
- (i) the advice of a qualified person was obtained in preparation of this Agenda; and
- (ii) this advice was taken into account in providing general advice to Meander Valley Council; and
- (iii) A copy of any such advice (or a written transcript or summary of oral advice) is included with the agenda item.



John Jordan
GENERAL MANAGER

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Meeting Open - Attendance & Apologies

Acknowledgment of Country

Council acknowledges the Pallitore and Panninher past peoples and the traditional owners and custodians of the land on which we gather for the Council Meeting, with respects paid to elders past and present and extended to all Aboriginal and Torres Strait Islander peoples present.

Confirmation of Minutes

Motion Receive and confirm minutes of the last Ordinary Council Meeting held Tuesday 13 December 2022.

Vote Simple majority

Declarations of Interest

Nil received prior to agenda publication.

Council Workshop Report

The Council Workshop originally scheduled for 20 December 2022 did not proceed due to illness and unavailability of several Councillors and other attendees.

Mayor & Councillor Report

Councillor Activities Since Last Meeting

13 Dec	Council Event Citizenship Ceremony, Westbury	<i>Attended by Mayor Johnston</i>
13 Dec	Community Event Deloraine Primary School Presentation Evening	<i>Attended by Mayor Johnston</i>
13 Dec	Community Event Deloraine Primary School End of year Assembly	<i>Attended by Cr Dudman</i>
14 Dec	Community Event Deloraine High School Presentation Evening	<i>Attended by Mayor Johnston</i>
14 Dec	Community Event Bracknell Primary School Presentation Evening	<i>Attended by Crs House & Loader</i>
15 Dec	Meeting Great Western Tiers Tourism Association Meeting	<i>Attended by Cr Loader</i>
15 Dec	Community Event Mole Creek Primary School Presentation Evening	<i>Attended by Cr Loader</i>
18 Dec	Community Event Launceston Carols by Candlelight	<i>Opened by Mayor Johnston</i>
20 Dec	Community Event Hagley Farm School Presentations	<i>Attended by Mayor Johnston</i>
20 Dec	Meeting Audit Committee	<i>Attended by Cr House</i>
21 Dec	Meeting Grants Committee	<i>Attended by Cr House</i>



21 Dec	Community Event Carrick Hall Committee Christmas Dinner	<i>Attended by Cr House</i>
30 Dec	Community Event Carrick Park Pacing Club Race Meet	<i>Attended by Cr Dudman</i>
13 Jan	Community Event Westbury Community Tea	<i>Attended by Cr Dudman</i>

Petitions

Nil received prior to agenda publication.

For further information about petitions, refer to the *Local Government Act 1993*: ss57-60A.

Community Representations

Nil requests received.

Formerly referred to as “deputations”, community representations are an opportunity for community members or groups to request up to three minutes to address Council on a topic of particular interest.

Requests received at least fourteen days prior to a Council Meeting will be considered by the Chairperson. For further information, contact the Office of the General Manager on (03) 6393 5317 or email ogm@mvc.tas.gov.au.

Public Question Time

Members of the public may ask questions in person or using our online form.

Click here to submit an online question.

Refer to pages 3 and 4 of this agenda for more information about attending a Council Meeting.

This Month's Public Questions With Notice

Nil received prior to agenda publication.

This Month's Public Questions Without Notice

Nil received prior to agenda publication.

Councillor Question Time

This Month's Councillor Questions With Notice

Nil received prior to agenda publication.

This Month's Councillor Questions Without Notice

Nil received prior to agenda publication.

Council as a Planning Authority

In planning matters, Council acts as a Planning Authority under the *Land Use Planning and Approvals Act 1993*. The following applies to all Planning Authority reports:

Strategy Council has an Annual Plan target to process planning applications in accordance with delegated authority and statutory timeframes.

Policy Not applicable.

Legislation Council must process and determine applications under the *Land Use Planning and Approvals Act 1993* (LUPAA) and its Planning Scheme. Each application is made in accordance with LUPAA, s57.

Consultation The "Agency Consultation" section of each Planning Authority report outlines the external authorities consulted during the application process.

Community consultation in planning matters is a legislated process. The "Public Response – Summary of Representations" section of each Planning Authority report outlines all complying submissions received from the community in response to the application.

Budget & Finance Where a Planning Authority decision is subject to later appeal to the Tasmanian Civil and Administrative Tribunal (Resource & Planning Stream), Council may be liable for costs associated with defending its decision.

Risk Management Risk is managed by all decision-makers carefully considering qualified advice and inclusion of appropriate conditions on planning permits as required.

Alternative Motions Council may approve an application with amended conditions, or may refuse an application.

Regardless of whether Council seeks to approve or refuse an application, a motion must be carried stating its decision and outlining reasons. A lost motion is not adequate for determination of a planning matter.

Motion Simple majority

Planning Authority Report

8 Davies Place, Deloraine

Proposal	Consolidation of lots (2 lots to 1 lot) and Multiple dwellings (5 units)
Report Author	George Walker Town Planning Consultant
Authorised by	Katie Proctor Acting Director Development & Regulatory Services
Application reference	PA\23\0063
Decision due	18 January 2023
Decision sought	It is recommended that Council approves this application. <i>See section titled "Planner's Recommendation" for further details.</i>

Applicant's Proposal

Applicant	JMG Engineers & Planners obo Housing Tasmania
Property	8 Davies Place, Deloraine (CT 17637/3 & CT 30862/3)
Description	The applicant seeks planning permission for: <ol style="list-style-type: none">1. Consolidation of two lots into one lot; and2. Development and works for five multiple dwellings. <p><i>Documents submitted by the Applicant are attached, titled "Application Documents."</i></p>



Figure 1 - Aerial image showing the location and spatial extent of the site.

Planner's Report

Planning Scheme	Tasmanian Planning Scheme - Meander Valley ("the Scheme")
Zoning	General Residential
Applicable Overlays	Nil
Existing Land Use	Multiple dwellings (11 existing).
Summary of Planner's Assessment	Generally, multiple dwellings is classed as permitted in this zone (General Residential).
Discretions	For this application, five discretions are triggered. This means Council has discretion to approve or refuse the application based on its assessment of: <ul style="list-style-type: none"> 8.4.1 P1 Residential density for multiple dwellings 8.4.2 P3 Setbacks and building envelope for all dwellings C2.6.2 P1 Design and layout of parking areas

C2.6.5 P1 Pedestrian access

C9.5.2 Sensitive use within an attenuation area

Before exercising a discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

See attachment titled "Planner's Advice - Performance Criteria" for further discussion.

Performance Criteria & Applicable Standards

This proposal is assessed as satisfying the relevant Performance Criteria and compliant with all Applicable Standards of the Scheme.

See attachments titled "Planner's Advice – Applicable Standards" and "Planner's Advice – Performance Criteria" for further discussion.

Public Response

Two responses ("representations") were received from the public. Of these, two are objections.

See attachment titled "Public Response – Summary of Representations" for further information, including the planner's advice given in response.

Agency Consultation

TasWater

The application was referred to TasWater on 8 September 2022. A Submission to Planning Authority Notice (SPAN) was received on 13 September 2022.

See attachment titled "Agency Consultation - TasWater Submission to Planning Authority Notice."

TasNetworks

The application was referred to TasNetworks on 8 September 2022. A response was received on 13 September 2022 requesting the developer contact TasNetworks prior to any works within the easement including any bitumen / carpark works.

See attachment titled "Agency Consultation – TasNetworks Response."

Heritage Tasmania

The application was referred to Heritage Tasmania on 29 September 2022. A response was received on 29 September 2022 stating a referral was not required.

See attachment titled "Agency Consultation – Heritage Tasmania Response."

Internal Referrals *Infrastructure Services*

The risk to Council Infrastructure is considered low. It is considered that stormwater detention is not required due to the adequate capacity of the stormwater network. It is noted that the existing inspection point will be adjusted as part of the vehicle crossing widening. If approved, the following infrastructure conditions and notes are recommended.

Condition (1) The existing vehicle crossing must be widened in accordance with Tasmanian Standard Drawings TSD-R09 and R14 to the satisfaction of Council's Director Infrastructure Services. Refer to Note 1.

Condition (2) Kerb and footpath are to be reinstated in accordance with Tasmanian Standard Drawings TSD-R11 and R14 to the satisfaction of Council's Director Infrastructure Services. Refer to Note 1.

Condition (3) The applicant must manage and disperse stormwater runoff from the driveway area, road verge and new building areas so that concentrated, or nuisance flows do not cross the property boundaries to adjoining land.

Note (1) Works must be completed by a suitably qualified contractor. Prior to any construction being undertaken in the road reserve, separate consent is required by the Road Authority. An Application for Works in Road Reservation form is enclosed. All enquiries should be directed to Council's Infrastructure Department on 6393 5312.

Environmental Health

Red Brick Road Ciderworks and Distillery, located at 30 East Parade, Deloraine, is an attenuated activity. This property is 400m from the nearest proposed new dwelling. It is

considered that the proposed development is not going to interfere with or constrain the operation of the cidery given the distance and number of dwellings within closer proximity to the use than the proposed development.

There are also two metal fabrication businesses (Highfield Industries and Orion Australia) located at 31-35 Lansdowne Place and 2 East Goderich Street, Deloraine respectively. These businesses are located approximately 500m from the development. While a portion of the subject property falls within the 500m attenuation distance, all the proposed units are greater than 500m away.

No further information is required. No conditions or notes required.

Planner's Recommendation to Council

The planner's recommendation, based on a professional assessment of the planning application and its compliance with the Planning Scheme, is set out below.

Council must note the qualified advice received before making any decision, then ensure that reasons for its decision are based on the Planning Scheme. Reasons for the decision are also published in the minutes.

For further information, see *Local Government Act 1993, s65, Local Government (Meeting Procedures) Regulations 2015, s25(2)* and *Land Use and Approvals Act 1993, s57*.

Recommendation

This application by JMG Engineers & Planners obo Housing Tasmania for Consolidation of lots (2 lots to 1 lot) and Multiple Dwellings (5 units) on land located at 8 Davies Place, Deloraine (CT 17637/3 & CT 30862/3), is recommended for approval generally in accordance with the Endorsed Plans, and recommended Permit Conditions and Notes.

Endorsed Plans

1. Unit Development - Drawn by Wilson Multi – Project ID 712975 – Dated 2/11/2022 – Sheets DA01 – DA20 (inclusive); and
2. Traffic Impact Assessment – Midson Traffic Pty Ltd – 8 Davies Place Deloraine – 25 November 2022 – Pages 14.

Permit Conditions

1. Covenants or similar restrictive controls must not be included on or otherwise imposed on the titles to the Lot created by the consolidation of Lots.
 - a. Such covenants or controls are expressly authorised by the terms of this permit; or
 - b. Such covenants or controls are expressly authorised by the consent in writing of Council.
2. Prior to the commencement of use the following must be completed to the satisfaction of Council:
 - a. The existing vehicle crossing must be widened in accordance with Tasmanian Standard Drawings TSD-R09 and R14 to the satisfaction of Council's Director Infrastructure Services. Refer to Note 1.
 - b. Kerb and footpath are to be reinstated in accordance with Tasmanian Standard Drawings TSD-R11 and R14 to the satisfaction of Council's Director Infrastructure Services. Refer to Note 1.
 - c. A 'Shared Zone' sign, or the like, is to be erected at the entrance to the property to identify to users that the driveway will be a shared zone for pedestrians and vehicles, to the satisfaction of Council's Town Planner.
 - d. A bollard, or the like, is to be installed to the northern corner of Unit 16 to prevent a vehicle from maneuvering into the building during the turning movement, to the satisfaction of Council's Town Planner.
 - e. The external car parking spaces allocated to Unit 12 are to be clearly delineated, such as line marking or signage, to identify that the spaces are for that dwelling, to the satisfaction of Council's Town Planner.
 - f. The visitor car parking spaces are to be clearly delineated, such as line marking or signage, to identify that the spaces are for visitor car parking, to the satisfaction of Council's Town Planner.
3. The applicant must manage and disperse stormwater runoff from the driveway area, road verge and new building areas so that concentrated, or nuisance flows do not cross the property boundaries to adjoining land.

4. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA 2022/01485-MVC attached).

Permit Notes

1. Works must be completed by a suitably qualified contractor. Prior to any construction being undertaken in the road reserve, separate consent is required by the Road Authority. An application for Works in Road Reservation form is enclosed. All enquiries should be directed to Council's Infrastructure Services Department on 6393 5312.
2. Council will not accept the adherence of the two lots to create a single lot. This is not consistent with Council's Policy Number 62 – Adhesion Orders and the *Local Government (Building and Miscellaneous Provisions) Act 1993*.
3. Please consult with TasNetworks on 1300 137 008 prior to the commencement of works, including bitumen / carpark works that are within the Electricity Easement (underground low voltage cable).
4. Any other proposed development or use (including amendments to this proposal) may require separate planning approval. For further information, contact Council.
5. This permit takes effect after:
 - a. The 14-day appeal period expires; or
 - b. Any appeal to the Tasmanian Civil & Administrative Tribunal (TASCAT) is determined or abandoned; or
 - c. Any other required approvals under this or any other Act are granted.
6. Planning appeals can be lodged with TASCAT Registrar within 14 days of Council serving notice of its decision on the applicant. For further information, visit the TASCAT website.
7. This permit is valid for two years only from the date of approval. It will lapse if the development is not substantially commenced. Council has discretion to grant an extension by request.
8. All permits issued by the permit authority are public documents. Members of the public may view this permit (including the endorsed documents) at the Council Office on request.
9. If any Aboriginal relics are uncovered during works:
 - a. All works to cease within delineated area, sufficient to protect unearthed or possible relics from destruction;

- b. Presence of a relic must be reported to Aboriginal Heritage Tasmania; and
- c. Relevant approval processes for state and federal government agencies will apply.

Attachments

1. Public Response - Summary of Representations [12.1.1 - 2 pages]
 2. Public Response 1 - D Tangney [12.1.2 - 2 pages]
 3. Public Response 2 - G & P Hollow [12.1.3 - 1 page]
 4. Planner's Advice - Applicable Standards [12.1.4 - 20 pages]
 5. Planner's Advice - Performance Criteria [12.1.5 - 13 pages]
 6. Application Documents [12.1.6 - 34 pages]
 7. Agency Consultation - TasWater Submission to Planning Authority Notice [12.1.7 - 4 pages]
 8. Agency Consultation - TasNetworks Response [12.1.8 - 3 pages]
- Agency Consultation - Heritage Tasmania Response [12.1.9 - 2 pages]

12.1.1 Public Response - Summary Of Representations

Public Response

Summary of Representations

A summary of concerns raised by the public about this planning application is provided below. Two responses (“representations”) were received during the advertised period.

This summary is an overview only, and should be read in conjunction with the full responses (see attached). In some instances, personal information may be redacted from individual responses.

Council offers any person who has submitted a formal representation the opportunity to speak about it before a decision is made at the Council Meeting.

Representation 1

Name D Tangney

- Concern**
- a) The operating hours for the construction works should not be before 6:00am during weekdays and no works on weekends and public holidays.
 - b) A 1.8m high fence should continue along the boundary of 9a East Westbury Place.

- Planner’s Response**
- a) The Scheme does not regulate construction hours. Accordingly, the matter raised is not a relevant consideration in accordance with clause 6.10.1 of the Scheme.

Notwithstanding, construction activities will be required to adhere to section 23A of the *Environmental Management and Pollution Control Act 1994* and Environmental Management and Pollution Control (Noise) Regulations 2016 which relate to noise and operating hours.

This obligation is outside the planning application process.

- b) The Scheme does not regulate boundary fences in the case of the proposed development. Accordingly, the matter raised is not a relevant consideration in accordance with clause 6.10.1 of the Scheme.

Representation 2

Name *G and P Hollow*

Concern

- a) The existing wire fence should be replaced along the boundary with 21 East Westbury Place.
- b) Noxious weeds located on the site should be removed prior to any development commencing.

Planner's Response

- a) The Scheme does not regulate boundary fences in the case of the proposed development. Accordingly, the matter raised is not a relevant consideration in accordance with clause 6.10.1 of the Scheme.
- b) The Scheme does not regulate the management of noxious weeds. Accordingly, the matter raised is not a relevant consideration in accordance with clause 6.10.1 of the Scheme.

Notwithstanding, landowners have an obligation under the *Weed Management Act 1999* to control declared weeds. This obligation is outside the planning application process.

12.1.2 Public Response 1 - D Tangney

From: "Douglas Tangney" [REDACTED]
Sent: Thu, 15 Dec 2022 08:02:14 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planning Application PA\23\0063
Attachments: General Manager.docx

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Good Morning
Please see attached, referring to the above.
Thank you
Regards

Doug Tangney
[REDACTED]

12.1.2 Public Response 1 - D Tangney

General Manager
Meander Valley Council
PO Box 102 Westbury
7303
BY EMAIL: planning@mvc.tas.gov.au

Planning Application PA\23\0063

Dear Sir

Following review of the above application, as advertised on the Meander Valley Council website at [PA.23.0063.pdf \(meander.tas.gov.au\)](#), we provide a written representation to be considered by Council.

Items to be considered are:

- Working hours for demolition/building/construction – it is not clear if any early morning works (before 0600) or weekend works will occur. Permit conditions should state no demolition or construction works before 0600 and no works on weekends or local\State public holidays
- Referring to the below from the application regarding fencing,

A new and/or replacement 1.8m paling fencing is proposed along the boundary with the adjacent title (CT 141017/1) which is sensitive to the heritage listing of the properties. Internal privacy fencing is proposed (see drawing DA06, Appendix C).

- o NEW 1.8m paling fence should continue along the boundary of TR 17931/10 to the NE corner due to:
 - Units 12/13/14 main living areas and open space are on the boundary with TR 17931/10 and these units will have direct visibility in the yard of TR 17931/10 based on the existing fencing arrangement;
 - The proposed new pedestrian access from East Barrack Street to the subject title, will allow, encourage and sustain pedestrian access with increased visibility into the back yard of TR 17931/10;
 - It is not clear what the height of the floor level of Units 12/13/14 is, compared to existing ground level on the subject title, or floor level compared to the height of the existing fence on TR 17931/10. Based on the typical floor plan for these units, the living areas and outdoor space will have visibility to TR 17931/10

Thank you for considering this during the Development Application process.

Regards

Doug Tangney
TR 17931/10

12.1.3 Public Response 2 - G & P Hollow

Brenton Josey

From: Gina Hollow [REDACTED]
Sent: Sunday, 18 December 2022 9:42 AM
To: Planning @ Meander Valley Council
Subject: 8 Davies place Deloraine development application

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Re this application. Our address is [REDACTED] and our property backs on to some of this planned development. We feel that the chain mail fence is not an adequate privacy screen and we would like the developer to replace this fence with either a pailing fence or a colour bond fence. Our second concern is that there is a noxious weed (Periwinkle which is highly invasive) problem that continues to invade our property along this back boundary in the corner and we would also like this addressed. We have been fighting to control it for the past 10 years but with no success as it is firmly entrenched in the block getting developed and feel that it needs to be removed prior to the development commencing.

Yours sincerely
Gina and Phillip Hollow
Ratepayers and owners

[REDACTED]
Sent from my iPhone

Planner's Advice: Applicable Standards

Background

The proposal involves the consolidation of two lots and construction and use of five multiple dwellings on land located at 8 Davies Place, Deloraine ("the site" – refer to Figure 1).



Figure 1 - aerial image showing the location and spatial extent of the site.

The site comprises two lots which have a combined area of 4,877m². Each lot has an access strip which extends from the western corners of each lot to East Barrack Street. The northern lot is vacant and the southern lot comprises 11 multiple dwellings. The proposed consolidation will combine the two lots into a single lot.

Vehicular access is provided from Davies Place which extends from the northern side of Lansdowne Place for a distance of 78m where it terminates at a cul-de-sac turning head which provides frontage to the southern lot. A footpath is contained within the access strip which provides bicycle and pedestrian connectivity between the dwellings and East Barrack Street.

The site and adjoining land in all directions is assigned to the General Residential Zone (refer to Figure 2).

12.1.4 Planner's Advice - Applicable Standards



Figure 2 - Zone map illustrating the zoning of the site, adjoining lots and surrounding land.

The proposed dwellings will be located on the northern lot.

The proposed dwellings will be configured around the perimeter of the lot with vehicle access, parking and circulation areas located internal to the dwellings relative to the lot boundaries (refer to Figure 3). Vehicular access will be provided by reconfiguring and extending the existing car parking area on the southern lot.

12.1.4 Planner's Advice - Applicable Standards

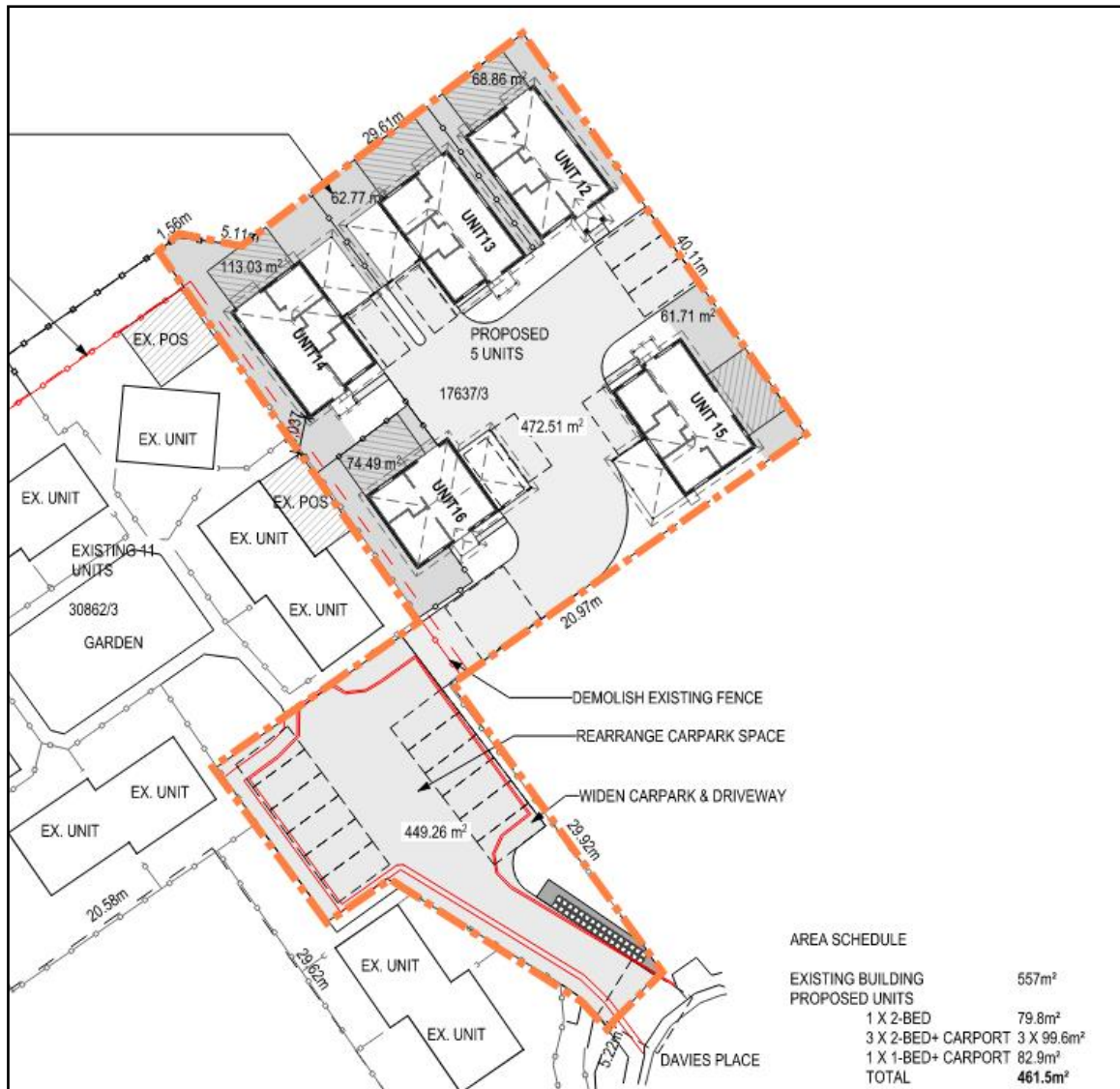


Figure 3 - excerpt of the submitted Site Plan showing the location and configuration of the proposed development within the site.

Summary of Planner's Advice

This application was assessed against General Provisions Standards, as well as the Applicable Standards for this Zone, and the relevant Codes.

All Standards applied in this assessment are taken from the Scheme.

This application is assessed as compliant with the relevant Acceptable Solutions, except where "Relies on Performance Criteria" is indicated (see tables below).

Council has discretion to approve or refuse the application based on its assessment of the Performance Criteria, where they apply. Before exercising discretion, Council must consider the relevant Performance Criteria, as set out in the Scheme.

For a more detailed discussion of any aspects of this application reliant on Performance Criteria, see the attachment titled "Planner's Advice - Performance Criteria".

8.0 General Residential

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
8.3.1	<i>All non-residential uses</i>	
A1-A4	The proposal is for a use that is identified as 'no permit required' and 'permitted' within Table 8.2.	Not Applicable
8.3.2	<i>Visitor Accommodation</i>	
A1	The proposal does not involve visitor accommodation use.	Not Applicable
8.4.1	<i>Residential density for multiple dwellings</i>	
A1	<p>The Scheme defines the term 'site area per dwelling' as:</p> <p><i>the area of a site, excluding any access strip, divided by the number of dwellings on that site.</i></p> <p>The term 'access strip' is defined as:</p> <p><i>the narrow part of an internal lot to provide access to a road.</i></p> <p>An 'internal lot' means a lot:</p> <p>(a) <i>lying predominantly behind another lot; and</i></p> <p>(b) <i>having access to a road by an access strip, private road or right of way.</i></p> <p>In this instance, the consolidated lot, is considered to constitute an internal lot on the basis that it predominately lies</p>	Relies on Performance Criteria

8.0 General Residential

*Scheme
Standard***Planner's Assessment****Assessed Outcome**

behind other lots relative to East Westbury Place to the north-east, Davies Place to the south-east, and East Barrack Street to the south-west. In addition to this, the main body of the lot is primarily accessed from Davies Place via a narrow part of the lot compared to the shape and dimensions of the main body of the lot and is also accessed by foot from an access strip between East Barrack Street to the south-west and the main body of the lot.

The lot has an area of 4,625m² (based on the Folio Plan) and the access strips have an area of ~922m² (refer to image below). Accordingly, the net area in which to calculate the site area per dwelling is 3,702.66m². The proposal involves five dwellings and there are 11 existing dwellings on the site. Subsequently, the site will accommodate a total of 16 dwellings which produces a site area per dwelling of 1/231.4m² which does not satisfy the Acceptable Solution of 1/325m².

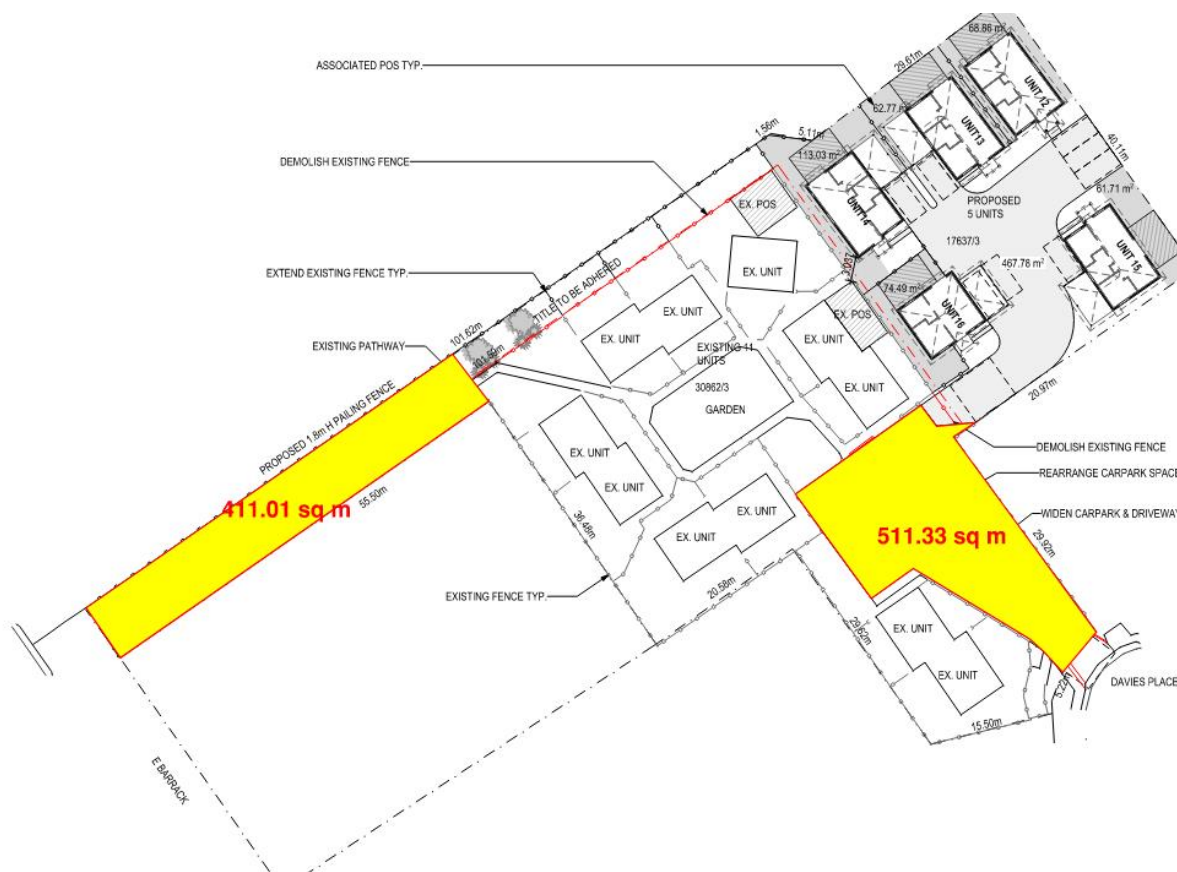
Irrespective of whether the access strips, as defined, are excluded, the site area per dwelling based on the combined area of the consolidated lot will be 1/289m² which does not satisfy the Acceptable Solution of 1/325m².

8.0 General Residential

Scheme Standard

Planner's Assessment

Assessed Outcome



8.4.2

Setbacks and building envelope for all dwellings

A1

The site has two frontages.

Complies

The Scheme defines the term 'primary frontage' as:

means:

(a) if there is only a single frontage, the frontage; or

(b) if there are 2 or more frontages, the frontage with the shortest dimensions measured parallel to

8.0 General Residential

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
	<p style="text-align: center;"><i>the road irrespective of minor deviations and corner truncations.</i></p> <p>Each frontage has the following dimensions:</p> <ul style="list-style-type: none"> • Davies Place: 12m • East Barrack Street: 7.2m <p>Accordingly, East Barrack Street has the shortest dimension of the two frontages, and it therefore constitutes the primary frontage of the site.</p> <p>Proposed Unit 4 will be the closest building to the primary frontage where it will have a setback of 102.7m.</p>	
A2	Proposed Unit 16 will be the closest building to the Davies Place frontage. Proposed Unit 16 will have a direct setback of 38.9m from the frontage.	Complies
A3	The applicable building envelope is described by Figure 8.3 on the basis that the site is considered to constitute an internal lot. The table below indicates that proposed Unit 15 encroaches the building envelope relative to its corresponding south-eastern boundary and therefore does not satisfy subclause A3(a). All other proposed dwellings will be contained within the building envelope described by Figure 8.3 and therefore satisfies subclause A3(a). All proposed dwellings	Relies on Performance Criteria

12.1.4 Planner's Advice - Applicable Standards

8.0 General Residential

Scheme Standard

Planner's Assessment

Assessed Outcome

will be setback a minimum distance of 1.5m from all lot boundaries.

Unit No	Max Wall Height	Boundary Setback							
		North-East		North-West		South-East		South-West	
		R ¹	P ²	R	P	R	P	R	P
Unit 12	2.4m	1.5m	1.76m	1.5m	4m	4.5m	24.2m	4.5m	72.2m
Unit 13	2.4m	1.5m	10.9m	1.5m	4.1m	4.5m	24.2m	4.5m	60m
Unit 14	2.4m	1.5m	26.2m	1.5m	4m	4.5m	25.6m	4.5m	47.6m
Unit 15	2.4m	1.5m	4m	1.5m	26.9m	4.5m	1.5m	4.5m	66.7m
Unit 16	2.4m	1.5m	24.7m	1.5m	23.5m	4.5m	9.9m	4.5m	47.9m

¹ Required in accordance with A3(a) and (b).

² Proposed setback.

8.4.3

Site coverage and private open space for all dwellings

A1(a)

Each existing and proposed dwelling will have the following roofed areas:

Complies

8.0 General Residential

**Scheme
Standard****Planner's Assessment****Assessed Outcome**

Dwelling	Roofed Area
Unit 12	83.3m ²
Unit 13	102.2m ²
Unit 14	101.5m ²
Unit 15	102.8m ²
Unit 16	84.3m ²
Existing Units	560.6m ²
Total	1034.7m ²

The site has a total area of 3,702.66m² (excluding the access strip) and the site coverage is therefore 27.9%.

A1(b)

Each existing and proposed dwelling will have the following total area of private open space (POS) for exclusive use:

Complies

Dwelling	POS Area
Unit 12	68.86m ²
Unit 13	62.77m ²
Unit 14	113.03m ²
Unit 15	61.71m ²
Unit 16	74.49m ²

A2

All proposed dwellings will have an area of private open space that satisfies all subclauses of A2 (refer to the image

Complies

8.0 General Residential

Scheme Standard

Planner's Assessment

Assessed Outcome

below).



8.4.4

Sunlight to private open space of multiple dwellings

A1

Proposed Unit 14 will be located to the north of the private open space associated with an existing dwelling and proposed Unit 16. Proposed Unit 14 will be located a minimum distance of 3m from the northern edge of the private open space associated with the existing dwelling therefore satisfying subclause A1(a) (refer to image below).

Complies

8.0 General Residential

Scheme Standard

Planner's Assessment

Assessed Outcome

Proposed Unit 14 will be located approximately 2.7m from the northern edge of the private open space associated with proposed Unit 16 which does not satisfy subclause A1(a). However, the submitted diagrams illustrate that the private open space associated with proposed Unit 16 will receive sunlight to greater than 50% of the designated private open space area between 9:00am and 12:00pm on June 21, therefore satisfying subclause A1(b).



8.0 General Residential

Scheme Standard

Planner's Assessment

Assessed Outcome



8.4.5	<i>Width of openings for garages and carports for all dwellings</i>	
A1	The nearest attached garage or carport to the primary frontage is setback 110m from the primary frontage.	Not Applicable
<hr/>		
8.4.6	<i>Privacy for all dwellings</i>	
A1	All proposed dwellings will have a finished floor level of less than 1m above existing ground level.	Not Applicable
A2	All proposed dwellings will have a finished floor level of less than 1m above existing ground level.	Not Applicable
<hr/>		
A3	Windows to habitable rooms for all proposed dwellings will be located a minimum distance of 2.5m from the	Complies

8.0 General Residential

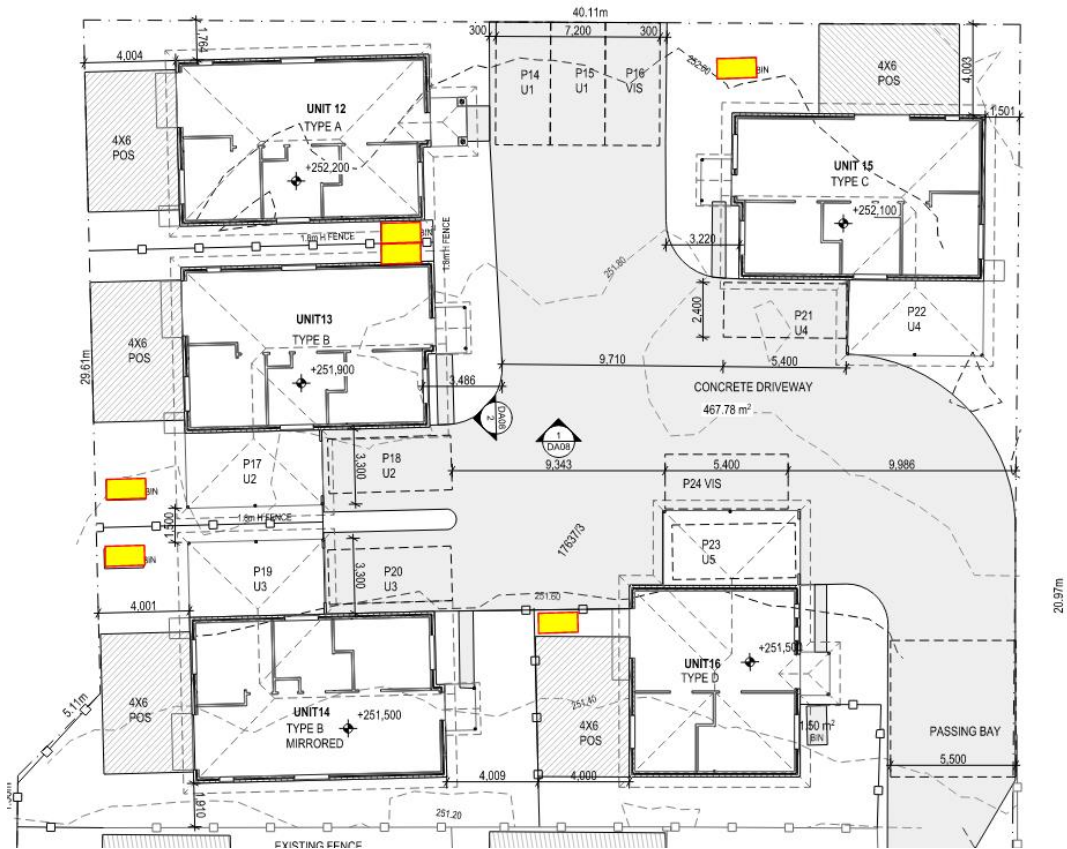
<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
	corresponding shared driveway, satisfying subclause A3(a).	

8.4.7 *Frontage fences for all dwellings*

A1	The proposal does not involve a frontage fence.	Not Applicable
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8.4.8 *Waste storage for multiple dwellings*

A1	Each dwelling is capable of containing a 1.5m ² area for bin storage in a location that is not in front of the building line of each dwelling (refer to image below).	Complies
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8.0 General Residential

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
8.5	<i>Development Standards for Non-dwellings</i>	
	The proposal does not involve non-dwelling development.	Not Applicable
8.6.1	<i>Lot design</i>	
A1(d)	The proposed subdivision of land is for the consolidation of two lots within the General Residential Zone.	Complies
A2	The proposed lot will retain 12m of frontage to Davies Place.	Complies
A3	The proposed lot will retain existing access from Davies Place and is therefore in accordance with the requirements of Council being the authority for the road.	Complies
A4	The proposal does not involve a new road.	Complies
8.6.2	<i>Roads</i>	
A1	The proposal does not involve a new road.	Complies
8.6.3	<i>Services</i>	
A1	The proposed lot will retain an existing connection to a reticulated water supply at the Davies Place frontage.	Complies

8.0 General Residential

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
A2	The proposed lot will retain an existing connection to a reticulated sewerage system which dissects the site at the northern end of the existing carpark.	Complies
A3	The proposed lot will retain an existing stormwater connection which is located at the southern end of the site.	Complies

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.5.1	<i>Car parking numbers</i>	
A1	<p>Table C2.1 requires 2 car parking spaces for every 2 or more-bedroom dwelling and 1 dedicated visitor car parking space per 4 dwellings for multiple dwelling developments.</p> <p>In this instance, each proposed dwelling will be provided with 2 car parking spaces.</p> <p>In addition, 2 visitor car parking spaces will be provided which satisfies the number of visitor parking spaces for the proposed 5 multiple dwellings.</p> <p>The existing dwellings will retain their existing car parking spaces.</p>	Complies

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.5.2	<i>Bicycle Parking</i>	
A1	Table C2.1 does not set a requirement for bicycle parking spaces to be provided for dwellings within the General Residential zone.	Not Applicable
C2.5.3	<i>Motorcycle Parking</i>	
A1	Less than 20 car parking spaces are required for the proposed use.	Complies
C2.5.4 – C2.5.5	Clauses not applicable to a residential use for multiple dwellings in the General Residential Zone.	Not Applicable
C2.6.1	<i>Construction of parking areas</i>	
A1	All proposed parking, accessway, manoeuvring and circulation areas will be constructed with a concrete or sealed surface and will be drained to a legal stormwater discharge point.	Complies
C2.6.2	<i>Design and Layout of parking areas</i>	
A1.1 (a)(i)	The site is relatively level with minimal topographical constraints (~4% fall in a westerly direction). Accordingly, the proposed parking, access ways, manoeuvring and circulation areas will have a gradient that satisfies AS 2890 Parts 1-6.0	Relies on Performance Criteria
A1.1 (a)(ii)	The swept paths demonstrate that vehicles are able to enter and exit the site in a forward direction.	

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
A1.1 (a)(iii)	The accessway serves over 21 car parking spaces. Accordingly, all accessways are required to have a minimum width of 5.5m in accordance with Table C2.2. In this instance, the existing and new section of driveway will have a minimum width of 5.5m.	
A1.1 (a)(iv)	The car parking space widths of 2.4m do not satisfy Table 2.3 for all types of 90° parking spaces.	
A1.1 (a)(v)	Each proposed car parking space will have a minimum combined access of manoeuvring width of 5.8m which satisfies Table C2.3.	
A1.1 (a)(vi)	All carports and garages will have a minimum vertical clearance of 2.1m.	
A1.1 (a)(vii)	All car parking spaces that are external to corresponding dwellings will be delineated by markers.	
A1.1(b)	Subclause A1(a) has been relied upon for assessment of the Standard.	
A1.2	Accessible parking spaces are not required to be provided for single and multiple dwellings.	
<hr/>		
C2.6.3	<i>Number of accesses for vehicles</i>	
A1	The site will retain an existing access and no additional accesses are proposed.	Complies
A2	The site is not located in the Central Business zone.	Not Applicable
<hr/>		

12.1.4 Planner's Advice - Applicable Standards

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C2.6.4	<i>Lighting of parking within the General Business Zone and Central Business Zone</i>	
A1	The site is not located in the General Business zone or Central Business zone.	Not Applicable
C2.6.5	<i>Pedestrian access</i>	
A1.1	The proposal requires more than 10 car parking spaces. A footpath is not shown or proposed.	Relies on Performance Criteria
A1.2	Accessible parking spaces are not required to be provided for single and multiple dwellings.	

Clauses C2.6.6 – C2.7.1 are not applicable for a residential use for multiple dwellings in the General Residential Zone.

C3.0 Road and Railway Assets Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C3.5.1	<i>Traffic generation at a vehicle crossing, level crossing or new junction</i>	
A1.1	Davies Place is not a category 1 or limited access roads.	Not Applicable
A1.2	The proposal will utilise an existing vehicle crossing.	Not Applicable
A1.3	The proposal does not involve a new private level crossing.	Not Applicable

12.1.4 Planner's Advice - Applicable Standards

C3.0 Road and Railway Assets Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
A1.4	The RTA Guide to Traffic Generating Activities estimates medium density dwellings generate 4-5 trips (one way vehicle movements) per day. Accordingly, the proposed dwellings are expected to generate up to 25 vehicle movements per day, as detailed in the accompany Traffic Impact Statement. This will not increase the vehicular traffic to and from the site by more than the amounts in Table C3.1.	Complies
A1.5	Davies Place is not a major road.	Not Applicable

C9.0 Attenuation Code

<i>Scheme Standard</i>	Planner's Assessment	Assessed Outcome
C9.5.1	<i>Activities with potential to cause emissions</i>	
A1	The proposal does not involve a use specified within Tables C9.1 and C9.2.	Not Applicable
C9.5.2	<i>Sensitive use within an attenuation area</i>	
A1	The proposed dwellings will be partially located within a metal fabrication workshop attenuation area (yellow area within image below) and wholly located within a cider production attenuation area (magenta area within image below).	Relies on Performance Criteria

C9.0 Attenuation Code

Scheme Standard

Planner's Assessment

Assessed Outcome



C9.6.1 *Lot Design*

A1 The proposal does not involve the subdivision of land (consolidation not considered to constitute the act of subdivision as defined by the Scheme and Act).

Not Applicable

8.0 General Residential Zone

Planning Scheme Provision	8.4.1 Residential density for multiple dwellings
	<p>Objective</p> <p><i>That the density of multiple dwellings:</i></p> <ul style="list-style-type: none"> <i>(a) makes efficient use of land for housing; and</i> <i>(b) optimises the use of infrastructure and community services.</i> <p>Performance Criteria P1</p> <p><i>Multiple dwellings must only have a site area per dwelling that is less than 325m², if the development will not exceed the capacity of infrastructure services and:</i></p> <ul style="list-style-type: none"> <i>(a) is compatible with the density of existing development on established properties in the area; or</i> <i>(b) provides for a significant social or community benefit and is:</i> <ul style="list-style-type: none"> <i>(i) wholly or partly within 400m walking distance of a public transport stop; or</i> <i>(ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone.</i>

Summary of Planner's Advice

The development is assessed as satisfying Performance Criteria P1, and is consistent with the objective.


Details of the planner's assessment against the provision are set out below.

Scheme Provision	Planner's Assessment
8.4.1 Performance Criteria P1(a)	The application relies on subclause P1(b) for compliance with the Standard. Subclause P1(a) is therefore not applicable.
8.4.1 Performance Criteria P1(b)	<p>The first part of clause 8.4.1 P1 requires development to be within the capacity of infrastructure services. Relevant infrastructure services required to be considered include reticulated water, sewerage and stormwater and to a lesser extent road infrastructure.</p> <p>With respect to water and sewerage, the site is located within an area that is serviced by reticulated water and sewer infrastructure which is regulated by TasWater. The application was referred to TasWater in accordance with the</p>

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	<p>statutory requirements under the <i>Land Use Planning and Approvals Act 1993</i> and the <i>Water and Sewerage Industry Act 2008</i>. TasWater provided conditional consent for the proposed development by the Submission to Planning Authority Notice ('SPAN') with reference number TWDA 2022-01485-MVC. On this basis, it is considered that TasWater are satisfied that the proposed development will not exceed the capacity of their service infrastructure by virtue of providing consent through their SPAN.</p> <p>With respect to stormwater, the site is located within an area that is serviced by a public stormwater system which is regulated by Council. Council's Infrastructure Services Department have reviewed the application and have determined that the proposed development will be within the capacity of existing stormwater infrastructure.</p> <p>With respect to road infrastructure, the increase in vehicle traffic as a result of the proposed development will not exceed the capacity of the local road network.</p> <p>Clause 8.4.1 P1(b) provides an alternative pathway to clause 8.4.1 P1(a) of satisfying the Standard where it is demonstrated that the development provides for a significant social or community benefit.</p> <p>The term 'social or community' benefit is not defined in the Scheme. In the absence of a Scheme definition, it is contended that residential development that provides a significant social or community benefit is residential development that is for a clearly demonstrable or defined public, community or assisted housing purpose.</p> <p>In this instance, the site comprises public land under the authority of Housing Tasmania. The proposed dwellings will be used for social and community housing purposes managed by Housing Tasmania.</p> <p>On this basis, it is contended that the proposed multiple dwellings will provide for a significant social and community benefit.</p>
8.4.1 Performance Criteria P1(b)(i)	<p>The application relies on subclause P1(b)(ii) for compliance with the Standard. Subclause P1(b)(i) is therefore not applicable.</p>

12.1.5 Planner's Advice - Performance Criteria

<p style="text-align: center;">Scheme Provision</p>	<p style="text-align: center;">Planner's Assessment</p>
<p>8.4.1 Performance Criteria P1(b)(ii)</p>	<p>The site, which will contain the proposed multiple dwellings, will be located within 400m walking distance of Urban Mixed Use zoned land which is illustrated in the following diagram:</p> 
<p>8.4.1 Performance Criteria P1 Conclusion</p>	<p>The proposed multiple dwellings satisfy Performance Criteria 8.4.1 P1(b). In this regard, it has been demonstrated that the proposed development will be within the capacity of infrastructure services, the multiple dwellings will provide for a significant social and community benefit and the site is within 400m walking distance of Urban Mixed Use zoned land.</p>

8.4.2 Setbacks and building envelope for all dwellings

Objective

The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;*
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;*
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and*
- (d) provides reasonable access to sunlight for existing solar energy installations.*

Performance Criteria P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
 - (iii) overshadowing of an adjoining vacant property; and*
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;**
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

 - (i) an adjoining property; or*
 - (ii) another dwelling on the same site.**

Planning Scheme Provision


Summary of Planner’s Advice

The development is assessed as satisfying Performance Criteria P3, and is consistent with the objective.

Details of the planner’s assessment against the provision are set out overleaf.

Scheme Provision	Planner’s Assessment
8.4.2 Performance	The following assessment is concentrated on the siting and scale of

12.1.5 Planner's Advice - Performance Criteria

<p style="color: green; margin: 0;">Scheme Provision</p>	<p style="color: blue; margin: 0;">Planner's Assessment</p>
<p style="color: green; margin: 0;">Criteria P3(a)</p>	<p>proposed Unit 15 relative to its south-eastern boundary.</p> <p>For the purposes of this assessment, the adjoining properties are 5 and 7 Davies Place. The location of the adjoining properties relative to the site are illustrated in the following diagram:</p> <div style="text-align: center;">  </div> <p>The adjoining properties contain single dwellings which are located centrally within each lot.</p>
<p style="color: green; margin: 0;">8.4.2 Performance Criteria P3(a)(i)</p>	<p>The submitted Shadow Study diagrams illustrate that the adjoining dwellings will not be affected by overshadowing caused by proposed Unit 15.</p>
<p style="color: green; margin: 0;">8.4.2 Performance Criteria P3(a)(ii)</p>	<p>The submitted Shadow Study diagrams illustrate that whilst the adjoining properties will be subject to overshadowing cause by proposed Unit 15, the location, duration and extent of overshadowing will not be unreasonable relative to the area of private open space associated with the adjoining lots that will be free from overshadowing. The degree of overshadowing is therefore considered reasonable in this instance.</p>

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
8.4.2 Performance Criteria P3(a)(iii)	The adjoining properties are not vacant and subclause P3(a)(iii) is therefore not applicable.
8.4.2 Performance Criteria P3(a)(iv)	Visual impacts caused by the apparent scale, bulk and proportions of proposed Unit 15 when viewed from the adjoining properties will not cause an unreasonable loss of amenity to the adjoining properties on the basis that the building will be contained within the building envelope prescribed by Acceptable Solution A3(a) and illustrated by Figure 8.3. In this instance, proposed Unit 15 will be single storey with a wall height of 2.4m and a hipped roof that is angled away from the adjoining properties. Accordingly, it will be of a scale and bulk that will be proportionate to the surrounding development.
8.4.2 Performance Criteria P3(b)	Proposed Unit 15 will be provided with separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area. In this regard, dwellings (including associated outbuildings) are located on or proximate to their side and rear boundaries.
8.4.2 Performance Criteria P3(c)	The site and the identified adjoining properties are not known to contain existing solar energy installations.
8.4.2 Performance Criteria P3 Conclusion	The proposed multiple dwellings satisfy Performance Criteria 8.4.2 P3. In this regard, the siting and scale of proposed Unit 15 will not cause an unreasonable loss of amenity to the adjoining properties, the separation of the proposed dwellings from dwellings on adjoining properties will be consistent with the pattern of separation distances between dwellings on established properties within the area, and the site and identified adjoining properties are not known to contain existing solar energy installations.

C2.0 Parking and Sustainable Transport Code

C2.6.2 Design and layout of parking areas

Planning Scheme Provision

Objective:

That parking areas are designed and laid out to provide convenient, safe and efficient parking.

Performance Criteria P1

All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:

- (a) the characteristics of the site;*
- (b) the proposed slope, dimensions and layout;*
- (c) useability in all weather conditions;*
- (d) vehicle and pedestrian traffic safety;*
- (e) the nature and use of the development;*
- (f) the expected number and type of vehicles;*
- (g) the likely use of the parking areas by persons with a disability;*
- (h) the nature of traffic in the surrounding area;*
- (i) the proposed means of parking delineation; and*
- (j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.*

Summary of Planner’s Advice

The development is assessed as satisfying Performance Criteria P1, and is consistent with the objective.

Details of the planner’s assessment against the provision are set out below.

Scheme Provision	Planner’s Assessment
C2.6.2 Performance Criteria P1 (a)	The characteristics of the site do not prevent the proposed use and development from being provided with convenient, safe and efficient parking which is demonstrated by the proposed vehicle access, circulation and parking spaces complying with the majority of the corresponding Acceptable Solutions.
C2.6.2 Performance Criteria P1	The site is not affected by significant topographical constraints. Accordingly, the dimensions and layout of the proposed accessway, parking

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
<i>(b)</i>	areas and circulation is not affected by slope.
C2.6.2 Performance Criteria P1 (c)	The proposed accessway and circulation area will be sealed and drained to a discharge point to the public stormwater system. Accordingly, the proposed accessway and circulation area will be usable in all weather conditions.
C2.6.2 Performance Criteria P1 (d)	The proposed accessway will have a minimum width of 5.5m which will allow for two-way traffic movements. A footpath will be provided along the south-western side of the existing car parking area which is to be modified, and which will provide safe pedestrian access between the Davies Place frontage and the main unit development. An alternative pedestrian pathway will be provided along the access strip of the site which will provide safe pedestrian movement between the dwellings and East Barrack Street.
C2.6.2 Performance Criteria P1 (e)	The nature of the traffic generated by the proposed use will be predominately passenger vehicles associated with residential use which will be compatible with the surrounding land use and current vehicles using Davies Place.
C2.6.2 Performance Criteria P1 (f)	The proposed use and development is expected to generate approximately 25 additional vehicle movements per day. The vehicles are expected to be predominately passenger vehicles.
C2.6.2 Performance Criteria P1 (g)	It is expected that each dwelling will be capable of being used by a person with a disability.
C2.6.2 Performance Criteria P1 (h)	The nature of traffic within the surrounding area is residential. The traffic generated by the proposed use and development will therefore be compatible with the surrounding land use and current vehicles using Davies Place.
C2.6.2 Performance	External car parking spaces will be delineated by line or parking markers or will be located adjacent to buildings and will be delineated by kerbing,

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
Criteria P1 (i)	landscaping and fencing.
C2.6.2 Performance Criteria P1 (j)	The proposed accessway and circulation area will generally accord with the provisions of the relevant Australian Standards for off-street parking.
C2.6.2 Performance Criteria P1 Conclusion	The proposed accessways and circulation areas satisfy Performance Criteria C2.6.2. In this regard, the proposed accessway, circulation area and parking spaces are designed and laid out to provide convenient, safe and efficient parking for the proposed multiple dwelling development.

<i>C2.6.5 Pedestrian access</i>	
Planning Scheme Provision	Objective: <i>That pedestrian access within parking areas is provided in a safe and convenient manner.</i>
	Performance Criteria P1
	<ul style="list-style-type: none"> <i>(a) the characteristics of the site;</i> <i>(b) the nature of the use;</i> <i>(c) the number of parking spaces;</i> <i>(d) the frequency of vehicle movements;</i> <i>(e) the needs of persons with a disability;</i> <i>(f) the location and number of footpath crossings;</i> <i>(g) vehicle and pedestrian traffic safety;</i> <i>(h) the location of any access ways or parking aisles; and</i> <i>(i) any protective devices proposed for pedestrian safety.</i>

Summary of Planner's Advice

The development is assessed as satisfying Performance Criteria P1, and is consistent with the objective.

Details of the planner's assessment against the provision are set out below.

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
C2.6.5 Performance Criteria P1 (a)	The characteristics of the site do not prevent the proposed use and development from being provided with safe and convenient pedestrian access within parking areas. In this regard, the existing car park will be retained along with the associated adjoining footpath network. The proposed new dwellings will be provided with car parking adjacent to each dwelling which will minimise the need for pedestrians to move within the vehicle circulation area between car parks and dwellings.
C2.6.5 Performance Criteria P1 (b)	The use is residential for the purposes of multiple dwellings. Accordingly, users of the site will be familiar with the nature of vehicle usage and other features associated with vehicle movements.
C2.6.5 Performance Criteria P1 (c)	The proposed dwellings will be provided with the number of car parking spaces required by Table C2.1.
C2.6.5 Performance Criteria P1 (d)	Frequency of vehicle movement is expected to be structured around peak periods which are morning and evening periods. Other intermittent vehicle movements are expected to be low in volume during non-peak periods.
C2.6.5 Performance Criteria P1 (e)	It is expected that each dwelling will be capable of being used by a person with a disability. Parking spaces are located adjacent to each proposed dwelling.
C2.6.5 Performance Criteria P1 (f)	There are no specific footpath crossings proposed within the site.
C2.6.5 Performance Criteria P1 (g)	Vehicle and pedestrian safety will be maintained through the continued use of a footpath adjacent to the main car parking area and the footpath that connects the dwellings to East Barrack Street.

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
C2.6.5 Performance Criteria P1 (h)	The existing parking and accessway associated with the existing car park will be retained.
C2.6.5 Performance Criteria P1 (i)	Specific devices for pedestrian safety are not proposed.
C2.6.5 Performance Criteria P1 Conclusion	The pedestrian access satisfies Performance Criteria C2.6.5. In this regard, the proposed accessway, circulation area and parking spaces are designed and laid out to provide convenient, safe and efficient parking and pedestrian access for the proposed multiple dwelling development.

C9.0 Attenuation Code


9.5.2 Sensitive use within an attenuation area	
Planning Scheme Provision	<p>Objective: That sensitive use located within an attenuation area does not interfere with or constrain the operation of an existing activity listed in Tables C9.1 or C9.2.</p>
	<p>Performance Criteria P1 Sensitive use within an attenuation area, must not interfere with or constrain an existing activity listed in Tables C9.1 or C9.2, having regard to:</p> <ul style="list-style-type: none"> (a) the nature of the activity with potential to cause emissions including: <ul style="list-style-type: none"> (i) operational characteristics of the activity; (ii) scale and intensity of the activity; and (iii) degree of hazard or pollution that may be emitted from the activity; (b) the nature of the sensitive use; (c) the extent of encroachment by the sensitive use into the attenuation area; (d) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions of the activity; (e) any advice from the Director, Environment Protection Authority; and (f) any advice from the Director of Mines.

Summary of Planner's Advice

12.1.5 Planner's Advice - Performance Criteria

The development is assessed as satisfying Performance Criteria P1, and is consistent with the objective.

Details of the planner's assessment against the provision are set out below.

<p style="text-align: center;">Scheme Provision</p>	<p style="text-align: center;">Planner's Assessment</p>
<p style="text-align: center;">C9.5.2 Performance Criteria P1 Preamble</p>	<p>The proposed dwellings will be partially located within a metal fabrication workshop attenuation area (yellow area within image below) and wholly located within a cider production attenuation area (magenta area within image below). The workshop is located at 31-35 Lansdowne Place and the cidery is located at 30 East Parade.</p> 
<p style="text-align: center;">C9.5.2 Performance Criteria P1(a)</p>	<p>The primary activity is a metal fabrication workshop which manufactures agricultural equipment. It operates during regular business hours. The primary emission that is generated by the existing activity that has the potential to cause an impact on the amenity of the proposed residential use is noise from equipment and machinery. The manufacturing processes occur within the workshop where the openings face away from the direction</p>

12.1.5 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	of the site.
C9.5.2 Performance Criteria P1(b)	The sensitive use is residential for the purposes of five new residential dwellings. The site and proposed use is located within an established residential area.
C9.5.2 Performance Criteria P1(c)	The attenuation areas that encompasses existing activities, currently includes several other sensitive uses (dwellings and schools).
C9.5.2 Performance Criteria P1(d)	Specific mitigations are not required given the reasonable distance between the proposed dwellings and existing attenuating activities and the presence of several other residential and community uses that are located between the site and the attenuating activities.
C9.5.2 Performance Criteria P1(e)	The activity is not regulated by the Environmental Protection Authority.
C9.5.2 Performance Criteria P1(f)	The activity is not associated with a mining lease.
C9.5.2 Performance Criteria P1 Conclusion	The proposed use and development satisfies the Objective of the Standard insofar as it will not interfere or constrain the existing attenuating activities.



Meander Valley Council
Working Together

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="8 Davies Place"/>	Certificate of Title:	<input type="text" value="30862/3 & 17637/3"/>
Suburb:	<input type="text" value="Deloraine"/> <input type="text" value="7304"/>	Lot No:	<input type="text"/>
Land area:	<input type="text" value="4626 sqm"/>	m^2 / ha	
Present use of land/building:	<input type="text" value="vacant (17637/3) & existing residential (30862/3)"/> <small>(vacant, residential, rural, industrial, commercial or forestry)</small>		

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input checked="" type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m^2 New building height: m (multiple buildings with variable heights- maximum height shown)

Materials: External walls: Colour:

Roof cladding: Colour:

Roof cladding and external wall cladding selected by client - please see detailed drawings (supplied) for placement of design elements.



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 17637	FOLIO 3
EDITION 2	DATE OF ISSUE 07-Sep-2021

SEARCH DATE : 30-Nov-2022
SEARCH TIME : 12.58 PM

DESCRIPTION OF LAND

Town of DELORAINÉ
Lot 3 on Sealed Plan 17637
(Formerly Lots 1 & 2 on SP 17637)
Derivation : Part of 2 Acres (Section B.) Gtd. to P. Miller
Part of 3 Acres (Section B.) Gtd. to J. Bonney.
Prior CT 3957/70

SCHEDULE 1

M910198 DIRECTOR OF HOUSING Registered 07-Sep-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 17637 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

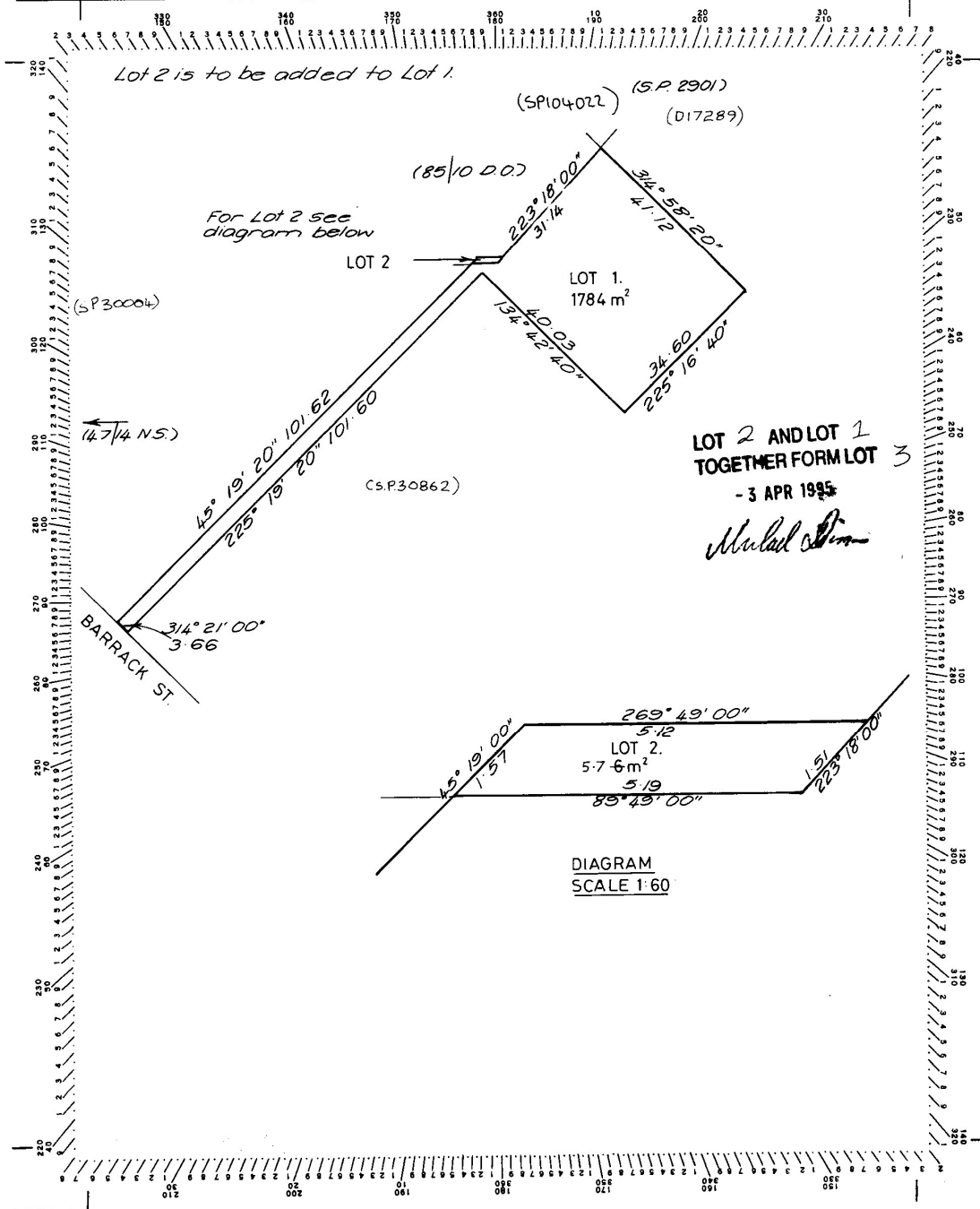
No unregistered dealings or other notations

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Owner: G. & G.P. GREENWOOD A.D.C. JORDAN WEBSTERS PTY LTD.	PLAN OF SURVEY by Surveyor KENNETH R. MICHELL of land situated in the TOWN OF DELORAINE SECTION B	Registered Number: S.P. 17637 Effective from: 11 MAY 1982 <i>J. Broad</i> ACTING DEPUTY Recorder of titles
Title Reference: CONV. 14/2700 3929-40 CONV. 38/6244 53/9214	SCALE 1: 800 MEASUREMENTS IN METRES	
Grantee: PART OF LOTS 9 & 10 SEC. B. 2° 0' 0" GTD. TO PHILIP MILLER PART OF LOTS 2 & 3 SEC. B. 2° 0' 0" GTD. TO JOHN BONNEY. 3° 0' 0"		



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SP



SCHEDULE OF EASEMENTS

Plan No.

17637

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

COVENANTS

The owner of each lot shown on the plan covenants with Webster Limited and Garry Greenwood and Gail Patricia Greenwood that the Vendors (the said Webster Limited and Garry Greenwood and Gail Patricia Greenwood) shall not be required to fence.

No easements profits a prende or other covenants are created to benefit or burden any lot shown on the plan.

SIGNED by GARRY GREENWOOD and GAIL PATRICIA GREENWOOD the beneficial owners of the land in Conveyance No. 18/2700 in the presence of:-

Handwritten signature of Garry Greenwood and G.P. Greenwood.

Handwritten signature of the witness.

THE COMMON SEAL OF WEBSTER LIMITED) the beneficial owners of the land in Conveyance No. 38/6241 was hereunto affixed in the presence of

Director

Handwritten signature of the Director.

Secretary

Handwritten signature of the Secretary.



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



This is the schedule of easements attached to the plan of ...A.D.C. Jordan and Webster Ltd.
(Insert Subdivider's Full Name)

..... affecting land in

Conveyances Nos. 18/2700 and 38/6241

(Insert Title Reference)

Sealed by MUNICIPALITY OF DELORAINÉ on 16th JANUARY 1982

Council Clerk/Town Clerk

38066



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 30862	FOLIO 3
EDITION 1	DATE OF ISSUE 19-Apr-1995

SEARCH DATE : 30-Nov-2022

SEARCH TIME : 12.58 PM

DESCRIPTION OF LAND

Town of DELORAINE
 Lot 3 on Sealed Plan 30862
 (Formerly Lots 2 & 38904 on Sealed Plan 30862)
 Derivation : Part of Lot 11 (Section B.) Gtd. to The Director
 of Housing, Whole of Lot 38904 Gtd. to the Director-General of
 Housing & Construction
 Prior CT 4348/61

SCHEDULE 1

DIRECTOR OF HOUSING

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 30862 FENCING COVENANT in Schedule of Easements

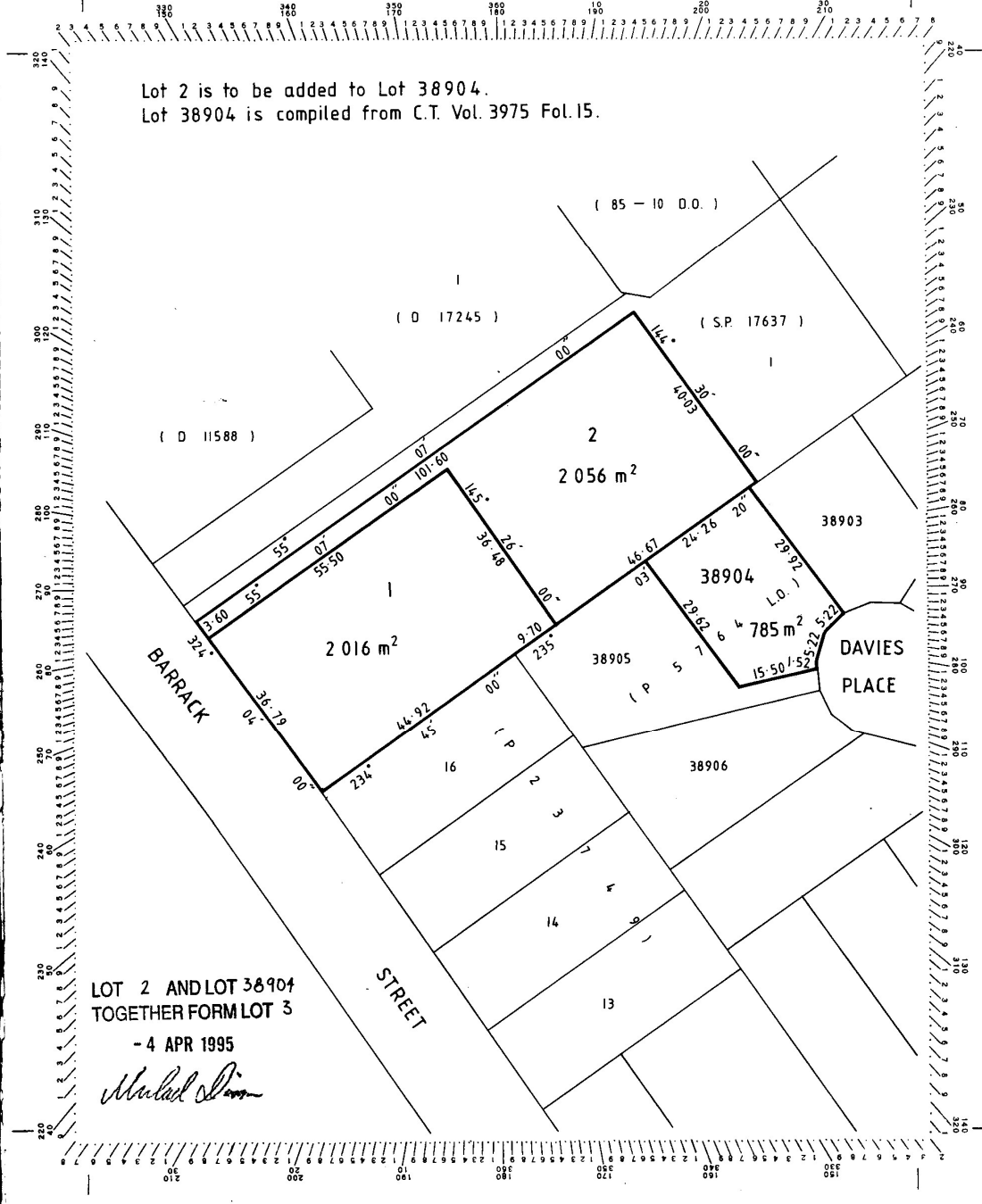
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

48/86

Owner: Lots 1 & 2, Director of Housing Lot 38904, The Director - General of Housing & Construction	PLAN OF SURVEY by Surveyor <u>R.V. Tait</u> of land situated in the	Registered Number: S. P30,62 FB 15221
Title Reference: C.T. Vol. 4221 Fol. 9 C.T. Vol. 3975 Fol. 15.	TOWN OF DELORAINE Section B	
Grantee: Whole of Lot 11, 4047m ² , granted to Director of Housing & whole of Lot 38904 granted to The Director-General of Housing & Construction.		

Lot 2 is to be added to Lot 38904.
 Lot 38904 is compiled from C.T. Vol. 3975 Fol. 15.



LOT 2 AND LOT 38904
 TOGETHER FORM LOT 3

- 4 APR 1995

[Signature]

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

PLAN NO.

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

S. P30862

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
(2) any easements or profits à prendre described hereunder.

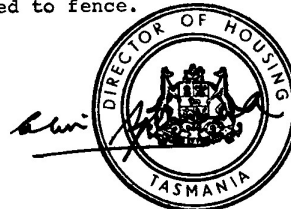
Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
(2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

No easements or profits a prendre or covenants are created to benefit or burden any lots on the plan.

The owner of each lot covenants with the Vendor the Director of Housing that the Vendor shall not be required to fence.



The Director of Housing

Registered proprietor of the land shown on the plan in the presence of:

..... [Signature]





SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



30862

This is the schedule of easements attached to the plan of DIRECTOR OF HOUSING
(Insert Subdivider's Full Name)

..... affecting land in

Certificates of Title Volume 4221 Folio 9 and 3975/15
(Insert Title Reference)

Sealed by on19.....

Solicitor's Reference
Council Clerk/Town Clerk

OSK 3134

PLANNING REPORT

Wilson Homes

Multi-dwelling Development

8 DAVIES PLACE, DELORAINE

September 2022



12.1.6 Application Documents



Johnstone McGee & Gandy Pty Ltd

ABN 76 473 834 852 ACN 009 547 139

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Issuing Office: 117 Harrington Street, Hobart 7000						
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I:\PROJECTS\PL\2022\J220645PL - 8 Davies Place, Deloraine\12-Planning\03-JMG Reports\01-Draft Planning Report\J220645PL - 8 Davies Place Deloraine - Planning Report - General Residential Zone.docx

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Appendix A - Title Information

Appendix B - Notification/Consent Letter(s)

Appendix C - Proposal Plans

Executive Summary

This report has been prepared in support of a Discretionary Planning Permit Application for the development of land at 8 Davies Place, Deloraine.

The application is to be lodged with the Meander Valley Council for assessment.

The proposal is for subdivision (consolidate lots) and construction of 5 residential dwellings with new landscaping and fencing. The layout of the existing car park will be remarked. The multiple dwelling lot (CT 30862/3) will be consolidated with the undeveloped lot (CT 17637/3).

The new residential development is on land zoned 'General Residential' with the current use classed as 'vacant'. Additional works (car park and access modifications) are required on land which has the current use of 'General Residential'.

There are no overlays on the site.

There are a number of applicable Codes: Parking and Sustainable Transport Code and Road and Railway Assets Code.

The proposed development has been assessed against the provisions of the *Tasmanian Planning Scheme - Meander Valley* (the Scheme) and generates the following discretion(s):

- C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

The proposal has been assessed against all relevant scheme criteria and is found to either comply with the Acceptable Solutions or satisfy the relevant Performance Criteria. The application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

1 Introduction

Johnstone McGee & Gandy Pty Ltd (JMG) have been engaged by *Wilson Homes (obo Centacare Evolve Housing)* to prepare a planning permit application report to consolidate two lots and for five multiple dwellings and associated services at 8 Davies Place, Deloraine. The application seeks approval under s.57 of the *Land Use Planning and Approvals Act 1993*.

Centacare Evolve Housing (Centacare) is a Tier 1 Community Housing Provider that owns or manages just under 3000 social and affordable housing properties throughout Tasmania. *Centacare* has been involved in social and community endeavours to address housing stress and support people to find secure accommodation for many years.

This report serves to provide an assessment of the proposed development and works against the provisions of the *Tasmanian Planning Scheme - Meander Valley* ('the Scheme').

2 Site Location & Context

The subject site for the five multiple dwellings is comprised of two titles (CT 17637/3 and 30862/3) with a combined area of 4,630.7m² (Figure 1). There are 11 existing units, landscaping and a shared car park capable of accommodating 11 cars (CT 30862/3). The proposal seeks to consolidate both lots and erect 5 additional units (with private and visitor parking) on the currently vacant internal lot (CT 17637/3) and modify the car park to allow for vehicle access to new dwellings. Both titles are owned by *Housing Tasmania*.

For full details, refer to the Titles (Table 1) in Appendix A.

The 1,789.7m² internal site has pedestrian access from East Barrack Street. The site is vacant with no existing structures or vegetation. The existing dwellings on the 2,841m² site have access off Davies Place via a 5.3m wide access strip and pedestrian access from East Barrack Street. The none vacant site is fully serviced and as the proposal is for the consolidation of the two lots then the vacant lot is considered to also be fully serviced.

Davies Place is approximately 38 metres wide Council sealed road and has a footpath and verge along both sides and on-street. It provides connectivity to residential properties along its length. Davies Place connects to existing multiple dwellings at 8 Davies Place. The feeder road Lansdown Place connects to both East Barrack Street to the west and East Westbury Place to the east. Both these connect to Meander Valley Road and Emu Bay Road which connect to the Bass Highway. There is no high-frequency Metro bus in the Deloraine township. The TassieLink (Mersey Link) bus route is via Meander Valley Road.

Deloraine is a Satellite Settlement (Regional Service Centre) - a significant regional settlement area with an important sub-regional role in terms of access to a wide range of services, education, and employment opportunities. Employment within District Centres is strongly related to surrounding productive resources. The township is fully serviced. The site is (approx.) 150m from the Deloraine District Hospital, Deloraine Primary School, High School, and Training Centre. There are multiple playgrounds and recreational facilities within walking distance. Commercial activity is predominantly across the river along Emu Bat Road.

Deloraine is a riverside town (Mersey River) with a historic streetscape that is classified by the National Trust. East Deloraine is on the southern side of the Meander River which runs through the township. The area is dominated by community service building complexes and single-storey homes. Two heritage-listed buildings are adjacent to the site however the new development will not impact heritage values or be visible from the street.



12.1.6 Application Documents

Table 1 - Titles Subject to Amendment/Development

Property	Title Reference	Owner	Current use
8 Davies Place	17637/3	Housing Tasmania	Vacant
8 Davies Place	30862/3	Housing Tasmania	Retirement Village

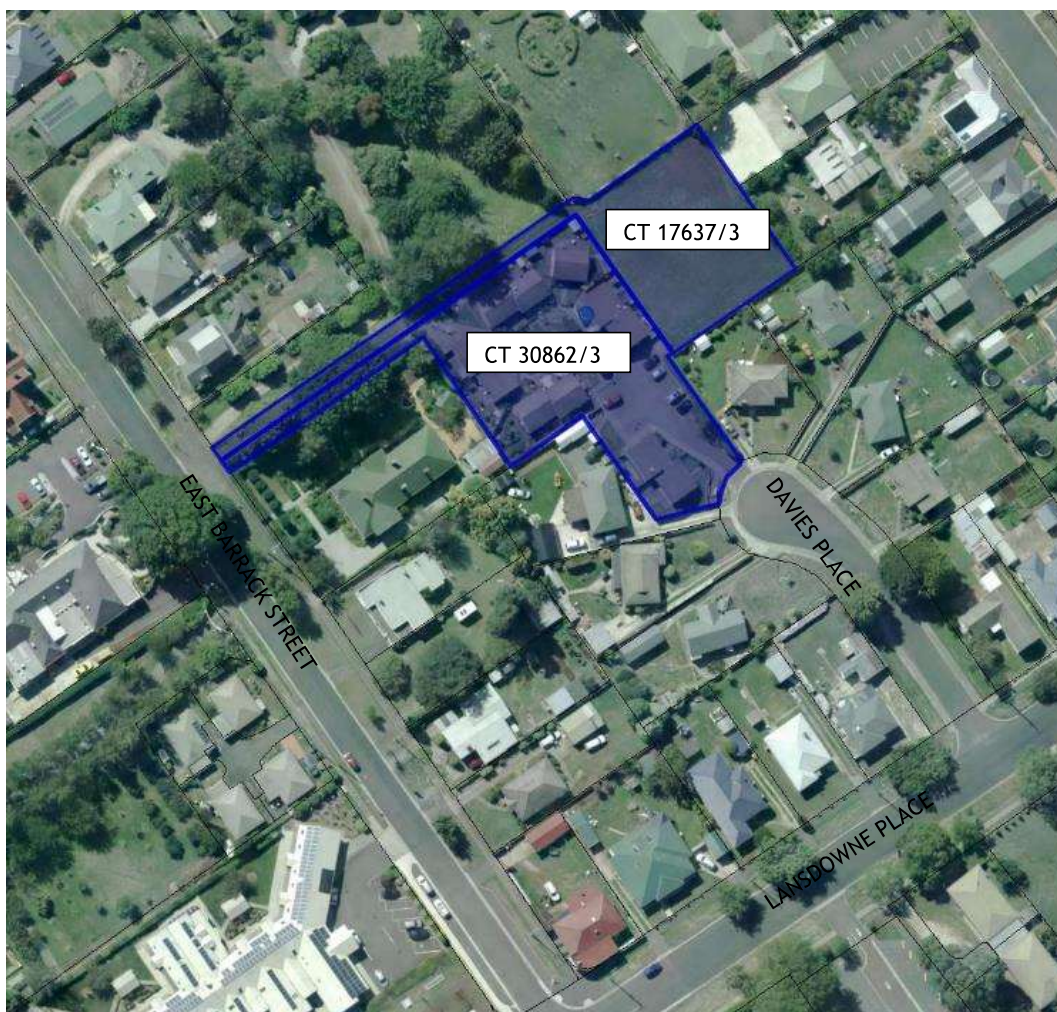


Figure 1: Subject site (source: LIST map - accessed on 17.08.22).

3 Proposed Use & Development

This proposal seeks approval for subdivision (consolidate lots) and construction of 5 residential dwellings with new landscaping and fencing. The layout of the existing car park will be remarked.

The multiple dwelling lot (CT 30862/3) will be consolidated with the undeveloped lot (CT 17637/3).

Specifically, the proposal includes:

- Subdivision (adherence);
- Demolitions works:
 - Remove fencing - to enable consolidation of lots
 - Removal of a bitumen parking area - access to the undeveloped lot
- Car Parking - 24 spaces (13 existing)
 - New car parking - 11 additional parking spaces on the undeveloped lot
- Erection of five new dwellings (461.5m²):
 - 1 X 2-bed dwelling - 79.8m²
 - 3 X 2-bed + carport - 3 X 99.6m²
 - 1 x 1-bed + carport - 82.9m²
- Landscaping
- Fencing
- Car parking area modifications
- Associated civil works

The proposed site and architectural plans are attached (Appendix C).

The proposed dwellings will have aluminium double glazed windows, solid wood front doors, and fired clay face bricks with lightweight cladding selected to provide architectural interest as shown in individual dwelling elevations. All proposed dwellings would have custom orb roof sheeting in the selected colour.

Each dwelling has a 4X6m private open space area. Each not dwelling has a dedicated 1.5m² waste (bin) area which is not visible from the street.

Once completed the site will provide 24 car parking spaces. Car parking would be provided for the new developments within carports attached to four of the five new dwellings accessible from the amended internal driveway. An additional seven car parking spaces will be provided for visitors and unit 5. There are 13 existing spaces for the existing 11 units.

The dwelling development proposed for the vacant lot will be provided with connections to reticulated services.

The proposed concept services and access will be provided in accordance with the attached drawings (Appendix C).

Landscaping is proposed along the pedestrian ways onto East Barracks Street (to be consolidated). This will not impact vegetation on adjoining lots.

A new and/or replacement 1.8m piling fencing is proposed along the boundary with the adjacent title (CT 141017/1) which is sensitive to the heritage listing of the properties. Internal privacy fencing is proposed (see drawing DA06, Appendix C).

3.1 Boundary Adjustment and Subdivision

The proposal is to rearrange the boundaries of two (2) existing lots to create a single lot on land at 8 Davies Place ('the site'). Plans have been provided in Appendix C (Drawing DA02 - title adherence plan).

The overall purpose of the boundary adjustment and subdivision (consolidation) is to provide a single multi-residential lot comprised of 16 units with shared and private parking (see Table 2).

The proposed boundary adjustment and subdivision (consolidation) are considered to satisfy all relevant development standards within the Community Purpose zone so should be approved by Council.

Table 2 Proposed Lot Details

Lot Reference	Title Reference (CT)	Existing Lot Area (m ²)	Proposed Lot Area (m ²)	Change (m ²)
1	30862/3	2,056 + 785	4,630.7	+1,789.7
2	17637/3	1,784 + 5.7	N/A	-1,789.7

4 Policy Assessment

The development site is located on land zoned 'General Residential' (Figure 2). The proposed development is for multiple dwellings which is a Permitted use in this zone.

Existing buildings within 50m of the development site (north, south and west), on land zoned 'General Residential' are predominantly single-storey dwellings constructed of brick.

The nature of the proposal and the location of the site requires that the proposal be considered against several Scheme elements:

- Clause 8.0 General Residential Zone;
- C2.0 Parking and Sustainable Transport Code; and
- C3.0 Road and Railway Assets Code.

The following section provides an assessment of the proposal against each of the above-listed Scheme elements.

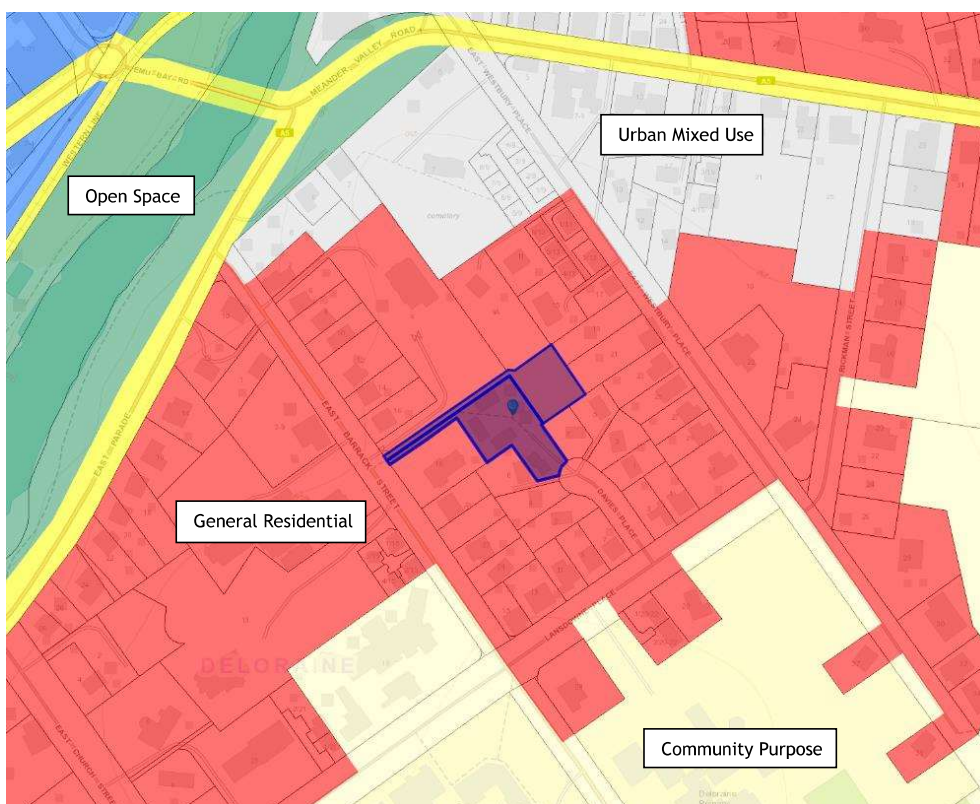


Figure 2: Land use zones and overlays - subject site identified in blue (source: LIST map - accessed on 17.08.22).

4.1 Demolition

The proposed development includes the demolition of existing boundary fencing to allow for title adherence and the removal of sections of the existing bitumen parking area to enable new vehicular access to the internal lot. Demolition details have been provided on the site plan (see Drawing DA03, Appendix C).

With respect to demolition works *Clause 7.9.1 Demolition* of the Tasmanian Planning Scheme - Meander Valley as the proposed demolition is not approved as part of another development nor Prohibited by another provision in the planning scheme, or the Local Historic Heritage Code applies, an application for demolition is Permitted and a permit must be granted subject to any conditions and restrictions specified in *Clause 6.11.2* of the said planning scheme.

4.2 Tasmanian Planning Scheme

8.0 General Residential Zone

8.1 Zone Purpose

The purpose of the General Residential Zone is:	
8.1.1	To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.
8.1.2	To provide for the efficient utilisation of available social, transport and other service infrastructure.
8.1.3	To provide for non-residential use that: <ul style="list-style-type: none"> (a) primarily serves the local community; and (b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.
8.1.4	To provide for Visitor Accommodation that is compatible with residential character.

The proposal will provide multiple SDA dwellings where full infrastructure services are available therefore supporting the zone purpose for the provision of a range of dwelling types (8.1.1).

The proposed dwellings at this location will provide accessible housing in an established neighbourhood in close proximity to amenities and services that supports the efficient utilisation of available social, transport and other service infrastructure (8.1.2).

8.2 Use Table

The proposed Residential use (for more than a single dwelling) is a permitted Use class according to Clause 8.2 Use Table.

8.3 Use Standards

8.3.1 Discretionary uses

As the proposed use is not discretionary this clause is not considered applicable.

8.3.2 Visitor Accommodation

The proposal does not include Visitor Accommodation therefore this clause is not considered applicable.

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

<i>Objective: That the density of multiple dwellings:</i>	
<i>(a) makes efficient use of land for housing; and</i>	
<i>(b) optimises the use of infrastructure and community services.</i>	
A1	P1
Multiple dwellings must have a site area per dwelling of not less than 325m ² .	***

As this proposal is for multiple dwellings Clause 8.4.1 is applicable. As demonstrated on Drawing DA03 (Appendix C) each new dwelling (on vacant land CT 17637/3) has a site area per unit of 357.9m². The proposal is therefore deemed to comply with the Acceptable Solution (A1).



12.1.6 Application Documents

8.4.2 Setbacks and building envelope for all dwellings

<p><i>Objective: The siting and scale of dwellings:</i></p> <p>(a) provides reasonably consistent separation between dwellings and their frontage within a street;</p> <p>(b) provides consistency in the apparent scale, bulk, massing, and proportion of dwellings;</p> <p>(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and</p> <p>(d) provides reasonable access to sunlight for existing solar energy installations.</p>	
<p>A1</p> <p>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;</p> <p>(b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;</p> <p>(c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.</p>	<p>P1 ***</p>

The lot upon which the dwellings are to be constructed is an internal lot however as consolidation of lots is proposed the frontage to Davies Place is the primary frontage and East Barrack Street is the secondary frontage.

An assessment shows that all frontage setbacks are greater than 4.5m (a)(b); the site is vacant however this lot is an internal lot and post-consolidation of lots is not considered vacant and the setback from a frontage, for the building, is greater than 4.5m (c); and the use is residential therefore sub-clause (d) is not considered applicable.

The proposal is therefore deemed to comply with the Acceptable Solution (A1).

<p>A2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <p>(a) 5.5m, or alternatively 1m behind the building line;</p> <p>(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p>	<p>P2 ***</p>
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The lot upon which the dwellings are to be constructed is an internal lot however as consolidation of lots is proposed the frontage to Davies Place is the primary frontage and East Barrack Street is the secondary frontage.

An assessment shows that all frontage setbacks are greater than 5.5m (a) sub-clause (b) is not considered applicable as no portion of the dwelling gross floor area is located above the garage or carport; and sub-clause (c) is not considered applicable as existing ground level slopes gradient is not steeper than 1 in 5.

The proposal is therefore deemed to comply with the Acceptable Solution (A2).



12.1.6 Application Documents

<p>A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and <p>(b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser). 	<p>P3 ***</p>
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The proposed dwellings are on an internal lot and demonstrate compliance as the dwelling is set back a distance of no less than 4.5m from the rear boundary of a property with an adjoining frontage (a)(i);

As shown in drawing DA07 (Appendix C) all units are able to demonstrate compliance 45% Elevation from 3 meters side boundary (a)(ii);

None of the setbacks is less than 1.5m from a side or rear boundary complying with sub-clause (b)

As each dwelling is able to comply with the building envelope the proposal is therefore deemed to comply with the Acceptable Solution (A3).

8.4.3 Site Coverage and private open space for all dwellings

<p><i>Objective: That dwellings are compatible with the amenity and character of the area and provide:</i></p> <p>(a) for outdoor recreation and the operational needs of the residents;</p> <p>(b) opportunities for the planting of gardens and landscaping; and</p> <p>(c) private open space that is conveniently located and has access to sunlight.</p>	
<p>A1 Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p>	<p>P1 ***</p>

Each proposed dwelling Private Open Space (Drawing DA03, Appendix C):

- Unit 12 - 68.86m²
- Unit 13 - 62.77m²
- Unit 14 - 113.03m²
- Unit 15 - 61.71m²
- Unit 16 - 74.49m²

As demonstrated in Drawing DA03 site coverage is 22.1% and each of the proposed dwellings (multiple) has a total private open space not less than 60m².

The proposal is therefore deemed to comply with the Acceptable Solution (A1).



12.1.6 Application Documents

<p>A2</p> <p>A dwelling must have private open space that:</p> <p>(a) is in one location and is not less than:</p> <p style="margin-left: 20px;">(i) 24m²; or</p> <p style="margin-left: 20px;">(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(b) has a minimum horizontal dimension of not less than:</p> <p style="margin-left: 20px;">(i) 4m; or</p> <p style="margin-left: 20px;">(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</p> <p>(d) has a gradient not steeper than 1 in 10.</p>	<p>P2 ***</p>
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As demonstrated by Drawing DA06 (Appendix C) none of the private open spaces are less than 24m², has a minimum horizontal dimension of not less than 4m (a)(b) are not between a dwelling and a frontage (c) with gradients that are not greater than 1 in 10 (d).

The proposed development, therefore, complies with the Acceptable Solution (A2)

8.4.4 Sunlight to private open space of multiple dwellings

<p><i>Objective:</i></p> <p><i>That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.</i></p>	
<p>A1</p> <p>A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):</p> <p>(a) the multiple dwelling is contained within a line projecting (see Figure 8.4):</p> <p style="margin-left: 20px;">(i) at a distance of 3m from the northern edge of the private open space; and</p> <p style="margin-left: 20px;">(ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;</p> <p>(b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and</p> <p>(c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:</p> <p style="margin-left: 20px;">(i) an outbuilding with a building height not more than 2.4m; or</p> <p style="margin-left: 20px;">(ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.</p>	<p>P1 ***</p>

None of the proposed new dwellings is to the north of a private open space of another dwelling on the same site however as the titles are to be adhered, consideration has to be given to existing units.

Shadow diagrams have been provided (Drawing DA04, Appendix C) which demonstrate that all relevant existing or proposed private open spaces will not receive less than 3 hours of sunlight between 9.00 am and 3.00 pm on 21st June (b).

The proposal is therefore deemed to comply with the Acceptable Solution (A1).

8.4.5 Width of openings for garages and carports for all dwellings

<p><i>Objective:</i></p> <p><i>To reduce the potential for garage or carport openings to dominate the primary frontage.</i></p>	
<p>A1</p> <p>A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>P1 ***</p>



12.1.6 Application Documents

As none of the carports (for a dwelling) is within 12m of a primary frontage this clause is not considered applicable.

8.4.6 Privacy for all dwellings

<p><i>Objective:</i> <i>To provide a reasonable opportunity for privacy for dwellings</i></p>	
<p>A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>P1 ***</p>

As the proposal does not include a balcony, deck, roof terrace, parking space, or carport for a dwelling that has a finished surface or floor level more than 1m above existing ground level this clause is not considered applicable.

<p>A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b): (a) the window or glazed door: (i) is to have a setback of not less than 3m from a side boundary; (ii) is to have a setback of not less than 4m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. (b) the window or glazed door: (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.</p>	<p>P2 ***</p>
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As there are no windows or glazed doors to a habitable room of a dwelling that has a floor level more than 1m above existing ground level (A2) is not considered to be applicable.

<p>A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than: (a) 2.5m; or (b) 1m if: (i) it is separated by a screen of not less than 1.7m in height; or</p>	<p>P3 ***</p>
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12.1.6 Application Documents

(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.	
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As demonstrated on drawing DA07 (Appendix C) the shared driveway and parking spaces (excluding a parking space allocated to that dwelling) are separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than 2.5m.

The proposal is therefore deemed to comply with the Acceptable Solution (A3).

8.4.7 Frontage fences for all dwellings

As the proposal does not include frontage fencing this clause is not considered applicable.

8.4.8 Waste storage for multiple dwellings

Objective: To provide for the storage of waste and recycling bins for multiple dwellings.	
A1 A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m ² per dwelling and is within one of the following locations: (a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or (b) a common storage area with an impervious surface that: (i) has a setback of not less than 4.5m from a frontage; (ii) is not less than 5.5m from any dwelling; and (iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.	P1 ***

As demonstrated in drawing DA06 (Appendix C) each multiple dwelling has a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is in an area for the exclusive use of each dwelling.

The proposal is therefore deemed to comply with the Acceptable Solution (A1).

8.5 Development Standards for Non-dwellings

As the proposal does not include Non-dwelling this clause is not considered applicable

8.6 Development Standards for Subdivision

8.6.1 Lot design

Objective: That each lot: has an area and dimensions appropriate for use and development in the zone; is provided with appropriate access to a road; contains areas which are suitable for development appropriate to the zone purpose, located to avoid natural hazards; and is orientated to provide solar access for future dwellings.	
A1 Each lot, or a lot proposed in a plan of subdivision, must: (a) have an area of not less than 450m ² and: (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and	P1 ***



12.1.6 Application Documents

(ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; (b) be required for public use by the Crown, a council, or a State authority; (c) be required for the provision of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone.	
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The proposed subdivision is for the adherence of a lot with another lot within the same zone therefore it is deemed to comply with the Acceptable Solution (A1).

A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 12m.	P2 ***
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The new consolidated lot will have a frontage onto Davies Place exceeding 12m (as shown on the submitted plans) and as such the proposal is deemed to comply with the Acceptable Solution (A2).

A3 Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.	P3 ***
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The new consolidated lot will use the existing access as such the proposal is deemed to comply with the Acceptable Solution (A3).

A4 Any lot in a subdivision with a new road, must have the long axis of the lot between 30 degrees west of true north and 30 degrees east of true north.	P4 ***
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As the proposal does not include a new road this clause is not considered applicable.

8.6.2 Roads

<i>Objective: That the arrangement of new roads within a subdivision provides for:</i> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; and (c) the efficient ultimate subdivision of the entirety of the land and of surrounding land.	
A1 The subdivision includes no new roads.	P1 ***

The subdivision (consolidation) does not include new roads and therefore complies with the Acceptable Solution (A1).

8.6.3 Services

<i>Objective: That the subdivision of land provides services for the future use and development of the land.</i>	
A1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a full water supply service.	P1 ***

Each lot is able to connect to a full water supply service (existing) as such the proposal is deemed to comply with the Acceptable Solution (A1).

A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.	P2 ***
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12.1.6 Application Documents

Each lot is able to connect to a reticulated sewerage system (existing) as such the proposal is deemed to comply with the Acceptable Solution (A2).

A3 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.	P3 ***
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Each lot is able to connect to a public stormwater system (existing) as such the proposal is deemed to comply with the Acceptable Solution (A3).

4.3 Local Provision Schedule - Meander Valley

MEA.1.1 This Local Provisions Schedule is called the Meander Valley Local Provisions Schedule and comprises all the land within the municipal area.

MEA - Local Area Objectives

There are no relevant *Local Area Objectives*.

MEA - Particular Purpose Zones

There are no relevant Particular Purpose Zones.

MEA - Specific Area Plans

There are no relevant *Specific Area Plans*.

MEA - Site Specific Qualifications

There are no relevant Site-Specific Qualifications.

4.4 Codes

C2.0 Parking and Sustainable Transport Code

C2.2 Application of this Code

The proposed use and development is not exempt from this code as per Clause C2.2. The proposal has been assessed against the relevant provisions of the code.

As the use class is 'Residential' Clauses C2.5.3, C2.5.4 and C2.5.5 are not applicable.

C2.5.1 Car Parking Numbers

<i>Objective: To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.</i>	
A1	P1 ***



12.1.6 Application Documents

<p>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:</p> <p>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p> <p>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</p> <p>(c) the site is subject to Clause C2.5.5; or</p> <p>(d) it relates to an intensification of an existing use or development or a change of use where:</p> <p>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</p> <p>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</p> <p>$N = A + (C - B)$</p> <p>N = Number of on-site car parking spaces required</p> <p>A = Number of existing on site car parking spaces</p> <p>B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</p> <p>C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</p>	
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Table C2.1 requires 1 space if a 1 bedroom, 2 spaces if a 2 or more bedroom dwelling and 1 dedicated space per 3 dwellings (internal lot) for visitor parking.

The new development provides 11 car parking spaces. That is 2 spaces for each of the 4 X 2-bedroom units, 1 space for the 1-bedroom unit and 2 visitor spaces.

Given the above assessment, the proposal meets the acceptable solution (A1).

C2.5.2 Bicycle parking numbers

<i>Objective: That an appropriate level of bicycle parking spaces are provided to meet the needs of the use.</i>	
<p>A1</p> <p>Bicycle parking spaces must:</p> <p>(a) be provided on the site or within 50m of the site; and</p> <p>(b) be no less than the number specified in Table C2.1.</p>	<p>P1</p> <p>***</p>

The requirement according to Table C2.1 is *No Requirement* therefore the acceptable solution (A1) is met.

C2.6.1 Construction of parking areas

<i>Objective: That parking areas are constructed to an appropriate standard.</i>	
<p>A1</p> <p>All parking, access ways, manoeuvring and circulation spaces must:</p> <p>(a) be constructed with a durable all weather pavement;</p> <p>(b) be drained to the public stormwater system, or contain stormwater on the site; and</p> <p>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</p>	<p>P1</p> <p>***</p>

12.1.6 Application Documents

All parking, accessways, manoeuvring and circulation spaces are to be constructed with concrete which is a durable all-weather material and will drain into the public stormwater system complying with sub-clauses (a), (b) and (c).

The proposal is therefore able to meet the acceptable solution (A1).

C2.6.2 Design and layout of parking areas

<i>Objective: That parking areas are designed and laid out to provide convenient, safe and efficient parking.</i>	
<p>A1.1 Parking, access ways, manoeuvring and circulation spaces must either: (a) comply with the following: (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6; (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces; (iii) have an access width not less than the requirements in Table C2.2; (iv) have car parking space dimensions which satisfy the requirements in Table C2.3; (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces; (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; and (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.</p> <p>A1.2 Parking spaces provided for use by persons with a disability must satisfy the following: (a) be located as close as practicable to the main entry point to the building; (b) be incorporated into the overall car park design; and (c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.¹</p>	<p>P1 ***</p>

The parking areas (parking, access ways, manoeuvring and circulation) have been designed and laid out to provide convenient, safe and efficient parking and all parking, accessways, manoeuvring and circulation spaces to comply with sub-clause (A1.1)(a) as demonstrated in Drawing DA07 and DA09 (Appendix C).

New parking (spaces 14 to 24), access ways, manoeuvring and circulation spaces comply as they will have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6 (i); allow all vehicles are able to enter and exit in a forward direction (ii); have Internal access widths not less than 4.5m for the first 7m and where there is a change of direction a width of greater than 4.2m, therefore complying with the requirement of Table C2.2 (iii); carpark dimensions are 2.4m by 5.4m which satisfies C2.3 (iv); where there are three or more car parking spaces they have combined access and manoeuvring width adjacent to parking spaces of 6.6m which is not less than the requirements in Table C2.3 (v); all carports are 2.7m in height (ceiling to floor) and visitors will not be impeded by an overhang such that the 2.1m vertical clearance is possible (vi); and where appropriate visitor spaces will be delineated with dots (vii).

The proposal is therefore able to meet the acceptable solution met (A1.1).

As the proposal is for class 1a buildings therefore there is no requirement to provide accessible parking. The proposal is therefore able to meet the Acceptable Solution (A1.2).



12.1.6 Application Documents

C2.6.3 Number of accesses for vehicles

<i>Objective: That:</i> (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses; (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and (c) the number of accesses minimise impacts on the streetscape.	
A1 The number of accesses provided for each frontage must: (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater.	P1 ***

The number of accesses provided for each frontage is 1 therefore the proposal complies with the Acceptable Solution (A1).

A2 Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.	P2 ***
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As the proposal is not within the Central Business Zone the Acceptable Solution (A2) is not considered applicable.

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

As the proposed use is not within the General Business Zone and Central Business Zone this clause is not considered applicable.

C2.6.5 Pedestrian access

<i>Objective: That pedestrian access within parking areas is provided in a safe and convenient manner.</i>	
A1.1 Uses that require 10 or more car parking spaces must: (a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by: (i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or (ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and (b) be signed and line marked at points where pedestrians cross access ways or parking aisles.	P1 ***
A1.2 In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.	

The proposed use requires 10 or more car parking spaces therefore an assessment is required.

There are no car parking aisles as the car parking required is residential in nature with two visitor parking spaces (a). The two visitor spaces will be delineated however the design is such that pedestrians do not cross parking aisles and the access way does not contain dedicated points where pedestrians cross therefore sub-clause (b) is not applicable. The proposal, therefore, meets pedestrian the Acceptable Solution (A1.1).



12.1.6 Application Documents

All resident car parking spaces are designed for accessible car parking with no requirement for additional accessible car parking spaces for use by persons with a disability. For each dwelling, a footpath greater than 1.5m has been provided with a gradient less than 1 in 14 maintained to allow entry into the building's main entry point for each resident as such the Acceptable Solution (A1.2) is deemed to have been met.

C2.6.6 Loading Bays

As no loading bays are required this clause is not considered applicable.

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

As the proposed use is not within the General Business Zone and Central Business Zone this clause is not considered applicable.

C2.6.8 Siting of parking and turning areas

As the proposed use is not within the Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone or Central Business Zone this clause is not considered applicable.

C2.7.1 Parking Precinct Plan

There is no relevant parking precinct plan.

C3.0 Road and Railway Assets Code

The Road and railway Assets Code applies to all use and development as per clause E3.2 which intensifies the use of existing accesses. The proposal has been assessed against the relevant provisions of the code.

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

<p><i>Objective: To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.</i></p>	
<p>A1.1 For a category 1 road or a limited access road, vehicular traffic to and from the site will not require: (a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing.</p> <p>A1.2 For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.</p> <p>A1.3 For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.</p> <p>A1.4</p>	<p>P1 Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to: (a) any increase in traffic caused by the use; (b) the nature of the traffic generated by the use; (c) the nature of the road; (d) the speed limit and traffic flow of the road; (e) any alternative access to a road; (f) the need for the use; (g) any traffic impact assessment; and (h) any advice received from the rail or road authority.</p>



12.1.6 Application Documents

<p>Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:</p> <p>(a) the amounts in Table C3.1; or</p> <p>(b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.</p> <p>A1.5 Vehicular traffic must be able to enter and leave a major road in a forward direction.</p>	
---	--

Access to and from the site will not require a new junction, a new vehicle crossing, or a new level crossing therefore the acceptable solution (A1.1) is deemed to have been met

As no new access is proposed (A1.2) is deemed not applicable.

As no new crossing is proposed (A1.3) is deemed not applicable.

Vehicular traffic to and from the site, using the existing vehicle crossing will increase by more than 20% assuming 5 trips per day for each dwelling (RMS Guide¹) therefore the Acceptable Solution (A1.4) is deemed to not be met.

Any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road have been considered:

- (a) The site is currently a vacant lot that has no traffic generation. The proposed development is likely to generate 25 vehicle movement per day. Based on the site's connectivity with the surrounding road network (to Lansdown Place) there will be a relatively even proportion of vehicle trips from the east and west off Lansdowne Place to East Barrack Street and East Westbury Place (both able to connect directly to the State road network). This increase in traffic can be absorbed in the surrounding road network.
- (b) The proposed development involves the construction of 5 residential units which will increase the number of units on 8 Davies Place from 11 to 16 dwellings. Traffic will be residential in nature and consistent with existing traffic currently using 8 Davies Place and the immediate road network.
- (c) Davies Place is a cul-de-sac that provides access to residential property along its length. Davies Place is approximately 6m wide and has a footpath on each side.
- (d) The posted speed limit of Davies Place and immediate road network is 50 km/h. The speed limit and traffic flow of Davies Place is compatible with the access requirements and traffic generation of the proposed development.
- (e) There is no alternative access to a road from this site.
- (f) The accesses are required to provide connectivity between the on-site car parking and the surrounding transport network.
- (g) No traffic impact assessment has been undertaken.
- (h) No advice has been received by the road authority.

¹ Roads and Maritime Services NSW, Guide to Traffic Generating Developments, 2002 (RMS Guide); Roads and Maritime Services NSW, Updated Traffic Surveys, 2013 (Updated RMS Guide)

12.1.6 Application Documents

The proposal is therefore able to meet the Performance Criteria (P1).

Vehicular traffic is able to enter and leave a major road in a forward direction therefore the acceptable solution (A1.5) is deemed to have been met

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

As the proposal does not involve a habitable building for sensitive use within a road or railway attenuation area this clause is not considered applicable.

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

<i>Objective:</i> <i>To minimise the effects of noise, vibration, light and air emissions on lots for sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.</i>	
A1 A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.	P1

As the proposed subdivision does not involve a lot intended for sensitive use within a road or railway attenuation area this clause is not considered applicable.

5 Impact Assessment

Infrastructure Services

The site will be fully serviced with sewer, reticulated water, stormwater, power and communication connections. The development proposed will retain all access to services as documented. All proposed drainage and sanitary plumbing will connect to the existing Council system.

Environmental

Dust is likely to be generated during the construction phase. This will be minimised through a construction environmental management plan and occur only for a short period of time. During construction soil and water impacts will be appropriately managed.

Noise generated during construction will have a short-term impact on the surrounding area, the timing of which will be in accordance with established timeframes under the *Environmental Management and Pollution Control Act 1994*.

Amenity

The proposed dwellings will achieve good solar access during the day due to the north-south orientation of the site. The courtyard spaces will effectively act as a light well, allowing natural sunlight to filter into the dwellings. The additional dwellings will not diminish the amount of private open space of existing dwellings due to setbacks and the consolidation of lots providing additional outdoor space for the existing units to the northeast.

Safety, Security and Crime Prevention

Lighting design will be in accordance with relevant Australian Standards which will be designed to facilitate the safety of people within the internal access ways.

At ground level the dwellings are provided with glazed windows, ensuring good passive surveillance over the shared spaces

Social & Economic Impact

Centacare Evolve Housing (or *Centacare*) provides a range of community and social support networks in conjunction with housing and tenancy management services. The provision of accessible housing options within our community is an issue that persists and continues to grow. All levels of government continue to tackle the issue and seek to support community needs and expectations. The Tasmanian Governments Action Plan on Social Housing is one such initiative aimed at breaking down barriers and ensuring access to safe and secure housing.

For the Deloraine project, *Centacare* will establish several programs to assist in enabling resident engagement programs. These aim to strengthen connections to neighbours within the complex and engagement with groups in the wider community. The development aims to provide long-term homes for a broad mix of individuals and couples. The development does not form part of a transitional housing complex and will not be used to support this type of community service.

The Deloraine development is a key project for *Centacare* to achieve sustained and meaningful assistance to individuals to achieve a secure and affordable home that supports building community networks and enriching lives.

Centacare will remain the management team responsible for the entirety of the development's operation and tenant suitability management.



6 Conclusion & Recommendations

This report has been prepared in support of a Planning Application for the development of land at 8 Davies Place, Deloraine.

The application is to be lodged with the Meander Valley Council for assessment.

The proposal is for subdivision (consolidate lots) and construction of 5 residential dwellings with new landscaping and fencing. The layout of the existing car park will be remarked. The multiple dwelling lot (CT 30862/3) will be consolidated with the undeveloped lot (CT 17637/3).

The new residential development is on land zoned 'General Residential' with the current use classed as 'vacant'. There are no overlays on the site.

The proposed boundary adjustment and subdivision will result in the much more efficient use of land than currently exists on-site and will enable the delivery of much-needed specialised housing by Housing Tasmania.

The proposed development has been assessed against the relevant provisions of the *Tasmanian Planning Scheme - Meander Valley* and generates the following discretion(s):

- C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

The proposal has been assessed against all relevant scheme criteria and is found to either comply with the Acceptable Solutions or satisfy the relevant Performance Criteria. The application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

APPENDIX A

Title Information

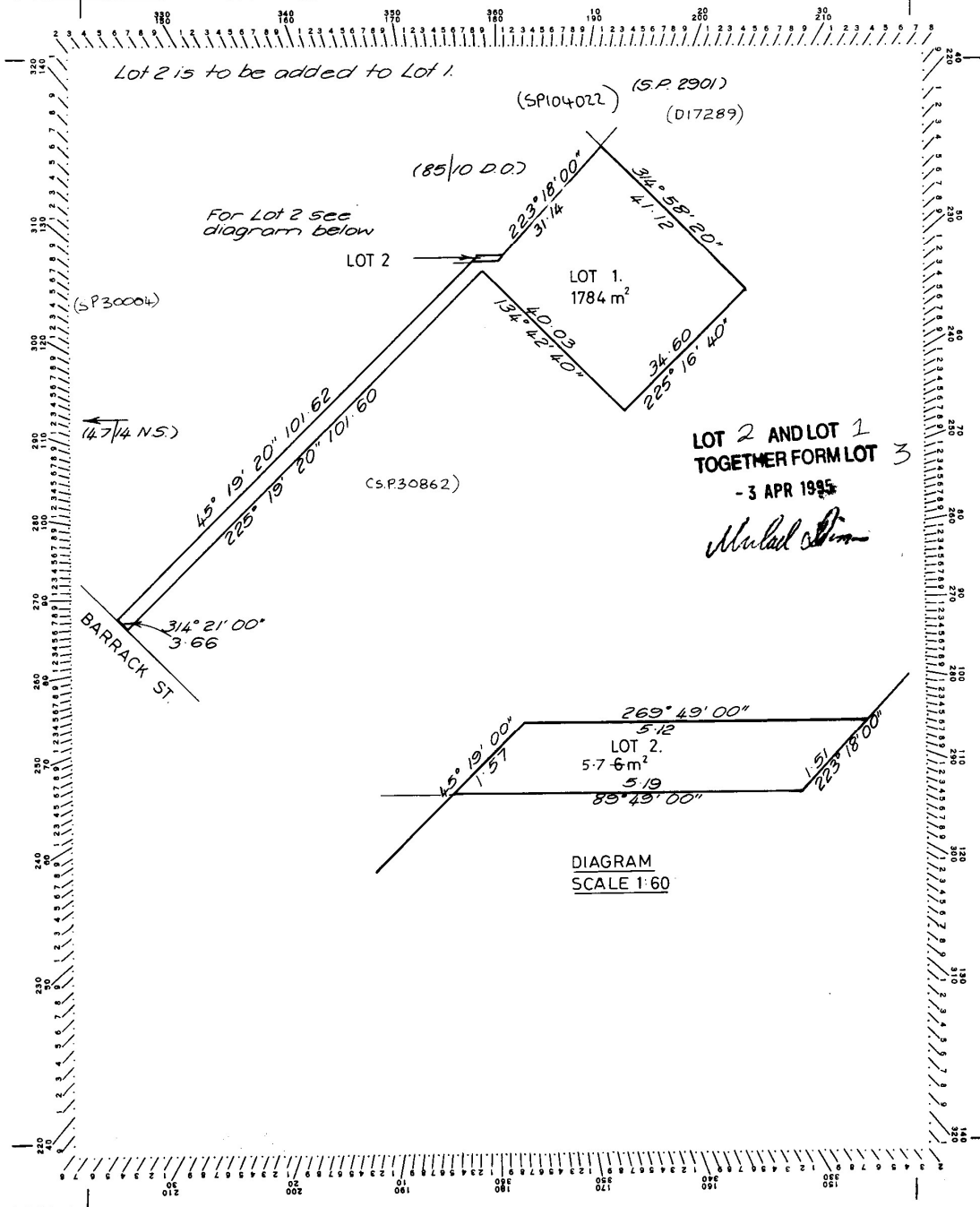


FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Owner: G. & G.P. GREENWOOD A.D.C. JORDAN WEBSTERS PTY LTD.	PLAN OF SURVEY by Surveyor KENNETH R. MICHELL of land situated in the TOWN OF DELORAINE SECTION B	Registered Number: S.P. 17637 Effective from: 11 MAY 1982 <i>J. Broad</i> ACTING DEPUTY Recorder of titles
Title Reference: CONV. 14/2700 3929-40 CONV. 38/6244 53/9214	SCALE 1: 800 MEASUREMENTS IN METRES	
Grantee: PART OF LOTS 9 & 10 SEC. B. 2° 0' 0" GTD. TO PHILIP MILLER PART OF LOTS 2 & 3 SEC. B. 2° 0' 0" GTD. TO JOHN BONNEY. 3° 0' 0"		





RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 17637	FOLIO 3
EDITION 2	DATE OF ISSUE 07-Sep-2021

SEARCH DATE : 19-Aug-2022

SEARCH TIME : 12.31 PM

DESCRIPTION OF LAND

Town of DELORAINÉ
 Lot 3 on Sealed Plan 17637
 (Formerly Lots 1 & 2 on SP 17637)
 Derivation : Part of 2 Acres (Section B.) Gtd. to P. Miller
 Part of 3 Acres (Section B.) Gtd. to J. Bonney.
 Prior CT 3957/70

SCHEDULE 1

M910198 DIRECTOR OF HOUSING Registered 07-Sep-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 17637 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

Plan No.

SP
17637

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

COVENANTS

The owner of each lot shown on the plan covenants with Webster Limited and Garry Greenwood and Gail Patricia Greenwood that the Vendors (the said Webster Limited and Garry Greenwood and Gail Patricia Greenwood) shall not be required to fence.

No easements profits a prende or other covenants are created to benefit or burden any lot shown on the plan.

SIGNED by GARRY GREENWOOD)
and GAIL PATRICIA GREENWOOD)
the beneficial owners of the)
land in Conveyance No. 18/2700)
in the presence of:-)

[Handwritten signature]
GP Greenwood.

[Handwritten signature]
Declarant

THE COMMON SEAL OF WEBSTER LIMITED)
the beneficial owners of the land)
in Conveyance No. 38/6241 was)
hereunto affixed in the presence)
of)

Director

[Handwritten signature]

Secretary

[Handwritten signature]



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



This is the schedule of easements attached to the plan of ...A.D.C. Jordan and Webster Ltd.
(Insert Subdivider's Full Name)

..... affecting land in

Conveyances Nos. 18/2700 and 38/6241

(Insert Title Reference)

Sealed by MUNICIPALITY OF DELORAINÉ on 18th JANUARY 1982

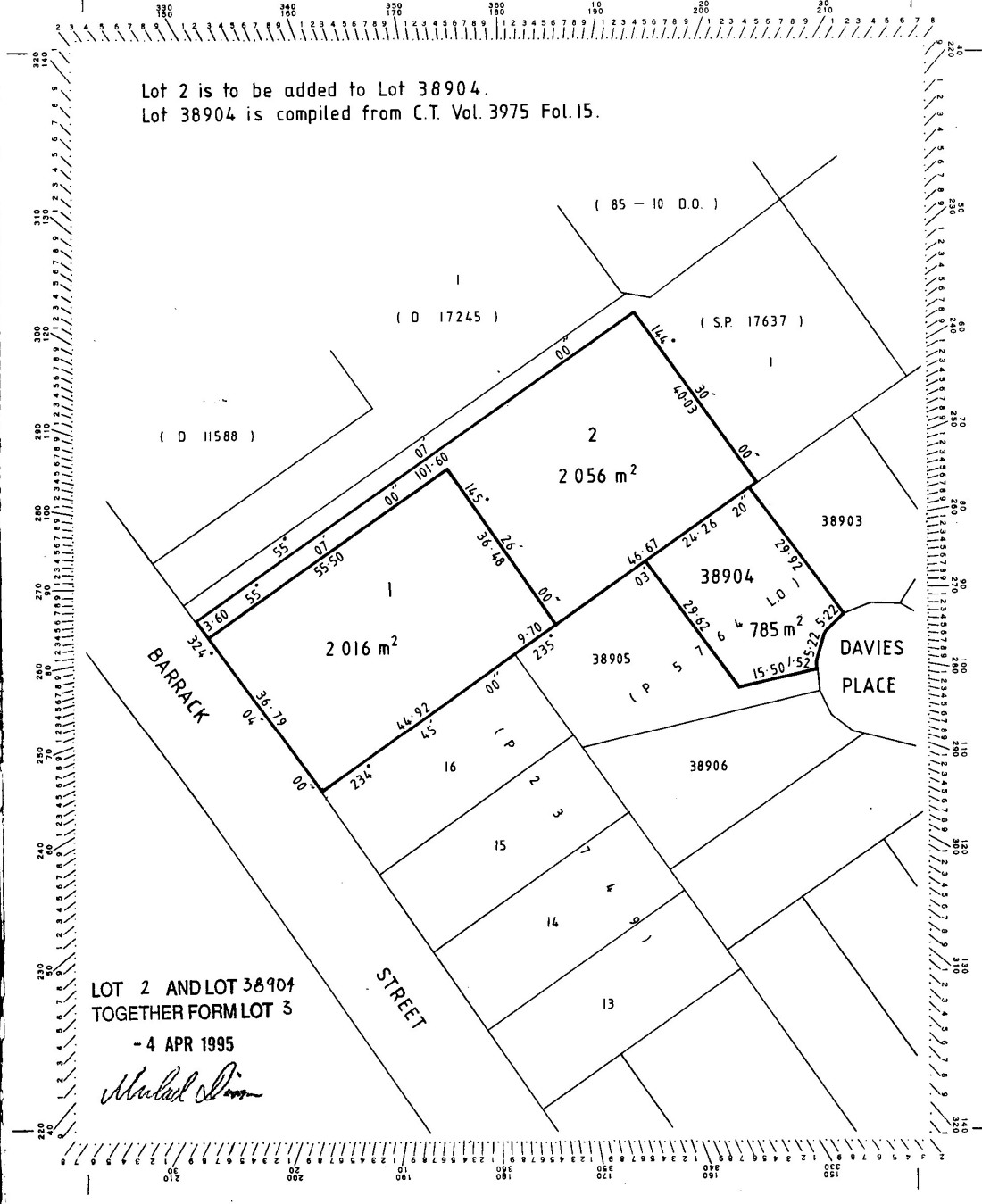
[Signature]
Council Clerk/Town Clerk

38066

Owner: Lots 1 & 2, Director of Housing Lot 38904, The Director - General of Housing & Construction	PLAN OF SURVEY by Surveyor <u>R.V. Tait</u> of land situated in the	Registered Number: S. P30,62 <i>FB 15221</i>
Title Reference: C.T. Vol. 4221 Fol. 9 C.T. Vol. 3975 Fol. 15.	TOWN OF DELORAINE Section B	Approved: <u>7 APR 1995</u>
Grantee: Whole of Lot 11, 4047m ² , granted to Director of Housing & whole of Lot 38904 granted to The Director-General of Housing & Construction.		SCALE 1: 750 MEASUREMENTS IN METRES

48/86

Lot 2 is to be added to Lot 38904.
Lot 38904 is compiled from C.T. Vol. 3975 Fol. 15.



LOT 2 AND LOT 38904
TOGETHER FORM LOT 3

- 4 APR 1995

Marked Simon



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 30862	FOLIO 3
EDITION 1	DATE OF ISSUE 19-Apr-1995

SEARCH DATE : 19-Aug-2022

SEARCH TIME : 12.31 PM

DESCRIPTION OF LAND

Town of DELORAINE
 Lot 3 on Sealed Plan 30862
 (Formerly Lots 2 & 38904 on Sealed Plan 30862)
 Derivation : Part of Lot 11 (Section B.) Gtd. to The Director
 of Housing, Whole of Lot 38904 Gtd. to the Director-General of
 Housing & Construction
 Prior CT 4348/61

SCHEDULE 1

DIRECTOR OF HOUSING

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 30862 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

PLAN NO.

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

S. P30862

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
(2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
(2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

No easements or profits a prendre or covenants are created to benefit or burden any lots on the plan.

The owner of each lot covenants with the Vendor the Director of Housing that the Vendor shall not be required to fence.



The Director of Housing

Registered proprietor of the land shown on the plan in the presence of:

..... [Signature]





SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



30862

This is the schedule of easements attached to the plan ofDIRECTOR OF HOUSING.....
(Insert Subdivider's Full Name)

.....affecting land in

Certificates of Title Volume 4221 Folio 9 and 3975/15
(Insert Title Reference)

Sealed by on19.....

Solicitor's Reference
Council Clerk/Town Clerk

OSK 3134

APPENDIX B

Notification/Consent Letter(s)



Multi-dwellings 8 Davies Place Deloraine • September 2022

12.1.6 Application Documents

Department of Communities Tasmania

GPO Box 65, HOBART TAS 7001 Australia
Ph: 1300 135 513
Web: www.communities.tas.gov.au



Contact: Kristy Warren
Phone: (03) 6166 3617
Email: kristy.warren@communities.tas.gov.au

Meander Valley Council
PO Box 102
Westbury TAS 7303

Subject: Development Application Pursuant to S.52(1F) of the *Land Use Planning and Approvals Act 1993* – 8 Davies Place, Deloraine

Pursuant to S.52(1F) of the *Land Use Planning and Approvals Act 1993*, Richard Gilmour, as an authorised delegate under Section 6AB of the *Homes Act 1935*, hereby give permission to Wilson Homes on behalf and for Centacare Evolve Housing to lodge development application, building surveyor application, and building and plumbing application over 8 Davies Place, being land in the ownership of the Director of Housing.

The subject land at 8 Davies Place is comprised of;

Certificates of Title:	30862/3, and
PIDs	7557151

If you have any questions regarding this letter, please don't hesitate to contact me via telephone on 6166 3616.

Yours sincerely

A handwritten signature in blue ink, appearing to read "R. Gilmour".

Richard Gilmour
Director, Community Infrastructure
Communities Tasmania

15 July 2022

APPENDIX C

Proposal Plans



Multi-dwellings 8 Davies Place Deloraine • September 2022

12.1.6 Application Documents



Johnstone McGee & Gandy Pty Ltd

ABN 76 473 834 852 ACN 009 547 139
www.jmg.net.au

HOBART OFFICE	LAUNCESTON OFFICE
117 Harrington Street	49-51 Elizabeth Street
Hobart TAS 7000	Launceston TAS 7250
Phone (03) 6231 255	Phone (03) 6334 554
infohbt@jmg.net.au	infohbn@jmg.net.au



12.1.6 Application Documents

From: "Katrina Hill" <khill@jmg.net.au>
Sent: Fri, 4 Nov 2022 15:08:39 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Brenton Josey" <Brenton.Josey@mvc.tas.gov.au>
Subject: Request for information - 8 Davies Place Deloraine - Multiple Dwellings
Attachments: RFI Response 2 - PA.23.0063 - 8 Davies Place - set 4.11.22.pdf

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Please find attached our RFI response. Thank you, Katrina.

Katrina Hill | TOWN PLANNER
JMG ENGINEERS & PLANNERS

117 Harrington Street HOBART TAS 7000
E: khill@jmg.net.au
P: 03 6231 2555

[Email Confidentiality Notice and Disclaimer](#)

Katrina Hill | TOWN PLANNER
JMG ENGINEERS & PLANNERS

117 Harrington Street HOBART TAS 7000
E: khill@jmg.net.au
P: 03 6231 2555



[Email Confidentiality Notice and Disclaimer](#)



JMG Ref: 220645PL

4 November 2022

General Manager
Meander Valley Council

Attention: Brenton Josey

Dear Brenton,

PLANNING APPLICATION - 8 Davies Place DELORAINE - Multiple Dwellings (5 units)

I refer to the Council's letter regarding the above application dated 7 October 2022.

To enable further consideration a response to the Council's 'request for further information' (RFI) is addressed in the sequence below.

1. General

(a) Amended drawings have been provided that illustrate the proposed works required to widen the existing vehicle access to Davies Place.

(b) Information has been supplied that demonstrates that the revised vehicle crossing, internal access and designated internal bin collection area can be accessed by a service vehicle.

The shown placement of the bins (see drawing DA07) is the preferred option as determined by the waste collection company - JJ's Waste (Council contractor).

Please see Attachment 1.

2. Clause 8.4.1 Residential density for multiple dwellings

For the purposes of determining the site area per dwelling, the site is considered to constitute the consolidated lot or, at the very least, both lots (based on the definition of the term 'site' within the Scheme which refers to a site being a lot or lots). Accordingly, the existing dwellings located on the site must be included within the site area per dwelling calculation. The site area per dwelling will result in 1 dwelling per 289m² or 1 dwelling per 231m² where access strips are excluded. Either way, the proposal does not satisfy Acceptable Solution 8.4.2 A1. Accordingly, Council requested that relevant information be provided demonstrating how the proposal satisfies Performance Criteria 8.4.2 P1.

Council's RFI states that they want the applicant to address Criteria 8.4.2 P1 however we believe they mean 8.4.1 P1 as this provision relates to residential density.

On 8 September 2022, ABC reported that more than 4,000 Tasmanians are waiting for social housing. Centacare Evolve Housing (or Centacare) provides a range of

117 Harrington Street
Hobart 7000
Phone (03) 6231 2555
Fax (03) 6231 1535
infohbt@jmg.net.au

49-51 Elizabeth Street
Launceston 7250
Phone (03) 6334 5548
Fax (03) 6331 2954
info@jmg.net.au

Johnstone McGee &
Gandy Pty Ltd
ABN 76 473 834 852
ACN 009 547 139
as trustee for Johnstone
McGee & Gandy
Unit Trust

www.jmg.net.au



community and social support networks in conjunction with housing and tenancy management services. The provision of accessible/affordable housing options within our community is an issue that persists and continues to grow. All levels of government continue to tackle the issue and seek to support community needs and expectations. The Tasmanian Governments Action Plan on Social Housing is one such initiative aimed at breaking down barriers and ensuring access to safe and secure housing.

For the Deloraine project, Centacare will establish several programs to assist in enabling resident engagement programs. These aim to strengthen connections to neighbours within the complex and engagement with groups in the wider community. The development aims to provide long-term homes for a broad mix of individuals and couples. The development does not form part of a transitional housing complex and will not be used to support this type of community service.

The Deloraine development is a key project for Centacare to achieve sustained and meaningful assistance to individuals to achieve a secure and affordable home that supports building community networks and enriching lives. Centacare will remain the management team responsible for the entirety of the development's operation and tenant suitability management.

The proposed new dwellings are able to achieve a greater site area per dwelling than the existing residential dwellings on 8 Davies Place and the new dwellings are compatible with the density of existing development on established properties in the area.

The multiple dwelling development proposed will not exceed the capacity of infrastructure services and provides for a significant social and community benefit and is wholly or partly within 400m walking distance of a public transport stop complying with sub-clause (b)(i).

The proposal is therefore deemed to comply with 8.4.1 (P1)

3. Clause 8.4.2 Setbacks and building envelope for all dwellings

The titles will be adhered to form a single lot the ownership of which will be entirely retained by the Crown. The frontage to Davies Place remains unchanged while the access from East Barrack Street (pedestrian access) will be consolidated but remain for pedestrian use only.

The main body of the lot is primarily accessed from Davies Street via a narrow part of the lot compared to the shape and dimensions of the main body of the lot. It should be noted that this entrance is existing and supports the existing residential units on 8 Davies Place. The frontage to Davies place is approx. 12m with no existing structures or landscaping to obscure entry/exit as such the visibility for cars entering and leaving the site is adequate.

Unit 15 is set back 1.5m from the boundary shared with 5 and 7 Davies Place therefore an assessment against criteria 8.4.2 P3(a)(i)(ii) is required. To enable an assessment shadow diagrams have been provided which illustrate the extent of overshadowing that will occur upon the adjoining lots to the southeast (5 and 7 Davies Place).

Please see Attachment 2.



4. Clause C2.6.2 Design and layout of parking areas

The car park design has been amended.

Please see Attachment 1.

5. Clause C2.6.5 Pedestrian access

Relevant information is provided demonstrating how the proposal satisfies Performance Criteria C2.6.5 P1. In this regard, consideration should be given to the removal of the existing footpath that connects the dwellings to Davies Place.

Please see Attachment 1.

We trust that the advice contained in this letter satisfies Council's request, however, if further information or clarification is required, please contact me on 62 312 555 or via khill@jmg.net.au.

Yours faithfully,

JOHNSTONE MCGEE & GANDY PTY LTD

A handwritten signature in black ink that reads 'K Hill'.

Katrina Hill
Town Planning



Attachment 1 Revised Drawing Set

UNIT DEVELOPMENT PROPOSED 5 UNITS

ID	NAME	REV	CHANGE LIST	LAST MODIFIED	LAST MODIFIED BY
DA01	COVER	A		2/11/2022 11:26 AM	Orrmattie-Chernun
DA02	TITLE ADHERANCE PLAN			2/11/2022 11:27 AM	Orrmattie-Chernun
DA03	SITE PLAN	A	RFI 1.2 Create bin collection area		
DA04	SHADOW/DIAGRAM				
DA05	SHADOW/DIAGRAM				
DA06	DRAINAGE PLAN	A			
DA07	SITE PLAN	A			
DA08	SITE PLAN	A			
DA09	SITE ELEVATION				
DA10	CAR TURNING PLAN	A			
DA11	TYPE A FLOOR PLAN				
DA12	TYPE A ELEVATION				
DA13	TYPE B FLOOR PLAN				
DA14	TYPE B ELEVATION				
DA15	TYPE BM FLOOR PLAN				
DA16	TYPE BM ELEVATION				
DA17	TYPE C FLOOR PLAN				
DA18	TYPE C ELEVATION				
DA19	TYPE D FLOOR PLAN				
DA20	TYPE D ELEVATION				

ISSUE HISTORY	ID	NAME	REVISION	CHANGES
A. Response to council's RFI, 2/11/2022 11:30 AM				
	DA01	COVER	A	RFI 1.1, RFI 1.2
	DA03	SITE PLAN	A	RFI 1.1, RFI 1.2
	DA07	SITE PLAN	A	RFI 1.1, RFI 1.2
	DA08	SITE PLAN	A	RFI 1.1, RFI 1.2
	DA10	CAR TURNING PLAN	A	RFI 1.1



LOCATION PLANSATELLITE IMAGERY
1:2000

GENERAL NOTES

GENERAL PRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORRAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT FINISHED LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERENCED TO IN THIS NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

WORKPLACE HEALTH AND SAFETY

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH THE WORKPLACE HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

PROJECT SAFE DESIGN REPORT

LAND TITLE REFERENCE

VALUATION REFERENCE: 3/18/2023

WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION

SOIL CLASSIFICATION TO AS 2870: M

CLIMATE ZONE FOR THERMAL DESIGN

CLIMATE ZONE TO BCA FIGURE: 11.4.1.7

BUSHFIRE PRONE AREA BAL RATING

BUSHFIRE ATTACK LEVEL (BAL) TO AS 3859: BAL-Low

CORROSION ENVIRONMENT

CORROSION ENVIRONMENT TO AS/NZS 2315: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS

AREA SCHEDULE	EXISTING BUILDING	PROPOSED UNITS
	557m ²	793m ²
	1 X 2-BED	3 X 2-BED+ CARPORT 3 X 99.0m ²
		1 X 1-BED+ CARPORT 82.9m ²
		1 TOTAL
		4615m ²
		4620m ²
		22.1%
	DRIVEWAY & CARPARK	9025m ²

GENERAL NOTES	REVISION	DESCRIPTION	DATE	DESIGNER	PROJECT	REASON	DATE	SCALE	PAGE	NOTES
Contractors shall verify all dimensions and levels on site before commencing any work. Contractors shall submit any proposed changes to the design team for approval. All dimensions must be indicated on drawings. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. Hereon are the property of Wilson Homes and must not be used, copied, reproduced, or distributed in any form without the written permission of Wilson Homes	A	Remove Carpark P8, Create bin collection area	2/11/2022	@ Orrmattie Studio Pty, Ltd 2/12/2022 11:58 AM P: (03) 6286 8440 E: admin@orramatis.com.au LIC: CO6540	UNIT DEVELOPMENT 8 DANES PLACE, DELORAINE, TAS	A	2/11/2022	AS SHOWN @ A3	DA01	
					CENTIMARE EVOLVE HOUSING	718975	A-HILL	CLI	COVER	



Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

12.1.6 Application Documents



TITLE ADHERANCE PLAN
1:500



Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

GENERAL NOTES
Contractor shall verify all dimensions and levels on site before commencement of any work. Contractor shall advise any variation to the contract documents or any work. Contractor shall be responsible for any variation to the contract documents or any work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. All work shall be carried out in accordance with the property of Wilson Homes and must not be used for any other purpose without the written permission of Wilson Homes.

Rev	Description	Date

DESIGNER
© Ormatec Studio Pty Ltd
2/12 The Arcade, Hobart TAS 7000
P: (03) 6286 8440
E: admin@ormatecstudio.com.au
LIC: CC6540

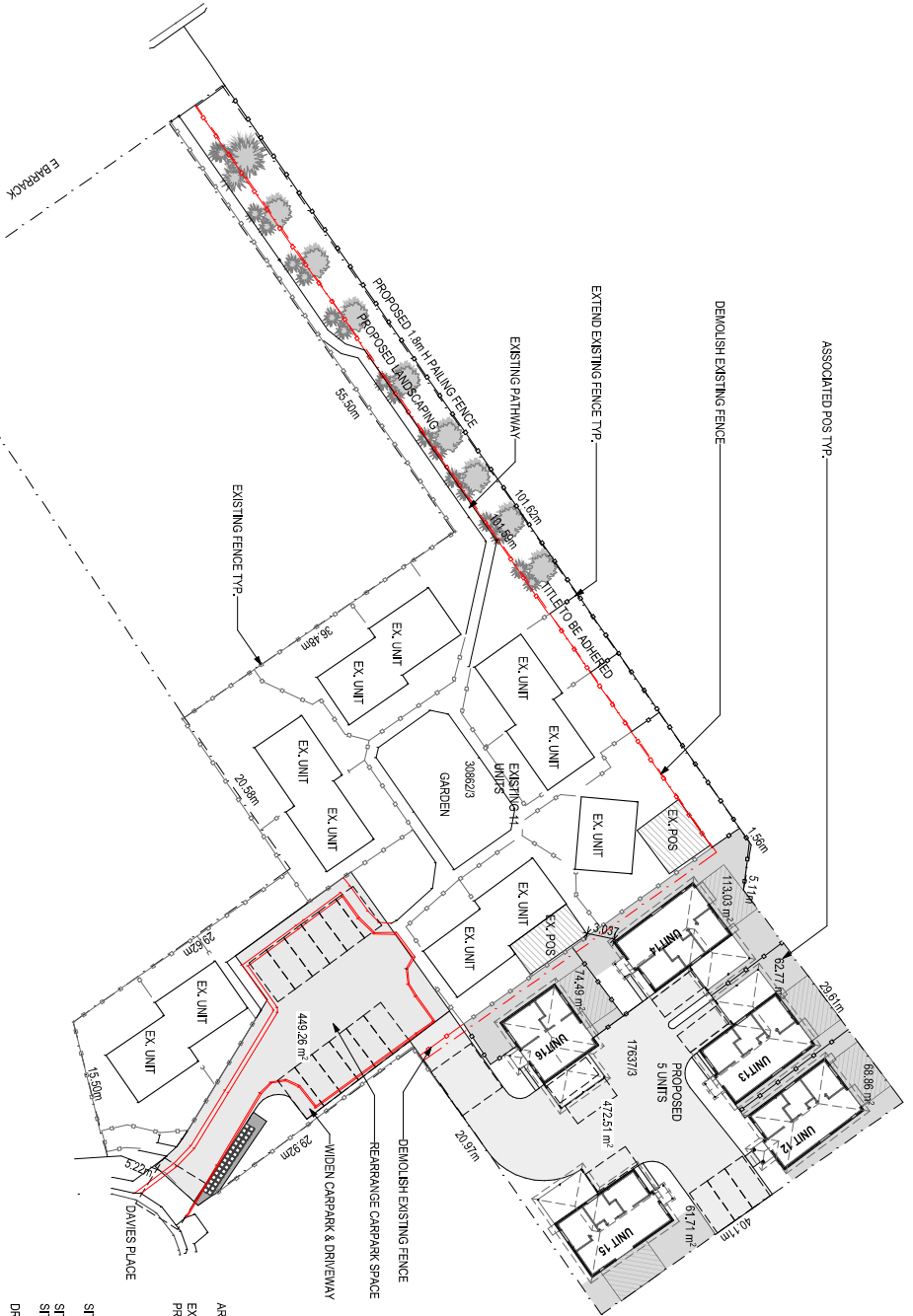
PROJECT UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAIN, TAS	REGION TAS	DATE 21/1/2022	SCALE AS SHOWN @ A3
CLIENT CENVAQARE EVOLVE HOUSING	PROJECT ID 712975	CHECKED BY A HILL	DRAWN BY CLI
PROJECT UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAIN, TAS		PROJECT ID 712975	
CLIENT CENVAQARE EVOLVE HOUSING		CHECKED BY A HILL	
PROJECT ID 712975		DRAWN BY CLI	
PROJECT UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAIN, TAS		PROJECT ID 712975	
CLIENT CENVAQARE EVOLVE HOUSING		CHECKED BY A HILL	
PROJECT ID 712975		DRAWN BY CLI	

PAGE
DA02
DRAWING
TITLE ADHERANCE PLAN



12.1.6 Application Documents

SITE PLAN 1:500
1:500



AREA SCHEDULE	EXISTING BUILDING	PROPOSED UNITS	TOTAL
EXISTING BUILDING	57m ²		
PROPOSED UNITS		79.8m ²	
3 X 2-BED		3 X 99.9m ²	
1 X 1-BED CARPORT		82.2m ²	
TOTAL		461.5m²	

SITE AREA SCHEDULE	EXISTING BUILDING	PROPOSED UNITS	TOTAL
SITE AREA	4826m ²		
SITE COVERAGE	22.1%		
DRIVEWAY & CARPARK	914.47m ²		
SITE AREA (VACANT LAND 77837/3)		1788.5m ²	
SITE AREA PER UNIT		357.29m ²	

ASSOCIATED POS	EXISTING BUILDING	PROPOSED UNITS	TOTAL
UNIT 12	68.80m ²		
UNIT 13	62.77m ²		
UNIT 14	113.03m ²		
UNIT 15	61.77m ²		
UNIT 16	74.49m ²		

ORAMATIS STUDIO

217 Erskine Street, Hobart
 p: (03) 6288 8440
 e: oramatis@oramatis.com.au
 c: Oramatis Studio Pty Ltd
 Document Set ID: 178850
 Version: 1, Version Date: 04/11/2022

GENERAL NOTES

CONSTRUCTION SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. ANY VARIATIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE PROJECT. THESE DRAWINGS SHALL BE USED FOR PERMITS AND CONSTRUCTION ONLY. ANY CHANGES TO THESE DRAWINGS SHALL BE APPROVED BY THE ARCHITECT. THESE DRAWINGS SHALL BE USED FOR PERMITS AND CONSTRUCTION ONLY. ANY CHANGES TO THESE DRAWINGS SHALL BE APPROVED BY THE ARCHITECT.

Rev ID	Description	Date
A	Remove Carpark for Oramatis collection	21/11/2022

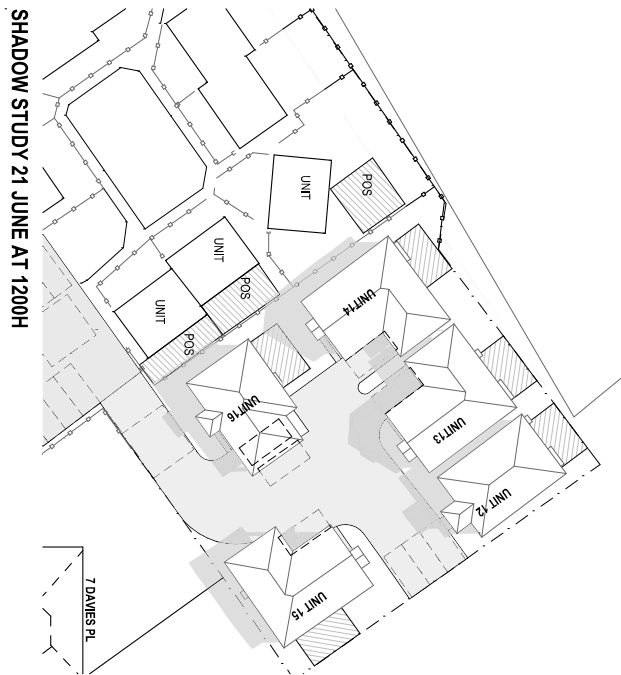
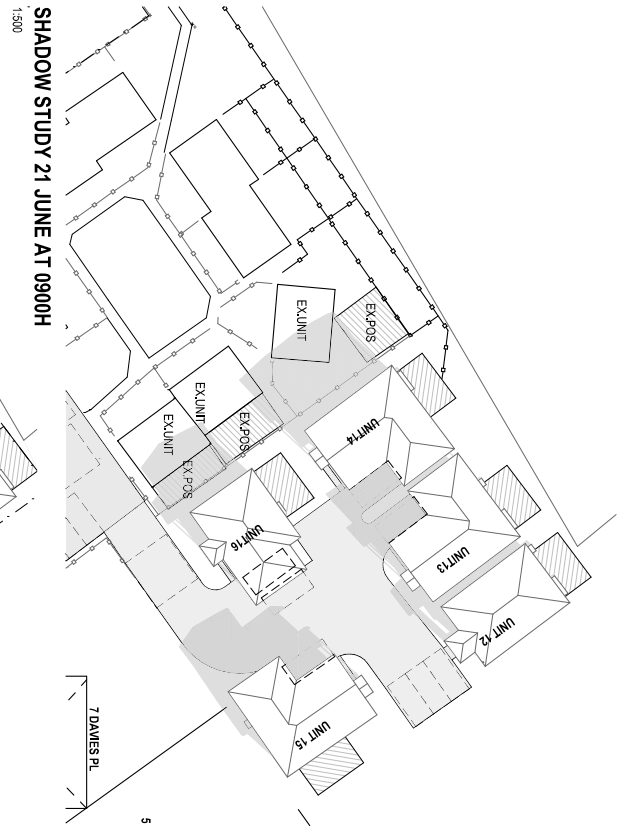
PROJECT	SECTION	DATE	SCALE
UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAINE, TAS	A	21/11/2022	AS SHOWN @ A3

CLIENT	CHECKED BY	DRAWN BY
GENCOACH ENVOUE HOUSING	AHILL	CLI

PAGE	NUMBER
DA03	

SITE PLAN

12.1.6 Application Documents



SHADOW STUDY 21 JUNE AT 1500H
1:500



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o. oramatis studio Pty Ltd
Document Set ID: 162850
Version: 1, Version Date: 04/11/2022

GENERAL NOTES

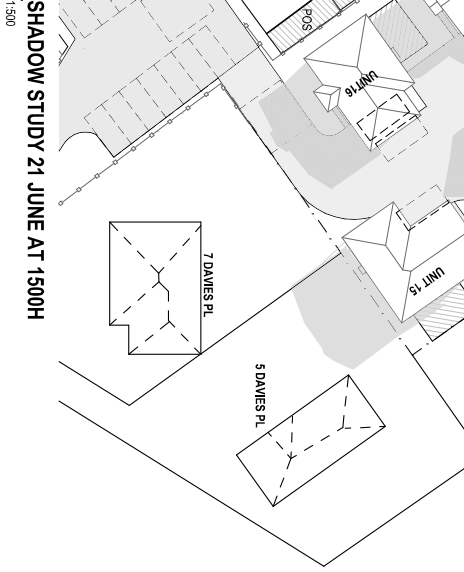
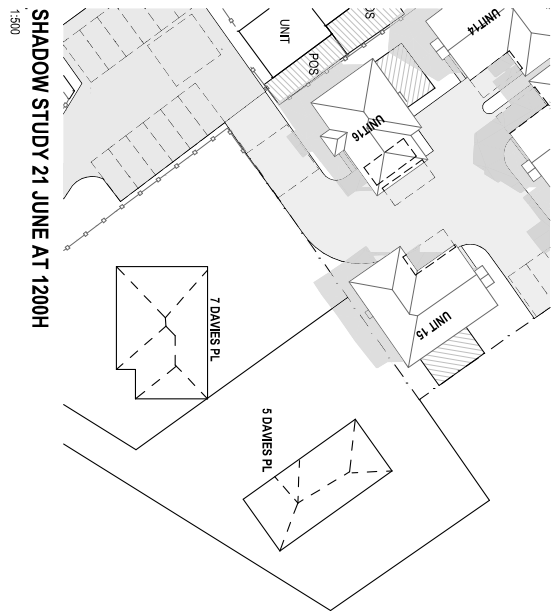
CONTRADICTIONS SHALL PREVAIL OVER ALL DIMENSIONS AND LEVELS SHOWN HEREIN.
CONTRADICTIONS BETWEEN DIMENSIONS SHALL BE RESOLVED BY THE ARCHITECT.
DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
ALL WORKS SHALL BE COMPLETED IN ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS.
THESE DIMENSIONS SHALL BE USED FOR THE PREPARATION OF PERMITS AND CONTRACTS.
PERMISSION OF ORAMATIS STUDIO.

Rev ID	Description	Date

PROJECT	UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAINE, TAS
CLIENT	CENTROCORE ENVOUE HOUSING
SECTION	
DATE	21/11/2022
CHECKED BY	AHILL
SCALE	AS SHOWN @ A3
DRAWN BY	CLI

PAGE	DA04	NORTH
DRAWING	SHADOW DIAGRAM	

12.1.6 Application Documents



ORAMATIS STUDIO

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p: (03) 6298 8440
e: oramatis@oramatis.com.au
o: Oramatis Studio Pty Ltd
c: 16/182591
Document Set ID: 162591
Version: 1, Version Date: 04/11/2022

GENERAL NOTES

CONTRADICTIONS SHALL UPHOLD ALL DIMENSIONS AND LEVELS SHOWN BEFORE COMMENCEMENT OF WORK. CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. ALL WORKS SHALL BE COMPLETED IN ACCORDANCE WITH THE RELEVANT REGULATIONS, STANDARDS, SPECIFICATIONS AND THE CONTRACT DOCUMENTS. THESE DRAWINGS SHALL BE USED FOR INFORMATION ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.

Rev ID	Description	Date

PROJECT: UNIT DEVELOPMENT
8 DAVIES PLACE, DELORAINE, TAS
CLIENT: CENTACORE ENVOUE HOUSING

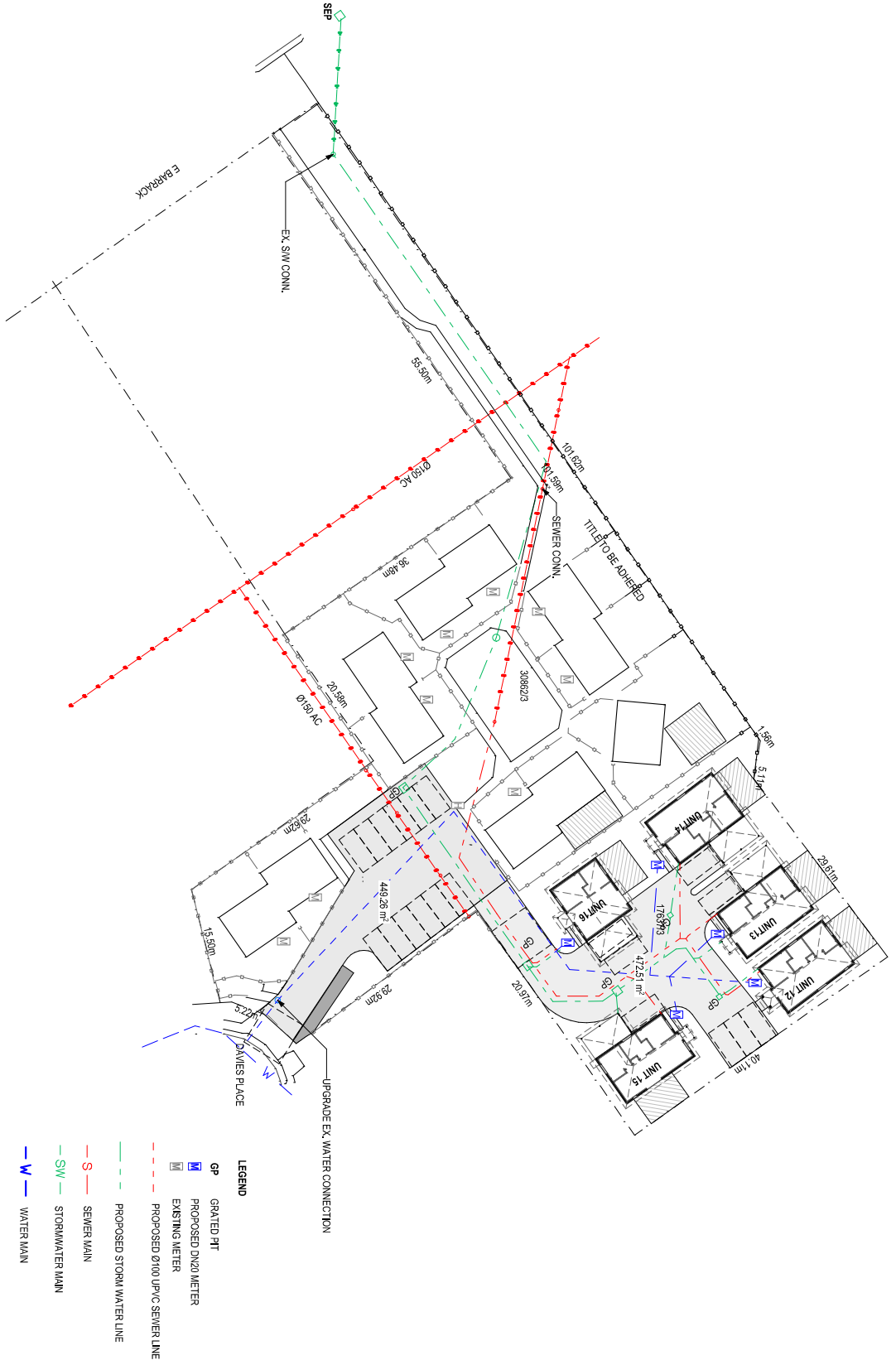
REGION: TAS
DATE: 21/11/2022
CHECKED BY: AHILL
SCALE: AS SHOWN @ A3
DRAWN BY: CLI

PAGE: DA05



DRAWING: SHADOW DIAGRAM

1
DRAINAGE PLAN
1:300



ORAMATIS STUDIO

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 p: (03) 6298 8440
 e: oramatis@oramatis.com.au
 o: Oramatis Studio Pty Ltd
 Document Set ID: 162850 / 00350
 Version: 1, Version Date: 04/11/2022

GENERAL NOTES
 CONSTRUCTION SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. ANY VARIATIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS. THESE SPECIFICATIONS AND STANDARDS SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SEWER AND STORMWATER SYSTEMS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WATER MAINS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE GRATED PITS AND METERS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED 1000 UPVC SEWER LINE, PROPOSED STORM WATER LINE, SEWER MAIN, STORMWATER MAIN, AND WATER MAIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UPGRADE EX. WATER CONNECTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE EX. SW CONN. AND SEWER CONN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TITLE TO BE ADHERED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE GP GRATED PIT, PROPOSED DN20 METER, EXISTING METER, PROPOSED 1000 UPVC SEWER LINE, PROPOSED STORM WATER LINE, SEWER MAIN, STORMWATER MAIN, AND WATER MAIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UPGRADE EX. WATER CONNECTION, EX. SW CONN., SEWER CONN., AND TITLE TO BE ADHERED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE GP GRATED PIT, PROPOSED DN20 METER, EXISTING METER, PROPOSED 1000 UPVC SEWER LINE, PROPOSED STORM WATER LINE, SEWER MAIN, STORMWATER MAIN, AND WATER MAIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UPGRADE EX. WATER CONNECTION, EX. SW CONN., SEWER CONN., TITLE TO BE ADHERED, GP GRATED PIT, PROPOSED DN20 METER, EXISTING METER, PROPOSED 1000 UPVC SEWER LINE, PROPOSED STORM WATER LINE, SEWER MAIN, STORMWATER MAIN, AND WATER MAIN.

Rev ID	Description	Date

PROJECT: UNIT DEVELOPMENT
 8 DAMES PLACE, DELORAIN, TAS
 CLIENT: CENTRAQUE EVOLVE HOUSING

SECTION: 712975
 PROJECT ID: 712975

DATE: 21/11/2022
 CHECKED BY: AHILL

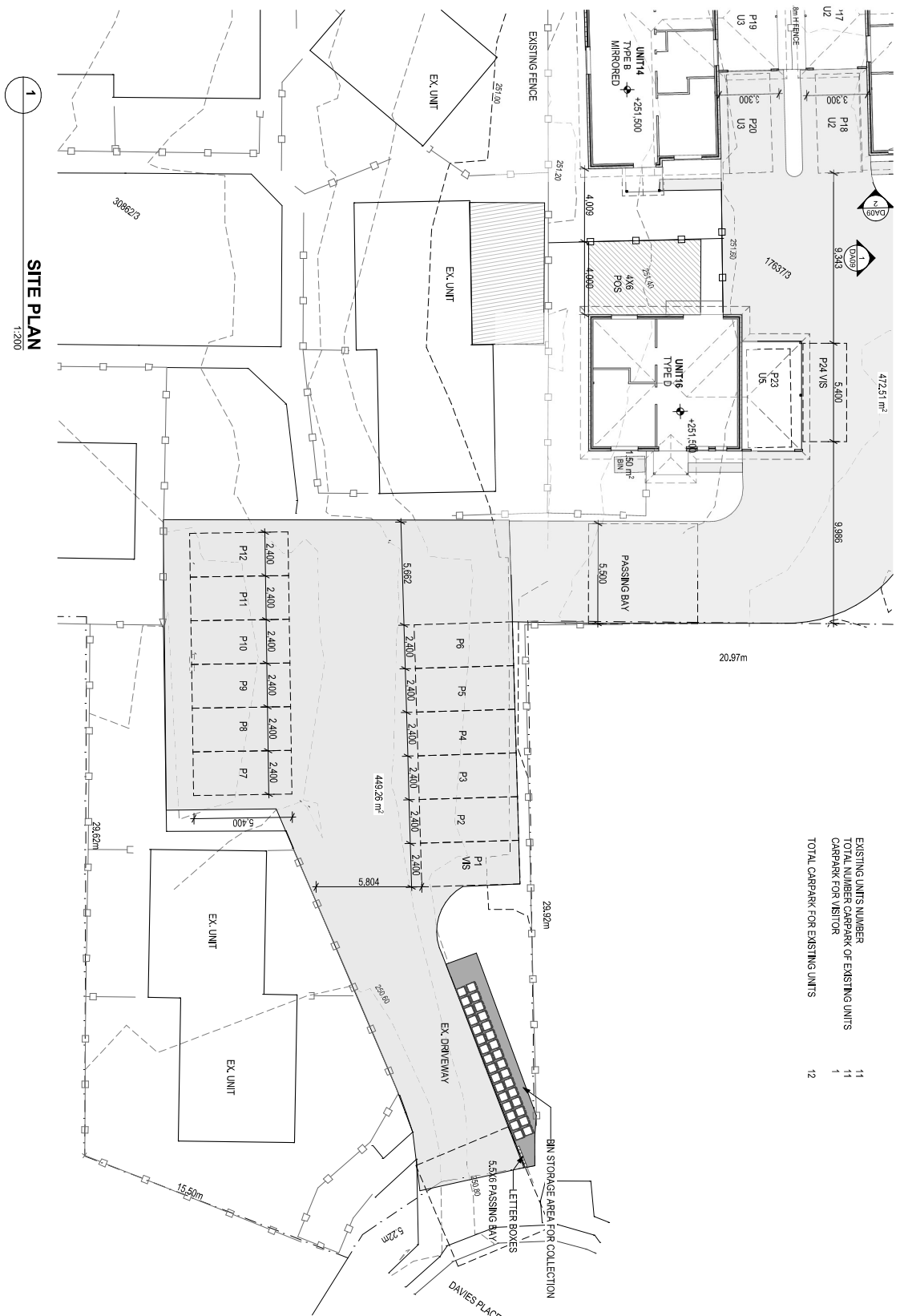
SCALE: AS SHOWN @ A3
 DRAWN BY: CLI

PAGE: DA06
 DRAWING: DRAINAGE PLAN



NORTH

12.1.6 Application Documents



EXISTING UNITS NUMBER	11
TOTAL NUMBER CARPARK OF EXISTING UNITS	11
CARPARK FOR VISITOR	1
TOTAL CARPARK FOR EXISTING UNITS	12

SITE PLAN
1:200

ORAMATIS STUDIO

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 e: oramatis@oramatis.com.au
 o: oramatis studio Pty Ltd
 Document Set ID: 162850
 Version: 1, Version Date: 04/11/2022

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF WORK. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF WORK. ALL WORKS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AND THE RELEVANT REGULATIONS. THESE REGULATIONS, STANDARDS, SPECIFICATIONS AND THE CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. PERMISSION OF ORAMATIS STUDIO.

Rev ID	Description	Date
A	Remove Carpark for Oramatis collection	21/11/2022

PROJECT	UNIT DEVELOPMENT 8 DAVIES PLACE, DELORAIN, TAS
CLIENT	CENTACORE ENVOUE HOUSING

REVISION	DATE	SCALE
A	21/11/2022	AS SHOWN @ A3

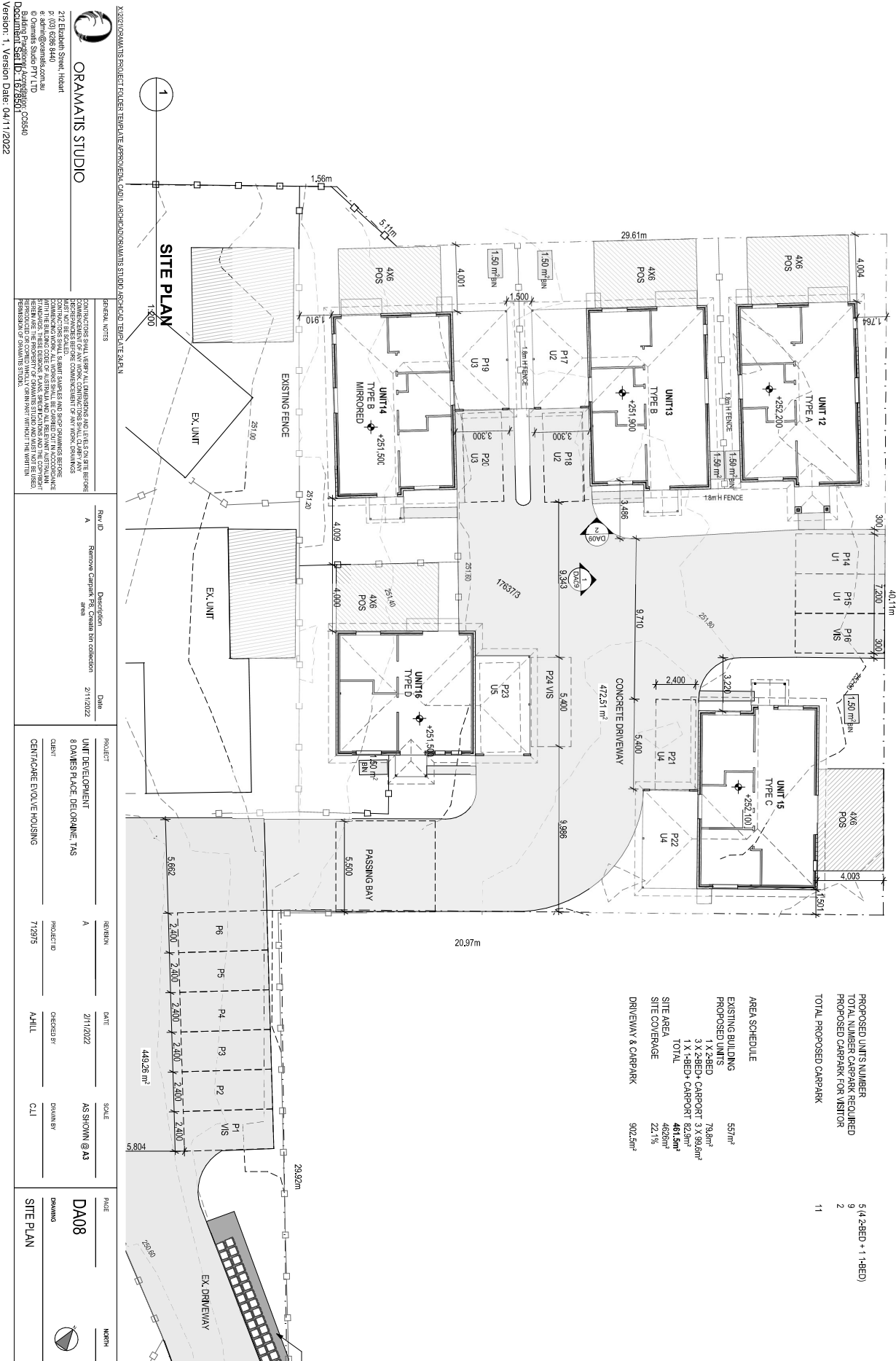
PROJECT ID	CHECKED BY	DRAWN BY
712975	AHILL	CLI

PAGE: **DA07**

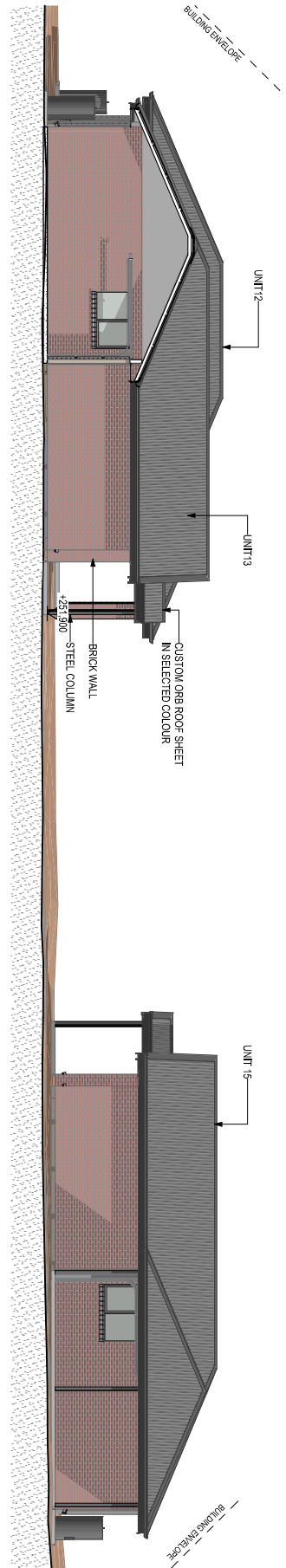
DRAWING

ORAMATIS STUDIO

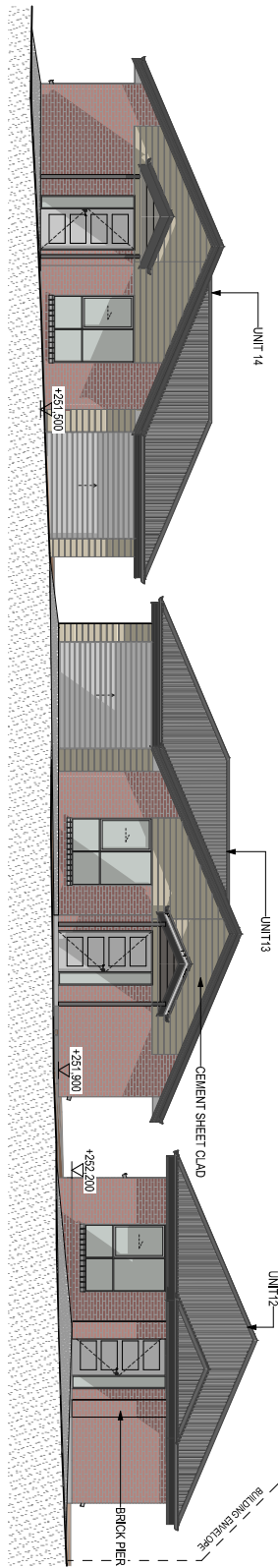
12.1.6 Application Documents



12.1.6 Application Documents



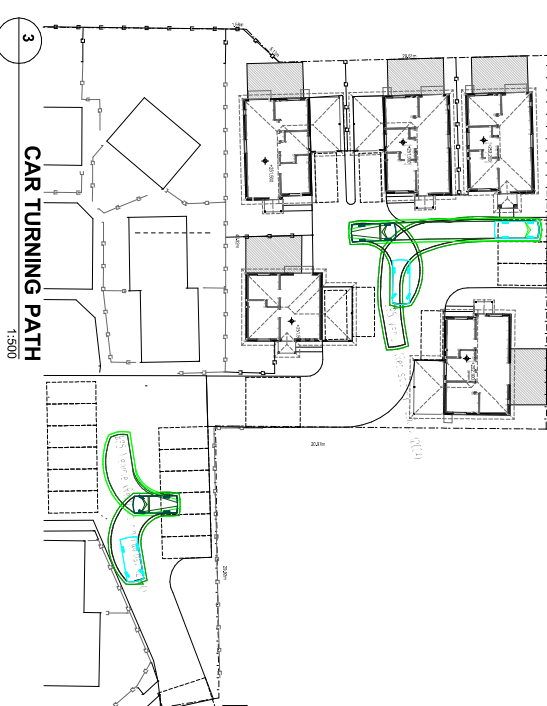
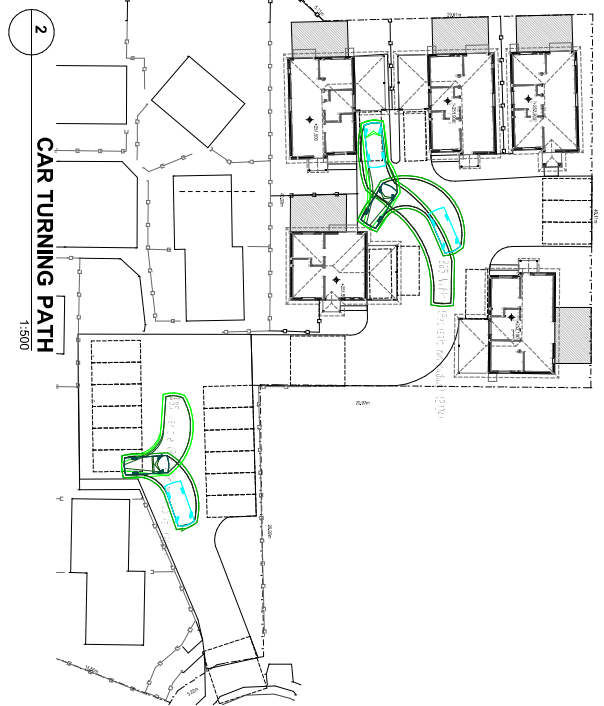
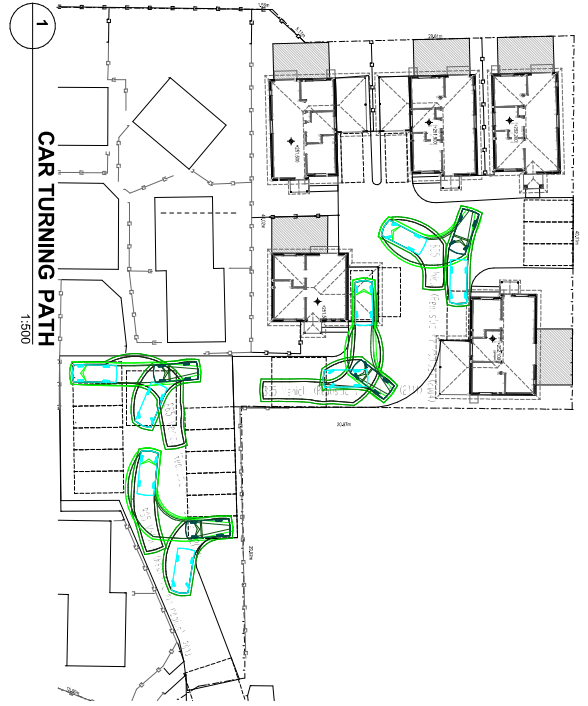
1
SITE ELEVATION
1:100



2
SITE ELEVATION
1:100

	GENERAL NOTES Contractors shall verify all dimensions and levels on the above commencement of any work. Contractors shall clarify any matter that is unclear. Commencement of any work. Change in construction work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian standards. The property of Wilson Multi and must not be used without the permission of Wilson Multi.		Rev	ID	Description	Date
	DESIGNER © Ornatis Studio Pty Ltd 2/120 P: (03) 6286 8440 E: admin@ornatis.com.au LIC: C065940		PROJECT UNIT DEVELOPMENT 8 DANES PLACE, DELORAIN, TAS CLIENT CERVAQARE EVOLVE HOUSING			
REGION TASMANIA		DATE 21/1/2022	SCALE AS SHOWN @ A3		PAGE DA09	
PROJECT ID 712975		CHECKED BY A HILL	DRAWN BY CLI		MOOR SITE ELEVATION	

12.1.6 Application Documents



ORAMATIS STUDIO

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 e. oramatis@oramatis.com.au
 o. Oramatis Studio Pty Ltd
 Document Set ID: 1628250
 Version: 1, Version Date: 04/11/2022

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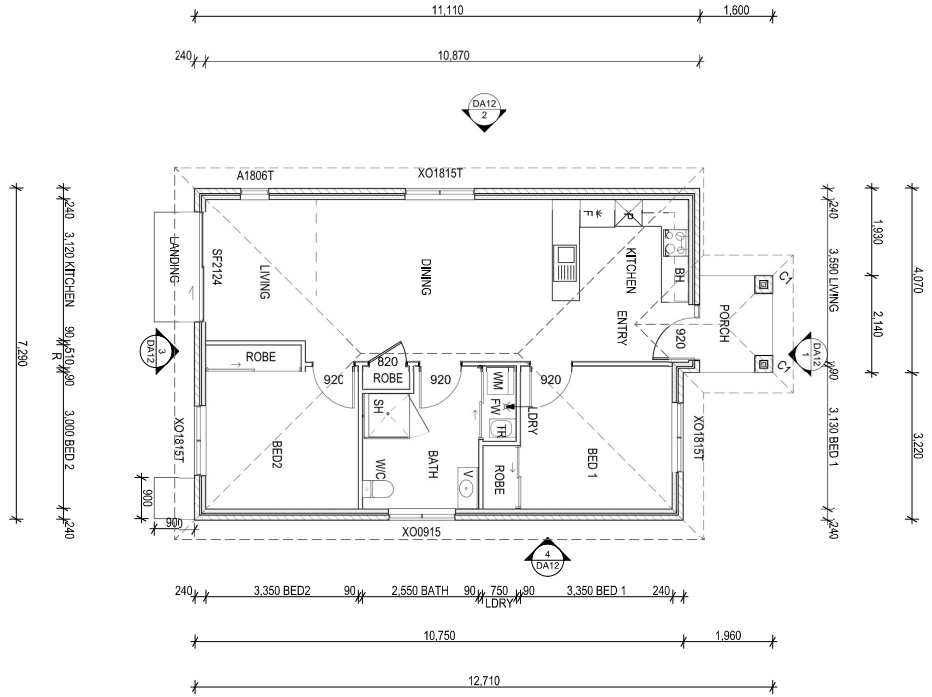
GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. WORK CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS. THESE DRAWINGS SHALL BE USED FOR INFORMATION ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LEVELS ON SITE. PERMISSION OF ORAMATIS STUDIO.

REV ID	DESCRIPTION	DATE	PROJECT	SECTION	DATE	SCALE	PAGE
A	Remove Carpark P8	21/11/2022	UNIT DEVELOPMENT 8 DAMES PLACE, DELORAINE, TAS	A	21/11/2022	AS SHOWN @ A3	DA10
			CLIENT CENTROCORE EVOLVE HOUSING	PROJECT ID 712975	CHECKED BY A.HILL	DRAWN BY C.LI	CAR TURNING PLAN



12.1.6 Application Documents



TYPE A (UNIT 12) FLOOR PLAN
1:100



Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

GENERAL NOTES
Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any dimensions or levels that are not clear. Contractors shall not be held responsible for any errors or omissions in this drawing. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. This drawing is the property of Wilson Homes and must not be used, copied, or reproduced without the written permission of Wilson Homes.

Rev. ID Description Date

DESIGNER:
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2/12/2021, 1:15:59 PM
P: (03) 6286 8440
E: admin@operatis.com.au
LIC: CCG540

PROJECT:
UNIT DEVELOPMENT
8 DAINES PLACE, DELORAIN, TAS
CLIENT:
CENTACARE EVOLVE HOUSING

REGION

DATE
21/11/2022

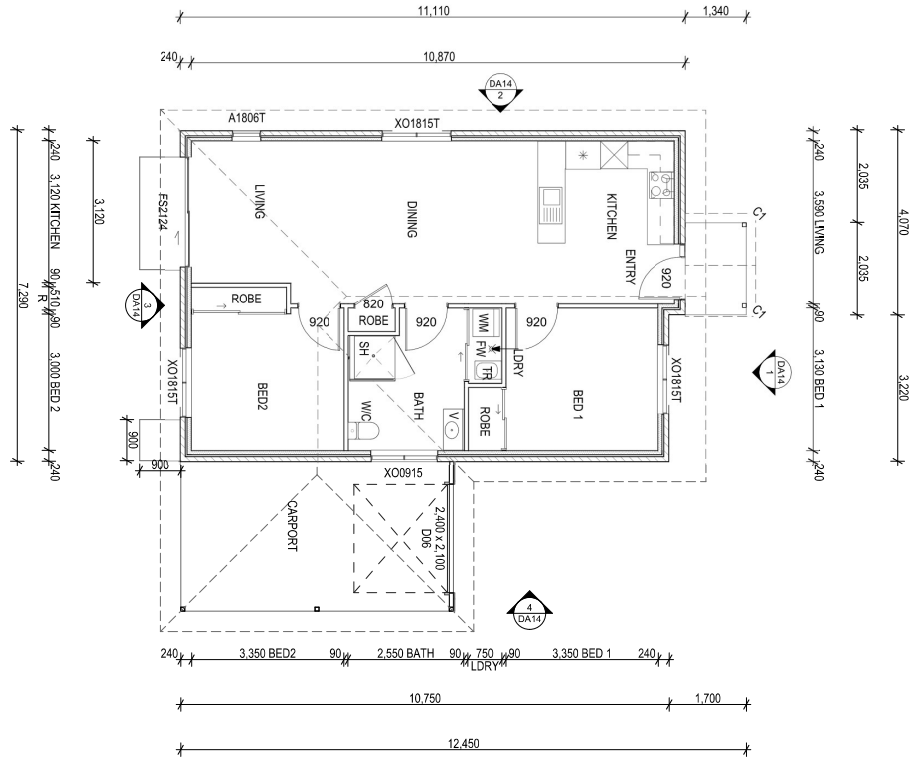
SCALE
AS SHOWN @ A3

PAGE
DA11

NO. OF
DRAWING

TYPE A FLOOR PLAN

12.1.6 Application Documents



AREA SCHEDULE	
ID	m ²
CARPORIT	19.80
CONC. PAD	0.81
HOUSE	79.83
LANDING	2.23
PORCH	2.73

TYPE B (UNIT13) FLOOR PLAN
1:100

WILSON MULTI

Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

GENERAL NOTES

Contractors shall verify all dimensions and levels on the above commencement of any work. Contractors shall clarify any discrepancy with the architect. Commencement of any work shall be subject to the Building Code of Australia and all relevant Australian standards. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian standards. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian standards. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian standards. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian standards.

Rev. ID	Description	Date

DESIGNER

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2/12, 1/185-191
P. (03) 6286 8440
E. admin@ornatis.com.au
LIC: CCG5940

PROJECT

UNIT DEVELOPMENT
8 DINES PLACE, DELORAIN, TAS

CLIENT

CENVAQARE EVOLVE HOUSING

REGION	DATE	SCALE
TAS	21/11/2022	AS SHOWN @ A3

CHECKED BY

A HILL

DRAWN BY

CLI

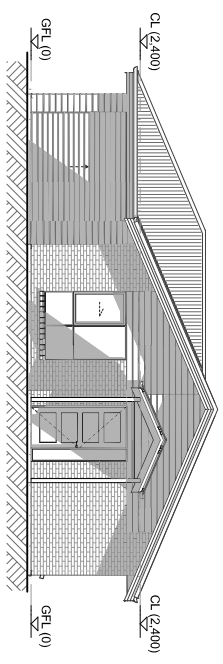
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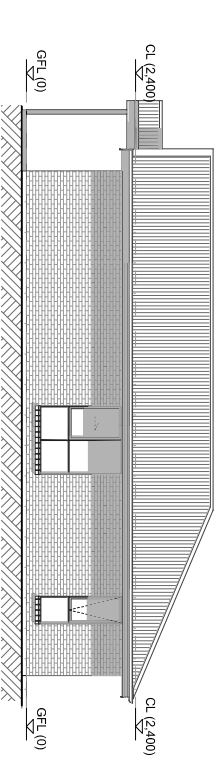
TITLE

TYPE B FLOOR PLAN

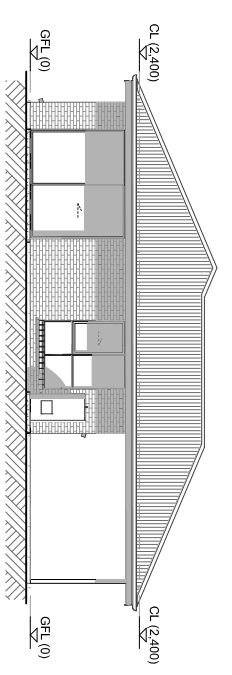
12.1.6 Application Documents



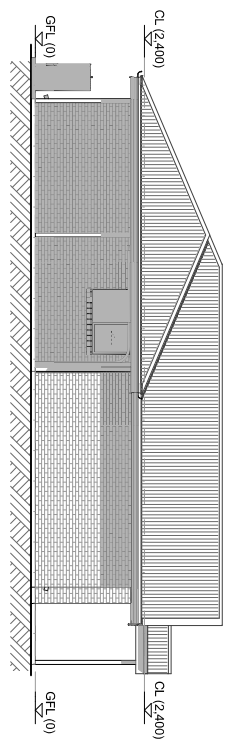
FRONT ELEVATION
1:100




SIDE ELEVATION
1:100



REAR ELEVATION
1:100

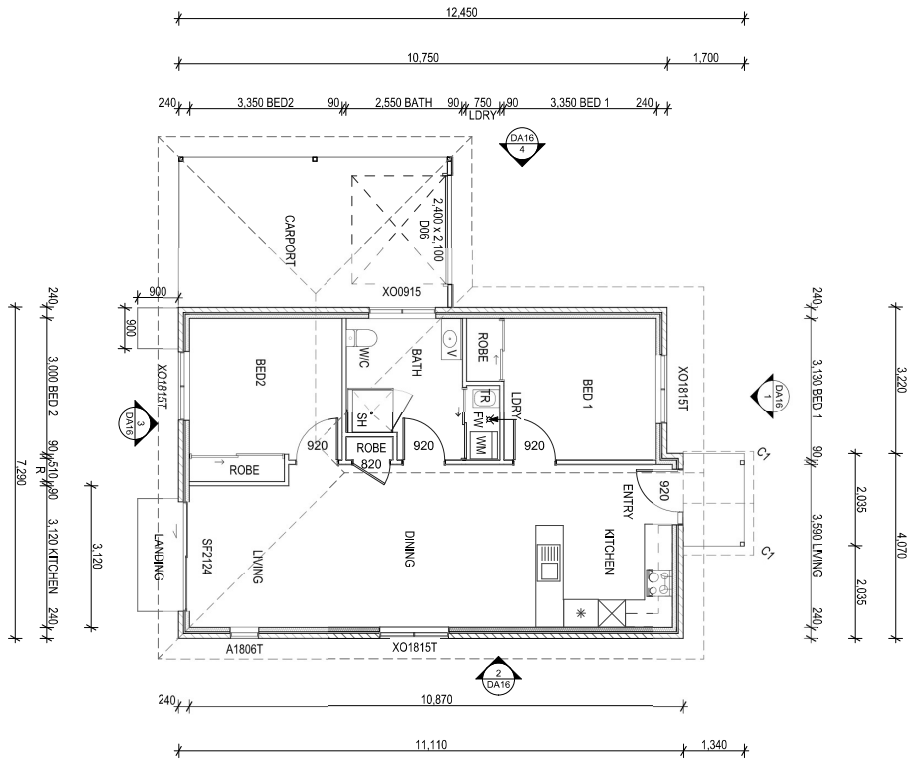


SIDE ELEVATION
1:100

	GENERAL NOTES Contractors shall verify all dimensions and levels on the above commencement of any work. Contractors shall clarify any matters that may be unclear. Contractors shall clarify any matters that may be unclear. Contractors shall clarify any matters that may be unclear. Contractors shall clarify any matters that may be unclear.		Rev. #	Description	Date
	The Building Code of Australia and all relevant Australian Standards are the property of Wilson Homes and must not be used, reproduced or altered in any way without the written permission of Wilson Homes.		DESIGNER	© Opentis Studio Pty Ltd 2/21 Stirling St, Hobart TAS P: (03) 6286 8440 E: admin@opentis.com.au LIC: CCS6540	
	PROJECT	REGION	DATE	SCALE	PAGE
	UNIT DEVELOPMENT 8 DAINES PLACE, DELORAIN, TAS CLIENT	TAS	21/1/2022	AS SHOWN @ A3	DA14
	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	TYPE B ELEVATION
	712975	A.HILL	C.LI		
	CENTACARE EVOLVE HOUSING				
					NORTH

Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

12.1.6 Application Documents



AREA SCHEDULE	
ID	m²
CARPORIT	19.90
CONC. PAD	0.81
HOUSE	79.83
LANDING	2.23
PORCH	2.23

TYPE B MIRRORED (UNIT 14) FLOOR PLAN

1:100

Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

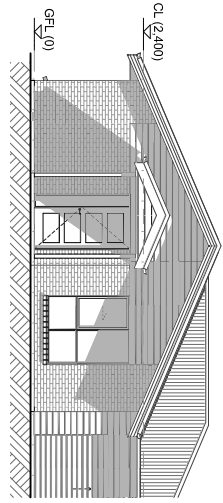
GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies with the design team before commencement of any work. Contractors shall be advised that all work shall be completed in accordance with the Building Code of Australia and all relevant Australian Standards. The design team is not responsible for any work completed without the permission of Wilson Homes.

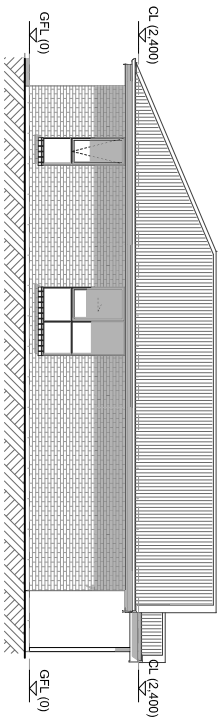
Rev. ID	Description	Date

DESIGNER © Opentia Studio Pty Ltd 2/12 Oldfield Rd, Glenorchy, TAS 7215 P: (03) 6286 8440 E: admin@opentia.com.au LIC: CC65940	PROJECT UNIT DEVELOPMENT 8 DANES PLACE, DELORAIN, TAS CLIENT GENVAQARE EVOLVE HOUSING
REGION TASMANIA PROJECT ID 712975	DATE 21/1/2022 CHECKED BY A HILL
SCALE AS SHOWN @ A3 DRAWN BY CLI	PAGE DA15 DRAWING TYPE BM FLOOR PLAN

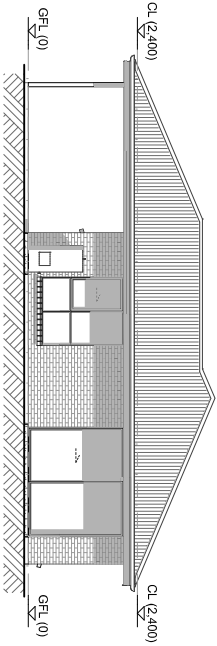
12.1.6 Application Documents



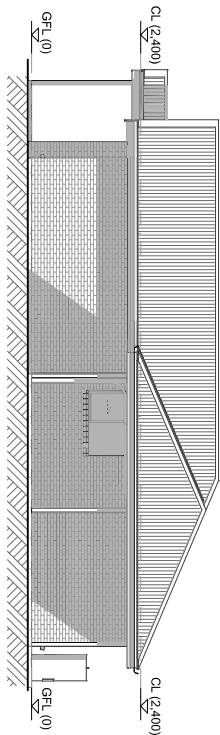
1
NORTH ELEVATION
1:100



2
SIDE ELEVATION
1:100



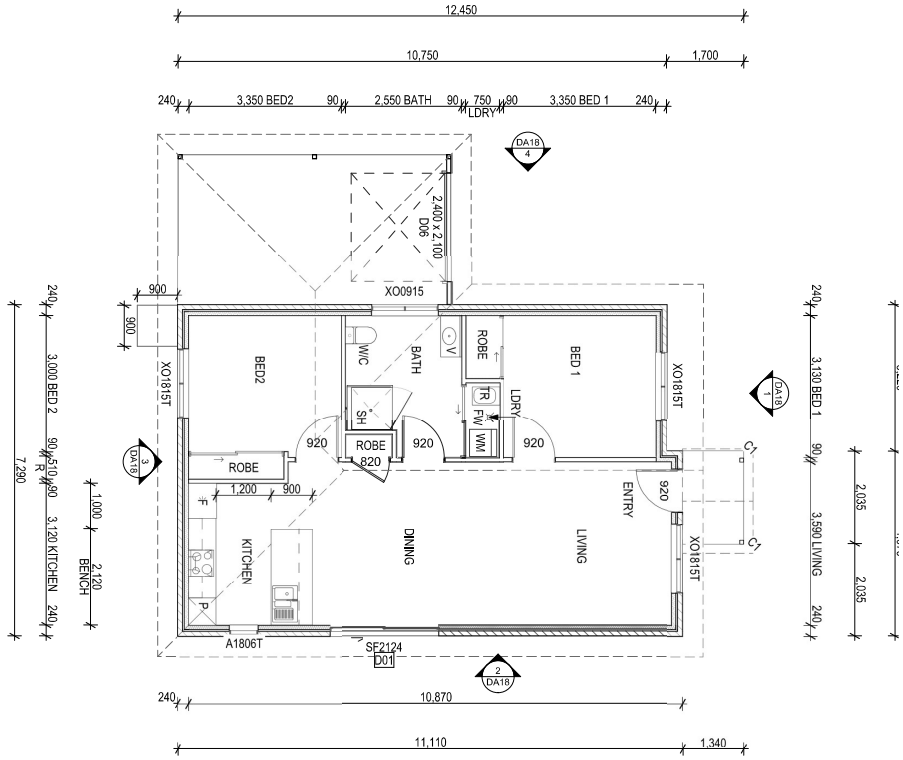
3
REAR ELEVATION
1:100



4
SIDE ELEVATION
1:100

	GENERAL NOTES Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any ambiguities or discrepancies in the drawings with the architect prior to commencing work. All works shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These drawings are the property of Wilson Multi and must not be used, copied, reproduced or in any way disclosed to any third party without the written permission of Wilson Multi.		Rev. ID	Description	Date
	DESIGNER © Ornatis Studio Pty Ltd 2/12 The Esplanade, Hobart TAS 7000 P: (03) 6286 8440 E: admin@ornatis.com.au LIC: CCG5940		PROJECT UNIT DEVELOPMENT 8 DAINES PLACE, DELORAIN, TAS	REGION TAS	DATE 21/1/2022
CLIENT CENVAQARE EVOLVE HOUSING		PROJECT ID 712975	CHECKED BY A HILL	SCALE AS SHOWN @ A3	DRAWN BY CLJ
PROJECT UNIT DEVELOPMENT 8 DAINES PLACE, DELORAIN, TAS		CLIENT CENVAQARE EVOLVE HOUSING	PROJECT ID 712975	CHECKED BY A HILL	DRAWN BY CLJ
DATE 21/1/2022		REGION TAS	SCALE AS SHOWN @ A3	PAGE DA16	NO. OF DRAWING
VERSION 1		DATE 04/11/2022	TYPE BM ELEVATION		

12.1.6 Application Documents



AREA SCHEDULE	
ID	m ²
PORCH	2.73
CARPORT	19.80
CONC. PAD	0.81
HOUSE	79.83

TYPE C (UNIT15) FLOOR PLAN

1-100

Document Set ID: 1678501
Version: 1, Version Date: 04/11/2022

GENERAL NOTES

Contractors shall verify all dimensions and levels on the above commencement of any work. Contractors shall clarify any dimensions or levels that are not clear. Contractors shall clarify any dimensions or levels that are not clear. Contractors shall clarify any dimensions or levels that are not clear.

Rev	ID	Description	Date

DESIGNER

© Operatis Studio Pty Ltd
2/120 Collins Street
P.O. Box 6286 8440
E: admin@operatis.com.au
LIC: CCS6940

PROJECT

UNIT DEVELOPMENT
8 DENNIS PLACE, DELORAIN, TAS

CLIENT

CENTACARE EVOLVE HOUSING

REGION	DATE	SCALE
	21/1/2022	AS SHOWN @ A3

PROJECT ID

715975

CHECKED BY

A HILL

DRAWN BY

CLI

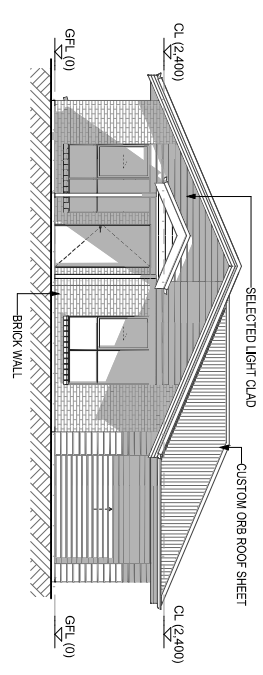
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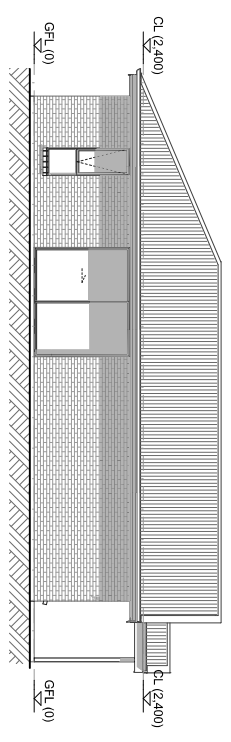
DATE

DA17

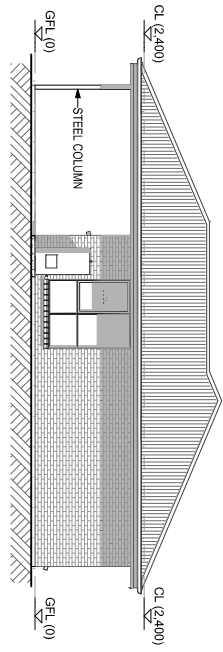
12.1.6 Application Documents



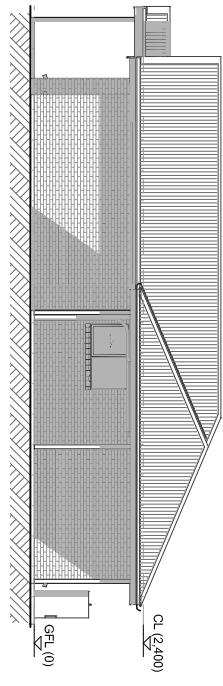
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2
SIDE ELEVATION
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3
REAR ELEVATION
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4
SIDE ELEVATION
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WILSON
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DESIGNER

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LIC: CC6540

PROJECT

UNIT DEVELOPMENT
8 DAINES PLACE, DELORAIN, TAS

CLIENT

CENVACARE EVOLVE HOUSING

REGION	DATE	SCALE
	21/1/2022	AS SHOWN @ A3

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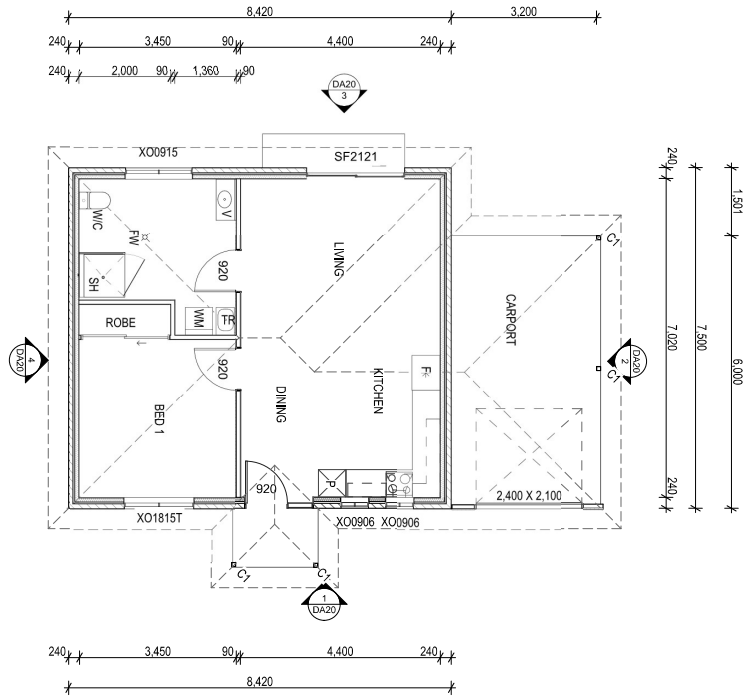
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PROJECT NAME

DA18

DATE

21/1/2022



AREA SCHEDULE	
Element ID	m ²
CARPORT	19.80
HOUSE	63.15
LANDING	2.34
PORCH	2.48

TYPE D (UNIT16) FLOOR PLAN
1-100

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PROJECT

UNIT DEVELOPMENT
8 DAINES PLACE, DELORAIN, TAS

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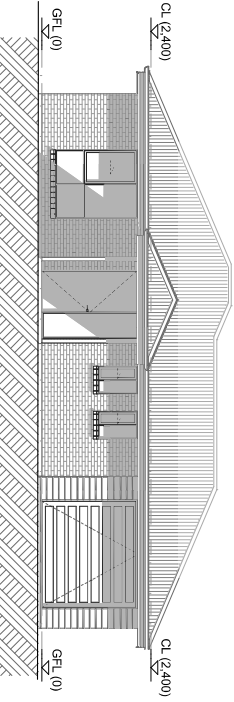
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PAGE

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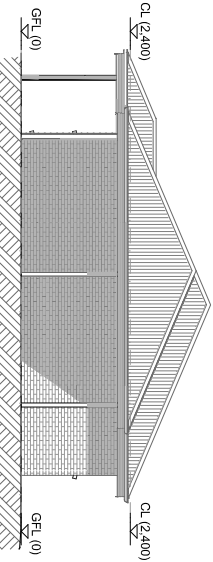
TITLE

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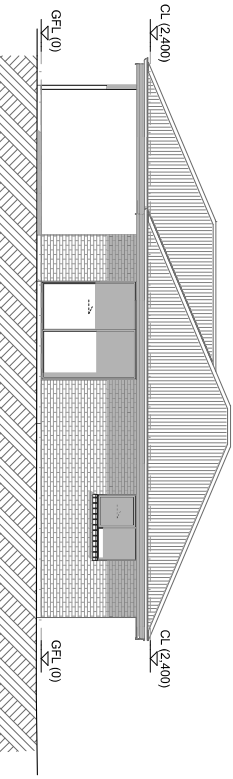
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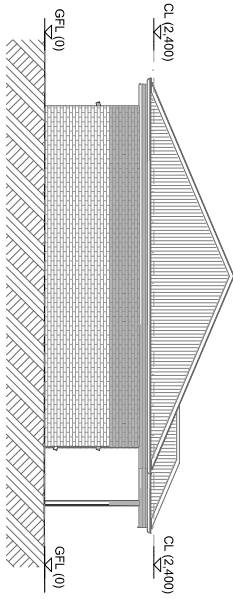
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SIDE ELEVATION

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3
REAR ELEVATION

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4
SIDE ELEVATION

1:100



GENERAL NOTES
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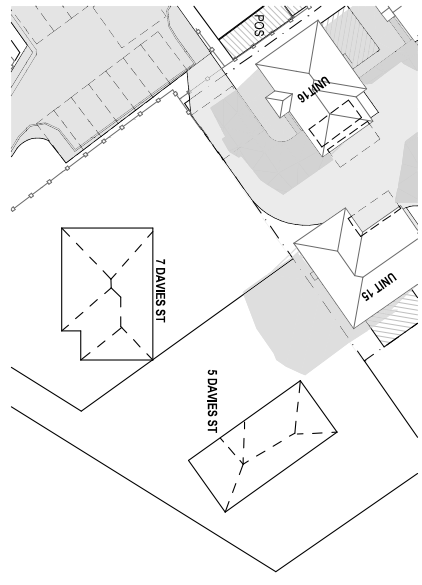
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2/21 Dainton Rd
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PROJECT	REGION	DATE	SCALE	PAGE	NOTES
UNIT DEVELOPMENT 8 DAINES PLACE, DELORaine, TAS		21/1/2022	AS SHOWN @ A3	DA20	
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CENVAQARE EVOLVE HOUSING	712975	A HILL	CLI	TYPE D ELEVATION	



Attachment 2 Shadow Diagrams

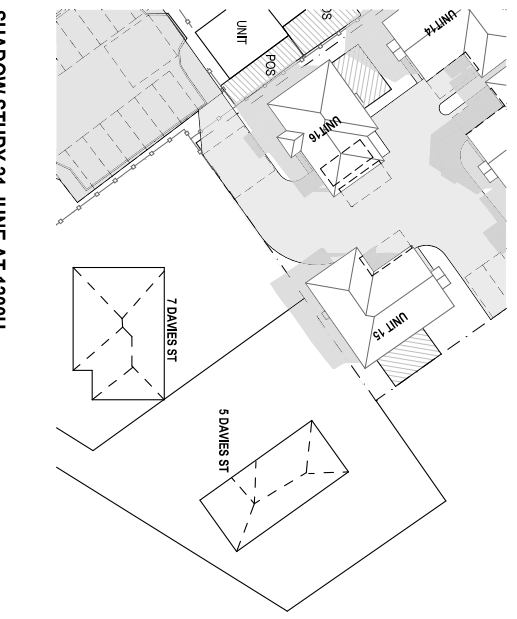
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SHADOW STUDY 21 JUNE AT 0900H
1:500



SHADOW STUDY 21 JUNE AT 1200H
1:500



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Rev ID	Description	Date

PROJECT	UNIT DEVELOPMENT
CLIENT	8 DAVIES PLACE DEVELOPMENT, TAS
REGION	
DATE	26/10/2022
CHECKED BY	A.HILL
SCALE	AS SHOWN @ A3
PROJECT ID	712975
DRAWN BY	CLI

PAGE	DA05
DRAWING	SHADOW DIAGRAM
NORTH	

12.1.6 Application Documents

From: "Katrina Hill" <khill@jmg.net.au>
Sent: Mon, 28 Nov 2022 09:25:18 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Erin Porter" <eport@wilsonhomes.com.au>
Subject: RE: Request for information - 8 Davies Place Deloraine - Multiple Dwellings
Attachments: RFI Response 3 - PA.23.0063 - 8 Davies Place - lodged 28.11.22.pdf

Please find attached our RFI response.

If you have any questions, feel free to call me.

Thank you, Katrina.

Katrina Hill | TOWN PLANNER
JMG ENGINEERS & PLANNERS

117 Harrington Street HOBART TAS 7000
E: khill@jmg.net.au
P: 03 6231 2555

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From: Planning @ Meander Valley Council <planning@mvc.tas.gov.au>
Sent: Wednesday, 16 November 2022 12:54 PM
To: Katrina Hill <khill@jmg.net.au>
Cc: Brenton Josey <Brenton.Josey@mvc.tas.gov.au>
Subject: RE: Request for information - 8 Davies Place Deloraine - Multiple Dwellings

Hi Katrina,

Thank you the additional information. A couple of questions remain, please refer to the attached for more detail.

Thank you,
Brenton



Planning @ Meander Valley Council

12.1.6 Application Documents

P: 6393 5300 E: planning@mvc.tas.gov.au
26 Lyall Street Westbury, TAS 7303 | PO Box 102, Westbury Tasmania 7303
www.meander.tas.gov.au

From: Katrina Hill [<mailto:khill@jmg.net.au>]
Sent: Friday, 4 November 2022 3:09 PM
To: Planning @ Meander Valley Council
Cc: Brenton Josey
Subject: Request for information - 8 Davies Place Deloraine - Multiple Dwellings

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Please find attached our RFI response. Thank you, Katrina.

Katrina Hill | TOWN PLANNER
JMG ENGINEERS & PLANNERS

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Version: 1, Version Date: 28/11/2022



JMG Ref: 220645PL

28 November 2022

General Manager
Meander Valley Council

Attention: Brenton Josey

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Johnstone McGee &
Gandy Pty Ltd
ABN 76 473 834 852
ACN 009 547 139
as trustee for Johnstone
McGee & Gandy
Unit Trust

www.jmg.net.au

Dear Brenton,

PLANNING APPLICATION - 8 Davies Place DELORAINE - Multiple Dwellings (5 units)

I refer to the Council's letter regarding the above application dated 7 October 2022.

To enable further consideration a response to the Council's 'request for further information' (RFI) is addressed in the sequence below.

1. Pedestrian Access

Relevant information has been provided, we believe, to demonstrate how the proposal satisfies Performance Criteria C2.6.5 P1.

Please see Attachment 1.

2. Items for Noting

We would like to reiterate that the shown placement of the bins (drawing DA07) is the preferred option as determined by the waste collection company - JJ's Waste (Council contractor). The bin storage arrangement was determined after consultation with the provider. Perhaps John would like to discuss with JJ's Waste why they have determined that this is the arrangement they would prefer.

We trust that the advice contained in this letter satisfies Council's request, however, if further information or clarification is required, please contact me on 62 312 555 or via khill@jmg.net.au.

Yours faithfully,

JOHNSTONE MCGEE & GANDY PTY LTD

Katrina Hill | Town Planning



Attachment 1 Traffic Impact Assessment



Wilson Homes
8 Davies Place, Deloraine
Traffic Impact Statement
November 2022





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1. Introduction

1.1 Background

Midson Traffic were engaged by Wilson Homes to prepare a traffic impact statement for a proposed residential unit development at 8 Davies Place, Deloraine.

1.2 Traffic Impact Assessment/ Traffic Impact Statement

A traffic impact assessment (TIA) is a process of compiling and analysing information on the impacts that a specific development proposal is likely to have on the operation of roads and transport networks. A TIA should not only include general impacts relating to traffic management but should also consider specific impacts on all road users, including on-road public transport, pedestrians, cyclists and heavy vehicles.

A traffic impact statement (TIS) is a reduced form of a TIA, where only specific traffic and/or parking matters are required to be investigated. A TIS is often undertaken when the full traffic and transport impacts associated with a development are not considered necessary.

This TIS has generally been prepared in accordance with the Department of State Growth (DSG) publication, *A Framework for Undertaking Traffic Impact Assessments*, 2007. This TIS has also been prepared with reference to the Austroads publication, *Guide to Traffic Management*, Part 12: *Traffic Impacts of Developments*, 2019.

This TIS also addresses the relevant clauses of C2.0, *Parking and Sustainable Parking Code*, of the Tasmanian Planning Scheme – Meander Valley, 2021. Council have requested that a Traffic Impact Statement be prepared to investigate the pedestrian access requirements associated with the development.

1.3 Statement of Qualification and Experience

This TIA has been prepared by an experienced and qualified traffic engineer in accordance with the requirements of Council's Planning Scheme and The Department of State Growth's, *Traffic Impact Assessment Guidelines*, August 2020, as well as Council's requirements.

The TIA was prepared by Keith Midson. Keith's experience and qualifications are briefly outlined as follows:

- 26 years professional experience in traffic engineering and transport planning.
- Master of Transport, Monash University, 2006
- Master of Traffic, Monash University, 2004
- Bachelor of Civil Engineering, University of Tasmania, 1995
- Engineers Australia: Fellow (FIEAust); Chartered Professional Engineer (CPEng); Engineering Executive (EngExec); National Engineers Register (NER)

1.4 Subject Site

The subject site is located at 8 Davies Place, Deloraine. The site is currently a vacant internal lot and a previously developed lot.

The existing developed portion of the site contains 11 residential dwelling units with a car park located at the southern end of the site. The site connects to the northern termination of the Davies Place cul-de-sac. The subject site and surrounding road network is shown in Figure 1.

Figure 1 Subject Site & Surrounding Road Network



Image Source: LIST Map, DPIPW

1.5 Reference Resources

The following references were used in the preparation of this TIA:

- Tasmanian Planning Scheme – Meander Valley, 2021 (Planning Scheme)
- Austroads, *Guide to Traffic Management, Part 12: Traffic Impacts of Developments*, 2019
- Austroads, *Guide to Road Design, Part 4A: Unsignalised and Signalised Intersections*, 2017
- Department of State Growth, *Traffic Impact Assessment Guidelines*, 2020
- Roads and Maritime Services NSW, *Guide to Traffic Generating Developments*, 2002 (RMS Guide)
- Roads and Maritime Services NSW, *Updated Traffic Surveys*, 2013 (Updated RMS Guide)
- Australian Standards, AS2890.1, *Off-Street Parking*, 2004 (AS2890.1)



2. Existing Conditions

2.1 Transport Network

For the purposes of this report, the transport network consists of Davies Place and Lansdowne Place.

Davies Place is a short cul-de-sac that is approximately 80 metres long. Davies Place connects to Lansdowne Place at a T-junction with Lansdowne Place having priority.

Traffic volumes in Davies Place are estimated to be very low (approximately 100 vehicles per day).

Lansdowne Place is a local road that connects between East Westbury Place and East Goderich Street. It provides access to residential properties, Deloraine High School and commercial properties along its length.

3. Proposed Development

3.1 Development Proposal

The proposed development involves the construction of 5 residential units. The units will be accessed from the existing car park that connects to the southwestern corner of the site. Minor changes to the car park are required to facilitate the new driveway connection to the subject site.

A total of 11 on-site car parking spaces are provided. The modifications to the existing car park to facilitate access to the site result in an additional parking space being provided, thus the total number of parking spaces provided is 12.

The proposed development is shown in Figure 2 and Figure 3.

Figure 2 Proposed Development Plans - Overview

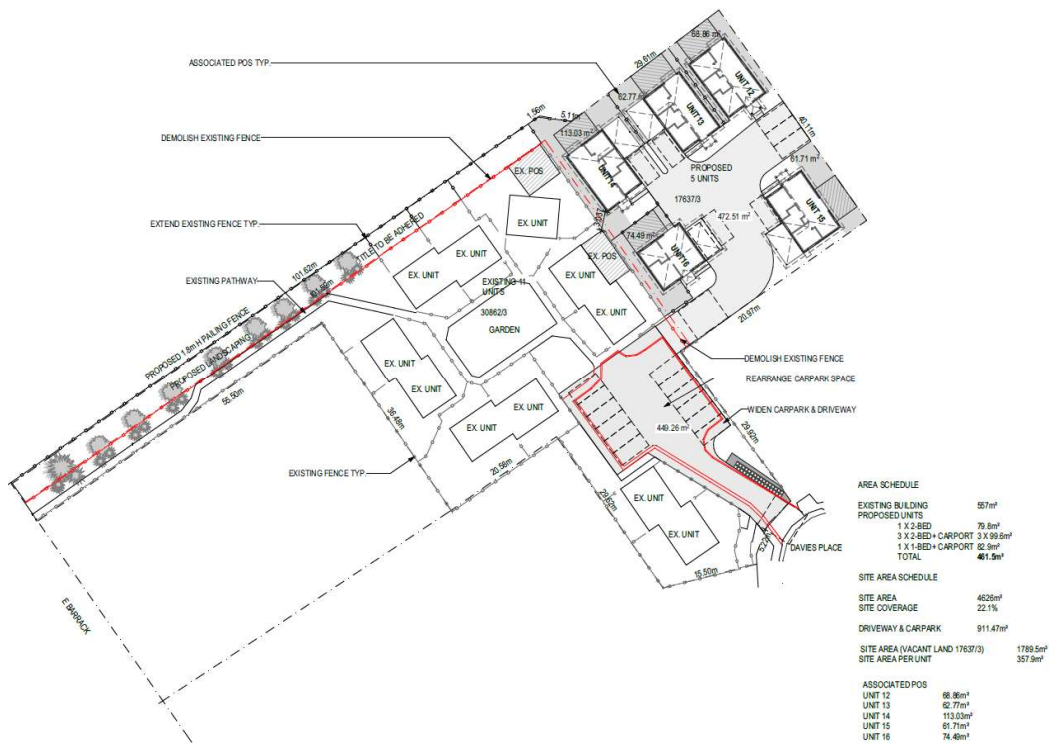
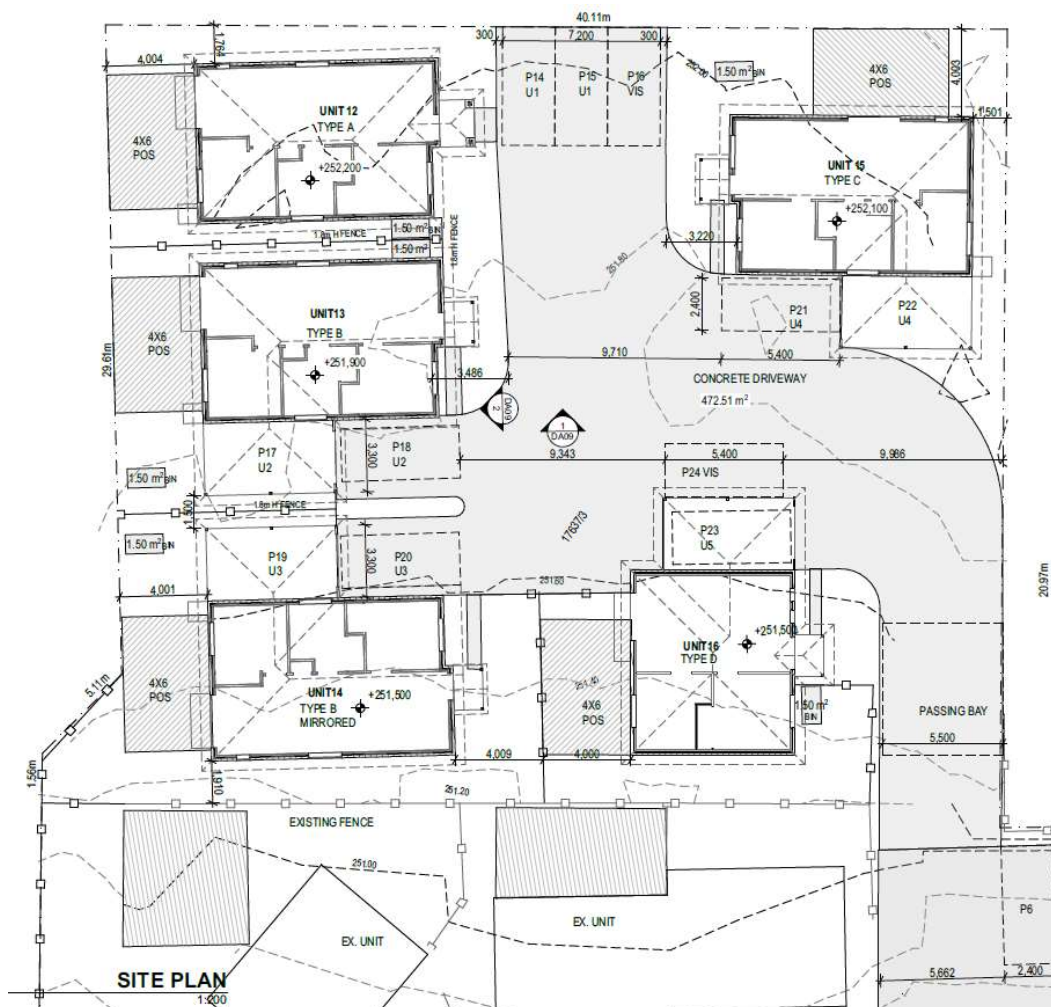


Figure 3 Proposed Development Plans – Detail





4. Traffic Impacts

4.1 Trip Generation

Traffic generation rates were sourced from the RMS Guide. The RMS Guide states the following traffic generation rates for medium density residential developments:

- Daily vehicle trips 5 trips per dwelling per day
- Weekday peak hour vehicle trips 0.5 trips per dwelling per hour

Based on these trip generation rates, the traffic generation from the proposed new units is 25 vehicles per day with a peak of 3 vehicles per hour.

4.2 Trip Assignment

All traffic will enter and exit the site via the northern end of the Davies Place cul-de-sac through the existing car park.

4.3 Access Impacts

The Acceptable Solution A1.4 of Clause C3.5.1 of the Planning Scheme states "*Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than the amounts in Table C3.1*".

Table C3.1 requires a maximum increase of 20% or 40 vehicles per day, whichever is greater. The traffic generation increase at the access is 25 vehicles per day, therefore the access complies with the requirements of Acceptable Solution A1.4 of Clause C3.5.1 of the Planning Scheme.

4.4 Pedestrian Impacts

The proposed development is likely to attract a relatively small amount of pedestrian movements in the surrounding network. There are limited pedestrian generating land uses in the surrounding area.

The Acceptable Solution A1 of Clause C2.6.5 of the Planning Scheme states:

"Uses that require 10 or more car parking spaces must:

(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:

(i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or

12.1.6 Application Documents



- (ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and*
- (b) be signed and line marked at points where pedestrians cross access ways or parking aisles”.*

The proposed development does not provide a separate pedestrian path to the driveway. The connection of the proposed units must pass through an existing car park that has a separated pedestrian path along the western edge of the car park. The existing car park has been in continuous operation for some time and currently services 11 residential units.

The accesses through the car parking area is considered a 'shared zone' where vehicles must give way to pedestrians. Traffic and pedestrian movements are relatively infrequent and occur in a low-speed controlled environment. This is a relatively commonplace treatment in medium density residential developments.

The Performance Criteria P1 of Clause C2.6.5 of the Planning Scheme states:

"Safe and convenient pedestrian access must be provided within parking areas, having regard to:

- (a) the characteristics of the site;*
- (b) the nature of the use;*
- (c) the number of parking spaces;*
- (d) the frequency of vehicle movements;*
- (e) the needs of persons with a disability;*
- (f) the location and number of footpath crossings;*
- (g) vehicle and pedestrian traffic safety;*
- (h) the location of any access ways or parking aisles; and*
- (i) any protective devices proposed for pedestrian safety”.*

The following is relevant with respect to the development:

- a. Characteristics of site. The site is a medium density residential development. The movement of cars and pedestrians only relates to activity associated with the residential units and would be expected by all road users.
- b. Nature of the use. The use is medium density residential, which is consistent with land use in the surrounding area.
- c. Number of parking spaces. A total of 10 on-site parking spaces are proposed, accessed via a single shared driveway.

12.1.6 Application Documents



- d. Frequency of vehicle movements. The section of the driveway access that does not have a separated pedestrian path only accesses the 5 proposed residential units associated with the proposed development. The peak traffic generation of these residential units will be 3 vehicles per hour (this is an average of 1 vehicle every 20 minutes). The low traffic generation coupled with the low vehicle speeds will result in an acceptable safety environment for shared use between pedestrians and cars.
- e. Needs of persons with a disability. Not applicable.
- f. Location and number of footpath crossings. Not applicable.
- g. Vehicle and pedestrian safety. The driveway will be a 'shared zone' where vehicles and pedestrians share the space with pedestrians having priority. As noted in d above, the low traffic generation coupled with the low vehicle speeds will result in an acceptable safety environment for shared use between pedestrians and cars.

It is further noted that the width of the access is 5.5 metres – this provides sufficient width for a slow moving vehicle to safely pass a pedestrian within the access. The low traffic generation associated with the development will result in a very low probability of two cars traversing through the access in opposing directions simultaneously with a pedestrian.

Vehicle speeds within the access will be very low, in the order of 5 to 10-km/h due to the layout of the access and parking areas. At these speeds, vehicles are able to stop and avoid conflict with other vehicles and pedestrians.

- h. Location of access ways or parking aisles. The development has a relatively simple layout consisting of a short access that connects to the parking and manoeuvring area associated with the units. Parking is accessed along one side of the driveway. There are no internal junctions within the accesses.
- i. Protective devices. No pedestrian protective devices are included in the design.

Based on the above assessment, the development meets the requirements of Performance Criteria P1 of Clause C2.6.5 of the Planning Scheme.



5. Parking Assessment

5.1 Parking Provision

The proposed development provides a total of 12 on-site car parking spaces. This consists of 11 spaces adjacent to the new units and one additional parking space in the reconfigured existing car park that connects to Davies Place.

The layout of the parking spaces is shown in Figure 3.

5.2 Planning Scheme Requirements

The Acceptable Solution A1 of Clause C2.5.1 of the Planning Scheme states:

"The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:

- (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;*
- (b) the site is contained within a parking precinct plan and subject to Clause C2.7;*
- (c) the site is subject to Clause C2.5.5; or*
- (d) it relates to an intensification of an existing use or development or a change of use where:*
 - (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or*
 - (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:*

$$N = A + (C - B)$$

N = Number of on-site car parking spaces required

A = Number of existing on site car parking spaces

B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1

C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1"

12.1.6 Application Documents



In this case, sub-points (a), (b), (c), and (d) are not applicable. The car parking requirements in Table C2.1 for residential land use is:

- 2 spaces for dwelling; plus
- 1 dedicated space per 3 dwellings for visitor parking (site is located at the head of a cul-de-sac).

This equates to a parking requirement for 12 spaces. The provision of 12 spaces meets the requirements of Acceptable Solution A1 of Clause C2.5.1 of the Planning Scheme.



6. Conclusions

This traffic impact statement (TIS) investigated the traffic and parking impacts of a proposed development at 8 Davies Place, Deloraine.

The key findings of the TIA are summarised as follows:

- The traffic generation of the development is likely to be 25 vehicles per day with a peak generation of 3 vehicles per hour.
- No separated pedestrian path is provided in the access driveway that connects the proposed units to the existing car park.
- The accesses is considered a 'shared zone' where vehicles must give way to pedestrians. Traffic and pedestrian movements are relatively infrequent and occur in a low-speed controlled environment. This is a relatively commonplace treatment in medium density residential developments.
- The width of the access is 5.5 metres. This provides sufficient width for a slow moving vehicle to safely pass a pedestrian within the access. The low traffic generation associated with the development will result in a very low probability of two cars traversing through the access in opposing directions simultaneously with a pedestrian.
- The pedestrian infrastructure within the on-site car park meets the requirements of Performance Criteria P1 of Clause C2.6.5 of the Planning Scheme.

Based on the findings of this report the proposed development is supported on traffic grounds.

12.1.6 Application Documents



Midson Traffic Pty Ltd ABN: 26 133 583 025

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Taroona TAS 7053

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Document Status

Revision	Author	Review	Date
0	Keith Midson	Zara Kacic-Midson	25 November 2022

12.1.7 Agency Consultation - Taswater Submission To Planning Authority Notice

From: "TasWater Development Mailbox" <Development@taswater.com.au>
Sent: Tue, 13 Sep 2022 14:43:13 +1000
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: TasWater Submission to Planning Authority Notice, TWDA 2022/01485-MVC - 8 DAVIES PL DELORAINE - PA\23\0063
Attachments: SPAN.pdf

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Dear Sir/Madam

Please find attached TasWater's Submission to Planning Authority Notice as mentioned above. A copy of the attached document(s) should be referenced in and appended to the council permit.

If you have any queries, please contact me.

Kind regards,
Rachael Towns
Assessment Officer



M 0436 615 228
F 1300 862 066
A GPO Box 1393, Hobart TAS 7001
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E rachael.towns@taswater.com.au
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Usual Hours	07:30am-4pm	07:30am-4pm	07:30am-4pm	-	-

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12.1.7 Agency Consultation - Taswater Submission To Planning Authority Notice

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Submission to Planning Authority Notice

Council Planning Permit No.	PA\23\0063	Council notice date	8/09/2022
TasWater details			
TasWater Reference No.	TWDA 2022/01485-MVC	Date of response	13/09/2022
TasWater Contact	Rachael Towns	Phone No.	0436 615 228
Response issued to			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
Development details			
Address	8 DAVIES PL, DELORAINE	Property ID (PID)	7557151
Description of development	Multiple Dwellings x5		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Oramatis Studio	712975 DWG DA05	-	30/08/2022
Conditions			
<p>nhtgtd Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 4. The applicant or landowner as the case may be, must pay a development assessment fee of \$376.68 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			
Advice			
<p>As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.</p> <p>General</p>			



For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

12.1.8 Agency Consultation - Tasnetworks Response

From: "Council Referrals" <Council.Referrals@tasnetworks.com.au>
Sent: Tue, 13 Sep 2022 14:39:57 +1000
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: CN22-172918: PA\23\0063 - 8 Davies Place Deloraine - Multiple Dwellings (x5) - Total dwellings >5

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Good afternoon

Thank you for your email dated 8/9/2022 regarding the abovementioned development.

TasNetworks advises there is an existing low voltage underground cable which provides an electricity supply to the existing dwellings.



The developer should be aware that this low voltage cable is covered by a Statutory (deemed) Easement. Information regarding Easements can be found: [Electricity easements - TasNetworks](#)

Please have the developer contact TasNetworks on 1300 137 008 to discuss any works that will be within the easement including any bitumen / carpark works.

Kind regards
Georgie

12.1.8 Agency Consultation - Tasnetworks Response



Georgie Coleman
Customer Relationship Specialist

Tasmanian Networks Pty Ltd
ABN 24 167 357 299

P 03 6324 7583
1 – 7 Maria Street, Lenah Valley 7008
PO Box 606, Moonah TAS 7009

www.tasnetworks.com.au

 [@TasNetworks](https://twitter.com/TasNetworks)

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From: Planning @ Meander Valley Council <planning@mvc.tas.gov.au>
Sent: Thursday, 8 September 2022 5:25 PM
To: Council Referrals <Council.Referrals@tasnetworks.com.au>
Cc: Brenton Josey <Brenton.Josey@mvc.tas.gov.au>
Subject: PA\23\0063 - 8 Davies Place Deloraine - Multiple Dwellings (x5) - Total dwellings >5

Good afternoon,

We have received a planning application for 8 Davies Place Deloraine for development of 5 multiple dwellings, increasing the total number of dwellings onsite above 5.

Hence the application is referred to TasNetworks under section 44L of the ESI Act 1995.

This permit application has been made under S.57 of the *Land Use Planning and Approvals Act 1993* and Council has the discretion to grant a permit either unconditionally or subject to conditions, or refuse the application.

Could you please provide any comments and/or conditions you may have regarding the above application within 10 business days from the date of this letter.

12.1.8 Agency Consultation - Tasnetworks Response

If you have any queries regarding this application please do not hesitate to contact Council's Planning Department on 6393 5320 quoting reference number PA\23\0063.

Kind regards,
Brenton



Planning @ Meander Valley Council

P: 6393 5300 E: planning@mvc.tas.gov.au

26 Lyall Street Westbury, TAS 7303 | PO Box 102, Westbury Tasmania 7303

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12.1.9 Agency Consultation - Heritage Tasmania Response

From: "Heritage Enquiries" <Enquiries.Heritage@heritage.tas.gov.au>
Sent: Thu, 29 Sep 2022 12:40:50 +1000
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: RE: PA\23\0063 - Heritage Referral - 8 Davies Place Deloraine

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Hi Brendon

As you are aware, 8 Davies Place, Deloraine is not entered on the Tasmanian Heritage Register. I can confirm that no referral to the Tasmanian Heritage Council is required for this development application.

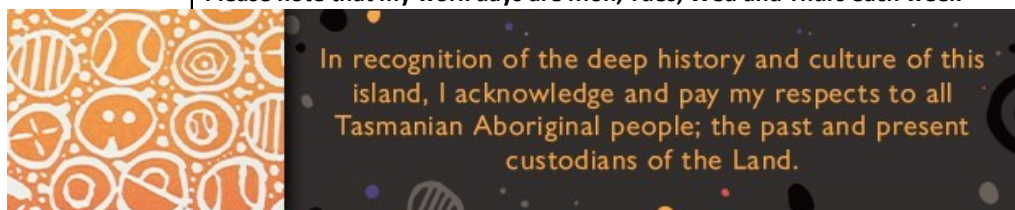
Please contact me if you would like to discuss.

Regards
Sally



Sally Slater | Planner/Heritage Advisor
Heritage Tasmania
Department of Natural Resources and Environment Tasmania
Level 6, 134 Macquarie Street, HOBART | GPO Box 618, HOBART 7001
T: 0427 061 627 | 1300 850 332 (local call cost)
E: Sally.Slater@heritage.tas.gov.au
W: www.heritage.tas.gov.au | www.nre.tas.gov.au

Please note that my work days are Mon, Tues, Wed and Thurs each week



From: Planning @ Meander Valley Council <planning@mvc.tas.gov.au>
Sent: Thursday, 29 September 2022 9:24 AM
To: Heritage Enquiries <Enquiries.Heritage@heritage.tas.gov.au>
Cc: Brenton Josey <Brenton.Josey@mvc.tas.gov.au>
Subject: PA\23\0063 - Heritage Referral - 8 Davies Place Deloraine

Good morning,

12.1.9 Agency Consultation - Heritage Tasmania Response

Please see attached a referral for 8 Davies Place Deloraine. The proposed works include modification of a boundary fence shared with a place listed on the Tasmanian Heritage Register.

Thanking you,
Brenton



Planning @ Meander Valley Council

P: 6393 5300 E: planning@mvc.tas.gov.au

26 Lyall Street Westbury, TAS 7303 | PO Box 102, Westbury Tasmania 7303

www.meander.tas.gov.au

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Community Wellbeing

Community Grants and Sponsorship Fund - Round 3

Report Author John Jordan
General Manager

Decision Sought Approval of recommended grant and sponsorship funding allocations.

Vote Simple majority

Recommendation to Council

It is recommended that Council:

1. Notes the recommendations of the Grants and Sponsorship Fund Committee (GSFC) as presented in the attachment titled - *Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary*.
2. Approves grants and sponsorships as per the attachment titled - *Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary* to a total value of \$18,930, with grant category totals as follows:
 - a) Community grants totalling \$17,020 (Table 1)
 - b) Council Fee Reimbursement grants totalling \$740 (Table 2); and
 - c) Sponsorship donations totalling \$1,170 (Table 3).
3. Approves 2019/20 grant funding of \$1,500 provided to Westbury St. Patrick's Festival Steering Group Inc. which remains unspent due to COVID cancellation of the event be applied to the 2023 event, without setting a new precedent for future funding of the event.
4. Notes \$8,750 in grant and sponsorship approvals were made separate to the above amounts, leaving a balance of \$22,787 for allocation in the final grant round.

Report

The Grants and Sponsorship Fund Committee (GSFC) met on 21 December 2022 to assess the third round of applications seeking support from the \$100k grant and sponsorship fund. Grants were assessed against the Community Grant Guidelines.

The GSFC comprises Deputy Mayor Steph Cameron, Cr Kevin House, Jonathan Harmey (Director Corporate Services) and Craig Johns (Team Leader Development Administration).

Between GSFC meeting allocations and funds available

An amount of \$49,533 was committed in the first two rounds of the grants program, leaving a balance of \$50,467.

The following additional commitments were made against the fund between meetings of the GSFC to leave a balance of \$41,717 for allocation across remaining grant rounds:

Date	Notes	Amount
Aug 22	Council approved (Minute Reference 158/2022) of \$1,700 (indexed each year) for three years to sponsor the: <ul style="list-style-type: none">• Westbury Agricultural Society,• Deloraine Agricultural and Pastoral Society, and• Chudleigh Agricultural and Horticultural Society.	\$5,100
Nov 22	GM approved for a donation of \$150 to the Birralelee Hall Committee for the Spring Ball.	\$150
14 Dec 22	GM approved for the Hadspen Cricket Club to provide new turf for their cricket pitch. Urgent approval was needed to align with contractor availability.	\$2,000
22 Dec 22	GM approved after GSFC review to cover additional expenses due to the relocation of the Rotary Club of Deloraine's learn to swim and water safety program to the Deloraine Primary School pool.	\$1,500
Total		\$8,750

Table A: Funding allocations made outside of the GSFC

Summary of third round assessments

Community Grants

Council received twelve applications. Grant support requested totalled \$30,570. Taking out (the Hadspen Cricket Club and Deloraine Rotary applications addressed in Table A above), the overall amount sought was \$26,070. An additional application from the Garlic and Tomato Festival Inc was determined as ineligible.

The details of all third-round community grants are in the attachment titled - *Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary*, Table 1. The attachment includes the grants to the Hadspen Cricket Club and the Rotary Club of Deloraine (from Table A above).

In assessing the community grants, the following issues were identified:

- An application from the Blackstone Community News Association Inc. was ineligible because it was seeking retrospective funding.
- While supported on this occasion, the GSFC recommended that the Australian Italian Club should source alternative funds to the community grant program for club facility upgrades.
- Taking into consideration that Council has committed to a \$1,700 sponsorship for the next three years, the GSFC supported a grant of \$1,300 for the Deloraine Agricultural and Pastoral Society Inc. The General Manager is concerned about the inefficiency of maintaining two administrative processes to support the show societies. This will be addressed separately at a future date.
- Two applications (from the Deloraine Districts Pony Club Inc and Parkham Community Inc) have work and/or acquittals of prior grants outstanding. The GSFC gave conditional support to the Pony Club subject to acquittal of the previous grant noting, impacts of recent flooding. The GSFC recommended that Parkham Community Inc. resubmit an application when works covered by a grant awarded in round two of the current year are complete.
- The General Manager notes that due to the cancellation of the 2020 St Patrick's Day Festival, Westbury St Patrick's Festival Steering Group Inc retains grant funding from 2019-20 of \$1,500. Acquittal or Council consent to roll over these funds for use in the 2023 event is needed. The General Manager recommends the \$2,720 round three grant is approved subject to Council approval of carryover of the 2019-20 grant funds to be applied to the 2023 event.
- In relation to Families Tasmania Inc the General Manager notes the recommendation of the GSFC is to approve funding of \$2,500 on this occasion.

While inconsistent with the grants policy, because it is funding an existing and recurrent activity, the recommendation also includes advice that this activity will not be funded in future.

Council Fee Reimbursement Grants

One application for reimbursement of Council fees from Deloraine House was received. The GSFC recommended full reimbursement of \$740 (refer attachment titled - *Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary, Table 2*).

Individual and Organisation Sponsorship

Five individual sponsorship applications were received. Arts Deloraine also applied. The GSFC supported all applications to a total value of \$1,170 (refer to attachment titled - *Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary, Table 2*).

Attachments 1. Grant Round Three 2022-23, Grants and Sponsorship Fund Committee Application Review Summary [13.1.1 - 5 pages]

Strategy Supports the objectives of Council's strategic future direction 3: vibrant and engaged communities
4: a healthy and safe community.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy *Policy No. 82: Community Grants & Sponsorship Fund*

Legislation *Local Government Act 1993: s77.*

Consultation The Community Grants and Sponsorship program is communicated through community networks and the media. Guidelines and application forms are available from Council's website and on request. Assistance is provided to applicants on request.

Budget & Finance There are sufficient funds to meet the recommendation of the GFSC. The total grants and sponsorship budget for the year is \$100,000.

Round 1 and 2 grant expenses approved totalled \$49,533 leaving a balance of \$50,467 for allocation in remaining funding rounds.

After pre-approved grants of \$8,750 (Table A) a total of \$41,717 remains. Additional recommendations from the GFSC are:

- Community Grants \$17,020
 - Fee Reimbursement \$740
 - Sponsorships \$1,170
- Total: \$18,930

If these amounts are approved, the balance remaining for allocation in the final round (4) will be \$22,787.

Risk Management Not applicable

Alternative Motions The Council may vary the grants and sponsorships from those recommended, choosing to approve or not approve, or to vary amounts in line with guidelines.

13.1.1 Grant Round Three 2022-23, Grants And Sponsorship Fund Committee Application Review Summary

Grant Round Three 2022-23 - Grants and Sponsorship Fund Committee (GSFC) Application Review Summary

Table 1: Community Grants

Applicant	Purpose	Project Cost	Grant Request	Grant Recommended	Comments
Australian Italian Club Inc.	Toilet Upgrade	\$5,745	\$3,000	\$1,500	The positive social benefits provided by the Australian Italian Club (AIC) to the local community supported the assessment to provide part funding to the application to upgrade the Club's toilet facilities. It is recommended that the AIC be encouraged to find alternative funding sources for any ongoing facility upgrades.
Blackstone Community News Assoc Inc.	Xmas Sausage Sizzle and Lolly Scramble	\$350	\$350	Nil	Community Grant guidelines exclude retrospective funding. As the event had already taken place on the 11 December 2022 it was not considered eligible to fund.
Deloraine Agricultural and Pastoral Society Inc	Re-roof Home Industries Building	\$39,595	\$3,000	\$1,300	A grant amount of \$1,300 was recommended. This amount was less than requested and allocated to complete a \$3,000 total allocation in consideration of the recent contribution of the annual \$1,700 sponsorship already paid.
Deloraine Districts Pony Club Inc	Ground Spirals	\$3,993	\$3,000	\$3,000	Funding supported but the GSFC recommended that funding be conditional on Council receiving an acquittal for their recently extended Round 3 2021-2022 Kitchen Upgrade project which has not been completed.

13.1.1 Grant Round Three 2022-23, Grants And Sponsorship Fund Committee Application Review Summary

Grant Round Three 2022-23 - Grants and Sponsorship Fund Committee (GSFC) Application Review Summary

Applicant	Purpose	Project Cost	Grant Request	Grant Recommended	Comments
Families Tasmania Inc	Westbury Play Gym	\$5,500	\$3,000	\$2,500	Funding the Families Tasmania, Westbury Play Gym project was supported but the GSFC recommended that this funding support should not continue beyond December 2023, noting that it is a recurring activity otherwise excluded under the grant policy.
Launceston Walking Club Inc	Walking Track Maintenance Meander Valley	\$3,598	\$3,000	\$3,000	Supported.
New Horizons Club Inc	Great Western Tiers Cycle Challenge	\$6,000	\$2,000	\$2,000	Supported.
Parkham Community Inc	Facia Project	\$8,310	\$3,000	Nil	The GSFC recommended that the application be resubmitted when they have completed the tree removal project funded from Round 2 2022-2023.
Westbury St Patrick's Festival Steering Group Inc	St Patrick's Festival	\$10,020	\$2,720	\$2,720	Supported. GM Note: WSPFSG still have a 2019-2020 grant of \$1,500 for the 2020 event which was cancelled because of COVID. Acquittal or roll over of this previous grant to support the 2023 event is required as a condition of the grant.
Tasmanian Mountain Cattlemen's Association Inc	Annual Get Together	\$27,710	\$3,000	\$1,000	An amount of \$1,000 was recommended for the Tasmanian Mountain Cattlemen Association's Annual Get Together to reflect the costs associated with the ground hire and to encourage it being held within the Meander Valley LGA.

13.1.1 Grant Round Three 2022-23, Grants And Sponsorship Fund Committee Application Review Summary

Grant Round Three 2022-23 - Grants and Sponsorship Fund Committee (GSFC) Application Review Summary

Applicant	Purpose	Project Cost	Grant Request	Grant Recommended	Comments
Sub-Total		\$110,821	\$26,070	\$17,020	
General Manager Approvals (Round Three)					
Hadspen Cricket Club	New Pitch Turf	\$7,194	\$3,000	\$2,000	Approved prior to meeting by GM due to timing issues with contractors and planned works.
Rotary Club of Deloraine Inc	Pool Hire: Learn to Swim Program	\$6,500	\$1,500	\$1,500	Supported by GSFC but approved by GM before Council January meeting due to timeframes.
Sub-Total		\$13,694	\$4,500	\$3,500	
Round Three Community Grant Totals		\$124,515	\$30,570	\$20,520	

13.1.1 Grant Round Three 2022-23, Grants And Sponsorship Fund Committee Application Review Summary

Grant Round Three 2022-23 - Grants and Sponsorship Fund Committee (GSFC) Application Review Summary

Table 2: Council Fee Reimbursement Grant

Applicant	Purpose	Project Cost	Grant Request	Grant Recommended	Comments
Deloraine House	Discretionary Development	\$740	\$740	\$740	Supported.
Round Three Council Fee Reimbursement Grant Totals		\$740	\$740	\$740	

Table 3: Sponsorship Donations – Individuals & Organisations

Applicant	Purpose	Project Cost	Sponsorship Request	Sponsorship Recommended	Comments
Chilcott, Colby	U/23 Australian Men's and Mixed Netball Championship – Perth, WA	\$150	\$150	\$150	Supported.
Chilcott, Jaylen	U/23 Australian Men's and Mixed Netball Championship – Perth, WA	\$150	\$150	\$150	Supported.
Chilcott, Jett.	U/23 Australian Men's and Mixed Netball Championship – Perth, WA	\$150	\$150	\$150	Supported.

13.1.1 Grant Round Three 2022-23, Grants And Sponsorship Fund Committee Application Review Summary

Grant Round Three 2022-23 - Grants and Sponsorship Fund Committee (GSFC) Application Review Summary

Chilcott, Kye	U/23 Australian Men's and Mixed Netball Championship – Perth, WA	\$150	\$150	\$150	Supported.
Elias, Georgia	Inter-Pacific Exchange – International Horse Rally – Christchurch, New Zealand	\$300	\$300	\$300	Supported.
Arts Deloraine	Tasmanian Symphony Orchestra Live Stream Series	\$270	\$270	\$270	Supported.
Round Three Council Sponsorship Totals		\$1,170	\$1,170	\$1,170	

Corporate Services

Financial Report to 31 December 2022

Report Author Justin Marshall
Team Leader Finance

Authorised by Jonathan Harmey
Director Corporate Services

Decision Sought Council to receive the financial report for the period ended 31 December 2022.

Vote Simple majority

Recommendation to Council

That Council receives the attached financial report for the period ended 31 December 2022.

Report

The attached financial report is provided for the period 1 July 2022 to 31 December 2022.

The financial performance for the first six months of the financial year is discussed in the Exception and Trends Report section of the attached financial report.

Revenue and expenditure overall are currently in line with management expectations. Revenue is lower than the budget with several Government Grants outstanding at this point, these are due to be received across the roads, bridges, and recreation areas.

Expenditure is expected to be above budget at the end of the financial year. This is mostly due to the remediation costs incurred following the flood event in October. To the end of December, approximately \$1.2m has been expended on flood-related costs, the majority being in the Works department (\$1.1m) and on Roads and Street assets (\$900k).

It is anticipated that the total flood remediation costs that will be incurred by Council will be between \$2.5m and \$3m. Council will receive funding through the Natural Disaster Relief to Local Government Policy. Reimbursement will be claimed up to 75% of costs incurred to remediate eligible essential public assets, once the relevant expenditure thresholds under the Policy have been met. Reimbursements will be claimed in a staged approach through until 30 June 2024.

Attachments 1. Financial Report 31 December 2022 [14.1.1 - 16 pages]

Strategy Supports the objectives of Council's strategic future direction 5: innovative leadership and community governance.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy Not applicable

Legislation Not applicable

Consultation Not applicable

Budget & Finance The financial report assesses Council's performance against the Budget Estimates for the 2022-23 financial year.

Risk Management Not applicable

Alternative Motions Not applicable



Meander Valley Council

Working Together

FINANCIAL REPORT TO 31 DECEMBER 2022

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1. Introduction

Council's Financial Report provides an overview of our financial performance for the current financial year. The report compares revenue and expenditure areas actual results against the set budget estimates. The report provides an overview of Council's financial position as at 31 December 2022.

The Operating Statement for the first six months of the financial year is within management's forecasts. Grants and Subsidies revenue is below budget to December, due to the timing of the Financial Assistance Grants allocation and some capital projects grants anticipated in the Roads & Streets and Recreation & Culture functional areas.

Operating Expenditure overall is within budget to December, however expenditure in Infrastructure Services, Development & Regulatory and Community Wellbeing departments are below budget primarily due to the timing of contract services and consultants and vacant staff positions not yet filled. Works department expenditure is significantly above budget to December, primarily due to the remediation costs incurred following the flood event in October. To the end of December, approximately \$1.2m has been expended on flood related costs, the majority being in the Works department (\$1.1m) and on Roads and Street assets (\$900k).

There are other exceptions from Council's budget adopted in June 2022 which are discussed further in the Exception and Trends report.

The following information is contained in the Financial Report:

- Consolidated Operating Statement – This report provides a summary of operational revenue and expenditure for the period to date compared to the annual budget estimates.
- Exceptions and Trends Report – This report contains explanation for material revenue and expenditure variations to budget, as well as an analysis of revenue and expenditure by Council in a number of functional areas.
- Capital Expenditure Reports – These reports provide a list of all approved capital projects with their allocated budget, expenditure carried forward from the previous financial year and current year to date expenditure.
- Rates Revenue Report – This report provides a summary of rates raised for the financial year, interest charged on overdue rates and total rates outstanding as at 31 December 2022.
- Cash & Investment Reconciliation – This report shows Council's total cash balance as at 31 December 2022, including funds held in At Call accounts and Term Deposits. Also included is an adjusted cash balance, taking into account estimated future revenue, expenditure and liabilities.



2. Consolidated Operating Statement - 31 December 2022

	Actual 2023	Budget 2023	% of Budget
Total Council Operations			
Operating Revenue			
Rate Revenue	15,825,617	15,750,400	100.48%
Fees & User Charges	683,947	1,482,300	46.14%
Contributions & Donations	62,837	771,700	8.14%
Interest	242,707	595,700	40.74%
Grants & Subsidies	1,915,738	9,970,600	19.21%
Sale of Assets	35,721	-	
Other Revenue	361,001	872,200	41.39%
Total Operating Revenue	\$ 19,127,569	\$ 29,442,900	64.96%
Operating Expenditure			
Departments			
Governance	833,879	1,758,768	47.41%
Corporate Services	1,108,732	2,138,800	51.84%
Infrastructure Services	1,991,067	4,728,800	42.11%
Works	2,986,655	4,329,000	68.99%
Development & Regulatory Services	933,215	2,456,300	37.99%
Community Wellbeing	396,102	1,286,100	30.80%
Maintenance & Working Expenses	\$ 8,249,649	\$ 16,697,768	49.41%
Interest	105,660	251,700	41.98%
Depreciation	2,959,250	5,918,500	50.00%
Payments to Government Authorities	336,566	1,346,300	25.00%
Administration Allocated	-	-	
Other Payments	59,925	250,300	23.94%
Total Operating Expenditure	\$ 11,711,050	\$ 24,464,568	47.87%
Operating Surplus/(Deficit)	\$ 7,416,519	\$ 4,978,332	



3. Exception & Trends Report

This report contains explanations for any material income and expenditure variations to budget for the financial year to date, as well as an analysis of income and expenditure by Council functional area.

REVENUE

Rate Revenue – All Rate Revenue is recognised for the year with only additional rates received on supplementary valuations between now and the financial year end to be included. The rate debtor balances outstanding at 31 December 2022 appears in the Rates Revenue Reconciliation report.

Fees & User Charges – Is within budget expectations for the year to date and is expected to remain within budget by year end.

Contributions & Donations – Is well below budget however when new subdivision assets taken over by Council are recognised at financial year end, is expected to be within budget.

Interest – Is slightly below budget to December but is expected to be within budget by year end. Interest rates on offer from financial institutions have improved further during the current financial year.

Grants & Subsidies – Is below budget expectations, due primarily to the timing of several significant capital project grant receipts and the prepayment of 70% of the 2022-23 Financial Assistance Grants allocation having been received in June 2022 and recognised in the 2021-22 financial year. This is expected to be within budget by year end.

Other Revenue – Relates primarily to TasWater distributions and is expected to be within budget at year end.

EXPENSES

Governance	within budget expectations
Corporate Services	within budget expectations
Infrastructure Services	below budget expectations
Works	above budget expectations
Development & Regulatory Services	below budget expectations
Community Wellbeing	below budget expectations

Interest – Two of the four annual Tascorp loan interest instalments have been incurred. The annual recognition for unwinding of the Westbury and Deloraine tip rehabilitation provisions will be accounted for at year end which has caused this item to be slightly under budget.

Depreciation – Is accurately calculated and accounted for at year end however a proportionate amount (50%) of the budget has been allocated for the purposes of the Operating Statement.

Payments to Government Authorities – One of the four annual instalments for the Fire Levy have been incurred to December.

Other Payments – Is below budget. This item is largely notional accounting values of infrastructure assets written off upon reconstruction or disposal, this is accounted for as part of the year end procedures. The Tasmanian Audit Office fees and Community Grants are also recognised in Other Payments. This item is expected to be within budget at year end.



ANALYSIS BY FUNCTION

Administration

Revenue	\$ 86,903	48.25 %
Expenses	\$ 2,003,746	47.88 %

Revenue is within budget to December, primarily due to the level of property sales related activities including the 337 property certificate fees income being in line with expectations to date.

Administration expenditure is within budget expectations to this point of the year. Expenses for *Development & Regulatory Services* include employee expenses required to prepare the 337 certificates. Expenses for *Governance* include the annual LGAT subscription, contribution to Northern Tasmania Development Corporation and Councillor allowances and reimbursements. Expenses for *Corporate Services* include annual support fees for Technology One, annual insurance premiums and IT consultant costs.

Roads, Streets and Bridges

Revenue	\$ 971,609	21.34 %
Expenses	\$ 3,725,487	63.62 %

Grants & Subsidies is under budget primarily due to the prepayment of 70% of the 2022-23 Grants Commission allocation in 2021-22. Contributions & Donations budget includes subdivision road assets taken over from developers and is expected to be in line with budget when accounted for at year end.

Roads and Streets maintenance expenditure is above budget to December and expected to remain above budget by year end. To the end of December, approximately \$900,000 has been incurred on remediation works to Council's Road and Street assets, following the flood event in October. This has caused the *Works* Department expenditure to be significantly over budget expectations for the financial year to date.

Health, Community and Welfare

Revenue	\$ 4,686,602	82.57 %
Expenses	\$ 3,846,376	38.25 %

Revenue overall is well above budget to date, due to the full recognition of all Waste Management Service Charges and Fire Levies for the year. Contributions & Donations income will increase to be within budget once stormwater infrastructure assets from new subdivisions are recognised and contributions from community cars are accounted for at year end. Interest income includes two quarterly interest payments received from Aged Care Deloraine. A corresponding expense is shown in interest expenses for Council's funds on paid to Tascorp. Grants & Subsidies revenue is funding received for the Youth Participation Grant Program.

Expenditure overall is below budget expectations to this point of the year. *Infrastructure* is below budget, primarily due to the timing of tip management fees, street lighting charges and expenditure on the redesign of Meander Valley Road at Hadspen. *Works* is below budget largely due to the timing of expenditure on the Street Bin replacement program. *Community Wellbeing* is below budget due to timing of expenditure on the Short Walks project.

Payments to Government Authorities is the State Fire Levy, one of the four instalments have been paid up to December. Interest Expense is payments to Tascorp as described above however also includes a budget for the accounting transactions of unwinding the liability for Council to rehabilitate tip sites at Cluan and Deloraine, which will be calculated at year end.



ANALYSIS BY FUNCTION

Land Use Planning & Building

Revenue	\$ 336,559	51.83 %
Expenses	\$ 670,483	39.08 %

Fees and User Charges are development approval and building approval fees which are slightly above budget expectations to date. Other Revenue includes plumbing surveying services provided to Northern Midlands Council, which is below budget expectations.

Development & Regulatory Services expenditure is below budget to December primarily due to vacant positions not yet being filled and the timing of expenditure on consultants for specific projects.

Recreation and Culture

Revenue	\$ 599,115	16.82 %
Expenses	\$ 1,327,843	50.16 %

Revenue is well below budget to December, due to the timing of Grants not yet received. Significant grants are yet to be received for the Deloraine Squash Courts, Deloraine Recreation Ground upgrades and Bracknell Hall capital projects.

Overall expenditure is within budget. *Infrastructure* expenditure is below budget to December, largely due to expenditure on Public Halls and Parks & Reserves being less than expected to date. *Works* expenditure is above budget, due to flood remediation work required to Council's parks and reserves.

Unallocated & Unclassified

Revenue	\$ 12,446,781	83.97 %
Expenses	\$ 137,114	N/A

Rate Revenue is the general rates component of the rates raised for the year. Interest income is below budget expectations to December but expected to be within budget by year end. The first two instalments of Financial Assistance Grants from the State Grants Commission have been received; however this is significantly below budget due to the prepayment of 70% of the 2022-23 Grants allocation in 2021-22. Other Revenue includes distributions received from TasWater for the year to date of \$278,000.

Departmental expenditure is principally accounting entries to balance depreciation across the functions of Council and gravel inventory allocations. This expenditure will trend closer to budget at year end.



4. Capital Project Report

2023 Financial Year

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Administration

100 - Administration

	<i>Prior Year Expenditure</i>	<i>Current Year Expenditure</i>	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
5101 Workstations and Peripherals	\$0	\$0	\$0	\$31,000	-\$31,000	0.00%
5102 Network Infrastructure	\$0	\$2,512	\$2,512	\$80,000	-\$77,488	3.14%
5111 Software and Upgrades	\$0	\$0	\$0	\$38,200	-\$38,200	0.00%
5115 Conquest Software Upgrade	\$0	\$0	\$0	\$10,500	-\$10,500	0.00%
5119 GIS Aerial Imagery Update	\$0	\$0	\$0	\$150,000	-\$150,000	0.00%
5133 Core Enterprise Software Replacement 21/22	\$0	\$504	\$504	\$658,000	-\$657,496	0.08%
100 - Administration Sub Total	\$0	\$3,016	\$3,016	\$967,700	-\$964,684	0.31%
100 - Administration Sub Total	\$0	\$3,016	\$3,016	\$967,700	-\$964,684	0.31%

Roads Streets and Bridges

201 - Roads and Streets

5550 Davies Rd - Parkham	\$0	\$74	\$74	\$16,000	-\$15,926	0.47%
5668 Maloneys Rd - Parkham	\$0	\$0	\$0	\$16,000	-\$16,000	0.00%
5802 Louisa St - Bracknell 21/22	\$20,226	\$52,835	\$73,061	\$70,000	\$3,061	104.37%
5817 Church St - Carrick	\$0	\$1,077	\$1,077	\$15,000	-\$13,923	7.18%
5820 Ashburner St - Carrick	\$0	\$2,918	\$2,918	\$0	\$2,918	0.00%
5827 Barrack St East - Deloraine	\$0	\$5,315	\$5,315	\$23,000	-\$17,685	23.11%
5828 Barrack St West - Deloraine 21/22	\$0	\$0	\$0	\$110,000	-\$110,000	0.00%
5845 Alveston Dr - Deloraine	\$0	\$606	\$606	\$46,600	-\$45,994	1.30%
5861 West Parade - Deloraine	\$0	\$5,083	\$5,083	\$150,000	-\$144,917	3.39%
5877 Rutherglen Rd - Hadspen 20/21	\$0	\$0	\$0	\$15,000	-\$15,000	0.00%
5894 Country Club Av - Prospect Vale 21/22	\$29,394	\$70,628	\$100,022	\$300,000	-\$199,978	33.34%
5895 Mt Leslie Rd - Prospect Vale	\$0	\$13,711	\$13,711	\$600,000	-\$586,289	2.29%
5896 Westbury Rd - Prospect Vale	\$0	\$0	\$0	\$15,000	-\$15,000	0.00%
5962 William St, Westbury	\$26	\$37,930	\$37,956	\$40,000	-\$2,044	94.89%
5978 Franklin St - Westbury	\$0	\$43,862	\$43,862	\$45,000	-\$1,138	97.47%

14.1.1 Financial Report 31 December 2022



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	Prior Year Expenditure	Current Year Expenditure	Total Expenditure	Total Budget	Variance Amount	Percentage of Total Budget
5980 Dexter St, Franklin St to William St - Westbury	\$26	\$40,551	\$40,577	\$40,000	\$577	101.44%
5983 Meander Valley Road, Westbury	\$0	\$0	\$0	\$10,000	-\$10,000	0.00%
5989 Pioneer Drive - Mole Creek	\$0	\$0	\$0	\$15,000	-\$15,000	0.00%
6102 Blackstone Rd - Blackstone Heights 21/22	\$11,423	\$9,168	\$20,592	\$35,000	-\$14,408	58.83%
6125 Dairy Plains Rd - Western Creek	\$0	\$0	\$0	\$200,000	-\$200,000	0.00%
6138 Lansdowne Pl - Deloraine 20/21	\$0	\$0	\$0	\$20,000	-\$20,000	0.00%
6194 Railton Main Road - Moltema	\$0	\$0	\$0	\$35,000	-\$35,000	0.00%
6214 R2R 2023 Selbourne Rd - Selbourne	\$0	\$8,026	\$8,026	\$200,000	-\$191,974	4.01%
6223 R2R 2023 Dynans Bridge Rd - Weeena	\$0	\$15,147	\$15,147	\$450,000	-\$434,853	3.37%
6228 Dexter St - Jones St To Franklin St - Westbury	\$26	\$43,766	\$43,792	\$45,000	-\$1,208	97.32%
6245 R2R 2023 Westwood Rd - Westwood	\$0	\$2,468	\$2,468	\$300,000	-\$297,532	0.82%
6256 East Parade - Deloraine	\$0	\$0	\$0	\$40,000	-\$40,000	0.00%
6259 Railton Rd - Kimberley 21/22	\$0	\$0	\$0	\$31,900	-\$31,900	0.00%
6272 East Barrack St - Deloraine 20/21	\$0	\$2,751	\$2,751	\$112,000	-\$109,249	2.46%
6276 Westbury Rd - Prospect Transport Study Projects	\$0	\$0	\$0	\$388,500	-\$388,500	0.00%
6288 Westbury Rd - PVP Entrance Roundabout 15/16	\$59,618	\$3,938	\$63,556	\$16,000	\$47,556	397.22%
6354 New Footpath Developments - Carrick	\$184	\$0	\$184	\$144,000	-\$143,816	0.13%
6356 Traffic Calming - Prospect Vale 21/22	\$2,459	\$209	\$2,668	\$10,000	-\$7,332	26.68%
6358 Westbury Rd, Prospect Vale - Crossing Improvements Vale !	\$1,021	\$1,618	\$2,639	\$15,000	-\$12,361	17.59%
6362 Griffins Rd - Elizabeth Town	\$0	\$3,457	\$3,457	\$75,000	-\$71,543	4.61%
6363 Westwood Rd - Golf Course Area Design	\$0	\$0	\$0	\$10,000	-\$10,000	0.00%
6694 Footpath Renewals - Bracknell, Deloraine, Carrick	\$0	\$0	\$0	\$65,000	-\$65,000	0.00%
6697 Road Rehabilitation Program	\$0	\$0	\$0	\$81,000	-\$81,000	0.00%
201 - Roads and Streets Sub Total	\$124,404	\$365,138	\$489,542	\$3,800,000	-\$3,310,458	12.88%
210 - Bridges						
5203 Western Creek Montana Road	\$0	\$121,003	\$121,003	\$338,000	-\$216,997	35.80%
5409 Un-Named Drain Harveys Road 21/22	\$0	\$0	\$0	\$25,000	-\$25,000	0.00%
210 - Bridges Sub Total	\$0	\$121,003	\$121,003	\$363,000	-\$241,997	33.33%
200 - Roads Streets and Bridges Sub Total	\$124,404	\$486,140	\$610,544	\$4,163,000	-\$3,552,456	14.67%

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Health and Community Welfare

315 - Cemeteries

	<i>Prior Year Expenditure</i>	<i>Current Year Expenditure</i>	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
6302 Deloraine Lawn Cemetery Concrete Slabs	\$0	\$4,253	\$4,253	\$5,000	-\$747	85.07%
315 - Cemeteries Sub Total	\$0	\$4,253	\$4,253	\$5,000	-\$747	85.07%

316 - Community Amenities

6516 Deloraine Train Park Toilets	\$0	\$0	\$0	\$10,000	-\$10,000	0.00%
6519 Hadspen Lions Park Toilets	\$0	\$498	\$498	\$10,000	-\$9,502	4.98%
6529 Carrick Rec Ground - Public Toilets 21/22	\$3,056	\$6,866	\$9,922	\$130,000	-\$120,078	7.63%
316 - Community Amenities Sub Total	\$3,056	\$7,364	\$10,420	\$150,000	-\$139,580	6.95%

321 - Tourism & Area Promotion

7833 Bass Highway Signage - Westbury 21/22	\$0	\$1,589	\$1,589	\$50,000	-\$48,411	3.18%
321 - Tourism & Area Promotion Sub Total	\$0	\$1,589	\$1,589	\$50,000	-\$48,411	3.18%

335 - Household Waste

6602 Westbury Land fill Site - Cell Expansion 21/22	\$0	\$1,048	\$1,048	\$504,100	-\$503,052	0.21%
6605 Mobile Garbage Bins	\$0	\$87,901	\$87,901	\$174,400	-\$86,499	50.40%
6611 Mobile Organics Bins	\$0	\$6,082	\$6,082	\$97,600	-\$91,518	6.23%
6616 Landfill Sites Capacity Expansion 20/21	\$1,381	\$0	\$1,381	\$40,000	-\$38,619	3.45%
6617 Cluan Landfill Site Access Road 21/22	\$0	\$0	\$0	\$50,000	-\$50,000	0.00%
6618 Landfill Sites Land Purchase 21/22	\$0	\$0	\$0	\$270,000	-\$270,000	0.00%
6619 Deloraine Landfill Site Improvements 21/22	\$27,783	\$32,746	\$60,529	\$450,000	-\$389,471	13.45%
335 - Household Waste Sub Total	\$29,164	\$127,777	\$156,941	\$1,586,100	-\$1,429,159	9.89%

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	<i>Prior Year Expenditure</i>	<i>Current Year Expenditure</i>	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
351 - Storm Water Drainage						
6400 Various Locations - Stormwater Improvement Program	\$0	\$0	\$0	\$29,900	-\$29,900	0.00%
6404 East St, Carrick Stormwater 21/22	\$0	\$6,658	\$6,658	\$114,000	-\$107,342	5.84%
6431 Dexter St, Westbury - Stormwater 21/22	\$1,719	\$2,630	\$4,349	\$114,000	-\$109,651	3.81%
6450 West Parade Deloraine Stormwater 21/22	\$0	\$0	\$0	\$135,000	-\$135,000	0.00%
6460 Henrietta St Bracknell Stormwater	\$0	\$7,178	\$7,178	\$0	\$7,178	0.00%
6498 Open Drain Program, Westbury	\$0	\$0	\$0	\$102,500	-\$102,500	0.00%
6866 Jones St, Westbury - Stormwater 21/22	\$7,950	\$26,556	\$34,506	\$100,000	-\$65,494	34.51%
6869 Buell Drive, Prospect Vale - Stormwater	\$0	\$1,703	\$1,703	\$10,000	-\$8,297	17.03%
351 - Storm Water Drainage Sub Total	\$9,669	\$44,725	\$54,394	\$605,400	-\$551,006	8.98%
300 - Health and Community Welfare Sub Total	\$41,889	\$185,709	\$227,598	\$2,396,500	-\$2,168,902	9.50%

Recreation and Culture

505 - Public Halls

7428 Bracknell Hall - Building Replacement 16/17	\$190,174	\$29,791	\$219,965	\$1,235,000	-\$1,015,035	17.81%
7454 Weegenah Hall - Floor Replacement 21/22	\$85	\$1,364	\$1,449	\$50,000	-\$48,551	2.90%
7455 Caveside Hall - Floor Replacement 21/22	\$85	\$114	\$199	\$50,000	-\$49,801	0.40%
505 - Public Halls Sub Total	\$190,344	\$31,269	\$221,613	\$1,335,000	-\$1,113,387	16.60%

14.1.1 Financial Report 31 December 2022



2023 Financial Year

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	<i>Prior Year Expenditure</i>	<i>Current Year Expenditure</i>	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
525 - Recreation Grounds & Sports Facilities						
7611 Deloraine Rec Ground Precinct 21/22	\$0	\$736	\$736	\$828,000	-\$827,264	0.09%
7616 Deloraine Rec Ground - Ground Upgrades & Lighting 21/22	\$341,597	\$25,502	\$367,098	\$625,000	-\$257,902	58.74%
7618 Westbury Sports Ctr - Change Room Upgrade	\$0	\$4,004	\$4,004	\$220,000	-\$215,996	1.82%
7678 PVP Ring Road & Main Access 21/22	\$1,861	\$0	\$1,861	\$82,500	-\$80,639	2.26%
7687 PVP Lighting Upgrade	\$0	\$0	\$0	\$10,000	-\$10,000	0.00%
7695 Deloraine Community Complex - Squash Courts 20/21	\$221,803	\$28,127	\$249,930	\$3,700,000	-\$3,450,070	6.75%
7696 Deloraine Pump Track 19/20	\$0	\$57,477	\$57,477	\$50,800	\$6,677	113.14%
8037 PVP - Ground Fencing & Safety Netting	\$0	\$30,801	\$30,801	\$100,000	-\$69,199	30.80%
525 - Recreation Grounds & Sports Facilities Sub Total	\$565,261	\$146,647	\$711,908	\$5,616,300	-\$4,904,392	12.68%
545 - Sundry Cultural Activities						
7910 MVPAC Little Theatre Heating 20/21	\$46,048	\$36,473	\$82,520	\$106,000	-\$23,480	77.85%
545 - Sundry Cultural Activities Sub Total	\$46,048	\$36,473	\$82,520	\$106,000	-\$23,480	77.85%
565 - Parks and Reserves						
8019 Westbury Village Green - Playground Renewal	\$59	\$24,316	\$24,375	\$57,000	-\$32,625	42.76%
8023 Las Vegas Drive Reserve - Playground Renewal 21/22	\$78,997	\$98,006	\$177,003	\$210,000	-\$32,997	84.29%
8077 Various Locations - BBQ Replacements	\$0	\$13,405	\$13,405	\$20,000	-\$6,595	67.03%
8099 Poets Place Reserve, Hadspen - Divest Land 18/19	\$190	\$0	\$190	\$5,000	-\$4,810	3.79%
8101 Chris St Reserve, Prospect - Divest Land 18/19	\$59	\$0	\$59	\$5,000	-\$4,941	1.18%
8104 Various Locations Dog Area Improvements 20/21	\$63,796	\$0	\$63,796	\$175,000	-\$111,204	36.45%
8107 Wild Wood Reserve Land Purchase	\$0	\$0	\$0	\$20,000	-\$20,000	0.00%
565 - Parks and Reserves Sub Total	\$143,100	\$135,728	\$278,828	\$492,000	-\$213,172	56.67%
500 - Recreation and Culture Sub Total	\$944,753	\$350,117	\$1,294,869	\$7,549,300	-\$6,254,431	17.15%

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Unallocated and Unclassified

625 - Management and Indirect O/Heads

	<i>Prior Year Expenditure</i>	<i>Current Year Expenditure</i>	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
8803 Minor Plant Purchases	\$4,500	\$18,149	\$22,649	\$42,900	-\$20,251	52.79%
8819 New Works Depot Design & Construction 20/21	\$38,040	\$26,974	\$65,014	\$4,543,000	-\$4,477,986	1.43%
625 - Management and Indirect O/Heads Sub Total	\$42,540	\$45,123	\$87,663	\$4,585,900	-\$4,498,237	1.91%

655 - Plant Working

8702 Backhoe Replacement (Plant 301)	\$0	\$0	\$0	\$130,000	-\$130,000	0.00%
8712 Mower Replacement (Plant 620)	\$0	\$0	\$0	\$35,000	-\$35,000	0.00%
8735 Mower Replacement (Plant 615)	\$0	\$0	\$0	\$35,000	-\$35,000	0.00%
8738 Dual Cab Ute (No.212) 21/22	\$0	\$18,052	\$18,052	\$26,000	-\$7,948	69.43%
8744 Depot Utility (No. 200)	\$0	\$0	\$0	\$25,000	-\$25,000	0.00%
8767 New Forklift 21/22	\$0	\$30,467	\$30,467	\$25,000	\$5,467	121.87%
8768 New Chipper 21/22	\$0	\$0	\$0	\$60,000	-\$60,000	0.00%
8771 Loader Replacement (No. 515)	\$0	\$0	\$0	\$159,000	-\$159,000	0.00%
8772 New Compactor Truck	\$0	\$0	\$0	\$95,000	-\$95,000	0.00%
655 - Plant Working Sub Total	\$0	\$48,519	\$48,519	\$590,000	-\$541,481	8.22%

675 - Other Unallocated Transactions

8707 Fleet Vehicle Purchases	\$0	\$0	\$0	\$166,000	-\$166,000	0.00%
8770 35 William St, Westbury - Divest Property	\$0	\$0	\$0	\$10,000	-\$10,000	0.00%
8773 416-418 Westbury Rd, PV - Divest Property	\$0	\$1,806	\$1,806	\$0	\$1,806	0.00%
675 - Other Unallocated Transactions Sub Total	\$0	\$1,806	\$1,806	\$176,000	-\$174,194	1.03%

600 - Unallocated and Unclassified Sub Total **\$42,540** **\$95,448** **\$137,988** **\$5,351,900** **-\$5,213,912** **2.58%**

Total Capital Project Expenditure **\$1,153,586** **\$1,120,430** **\$2,274,016** **\$20,428,400** **-\$18,154,384** **11.13%**



5. Capital Resealing Report

2023 Financial Year

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	Total Expenditure	Total Budget	Variance Amount	Percentage of Total Budget	
Roads Streets and Bridges					
201 - Roads and Streets					
5823	Glover Av - Blackstone Heights	\$147,918	\$0	\$147,918	0.00%
5828	Barrack St West - Deloraine 21/22	\$696	\$0	\$696	0.00%
5879	Coronea Ct - Hadspen	\$453	\$0	\$453	0.00%
5884	Bowdens Rd - Hadspen	\$829	\$0	\$829	0.00%
5924	Vale St - Prospect Vale	\$153,540	\$0	\$153,540	0.00%
5927	Cheltenham Way - Prospect Vale	\$45,372	\$0	\$45,372	0.00%
5954	Sherwood Cl - Prospect Vale	\$209	\$0	\$209	0.00%
5957	Columbus Dr - Blackstone Heights	\$30,017	\$0	\$30,017	0.00%
5962	William St, Westbury	\$3,688	\$0	\$3,688	0.00%
6101	Black Hills Rd - Black Hills	\$4,837	\$0	\$4,837	0.00%
6113	Caveside Rd - Caveside	\$29,851	\$0	\$29,851	0.00%
6114	Fernleigh - Caveside	\$416	\$0	\$416	0.00%
6131	Barra Rd - Deloraine	\$504	\$0	\$504	0.00%
6214	R2R 2023 Selbourne Rd - Selbourne	\$7,562	\$0	\$7,562	0.00%
6226	Weetah Rd - Weetah	\$4,880	\$0	\$4,880	0.00%
6245	R2R 2023 Westwood Rd - Westwood	\$209	\$0	\$209	0.00%
6299	Reseals General Budget Allocation	\$0	\$1,501,800	-\$1,501,800	0.00%
201 - Roads and Streets Sub Total		\$430,981	\$1,501,800	-\$1,070,819	28.70%
Capital Resealing Projects Total		\$430,981	\$1,501,800	-\$1,070,819	28.70%



6. Capital Gravelling Report

2023 Financial Year

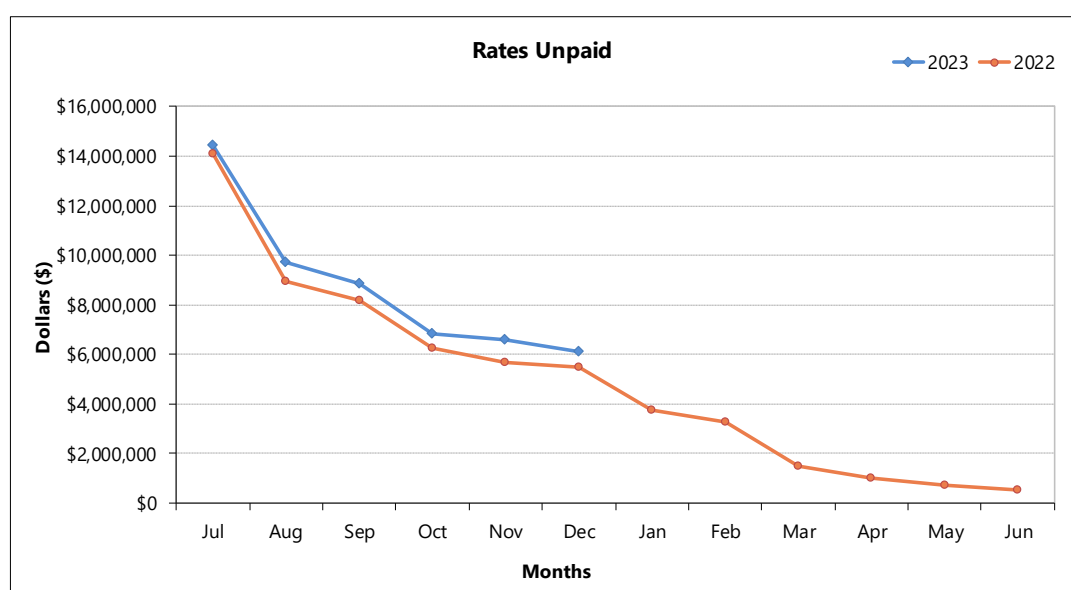
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	<i>Total Expenditure</i>	<i>Total Budget</i>	<i>Variance Amount</i>	<i>Percentage of Total Budget</i>
Roads Streets and Bridges				
201 - Roads and Streets				
5503 Denman Rd - Birralee	\$5,954	\$0	\$5,954	0.00%
5506 Priestleys Lane - Birralee	\$11,906	\$0	\$11,906	0.00%
5566 Mcgees Rd - Emu Plains	\$16,213	\$0	\$16,213	0.00%
5567 Black Lane - Emu Plains	\$29,151	\$0	\$29,151	0.00%
5605 Mallet & Mitchells - Liffey	\$12,890	\$0	\$12,890	0.00%
5606 Myrtle Creek Rd - Liffey	\$8,509	\$0	\$8,509	0.00%
5607 Gulf Rd - Liffey	\$2,453	\$0	\$2,453	0.00%
5682 Saddlers Run - Reedy Marsh	\$29,344	\$0	\$29,344	0.00%
5684 Wadleys Rd - Reedy Marsh	\$17,749	\$0	\$17,749	0.00%
5686 Larcombes Rd - Reedy Marsh	\$80,142	\$0	\$80,142	0.00%
5735 Fellows - Western Creek	\$1,983	\$0	\$1,983	0.00%
5743 Cunninghams - Western Creek	\$3,566	\$0	\$3,566	0.00%
5799 Gravel Resheeting General Budget Alloc	\$0	\$482,900	-\$482,900	0.00%
6361 Kellys Rd - Reedy Marsh	\$21,950	\$0	\$21,950	0.00%
201 - Roads and Streets Sub Total	\$241,812	\$482,900	-\$241,088	50.07%
Capital Gravelling Expenditure Total	\$241,812	\$482,900	-\$241,088	50.07%



7. Rates Revenue Reconciliation - 31 December 2022

	2023	2022
Rate Balance Carried Forward from previous Year	\$ 535,237	\$ 485,982
2022/23 Rates Raised	\$ 15,825,237	\$ 14,600,907
Interest	\$ 34,470	\$ 29,950
Rates Adjustments	\$ 11,009	\$ 15,322
Payments Received	\$ (10,305,041)	\$ (9,631,268)
Rates Control Account Balance	\$ 6,100,912	\$ 5,500,893
% of Rates Unpaid	37.21%	36.39%



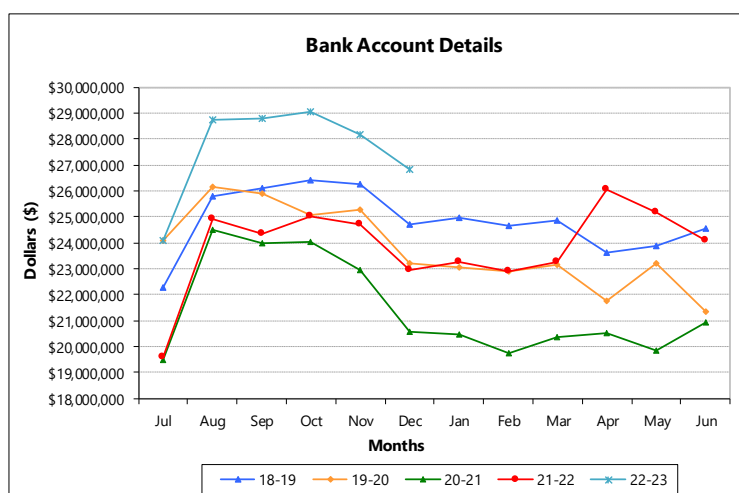


8. Cash & Investment Reconciliation - 31 December 2022

	2022-23	2021-22
Balance Carried Forward from previous Year	24,093,527	20,910,652
Add Deposits	15,354,292	13,590,983
Less Payments	- 12,597,845	- 11,539,792
Balance as per Bank Account	\$ 26,849,975	\$ 22,961,844

Made up of:	Amount	Interest Rate
Cash at Bank	83,298	3.01%
Westpac Bank Cash Management Account	2,133	3.05%
Commonwealth Bank At Call Account	1,425,204	3.20%
Term Deposits:		
Commonwealth Bank	11,020,778	2.03-4.48%
National Australia Bank	1,000,000	0.72%
Westpac Bank	4,000,000	0.88-4.59%
Macquarie Bank	1,000,000	1.60%
MyState Financial	4,315,196	0.95-4.00%
Bank of Queensland	1,003,366	3.00%
Judo Bank	2,000,000	2.00%
Maitland Mutual	1,000,000	4.50%
	\$ 26,849,975	

Less expenditure commitments:	
2023 Operating expenditure outstanding	-9,794,268
2023 Capital expenditure outstanding	-19,466,291
Add assets:	
2023 Operating income outstanding	10,315,331
2023 Estimated rate debtors outstanding	6,100,912
2022 Loans receivable	3,762,000
Less liabilities:	
2022 Tip rehabilitation	-6,165,036
2022 Employee leave provisions	-1,681,956
2022 Loans payable	-3,600,000
Adjusted Cash Balance	\$ 6,320,667 *



* Note the Adjusted Cash Balance does not take into account approved property sales (December 2022) or Disaster Recovery Funding reimbursement (Floods October 2022).

Governance

Appointment of Members to Special Committee of Council - Mole Creek Hall Committee

Report Author John Jordan
General Manager

Decision Sought Council appointment of persons to the Mole Creek Hall Committee (a special committee of Council).

Vote Simple majority

Recommendation to Council

That Council appoints under section 24(2) of the *Local Government Act 1993*, the following persons to the Mole Creek Hall Committee:

1. Mr Doug Stewart (President)
2. Ms. Jenny Nicol (Vice President)
3. Ms. Maree Martin (Treasurer)
4. Ms. Sue Meure (Secretary)

Report

Under section 24 of the *Local Government Act 1993* (the Act), Council has established a number of special committees.

Each year (normally in December), Council confirms the appointment of persons to those committees.

The recommended membership of a special committee is decided at a committee's Annual General Meeting (AGM). Recommendations are then presented to Council for approval.

At the December 2022 Ordinary Meeting Council confirmed and approved appointments to fourteen of the fifteen special committees established under the Act.

A decision on the Mole Creek Hall Committee (MCHC) was delayed as an AGM had not been held in accordance with the MOU.

MCHC subsequently held its AGM on 14 December 2022. The following persons have been nominated for formal appointments under section 24(2) of the Act:

- Mr. Doug Stewart (President)
- Ms. Jenny Nicol (Vice President)
- Ms. Maree Martin (Treasurer)
- Ms. Sue Meure (Secretary)

Attachments Nil

Strategy Supports the objectives of Council's strategic future direction 3: vibrant and engaged communities.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy Not applicable

Legislation *Local Government Act 1993: s24.*

Consultation Special committees seek to appoint members through discussions conducted at their respective AGM. AGMs are locally advertised in line with legislative requirements.

Any member of the community who is interested in becoming involved with any of the work undertaken by a special committee can attend the AGM and either contribute to discussions about membership or seek membership and/or nomination for a role as office-bearer.

Budget & Finance Not applicable

Risk Management Special committees operate under a Memorandum of Understanding with Council, outlining the ongoing arrangements for the effective management of the respective Council-owned assets.

Each individual member of a special committee provides member information details to Council for insurance purposes.

Alternative Motions Not applicable

Governance

Quarterly Report - December 2022

Report Author Geoff Guiver
Business Improvement Officer

Authorised by John Jordan
General Manager

Decision Sought Council to confirm its oversight of organisational performance through review of quarterly reporting information.

Vote Simple majority

Recommendation to Council

Council to receive and note the attached report of performance against the Annual Plan 2022-23 for the period from October to December (Quarter 2).

Report

Council's 2022-23 Annual Plan contains 103 operational activities which are executed across each of our business areas, in line with the organisation's strategic objectives.

Working to the targets set by the Annual Plan ensures Council continually progresses, improves, and achieves its stated strategic objectives.

Each activity listed in the Annual Plan is carefully planned out over the course of the financial year, forming the basis of a transparent and accountable performance assessment and reporting mechanism.

To summarise the attached December 2022 report regarding Council's performance for the second quarter of this financial year against its Annual Plan targets:

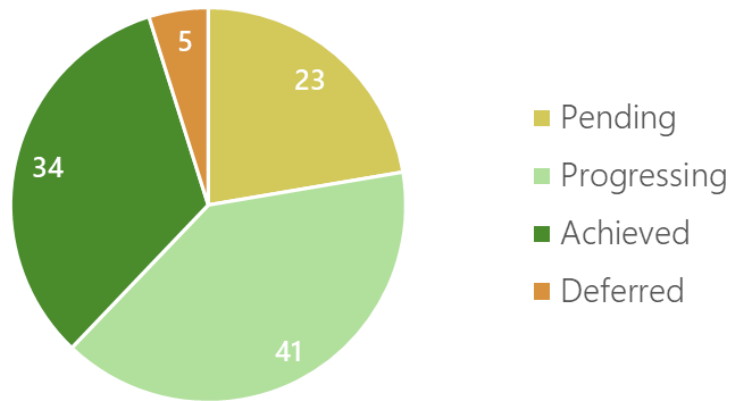


Figure 1 – Annual Plan activities by status – December, 2022

Achieved

34 activities have been achieved.

Activities achieved are those with an inherent and identifiable quarterly goal, which has been attained to the high-quality standards that are expected.

Progressing

41 activities are progressing.

Activities that are progressing are those with substantial work underway, where it can be demonstrated that Council is on track to achieve its projected Annual Plan target within the financial year. Details of Council’s specific progress against each individual activity are noted within the attachment.

Pending

23 activities are pending.

Activities that are pending are scheduled to be commence work in a later quarter. This is generally due to an interdependency with another activity or to coincide with the planned availability of resources.

Deferred

5 activities are deferred.

Deferred activities are those that cannot be commenced in the current quarter due to an intervening delay that cannot be resolved by Council (this mostly refers to external factors beyond Council's span of control).

Note: The flood event which occurred in Quarter 2 is an example of an external factor which has required Council to reprioritise and/or reschedule planned activity where appropriate. Council's quarterly report for December reflects this adjusted position.

Attachments 1. Annual Plan 2022 23 Activity Summary Q2 [15.2.1 - 17 pages]

Strategy Supports the objectives of Council's strategic future direction 5: innovative leadership and community governance.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy Not applicable

Legislation *Local Government Act 1993: ss71-72.*

Consultation Not applicable

Budget & Finance Not applicable

Risk Management Not applicable

Alternative Motions Not applicable

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
Supporting our customers									
5.1, 5.3, 5.6	Renew the Customer Service Charter to ensure alignment to customer expectations and our capacity to deliver service outcomes	Review complete	Corporate Services		✓	✓	✓	Achieved	Internal review commenced and benchmarking being progressed.
5.4, 5.6	Develop a new customer feedback policy and automated customer survey tool to ensure we learn from our customers and respond to complaints	Feedback process in place	Corporate Services		✓	✓	✓	Deferred	Planning will commence in Q3.
5.1, 5.3, 5.6	Identify opportunities to provide customers with more control through online forms and self-service which leverages the new ERP system	Report complete	Corporate Services				✓	Pending	Scheduled to commence in Q4.
3.3, 3.4	Review and update Council's New Residents Kit to improve information on key services, events, dates for people new to our community	New kit available	Community Wellbeing		✓	✓		Progressing	Internal drafting and consultation underway in preparation for Council Workshop in March (Q3).
4.1, 6.4	Update information (web) and user guides for the use of indoor facilities	Revision complete	Infrastructure Services	✓	✓			Progressing	Q2 in progress. Expected completion in Q3.
4.1, 6.4	Simplify the booking process for Council facilities and assess feasibility of online booking systems and develop implementation plan if viable	System implemented	Infrastructure Services		✓	✓	✓	Progressing	Pilot system under evaluation for Deloraine Community Complex.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
				Managing our asset portfolio					
5.2, 6.1, 6.3	Complete a review of property assets – develop a divestment plan for surplus assets, and implement on approval from Council	Divestment Plan	Works		✓			Achieved	Property divestment approved at the December 2022 Closed Council Meeting. Divestment to be timed with market and Local Government Act.
5.2, 6.1-6.6	Determine future of former landfill at Bracknell – lease renewal or sale	Lease or sale complete	Infrastructure Services	✓	✓	✓	✓	Achieved	Council approval to divest obtained in Dec 22.
6.2, 6.3	Progress the Hadspen Meander Valley Road intersection upgrades design and procurement documentation	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Consultant design work continuing and service authority design reviews in progressing.
6.2, 6.3	Develop a level of service strategy and policy to inform the provision, replacement and upgrading of sport, recreation and public amenities	Strategy in place	Infrastructure Services			✓		Pending	Scheduled to commence in Q3.
6.2	Renew the Eastern Play Spaces Strategy 2020	Update complete	Infrastructure Services			✓		Progressing	Scheduled to commence in Q3. Review of previous draft strategy document underway.
Investing in community facilities and infrastructure									
4.1, 6.4	Finalise electrical safety and asbestos audits and register and deliver program of rectification works	Works complete	Infrastructure Services	✓	✓	✓		Progressing	Work continuing with suppliers.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
4.1, 6.4	Complete a review of all leases and agreements, develop a contemporary lease document and renew leases when due	Review complete	Infrastructure Services	✓	✓	✓		Progressing	Review of lease register progressing.
4.1, 6.4	Implement a program to renew and ensure currency of all leases and agreements	Program delivered to schedule	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
4.1, 6.4	Secure lease over former Meander Primary School	Lease executed	Community Wellbeing		✓			Achieved	Lease signed and planning approvals progressing.
4.1, 6.4	Develop a community hall renewal policy, considering asset condition, utilisation rates, renewal and maintenance costs and service options	Review complete	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
4.1	Renew lease for the Meander River reserve areas in Deloraine	Complete	Infrastructure Services		✓	✓		Achieved	Executed lease documents received.
6.2, 6.3	Progress tendering and commence construction of the Deloraine Squash Courts	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Q2 milestone achieved. Contract for construction approved by Council Dec 22.
6.1, 6.3	Progress construction of Bracknell Hall	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Foundation works commenced in Q2, construction on target.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
6.2, 6.3	Progress consultation, master planning and design of the Deloraine Recreation Precinct	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Project planning in progress following consultation phase. Grant deed with Aust Government to be executed.
6.1, 6.3	Design and commence construction for new centralised Works Department depot at Valley Central	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q2 objectives achieved. Detailed design progressed and funding strategy approved by Council. Q3 objective to finalise detailed design and tender documentation. Advertise tender for civil component (earthworks, pipework etc.).
6.2, 6.3	Deliver lighting upgrades to Deloraine AFL oval	Completed	Infrastructure Services		✓	✓		Progressing	Delayed due to flood impact. Recommencement of site work in Q3.
6.2, 6.3	Implement a preferred project management methodology for major project delivery	Method implemented	Infrastructure Services			✓		Pending	Scheduled to commence in Q3.
6.2, 6.3	Develop and deliver maintenance schedules and improvement programs for civil and road related assets	Programs complete	Works		✓	✓	✓	Progressing	Basic schedules developed and progressing to program for recurring maintenance work.
6.1, 6.3	Deliver operational programs to maintain Council owned public amenities, urban streetscapes, public land and public facilities	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q2 objectives achieved. Operational maintenance progressing to program schedule.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
6.1, 6.3	Deliver capital and maintenance program for road and associated infrastructure	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q2 objectives achieved. Operational maintenance progressing to schedule. Capital works update to be provided to Council at January 2023 workshop.
6.1, 6.3	Deliver the bridge inspection and maintenance program	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Inspection report received. Maintenance work priorities under assessment for action this year.
6.1, 6.3	Deliver civil construction and infrastructure works for transport and recreation assets	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Capital works update to be provided to Council at January workshop.
6.2, 6.3	Plan, manage, construct and maintain bridges, culverts and other infrastructure	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Capital works update to be provided to Council at January workshop.
Making a positive contribution to community wellbeing									
3.1-3.5, 4.1	Deliver support to the Meander Valley Art Award	Exhibition held	Community Wellbeing	✓	✓	✓		Achieved	Successful event held at Westbury Town Hall with a two week exhibit of 58 entries and attendance of 470 in September 2022.
3.1, 3.4, 4.1	Manage recurrent sponsorship funding to Deloraine Cup, Deloraine, Chudleigh and Westbury Show Societies	Payments made	Community Wellbeing	✓				Progressing	Sponsorship Agreements provided to Show Societies and pending signatures. Annual payment made for Deloraine Cup

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
3.3, 3.4	Deliver programmed activity and support for NAIDOC Week	Number of activities supported	Community Wellbeing	✓				Deferred	Local Indigenous groups are considering approach and options for a locally timed celebration in 2023. Consultation and planning will continue through Q3 and Q4.
3.1-3.5, 4.1	Deliver a community celebration and thank you event upon signing of a lease for the former Meander Primary School site	Event held	Community Wellbeing		✓			Achieved	Community BBQ and celebration event held for October 2022.
3.1-3.5, 4.1	Deliver programmed activity and support for Youth Week	Number of activities supported	Community Wellbeing				✓	Progressing	Scheduled to commence in Q4. DPAC grant of \$50,000 received, with first milestone in Q4.
3.1-3.5, 4.1	Deliver programmed activity and support for Volunteer Week	Number of initiatives delivered	Community Wellbeing				✓	Pending	Scheduled to commence in Q4.
3.1, 3.4, 4.1	Deliver programmed activity and support for Seniors Week	Number of initiatives delivered	Community Wellbeing		✓			Achieved	Two events supported: <ul style="list-style-type: none"> University of the Third Age - (20 attendees) Westbury Health and Westbury Community Garden (40 attendees)
3.3, 3.4	Review legacy support arrangements and finalise agreements (church lighting)	Review complete	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
3.1-3.5, 4.1	Deliver community consultation on Deloraine Recreation Precinct.	Complete	Community Wellbeing	✓	✓	✓	✓	Achieved	Initial consultation and engagement stages completed; feedback presented to Council at November Workshop.
3.1, 3.4,4.1	Undertake consultation and engagement to prepare inputs for Community Strategic Plan	Consultation completed	Community Wellbeing			✓	✓	Progressing	Scheduled to commence in Q3 (March). Low key community forums progressed in Q1 to inform consultation program for CSP review.
3.1, 3.2, 3.4	Undertake needs analysis and review grant and sponsorship categories and funding amounts to ensure community needs are met	Complete	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.
3.2, 3.4, 3.5	Deliver community survey and drop-in sessions to determine community views on Council performance, services and key issues of interest	Complete	Community Wellbeing	✓	✓			Progressing	Consultation program conducted throughout Q1-Q2. Analysis to assist CSP consultation pending.
3.2, 3.4, 3.5	Review and update Council's Community Wellbeing Program and brief incoming Council	Council approved program	Community Wellbeing		✓	✓		Pending	To be progressed in Q3 ahead of budget development.
3.2, 3.4, 3.5	Undertake consultation with key groups to identify the needs for volunteering in our community.	Findings report	Community Wellbeing	✓	✓			Progressing	Westbury volunteer surveys completed. Report to be prepared in Q3.
3.2, 3.4, 3.5	Establish a staff community volunteering program	Number of participating staff	Community Wellbeing				✓	Progressing	Enterprise Agreement including volunteer leave approved Dec 22. Balance scheduled to commence in Q4.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
3.2, 3.4, 3.5	Liaise with tourism and business operators to deliver in kind support to major events i.e., Deloraine Car Show, AgFest, Winterfire	Support delivered	Works	✓	✓	✓	✓	Achieved	Q2 support to Tasmanian Chamber Music Festival, Gardenfest, Westbury Car Show, Deloraine Craft Fair, Westbury Show, Remembrance Day.
Supporting economic growth, prosperity and the environment									
2.1, 2.2	Renew and release an updated Meander Valley regional prospectus to promote the region to potential businesses and people relocating	Prospectus promoted	Community Wellbeing			✓		Progressing	Updated wording and images provided in response to Department of State Growth request. Dec 22
2.1, 2.2	Progress development of branding and marketing initiatives to establish Meander Valley as a lifestyle, tourism and investment destination	Progressed with key projects	Community Wellbeing			✓	✓	Progressing	Scheduled to commence in Q3 but preliminary work has commenced as part of Short Walks project.
2.1, 2.2	Assess the feasibility of electronic notice boards located at community hubs throughout the region to support Council and community messaging	Budget item for 2023-24	Community Wellbeing				✓	Pending	Scheduled to commence in Q4.
2.1, 2.2	Deliver business information and networking sessions (3) to business operators across Meander Valley	Delivered	Community Wellbeing		✓			Achieved	Three sessions held in November 2022, with delivery by Informed Decisions Consulting and guest speaker from the Project Lab.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
2.3, 2.5	Review services and attractions at the Great Western Tiers Visitor Centre to enhance customer service and tourist satisfaction	Review undertaken	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.
1.1, 1.2, 1.3	Deliver a climate change youth forum	Delivered	Community Wellbeing		✓			Achieved	Delivered in Q1 with presentation to Council Workshop in November (Q2).
Supporting community health outcomes, resilience and emergency management responses									
4.4	Review Municipal Emergency Management Plan in line with new SES regional template	Complete	Infrastructure Services		✓	✓		Progressing	Review commenced in Q2.
4.4	Complete logical test of Emergency Management Plan	Complete	Infrastructure Services			✓		Pending	Scheduled for Q3 following completion of plan and debrief from Oct 22 floods.
Managing planning, development and regulation									
4.3	Finalise and implement the review of the Dog Management Policy	Policy approved	Development & Regulatory		✓	✓		Achieved	Policy approved by Council in Oct 22.
1.1, 1.2, 1.3	Contribute to regional planning initiatives: Northern Tasmanian Regional Land Use Strategy Review	Participation	Development & Regulatory	✓	✓	✓	✓	Progressing	Draft Regional demand and study underway.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
1.1, 1.2, 1.3	Contribute to the Greater Launceston Plan Review	Participation	Development & Regulatory		✓	✓		Progressing	GLP Review Background Research Report completed by consultants. To be reviewed in Q3.
1.2	Progress development of a Structure Plan for Carrick	Plan delivered	Development & Regulatory			✓	✓	Pending	Scheduled to commence in Q3.
1.1, 1.2, 1.3	Complete the Prospect Vale - Blackstone Heights Structure Plan Review	Completed	Development & Regulatory		✓	✓		Pending	Deferred to re-commence in Q3.
1.2	Complete implementation of an automated planning assessment tool and template report	Implemented	Development & Regulatory		✓			Progressing	Q2 benchmarking and solution design completed. Build and test phase expected completion in Q3.
Provide contemporary waste collection, disposal and recycling services and infrastructure									
1.1, 1.5	Review and update the Waste Management Strategy and model against long-term financial plan	Endorsed strategy	Infrastructure Services		✓	✓		Progressing	Subject to assessment of financial feasibility. An update to be presented to Council at the Jan/Feb Workshop.
6.1, 6.6	Complete feasibility assessment of new landfill cell at Deloraine	Feasibility assessed	Infrastructure Services		✓	✓		Progressing	Financial assessment progressing. An update to be presented to Council at the Jan/Feb Workshop.
1.1, 1.5	Progress purchase of landfill land (Cluan)	Land purchased	Infrastructure Services		✓	✓	✓	Progressing	Council approval to progress purchase negotiations obtained Dec 22.
1.5, 6.6	Design and commence construction a new transfer station at Deloraine	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Work continuing by consultant. Supply contract for weighbridge approved.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
1.1, 1.5	Provide the annual Hard Waste Collection Service	Collection provided	Infrastructure Services		✓			Achieved	Completed in Q2. Report to Workshop in Q3.
1.1, 1.5	Assess the feasibility and deliver a program to promote voluntary car body removal in rural areas	Implemented if feasible	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
1.5, 6.1, 6.6	Design and construct new landfill cell at Cluan	Progressed to schedule	Infrastructure Services			✓	✓	Pending	Consultant review of concept design in progress.
1.1, 1.5	Select and implement operating model for Cluan and Deloraine landfills	New model implemented	Infrastructure Services		✓	✓		Progressing	Tender for site management operations to be issued in Q3.
1.1, 1.5	Maintain planning and environmental approvals and compliance for landfill operations	Zero environmental issues	Infrastructure Services	✓	✓	✓	✓	Achieved	Operations manual, emergency management plan and water management plan to be prepared Q3 for Cluan landfill.
1.3, 1.4, 1.5	Achieve EPA approvals for increased height and manage land fill cell at Deloraine in accordance with approvals to provide for either continuing operation or close and capping	Approval obtained	Infrastructure Services		✓	✓	✓	Progressing	Environmental effects report submitted to EPA for initial assessment. Final approval anticipated in Q3.
Provide a robust, reliable, secure and available ICT environment									

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
5.1, 5.2	Undertake a full review of ICT security arrangements to strengthen cyber security and data management, implement cyber security protection actions to mitigate risk of cyber attack	Plan and measures in place	Corporate Services		✓	✓		Progressing	Several security measures in place and provided engaged for email security awareness program for employees and elected members. Further work Q3.
5.1, 5.2	Assess and implement as required upgrading of website enabling technology	Assessment complete	Corporate Services		✓	✓		Achieved	Website enabled, data housed by third party, greater level of online form availability being assessed by Communications.
5.1, 5.2	Invest in the skills development of our ICT team to ensure they are able to address emerging ICT agendas	Skills development underway	Corporate Services		✓	✓		Deferred	Planning to commence in Q3.
Modernising and digitising our systems and processes to increase our productivity and capabilities									
5.1, 5.2	Deliver upgrades to Microsoft licences and software to enhance access to better technology, security and remote working capabilities	Implemented	Corporate Services		✓	✓		Achieved	Licence upgrades completed in Q2. Additional software adoption to be completed in Q3.
5.2, 5.3, 5.6	Establish the ERP System Upgrade Project (project plan, resourcing and financial plan, implementation staging, risk mitigation, governance)	GM approved plan	Corporate Services		✓			Progressing	ERP project plan in development, meetings with suppliers continuing.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
5.2, 5.3, 5.6	Commence implementation of the 2022-23 stages of the ERP System Upgrade Project including recruitment of resources	Progressed to schedule	Corporate Services		✓			Progressing	Microsoft licencing commenced, further stages dependent on adoption of ERP project plan.
5.1, 5.2	Review technical software supporting GIS, engineering and other specialist software and implement updates as needed	Review complete	Infrastructure Services			✓	✓	Pending	Scheduled for Q3.
5.1, 5.2	Undertake progressive improvement in records and data management to enable data migration to the new ERP solution	Measures implemented	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.
Deliver good governance and resilience through sound corporate and financial management									
5.4	Coordinate the 2022 Local Government election including new Councillor induction and training	Induction complete	Governance	✓	✓			Achieved	Fully reviewed induction program started in Q2 with ongoing support into Q3.
5.4	Maintain General Manager's electoral roll	Role reviewed before election	Governance		✓			Achieved	General Manager's Roll reviewed and submitted to Tasmanian Electoral Commission in Q1.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
5.4, 5.5, 5.6	Implement new software solutions to support Council Meetings, record keeping and public information.	Completed	Governance	✓	✓			Achieved	Core agenda & minutes software implemented. Ongoing staff training underway to improve customer service and performance reporting improvements.
5.4	Refresh and promote "Good Governance" program and induction for incoming Councillors	Completed	Governance		✓			Progressing	Rolling program of induction and professional development scheduled throughout Q2 & Q3.
5.4	Develop a caretaker policy for the local government election period	Completed	Governance		✓			Achieved	Approved by Council 9 Aug 2022.
5.4, 5.6.	Review the risk management framework and mitigations to enhance responses to changing risk profiles	Six-month review complete	Governance	✓	✓	✓	✓	Progressing	Risk appetite study undertaken. Register review in progress.
5.1, 5.2, 5.6	Review corporate risk registers and implementation status of mitigation actions	Risk registers updated	Corporate Services		✓		✓	Progressing	Review of Risk Registers has commenced Q2.
5.6	Conduct a review and annual test scenario and update the Business Continuity Plan	Annual test completed	Corporate Services		✓			Progressing	BCP document updated, test scenario to occur in Q3.
5.6	Update staff Code of Conduct and related policies, complete staff training	New code implemented	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
5.4, 5.6	Deliver staff training and development in Council's records management system	Delivered	Corporate Services	✓	✓	✓	✓	Achieved	Q2 achieved. All new employees have received induction training in records management.
5.6. 5.3	Deliver the Annual Plan for 2023-24	Delivered	Governance	✓	✓			Achieved	Endorsed by Council 11 October 2022.
5.1, 5.2, 5.3	Deliver the Annual Report for 2021-22	Delivered	Governance			✓		Progressing	Published for submissions 26 November 2022 and presented at Annual General Meeting 13 December 2022.
5.1, 5.2, 5.3	Deliver the Annual General Meeting	Delivered	Governance	✓	✓			Achieved	Held 13 December 2022.
5.1, 5.2, 5.3	Renew the Community Strategic Plan	Draft CSP prepared	Governance	✓	✓			Pending	To commence in Q3 (March 23).
5.4	Represent and respond to the Future of Local Government Review	Data and responses provided	Governance	✓	✓	✓	✓	Achieved	Q1 and Q2 information and data requests provided.
5.6	Review Council's administrative and legislative delegations	Internally consolidated	Governance	✓	✓	✓		Progressing	Review progressing. Delay to Q4 expected due to staff vacancy.
Managing our supply chain to procure goods and services									
5.4, 5.6	Deliver training and ensure compliance with organisation wide procurement and contract policy and processes	Training delivered	Corporate Services	✓	✓	✓	✓	Achieved	All new employees have received induction training in accounts payable.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
				Informing and engaging our community					
5.1, 5.3	Develop and implement a Council Communication Strategy	Strategy implemented	Governance		✓	✓		Progressing	Contractor proposal to be presented to Jan workshop to finalise engagement.
5.1, 5.3	Update Council's writing style guide, including writing for the web	Style guide updated	Governance		✓	✓		Deferred	Scheduled to commence in Q4.
5.1, 5.3	Update corporate photo library with new images.	Library renewed	Governance		✓	✓		Progressing	Contractor engaged with production scheduled to start February 2023.
5.1, 5.3	Develop a signage strategy to ensure all Council signage is cohesive	Visits to homepage	Governance	✓				Deferred	Delayed to Q4. Note measure is incorrect.
5.1, 5.3	Implement website functionality and content improvements	Updated website	Governance			✓	✓	Pending	Scheduled to commence in Q3.
Demonstrating a commitment to our people									
5.4, 5.6	Coordinate workplace culture "health check" and assistance with measures to promote a positive workplace	Survey and actions complete	Corporate Services	✓	✓	✓	✓	Achieved	Q2: Action plan in development following Pulse check survey results received from University South Australia points to positive culture.
5.4, 5.6	Review the annual staff performance review process with management	Review findings implemented	Corporate Services				✓	Pending	Scheduled to commence in Q4.

15.2.1 Annual Plan 2022 23 Activity Summary Q2

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Scheduled Delivery Quarter				Qtr. 2 Status	Comment
				Sep	Dec	Mar	Jun		
5.4, 5.6	Develop a Workforce Strategy and Resourcing Plan, including overview of recruitment and induction processes	Strategy in place	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.
5.4, 5.6	Deliver a new Enterprise Agreement to better meet the needs of employees and our organisation	New EA approved	Governance	✓	✓			Achieved	Approved by Fair Work Commission in Dec 22.

Governance

2023 Council Meeting Dates

Report Author John Jordan
General Manager

Decision Sought To confirm the schedule for monthly ordinary meetings of Council for 2023.

Vote Absolute majority

Recommendation to Council

That Council:

1. Approves the attached schedule of Ordinary Meetings for 2023, to be convened by the Mayor at the Council Chambers in Westbury at 3.00pm on each nominated date; and
2. Notes that in accordance with the *Local Government (Meeting Procedures) Regulations 2015*, a notice of the time and dates of meetings will be placed in the Examiner newspaper. The notice will also be available to view at Council's public office at Westbury and on the website.

Report

The *Local Government (Meeting Procedures) Regulations 2015* require a mayor (and in certain circumstances the General Manager) to convene council meetings. There is also a requirement to give public notice of planned meetings at least once each year.

Council has discretion to set the date and time of meetings but must hold at least one meeting in each calendar month. Any decision to hold council meetings before 5.00pm must be determined by the Council by absolute majority.

Meeting dates and times

Over the years, Meander Valley Council meetings have been held at varying start times, from 1.30pm (1993-2018) to 4.00pm (2019-2021). Since 2021, meetings have started at 3.00pm.

To accommodate the Christmas and New Year period, the 17 January 2023 has been convened (and public notice provided on 4 January 2023) separately to the balance of the 2023 calendar year meetings.

The proposed meeting schedule (attached) for 2023 reflects consideration by the newly elected Council and a consensus to continue the practice of convening meetings on the second Tuesday of each month at 3.00pm, except for April (which is to be convened on 18 April 2023 to accommodate the Easter holiday period).

Attachments 1. 2023 Council Ordinary Meeting Schedule [15.3.1 - 1 page]

Strategy Supports the objectives of Council's strategic future direction 5: innovative leadership and community governance.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit www.meander.tas.gov.au/plans-and-strategies to view.

Policy Not applicable.

Legislation *Local Government (Meeting Procedures) Regulations 2015: ss4, 6 and 7.*

Consultation Councillors discussed the meeting schedule at Council Workshop on 22 November 2022.

Budget & Finance Not applicable.

Risk Management Not applicable.

Alternative Motions Council may determine alternative meeting dates and/or times, provided at least one meeting is held in each calendar month.

If the Council Meeting commencement time is set for 5.00pm or later, the motion requires only a simple (not absolute) majority vote.

15.3.1 2023 Council Ordinary Meeting Schedule

Meander Valley Council Ordinary Meetings for the period February 2023 to December 2023.

The Mayor in accordance with the *Local Government (Meeting Procedures) Regulations 2015* will convene council meetings according to the following schedule:

Time	Day	Date
3.00 pm	Tuesday	14 February 2023
3.00 pm	Tuesday	14 March 2023
3.00 pm	Tuesday	18 April 2023
3.00 pm	Tuesday	9 May 2023
3.00 pm	Tuesday	13 June 2023
3.00 pm	Tuesday	11 July 2023
3.00 pm	Tuesday	8 August 2023
3.00 pm	Tuesday	12 September 2023
3.00 pm	Tuesday	10 October 2023
3.00 pm	Tuesday	14 November 2023
3.00 pm	Tuesday	12 December 2023

Note: The January 2023 council meeting was scheduled separately on 17 January 2023 at 3.00pm.

Motion to Close Meeting

Motion Close the meeting to the public for discussion of matters in the list of agenda items below.

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(1)*.

Vote Absolute majority

Closed Session Agenda

Confirmation of Closed Minutes

Refer to *Local Government (Meeting Procedures) Regulations 2015: s34(2)*.

Leave of Absence Applications

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(h)*.

Release of Public Information

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(8)*.

Meeting End
