



Meander Valley Council  
Working Together

# AGENDA

## ORDINARY COUNCIL MEETING

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**Tuesday 13 December 2022**

**Time** 3.00pm

**Location** Council Chambers  
26 Lyall Street  
Westbury, Tasmania

**Phone** (03) 6393 5300



Meander Valley Council  
Working Together

## Our Values

Our seven values help guide our decisions and underpin all we do.

Respect, listen and care for one another

Be trustworthy, honest and tolerant

Be positive and receptive to new ideas

Be innovative, creative and learn

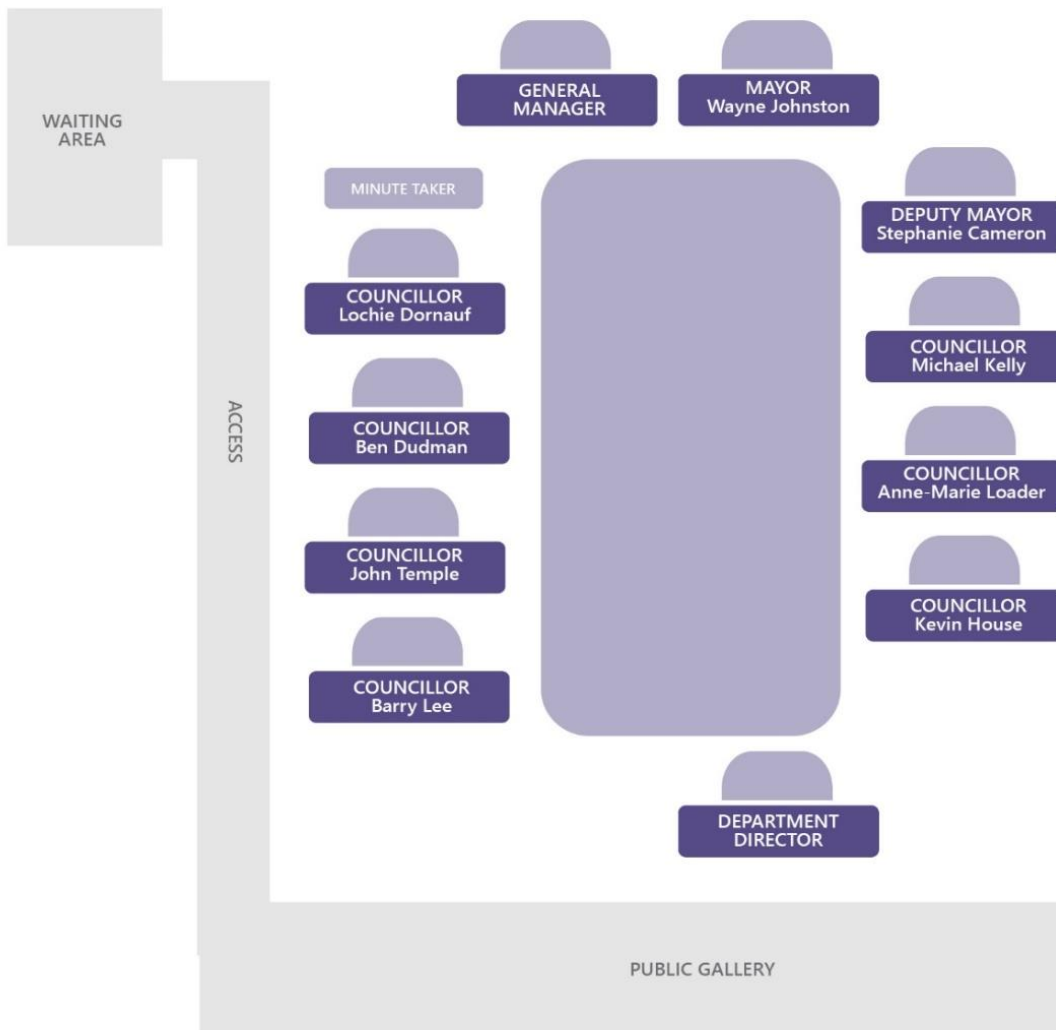
Take a fair, balanced and long term approach

Use sound business practices

Work together

## Council Chambers

Seating Plan



## Going to a Council Meeting

Members of the community are encouraged to engage with Council's monthly meetings. You can submit questions online or attend in person.

Our website offers handy fact sheets with information about what to expect at a Council Meeting, including how to participate in Public Question Time.

After the meeting, you'll find minutes and an audio recording online.

Hard copies of agendas and minutes are also available to view at the Council offices.

### Learn more

**Click here** to find fact sheets about attending a Council meeting, or to submit a question online.

A copy of the latest agenda and minutes are available to view at the Council offices in Westbury. **Click here** to view agendas and minutes online, or listen to audio of our meetings.

You can also contact the Office of the General Manager by phone on (03) 6393 5317, or email [ogm@mvc.tas.gov.au](mailto:ogm@mvc.tas.gov.au) to submit a question or learn more about opportunities to speak at a Council Meeting.

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## Public Access to Chambers

Social distancing requirements have been relaxed and there is no longer a limit on the number of people that may attend the public gallery (beyond the practical limits of the room).

Where there is a need to manage demand, seating will be prioritised as follows:

**For planning decisions:** applicants and representors have first priority. A representor is a community member who writes to Council to object to or support a planning application (statutory timeframes apply for becoming a representor during the planning process).

**For all decisions:** Members of the media are welcome to take up any seats not in use by the public, or email [ogm@mvc.tas.gov.au](mailto:ogm@mvc.tas.gov.au) to request specific information about a Council decision. Media requests received by email before close of business (or the end of the meeting) will receive a same-day response.

Council operates under a COVID Safety Plan. If you are experiencing any symptoms associated with COVID-19, you are encouraged to stay home.

## Conduct at Council Meetings

Visitors are reminded that Council Meetings are a place of work for staff and Councillors.

Council is committed to meeting its responsibilities as an employer and as host of this important public forum, by ensuring that all present meet expectations of mutually respectful and orderly conduct.

It is a condition of entry to the Council Chambers that you cooperate with any directions or requests from the Chairperson or Council officers.

The Chairperson is responsible for maintaining order at Council Meetings. The General Manager is responsible for health, wellbeing and safety of all present. The Chairperson or General Manager may require a person to leave Council premises following any behaviour that falls short of these expectations. It is an offence to hinder or disrupt a Council Meeting.

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## Access & Inclusion

Council supports and accommodates inclusion for all who seek participation in Council Meetings, as far as is practicable.

Any person with a disability or other specific needs is encouraged to contact Council before the meeting on (03) 6393 5300 or via email to [ogm@mvc.tas.gov.au](mailto:ogm@mvc.tas.gov.au) to discuss how we can best assist you with access.

## Certificate of Qualified Advice

A General Manager must ensure any advice, information or recommendation is given to Council by a person with the necessary qualifications or experience: section 65, *Local Government Act 1993*.

Council must not decide on any matter without receiving qualified advice, or a certification from the General Manager.

Accordingly, I certify that, where required:

- (i) the advice of a qualified person was obtained in preparation of this Agenda; and
- (ii) this advice was taken into account in providing general advice to Meander Valley Council; and
- (iii) A copy of any such advice (or a written transcript or summary of oral advice) is included with the agenda item.



John Jordan  
**GENERAL MANAGER**

## Table of Contents

Meeting Open - Attendance & Apologies .....	7
Acknowledgment of Country .....	7
Confirmation of Minutes.....	7
Declarations of Interest .....	7
Council Workshop Report.....	8
Mayor & Councillor Report.....	8
Petitions.....	10
Community Representations .....	10
Public Question Time.....	11
Councillor Question Time .....	15
Planning Authority Reports .....	17
6 Kate Reed Drive, Prospect Vale .....	17
8 Bonney Street, Deloraine .....	50
Infrastructure Services .....	109
Proposed Road Names - Liddesdale Drive, Reedsdale Court .....	109
Governance.....	112
Quarterly Report - September 2023.....	112
Appointment of Members to Special Committees of Council .....	131
Motion to Close Meeting .....	136
Closed Session Agenda.....	136
Meeting End .....	136

## Meeting Open - Attendance & Apologies

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### Acknowledgment of Country

Council acknowledges the Pallitore and Panninher past peoples and the traditional owners and custodians of the land on which we gather for the Council Meeting, with respects paid to elders past and present and extended to all Aboriginal and Torres Strait Islander peoples present.

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### Confirmation of Minutes

**Motion** Receive and confirm minutes of the last Ordinary Council Meeting held 8 November 2022.

**Vote** Simple majority

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### Declarations of Interest

Nil received prior to agenda publication.

# Council Workshop Report

## Topics Discussed – 22 November 2022

General Manager, Mayor & Councillor Discussion

Council Dates 2023: Meetings, Workshops & Citizenships

Local Government Association of Tasmania – Motions for December Meeting

Deloraine Racetrack Community Consultation Results

Works Depot Development

Deloraine Squash Courts – Project Status Update

Presentation – Workforce Culture Survey

## Items for Noting

Bracknell Hall Redevelopment – Project Status Update

Australia Day Committee – Awards Recommendations

Presentation of Meander Valley Council Draft 2021-22 Annual Report

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## Mayor & Councillor Report

<b>Councillor Activities Since Last Meeting</b>		
<b>10 Nov</b>	<b>Community Event</b> Community Bank Deloraine & District Grants - Programs Presentation Evening	<i>Attended by Cr Loader</i>
<b>11 Nov</b>	<b>Community Event</b> Remembrance Day – Deloraine Ceremony (Wreath Laying)	<i>Attended by Cr Loader, Cr House</i>
<b>11 Nov</b>	<b>Community Event</b> Remembrance Day – Westbury Ceremony (Wreath Laying)	<i>Attended by Cr Temple</i>



12 Nov	<b>Community Event</b> Community Gardens Open Day – Westbury and Deloraine	<i>Attended by Cr Loader</i>
15 Nov	<b>Professional Development</b> Induction & Introduction Session for New Council	<i>Attended by all Councillors</i>
17 Nov	<b>Meeting</b> Australia Day Awards Committee Meeting	<i>Attended by Cr House &amp; Cr Kelly</i>
17 Nov	<b>Meeting</b> Weegenah Public Meeting	<i>Attended by Crs Loader &amp; Dudman</i>
17 Nov	<b>Community Event</b> Official Opening of PolyFoam, Westbury	<i>Attended by Mayor Johnston</i>
19 Nov	<b>Community Event</b> Deloraine Show	<i>Attended by Mayor Johnston</i>
19 Nov	<b>Community Event</b> Deloraine Fire Brigade 100th Anniversary	<i>Attended by Mayor Johnston</i>
20 Nov	<b>Community Event</b> Launceston City Football Club – Volunteer Appreciation Day, Prospect	<i>Deputy Mayor Cameron &amp; Cr House</i>
26 Nov	<b>Professional Development</b> Local Government Association of Tasmania (LGAT) - Induction Day, Launceston	<i>Attended by Crs Dornauf, Dudman, House, Lee, Loader &amp; Temple</i>
29 Nov	<b>Meeting</b> Northern Tasmania Development Corporation (NTDC) Annual General Meeting, Launceston	<i>Attended by Mayor Johnston</i>
1 Dec	<b>Council Event</b> Great Western Tiers Visitor Centre – Volunteer End of Year Celebration, Deloraine	<i>Attended by Cr House</i>
1 Dec	<b>Meeting</b> Meander Valley Council Emergency Management and Social Recovery Committee Meeting	<i>Attended by Crs Kelly &amp; Dornauf</i>
4 Dec	<b>Community Event</b> Christmas on the Plains, Dairy Plains	<i>Attended by Deputy Mayor Cameron &amp; Crs Kelly &amp; Lee</i>

## Councillor Announcements & Acknowledgements

Nil

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## Petitions

Nil received prior to agenda publication.

For further information about petitions, refer to the *Local Government Act 1993: ss57-60A*.

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## Community Representations

Nil requests received.

Formerly referred to as “deputations”, community representations are an opportunity for community members or groups to request up to three minutes to address Council on a topic of particular interest.

Requests received at least fourteen days prior to a Council Meeting will be considered by the Chairperson. For further information, contact the Office of the General Manager on (03) 6393 5317 or email [ogm@mvc.tas.gov.au](mailto:ogm@mvc.tas.gov.au).

## Public Question Time

Members of the public may ask questions in person or using our online form.

[Click here](#) to submit an online question.

Refer to pages 3 and 4 of this agenda for more information about attending a Council Meeting.

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### This Month's Public Questions With Notice

#### **Question 1: James Redgrave, Deloraine (received via email)**

Note: this question was received by Council on Monday 31 October 2022 and inadvertently omitted from Council's November Ordinary Meeting agenda and minutes.

*At [the October 2022] meeting it was clear to me that Residential Planning issues place great responsibility on Council's elected officials through the new state planning scheme and associated regulations. It was clear that there are many pressures being applied to both staff and elected members of Council. My experience in this area is to suggest that an inter-generational organic and continuously improving strategic plan around the residential growth of our villages and suburban area's be implemented to both evolve with future elected representatives and current ones of no less than twenty-five years into the future with five year reviews. The time is now for this, otherwise like [October's] meeting when lots are less than 300m2 the correct balance won't be applied and adhoc development will take place. Farmland will be lost forever and the right balance for each village won't be taken into account. I would like to ask Council to give this some very serious thought so the balance moving forward is guided well and planned as best as possible for our future*

**Krista Palferman, Director Development and Regulatory Services** advised that the Tasmanian Government committed to undertaking a suite of planning reforms to improve the planning framework in Tasmania. Meander Valley Council has been working with the Department of Premier and Cabinet, State Planning Office on this reform agenda.

Phase One of the planning reforms involved the introduction of a statewide planning scheme which consists of two parts:

1. State Planning Provisions (SPPs) that apply broadly across Tasmania; and
2. Local Provisions Schedules (LPSs) that provide flexibility to address local issues.

The SPPAs came into effect in March 2017 but had no practical effect in Meander Valley until 19 April 2019 when the Tasmanian Planning Scheme – Meander Valley came into effect. The SPP's are required by legislation to be reviewed every five years.

The SPPs are currently being reviewed now for the first time with the process occurring in two stages over approximately 2 years. Regular review of the SPPs is not only a statutory requirement but also represents best practice ensuring we implement constant improvement and keep pace with emerging planning issues and pressures. The first stage of consultation was a scoping paper to which 162 submissions were received. The State Planning Office is now working on reviewing and reporting on those submissions to identify projects for Stage 1 amendments to the SPP's.

Phase two planning reforms commenced in 2021 and involve:

- Introduction of Tasmanian Planning Policies (TPPs);
- Review Regional Planning Framework; and
- Comprehensive Review of Regional Land Use Strategies (RLUS).

The TPPs establish the comprehensive, high-level policy framework for the planning system and will cover important issues, not just for planners and decision makers, but for all Tasmanians. The TPPs also will shape the future for Tasmania through informing strategic land use planning and the planning rules in the Tasmanian Planning Scheme. Consultation on the Draft TPPs has occurred, and submissions will soon be lodged with the Tasmanian Planning Commission for review.

This statewide policy framework will be complemented by the improved regional land use planning framework. Comprehensive reviews of the regional land use strategies will follow the making of the Tasmanian Planning Policies and the introduction of the improved regional land use planning framework.

Meander Valley Council will continue to actively participate in the planning reform agenda to ensure our local planning best meets the varying needs of our community.

### ***Question 2: James Redgrave, Deloraine (received via email)***

Note: this question was received by Council on Monday 31 October 2022 and inadvertently omitted from Council's November ordinary meeting agenda and minutes.

*The challenge right now is waste and not just for Meander Valley Council but all 29 councils. I know small councils can run their own waste facilities but they must run as a business and share the plan and resources with other close councils. I would like to challenge this Council to seek out and put in place a resource-sharing waste model with both Launceston and Northern Midlands. The numbers are right for this to work and given the new legislation around the waste levy and CRS\*.*

*This is the right time to get this right for the rest of this century. I'm working closely with government and industry around this and all are eager to see some forward thinking and collaboration in both waste and recycling. I would be more than happy to assist if asked.*

\*Container Refund Scheme

**Dino De Paoli, Director Infrastructure Services** advised that Council recognises that the delivery of waste management services to the community is becoming more expensive and complex in an evolving market and with changing regulations. Council has been working collaboratively with other northern region councils for a number of years through the operation of the Northern Tasmanian Waste Management Group, and we will continue to look at this opportunity, noting that any regional waste governance arrangements to be implemented under the Waste and Resource Recovery Act 2022 are still to be determined. The new Council will be discussing waste management issues and strategy at upcoming workshops and meetings.

**Question 3: Linda Poulton, Westbury (received via email)**

*In the recording of the last Council meeting, the General Manager states that he raised the need for the Government's social and economic assessment of the Northern Correctional Facility to take into account the "potential use of retired Ashley facilities, the existing buildings and so forth". The draft written minutes also make reference to the "potential to make use of the Ashley facility for community purposes". Could the General Manager clarify these statements in terms of what was conveyed to the Project Team about how the AYDC site and facilities should be used, eg was the GM suggesting that the Government should consider using the AYDC and/or facilities other than for the Northern Regional Prison?*

**General Manager, John Jordan advised** that there was no position expressed. The comment was specifically in the context of a preliminary discussion about the scope of any future social and economic impact assessment. The premise being that the existing Ashley Youth Detention Centre facilities could support a range of potential uses depending on the design and operating model of any prison on the site. Such potential would be of interest to the community and therefore might be appropriate to consider in the social and economic impact assessment.

**Question 4: Linda Poulton, Westbury (received via email)**

*Does the General Manager need, and if so, have the necessary delegation to act as the Council's agent/representative in conveying the Council's views on the Northern Correctional Facility to the Government and was that also the case when he met with the Project Team on 25 October 2022?*

**General Manager, John Jordan advised** that Section 62 of the *Local Government Act 1993* prescribes the broad role and powers of the General Manager. Delegation as described in the question is not needed. The General Manager is responsible for the day-to-day operations of Council and the affairs of Council. This includes meeting with third parties in order to co-ordinate matters that may be considered by Council at a future point.

**Question 5: Heather Donaldson, Westbury (received via email)**

*In the minutes of the last council meeting, the General Manager spoke of meeting with consultants from the prison project team. That discussion included the potential to make use of the Ashley facilities for community purposes.*

*It would be good for the community to be kept informed on this subject as much as possible. Could the notes of that meeting, and any others with government representatives regarding a northern correctional facility be released please?*

**General Manager, John Jordan advised** that the meeting with the Northern Regional Prison Project representatives was not formal and revolved around a discussion on the possible scope of any social and economic study relating to the prison proposal. No notes were made. A record of the discussion was not made by Council officers.

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**This Month's Public Questions Without Notice**

*Nil*

## Councillor Question Time

### This Month's Councillor Questions With Notice

*Nil*

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### This Month's Councillor Questions Without Notice

*Nil*

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## Council as a Planning Authority

In planning matters, Council acts as a Planning Authority under the *Land Use Planning and Approvals Act 1993*. The following applies to all Planning Authority reports:

**Strategy** Council has an Annual Plan target to process planning applications in accordance with delegated authority and statutory timeframes.

**Policy** Not applicable.

**Legislation** Council must process and determine applications under the *Land Use Planning and Approvals Act 1993* (LUPAA) and its Planning Scheme. Each application is made in accordance with LUPAA, s57.

**Consultation** The "Agency Consultation" section of each Planning Authority report outlines the external authorities consulted during the application process.

Community consultation in planning matters is a legislated process. The "Public Response – Summary of Representations" section of each Planning Authority report outlines all complying submissions received from the community in response to the application.

**Budget & Finance** Where a Planning Authority decision is subject to later appeal to the Tasmanian Civil and Administrative Tribunal (Resource & Planning Stream), Council may be liable for costs associated with defending its decision.

**Risk Management** Risk is managed by all decision-makers carefully considering qualified advice and inclusion of appropriate conditions on planning permits as required.

**Alternative Motions** Council may approve an application with amended conditions, or may refuse an application.

Regardless of whether Council seeks to approve or refuse an application, a motion must be carried stating its decision and outlining reasons. A lost motion is not adequate for determination of a planning matter.

**Motion** Simple majority



# Planning Authority Report

## 6 Kate Reed Drive, Prospect Vale

<b>Proposal</b>	Residential outbuilding (Carport)
<b>Report Author</b>	Heidi Goess Town Planning Consultant
<b>Authorised by</b>	Krista Palfreyman Director Development & Regulatory Services
<b>Application reference</b>	PA\23\0081
<b>Decision due</b>	14 December 2022
<b>Decision sought</b>	It is recommended that Council refuses this application. See section titled "Planner's Recommendation" for further details.

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### Applicant's Proposal

<b>Applicant</b>	P & R Terry
<b>Property</b>	6 Kate Reed Drive, Prospect Vale (CT: 161889/131)
<b>Description</b>	The applicant seeks planning permission for the construction and use of a residential outbuilding (carport) to be erected within 4.5m from the primary frontage.  Documents submitted by the Applicant are attached, titled "Application Documents".



Photo 1: Aerial photograph of the site with the approximate location of the proposed carport outlined in red.

## Planner's Report

**Planning Scheme** Tasmanian Planning Scheme - Meander Valley ("the Scheme")

**Zoning** General Residential

**Applicable Overlays** Nil

**Existing Land Use** Residential – Single Dwelling

**Summary of Planner's Assessment** Generally, the Residential Outbuilding (carport) is classed as discretionary in this zone (General Residential).

**Discretions** For this application, two discretions are triggered. This means Council has discretion to approve or refuse the application based on its assessment of:

8.4.2 P2 Setbacks and building envelope for all dwellings

8.4.2 P3 Setbacks and building envelope for all dwellings

Before exercising a discretion, Council must consider the

relevant Performance Criteria, as set out in the Planning Scheme.

See attachment titled "Planner's Advice - Performance Criteria" for further discussion.

### **Performance Criteria & Applicable Standards**

This proposal is assessed as not satisfying the relevant Performance Criteria and not compliant with all Applicable Standards of the Scheme.

See attachments titled "Planner's Advice – Performance Criteria" and "Planner's Advice – Applicable Standards" for further discussion.

### **Public Response**

No responses ("representations") received from the public.

See attachment titled "Public Response – Summary of Representations" for further information, including the planner's advice given in response.

### **Agency Consultation**

Nil

### **Internal Referrals**

*Infrastructure Services*

No infrastructure conditions or notes are applicable.

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## **Planner's Recommendation to Council**

The planner's recommendation, based on a professional assessment of the planning application and its compliance with the Planning Scheme, is set out below.

Council must note the qualified advice received before making any decision, then ensure that reasons for its decision are based on the Planning Scheme. Reasons for the decision are also published in the minutes.

For further information, see *Local Government Act 1993, s65, Local Government (Meeting Procedures) Regulations 2015, s25(2)* and *Land Use and Approvals Act 1993, s57*.

### **Recommendation**

This application by P & R Terry for a Residential outbuilding (carport) on land located at 6 Kate Reed Drive, Prospect Vale (CT: 161889/131) is recommended for refusal on the following ground:

1. That the proposal does not satisfy Clause 8.4.2, Performance Criteria P2 as the setback of the carport is not compatible with the setbacks of existing garages or carports in Kate Reed Drive, Prospect Vale.

### **Attachments**

1. Planner's Advice - Applicable Standards [12.1.1 - 6 pages]
2. Planner's Advice - Performance Criteria [12.1.2 - 12 pages]
3. Application Documents [12.1.3 - 11 pages]

### Planner's Advice: Applicable Standards

#### Background

The proposal is for the construction and use of a residential outbuilding (carport) at 6 Kate Reed Drive, Prospect Vale (CT:161889/131). The site is an irregularly shaped parcel of land located at the south-eastern corner of the intersection of Stacks Court and Kate Reed Drive and is developed with a single dwelling. The site's topography rises an estimated 10m in elevation from the south-western corner in a north-easterly direction at an estimated average slope of 12 degrees.

The existing dwelling, as viewed from Kate Reed Drive, is shown in Photo 1. The dwelling is partially banked into the slope and located within the site's first half. The dwelling does not include a garage.

A Residential outbuilding is constructed to the rear of the site. The Council granted a permit (PA\20\0109) for the outbuilding in November 2019.

The proposal seeks to construct a carport, with approximate dimensions of 6m x 6m, over the existing sealed car parking area in front of the dwelling on the site.

The application proposes the following:

1. A free-standing carport will be located between the dwelling and Kate Reed Drive, and with a setback of 3.4m from the primary frontage.
2. The carport has a maximum height of 3.03m and will have timber slats attached to screen vehicles parked in the carport facing Kate Reed Drive (refer to Photo 2).
3. All retaining walls between the dwelling and the frontage will be retained.

The development area is relatively flat, and no significant earthworks are required to facilitate the development. An existing crossover from Kate Reed Drive will facilitate access to the proposed carport.

A site visit was held with the applicant on 16 November 2022 to discuss the proposal.

The site is located in the General Residential Zone and is not subject to any code or specific area plan overlays.

## 12.1.1 Planner's Advice - Applicable Standards



*Photo 1: The existing dwelling at 6 Kate Reed Drive, Prospect Vale.*



*Photo 2: Indicative elevations of the proposed carport located in front of the dwelling at 6 Kate Reed Drive, Prospect Vale.*

## 12.1.1 Planner's Advice - Applicable Standards

### Summary of Planner's Advice

This application was assessed against General Provisions Standards, as well as the Applicable Standards for this Zone, any relevant Codes and Specific Area Plans.

All Standards applied in this assessment are taken from the Planning Scheme.

This application is assessed as compliant with the relevant Acceptable Solutions, except where "*Relies on Performance Criteria*" is indicated (see tables below).

Council has discretion to approve or refuse the application based on its assessment of the Performance Criteria, where they apply. Before exercising discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

For a more detailed discussion of any aspects of this application reliant on Performance Criteria, see the attachment titled "Planner's Advice - Performance Criteria".

## 12.1.1 Planner's Advice - Applicable Standards

### 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
8.3.1	<i>Discretionary Uses</i>	
A1 – A4	These standards apply to discretionary uses only. The Residential use is a no permit required use in the zone.	Not Applicable
8.4.2	<i>Setbacks and building envelope for all dwellings</i>	
A1	The proposal is for a carport and is excluded from the acceptable solution.	Not Applicable
A2	The proposed carport will not have a setback from the primary frontage of 5.5m.	<b>Relies on Performance Criteria</b>
A3	The proposed carport will not be contained in the building envelope shown in Figure 8.2.	<b>Relies on Performance Criteria</b>
8.4.3	<i>Site coverage and private open space for all dwellings</i>	
A1	The proposed carport will increase the site coverage by 36m <sup>2</sup> . The dwelling will not have a site coverage of more than 50%.	Complies
A2	The proposed carport will not impact on the existing private open space of the dwelling.	Not Applicable
8.4.5	<i>Width of openings for garages and carports for all dwellings</i>	
A1	The carport will be located within 12m of the frontage and will not have a width greater than 6m.	Complies



## 12.1.1 Planner's Advice - Applicable Standards

### 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
8.4.6	<i>Privacy for all dwellings</i>	
A1	The proposed carport will not have a finished surface level of more than 1m above existing ground level. The parking space is existing and the proposal is for the construction of a roofed carport over the car parking area only.	Not Applicable
A2	The proposal does not include any habitable rooms.	Not Applicable
A3	The site is not accessed via a shared driveway and no parking spaces are for use by other users.	Not Applicable
8.4.7	<i>Frontage fences for all dwellings</i>	
A1	The proposal is for the construction of a carport only. No frontage fence is proposed.	Not Applicable

C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
C2.2	<p><i>Application of this code</i></p> <p>The proposal is for the construction of a carport only.</p> <p>All parking spaces are existing and no change to the number or location of existing onsite car parking is proposed.</p> <p>The application does not affect issues dealt with by the Code directly, and the standards contained within the Code are therefore not applicable to the application in accordance with clause 5.6.2(c) of the <i>Tasmanian Planning Scheme- Meander Valley</i>.</p>	Not Applicable

## 8.0 General Residential Zone

### 8.4.2 Setbacks and Building envelope for all dwellings

#### **Objective**

*The siting and scale of dwellings:*

- (a) Provides reasonably consistent separation between dwellings and their frontage within a street;*
- (b) Provides consistency in the apparent scale, bulk, massing and proportion of dwellings;*
- (c) Provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and*
- (d) Provides reasonable access to sunlight for existing solar energy installations.*

#### **Performance Criteria P2**

*A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.*

## 12.1.2 Planner's Advice - Performance Criteria


### Summary of Planner's Advice

The development is assessed as not satisfying Performance Criteria P2. The application proposes the construction of a carport in a location that is not compatible with surrounding development. The development will not provide consistent separation between the dwelling and its frontage to Kate Reed Drive. The development does not comply with the objective of the clause.

Details of the planner's assessment against the provision are set out below.

<b>Scheme Provision</b>	<b>Planner's Assessment</b>
<b>8.4.2 Performance Criteria P2</b>	<p>The setback of garages or carports must be compatible with the setback from a primary frontage of existing garages or carports.</p> <p>The former Resource Management and Planning Appeal Tribunal (RMPAT) considered the meaning of 'compatible' in <i>S Cai v Launceston City Council and TRC Multi Property Pty Ltd</i> [2019] RMPAT 22. It determined that it <i>"requires an outcome which is in harmony or broad correspondence with the surrounding area"</i>.</p> <p>The Macquarie Concise Dictionary defines harmony as <i>"agreement; accord or harmonious relations and correspondence as meaning relation or similarity or analogy"</i>.</p> <p>The proposed carport is located 3.4m from the primary frontage and 4.2m from the secondary frontage of the site. At the corner truncation, the setback is approximately 2.2m. The site boundary shared with Kate Reed Drive is separated by a 6m wide grassed verge from the sealed road carriageway of Kate Reed Drive.</p> <p>As referred to in Performance Criteria P2, the street is the length of Kate Reed Drive, shown in Figure 1.</p>

## 12.1.2 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	 <p data-bbox="571 1137 1294 1171"><i>Figure 1: The length of Kate Reed Drive; the street shown in blue.</i></p> <p data-bbox="403 1207 1302 1243">The primary frontage, defined in Table 3.1 of the Scheme, means:</p> <ul data-bbox="453 1283 1461 1444" style="list-style-type: none"><li data-bbox="453 1283 1169 1319">(a) If there is only a single frontage, the frontage; or</li><li data-bbox="453 1323 1461 1444">(b) If there are 2 or more frontages, the frontage with the shortest dimensions measured parallel to the road irrespective of minor deviations and corner truncations.</li></ul> <p data-bbox="403 1485 1461 1606">In this instance, sub-clause (b) applies as the site has two frontages. The site's frontage with the shortest dimensions is that shared with Kate Reed Drive. The primary frontage is, therefore, to Kate Reed Drive.</p> <p data-bbox="403 1646 1461 1767">A site inspection was also conducted with the applicant on 16 November 2022. The site visit was to view the front boundary setbacks of existing garages or carports associated with dwellings along Kate Reed Drive.</p> <p data-bbox="403 1807 1461 2004">The properties in Kate Reed Drive are typically developed with single dwellings, interspersed with multiple dwelling development. The built form in Kate Reed Drive is predominately detached buildings orientated to address the street with a uniform setback of around 5m from the frontage with a few exceptions. Garages in the Street are integrated with the built</p>

## 12.1.2 Planner's Advice - Performance Criteria

<b>Scheme Provision</b>	<b>Planner's Assessment</b>
	<p>form of the established dwellings. Three examples of stand-alone garages were identified in the entire length of Kate Reed Drive.</p> <p>Kate Reed Drive is defined by a sealed road carriageway with grass verges on both sides with a footpath only to one side. There are trees established in the street. Singular trees are planted in a linear line on the grassed verge and are uniformly spaced. Street lighting is also established. The combination of the wide verges, building setbacks means that the rectangular form of the dwellings can be easily viewed by motorists or pedestrians travelling along Kate Reed Drive.</p> <p>There are no examples of stand-alone carports or garages with a similar frontage setback within the entire length of Kate Reed Drive. However, there are some examples where setbacks to the frontage are reduced to less than 4m. These are discussed in further detail below.</p> <p>There are ten corner lots on Kate Reed Drive, including the site. All corner lots except for 4 and 12 Kate Reed Drive contain dwellings where garages are integrated with the built form.</p> <p>The garage at 22 Kate Reed Drive (corner lot) has a smaller setback to Kate Reed Drive when compared to most other properties on the street. The garage setback is estimated to be less than 4m, comparable to the proposed carport. The key difference between the proposed carport and the garage example is that it forms part of the dwelling and is not visually dominant in the street. The garage does not project forward of the building line and is in keeping with the established development pattern. The property is also more than 250m away from the site and does not have a direct visual relationship or bearing on the setback with the proposed carport. The site is not visible from this property.</p>

## 12.1.2 Planner's Advice - Performance Criteria

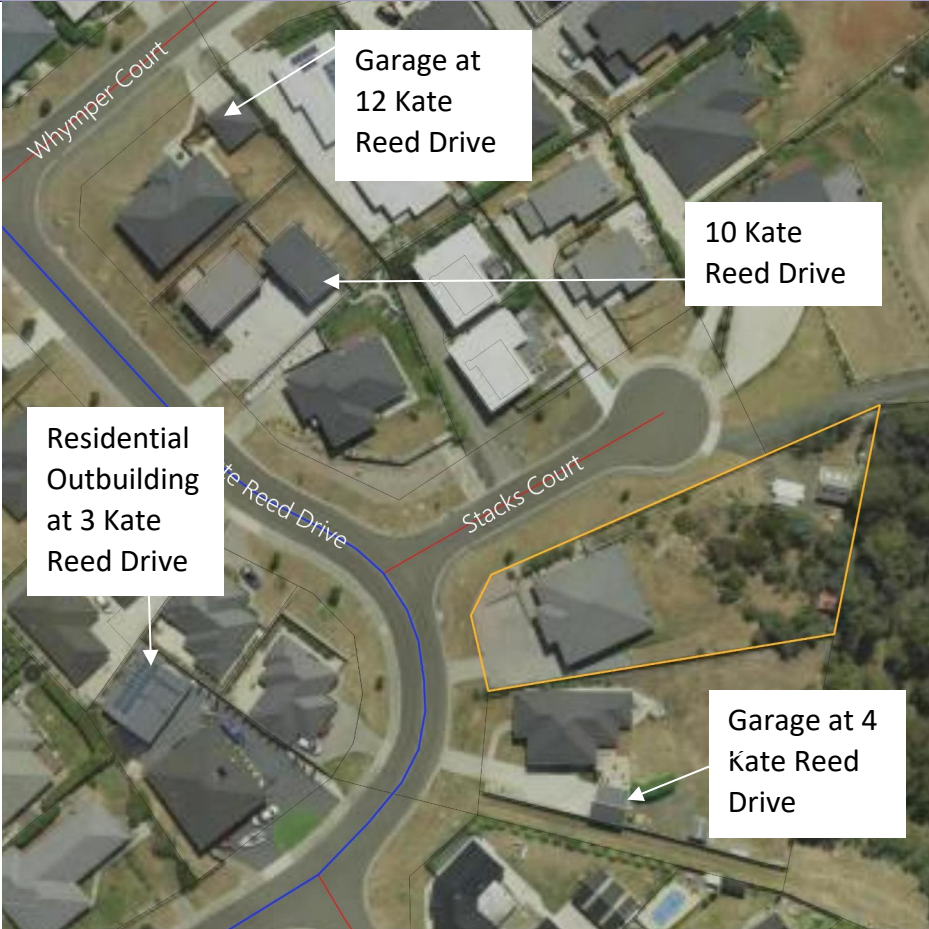
Scheme Provision	Planner's Assessment
	 <p data-bbox="429 1066 1434 1099"><i>Figure 2: Deck projecting forward of the main dwelling and garage at 14 Kate Reed Drive.</i></p> <p data-bbox="402 1133 1461 1464">The dwelling at 14 Kate Reed Drive has an integrated garage with a deck projecting towards the frontage over the garage door (refer to Figure 2). The setback of the garage is more than 6m. However, the deck reduces the setback to less than 4m. The dwelling is in an elevated position from the road reserve and is not enclosed. The structure is not dominant within the view lines of the street, and it maintains a consistent setback to the frontage. However, the assessment of this property does not apply to the assessment as it is not deemed a carport.</p> <p data-bbox="402 1507 1461 1839">The property at 10 Kate Reed Drive (refer to Figure 3) is developed with multiple dwellings. The dwelling orientated to the frontage of Kate Reed Drive has an undercover carpark beneath the dwelling. While the treatment of the undercover carpark is screened by timber slats and landscaping, the carport is in an elevated position to the street and is also setback more than 5m from the frontage of Kate Reed Drive. The built form of the undercover carpark means that it does not project forward of the main building line of the dwelling.</p>

## 12.1.2 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	 <p data-bbox="405 1048 1461 1115"><i>Figure 3: The dwelling at 10 Kate Reed Drive with an undercover space below the elevated building.</i></p> <p data-bbox="405 1149 1461 1355">The stand-alone garage at 4 Kate Reed Drive is setback more than 12m from the frontage, and is behind the established dwelling. The other garage at 12 Kate Reed Drive is orientated and accessed from Whympers Court. The garage is setback 5m from Whympers Court and it is estimated to be setback 27m from Kate Reed Drive (refer to Figure 4).</p> <p data-bbox="405 1391 1461 1473">There is another stand-alone garage at 3 Kate Reed Drive. The garage is setback behind the dwelling, more than 20m from the frontage.</p> <p data-bbox="405 1509 1461 1675">The setback of these stand-alone garages is quite different to the setback of the proposed carport from the frontage. The setback of the proposed carport is not compatible with the setback of these stand-alone garages as it is forward of the building line of the dwelling.</p>



## 12.1.2 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	<div style="text-align: center;">  </div> <p data-bbox="416 1272 1445 1303"><i>Figure 4: Stand-alone garages and residential outbuildings in Kate Reed Drive, in the street.</i></p> <p data-bbox="403 1341 1461 1675">The street is characterised by large frontage setbacks which are a result of the combination of setbacks and the grassed verge on either side of the street. Figure 5 provides an image of the street when viewed from 20 Kate Reed Drive, showing the consistent frontage setbacks and associated green space. Similarly, Figure 6 shows the consistent setbacks looking in the other direction from the site towards Jacob Place. In examining the built form in the street there is an absence of any free-standing buildings between the setback of dwellings and the frontage.</p> <p data-bbox="403 1713 1461 1877">The site is in a highly visible location on Kate Reed Drive, particularly when viewed from Jacob Place (refer to Figure 7). There are no other free-standing carports on the street. The proposed carport deviates away from the established setback pattern of Kate Reed Drive.</p>

12.1.2 Planner's Advice - Performance Criteria

Scheme Provision	Planner's Assessment
	 <p data-bbox="472 1025 1391 1057"><i>Figure 5: Frontage Setbacks when viewed from 20 Kate Reed Drive, Prospect Vale.</i></p>  <p data-bbox="403 1774 1401 1841"><i>Figure 6: Frontage Setbacks when viewed from the corner of Stacks Court and Kate Reed Drive. Photo taken by the corner of the site looking towards Jacob Place.</i></p> <p data-bbox="403 1877 1461 2038">It was noted at the time of the inspection that several occupants of the dwellings park their vehicles between the front setback. The occupants of the site already park their vehicles in front of the dwelling. However, the Planning Scheme test is regarding the built form and whether the setback is</p>

## 12.1.2 Planner's Advice - Performance Criteria

<p style="color: green;"><b>Scheme Provision</b></p>	<p><b>Planner's Assessment</b></p>
	<p>compatible with the existing setbacks of garages or carports from the primary frontage.</p> <div style="text-align: center;">  </div> <p style="text-align: center;"><i>Figure 7: Frontage setbacks looking towards the dwelling contained on the site from Kate Reed Drive.</i></p> <p>While the proposed carport screens vehicles parked between the frontage and the dwelling on the site, the setback of the structure is assessed not to be compatible with the existing garages or carports in the street.</p> <p>Additionally, the site does not have topographical constraints such as an impractical gradient or slope that forces the siting of the proposed carport forward of the dwelling. There are no building exclusion areas for non-habitable buildings on the site. There are other alternative locations available on the site. However, these other locations are not as convenient for use in relation to the existing dwelling.</p>
<p style="color: green;"><b>8.4.2 Performance Criteria P2 Conclusion</b></p>	<p>It is concluded that the setback would result in an outcome that is not in harmony with the existing setbacks of garages or carports of the street. The proposed setback is therefore not compatible with the setbacks of existing garages or carports in Kate Reed Drive. The proposal does not comply with the objective (a) and the Performance Criteria P2 of the standard and therefore is recommended for refusal.</p>

**8.4.2 Setbacks and Building envelope for all dwellings**

Planning Scheme Provision

**Objective**

*The siting and scale of dwellings:*

- (a) Provides reasonably consistent separation between dwellings and their frontage within a street;*
- (b) Provides consistency in the apparent scale, bulk, massing and proportion of dwellings;*
- (c) Provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to entre habitable rooms and private open space; and*
- (d) Provides reasonable access to sunlight for existing solar energy installations.*

**Performance Criteria P3**

*The siting and scale of a dwelling must:*

- (a) Not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 
  - (i) Reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
  - (ii) Overshadowing the private open space of a dwelling on an adjoining property;*
  - (iii) Overshadowing of an adjoining vacant property; and*
  - (iv) Visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;**
- (b) Provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*
- (c) Not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
 
  - (i) An adjoining property; or*
  - (ii) Another dwelling on the same site.**

**Summary of Planner’s Advice**

The development is assessed as satisfying Performance Criteria P3 and is consistent with the objective in regards to separation between dwellings on adjacent sites.

Details of the planner’s assessment against the provision are set out below.

<b>Scheme Provision</b>	<b>Planner’s Assessment</b>
<b>8.4.2</b>	The site is a corner lot and adjoins 4 Kate Reed Drive. The adjoining property

## 12.1.2 Planner's Advice - Performance Criteria

<p><b>Performance Criteria P3 (a)</b></p>	<p>is developed with a single residential dwelling. The proposed carport is located in the frontage setback and is approximately 12m from the closest dwelling.</p> <p>The siting and scale of the proposed outbuilding will not cause an unreasonable loss of amenity to adjoining properties, having regards to:</p> <ul style="list-style-type: none"> <li>(i) There will be no reduction in sunlight to a habitable room of the dwelling at 4 Kate Reed Drive.</li> <li>(ii) The private open space of the dwelling at 4 Kate Reed Drive is located behind the dwelling and the proposed development will not overshadow the private open space of the adjoining property.</li> <li>(iii) The site does not adjoin a vacant property.</li> <li>(iv) The visual impacts of the proposed carport when viewed from 4 Kate Reed Drive are not expected to cause an unreasonable loss of amenity.</li> </ul> <p>The area of development is currently used for car parking. Due to the orientation of the carport and the maximum height (3m) the scale and bulk of the proposed carport is low and maintains separation with the adjoining dwelling at 4 Kate Reed Drive, which is the closest dwelling to the site.</p> <p>The proposed carport will be visible from the front of the adjoining dwelling but will have minimal visual impact.</p> <p>The proposal satisfies sub-clause (a) of Performance Criteria P3 and complies with the standard.</p>
<p><b>8.4.2 Performance Criteria P3 (b)</b></p>	<p>The existing separation distance between the dwelling on the site and the dwelling at 4 Kate Reed Drive will not be altered by the development. The carport is located 4.2m from the northern boundary and the separation distance between dwellings will remain at 5.5m.</p> <p>The proposal satisfies sub-clause (b) of Performance Criteria P3 and complies with the standard.</p>
<p><b>8.4.2 Performance Criteria P3 (c)</b></p>	<p>The proposed carport is located in the frontage setback of the site, approximately 12m from the closest dwelling.</p> <ul style="list-style-type: none"> <li>(i) The adjoining property at 4 Kate Reed Drive is not installed with solar panels and therefore the proposal will not cause a reduction in sunlight to a solar energy installation on an adjoining property.</li> <li>(ii) There are no other dwellings located on the site at 6 Kate Reed Drive,</li> </ul>

### 12.1.2 Planner's Advice - Performance Criteria

	<p>Prospect Vale.</p> <p>The proposal satisfies sub-clause (b) of Performance Criteria P3 and complies with the standard.</p>
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# APPLICATION FORM



## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

Index No. **20100** Meander Valley Council  
Working Together

RCVD **23 SEP 2022** MVC

Actr. Officer **BS** Day **BS**

EO OD

**OFFICE USE ONLY**

Property No: **20100** Assessment No: [ ] - [ ] - [ ]

DA\ **23/0123** PA\ **23/0081** PC\ [ ]

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

### PROPERTY DETAILS:

Address: **6 KATE REED DRIVE** Certificate of Title: [ ]

Suburb: **PROSPECT VALE** **7250** Lot No: [ ]

Land area: **1772 m<sup>2</sup>** m<sup>2</sup> / ha

Present use of land/building: **RESIDENTIAL** (vacant, residential, rural, industrial, commercial or forestry)

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

### DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- Building work  Change of use  Subdivision  Demolition
- Forestry  Other

Total cost of development (inclusive of GST): **\$ 7250-00** Includes total cost of building work, landscaping, road works and infrastructure

Description of work: **ERRECTION OF CARPORT**

Use of building: **Garage / Park cars under** (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: **36** m<sup>2</sup> New building height: **3.03** m

Materials: External walls: **Timber Screening on West North** Colour: **Grey**

Roof cladding: **Custom Orb** Colour: **Woodland Grey**

## 12.1.3 Application Documents



### RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



#### SEARCH OF TORRENS TITLE

VOLUME 161889	FOLIO 131
EDITION 3	DATE OF ISSUE 04-Jan-2013

SEARCH DATE : 12-Oct-2022

SEARCH TIME : 10.56 AM

#### DESCRIPTION OF LAND

Town of PROSPECT VALE

Lot 131 on Sealed Plan 161889

Derivation : Part of Lot 971, 321A-3R-25P Gtd. to Henry Burrows

Prior CT 155002/411

#### SCHEDULE 1

D7511 & M396599 RUSSELL GEOFFREY ROY TERRY and PETA LOUISE  
TERRY Registered 04-Jan-2013 at noon

#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP161889 COVENANTS in Schedule of Easements

SP161889 FENCING COVENANT in Schedule of Easements

SP144317 & SP144763 COVENANTS in Schedule of Easements

SP144317 & SP144763 FENCING COVENANT in Schedule of Easements

A131877 FENCING CONDITION in Transfer

D21122 AGREEMENT pursuant to Section 71 of the Land Use

Planning and Approvals Act 1993 Registered

22-Jul-2011 at 12.01 PM

D63858 MORTGAGE to MyState Financial Limited Registered

04-Jan-2013 at 12.01 PM

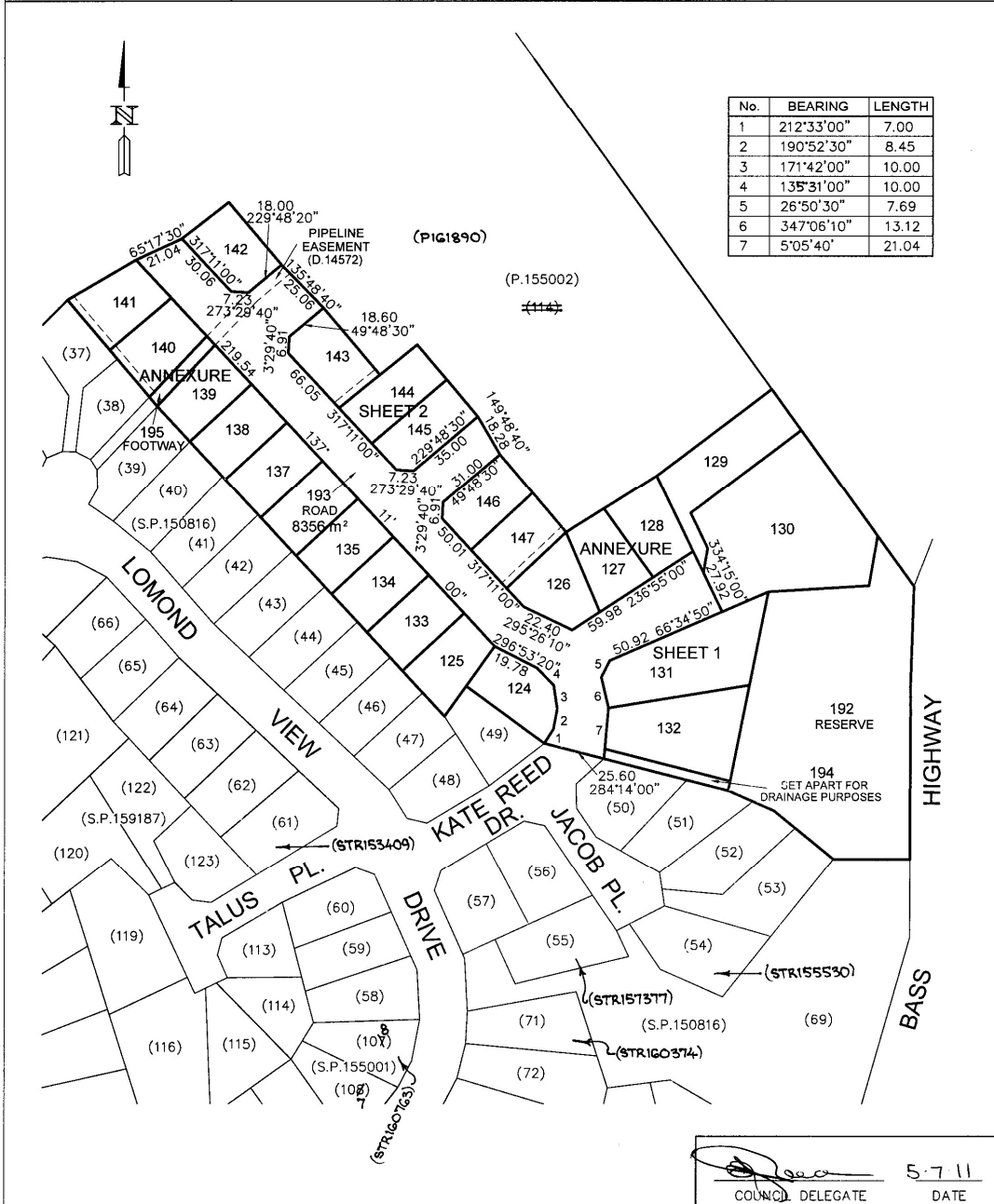
#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

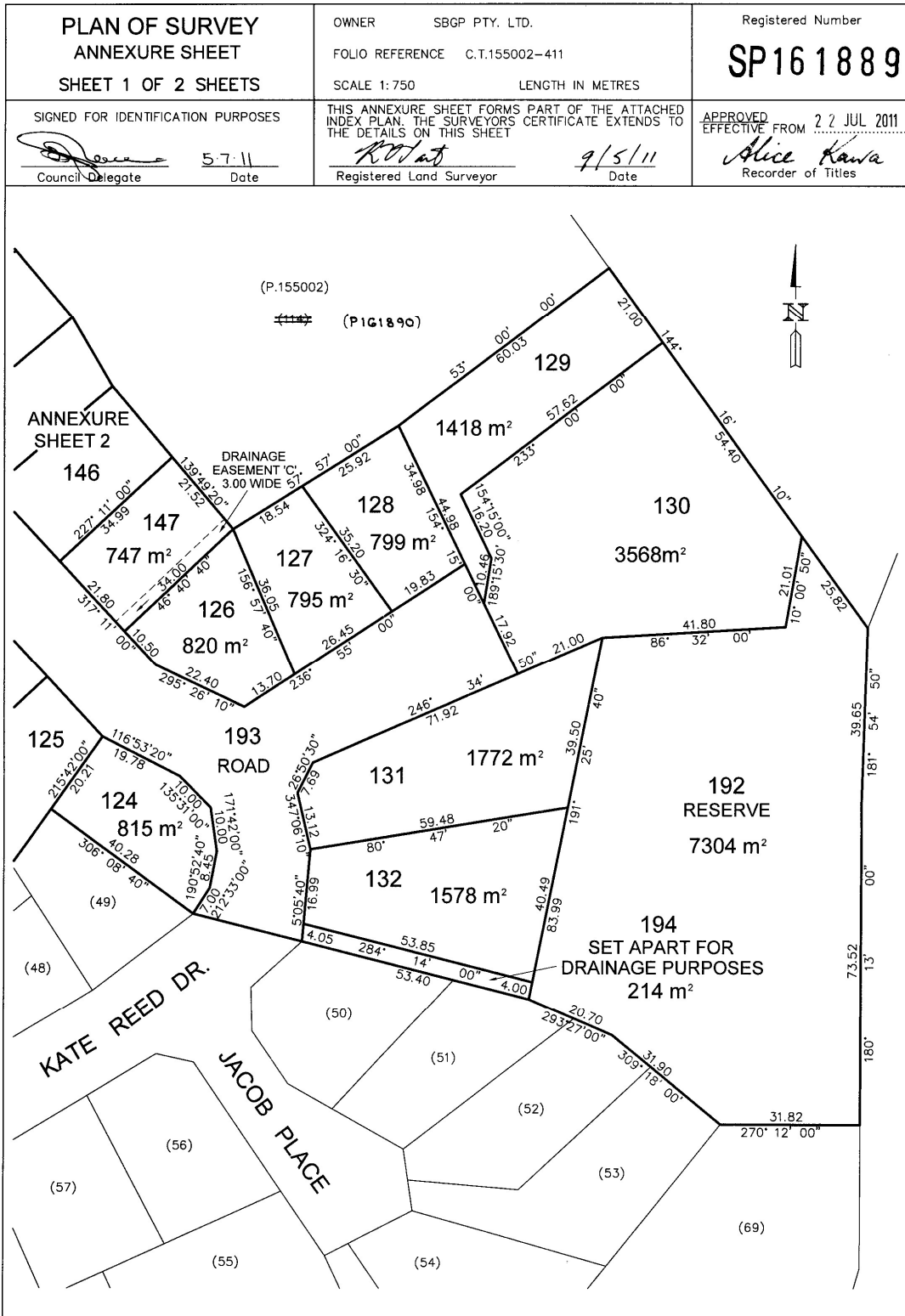


OWNER SBGP PTY. LTD.	<b>PLAN OF SURVEY</b>	REGISTERED NUMBER <b>SP161889</b>
FOLIO REFERENCE C.T.155002-411		BY SURVEYOR R.V.TAIT
GRANTEE PART OF LOT 971, 321 <sup>A3</sup> R25 <sup>P</sup> , GTD. TO HENRY BURROWS.	LOCATION <b>TOWN OF PROSPECT VALE</b>	APPROVED EFFECTIVE FROM 2 JUL 2011 <i>Alice Kawa</i> Recorder of Titles
SCALE 1:1500		LENGTHS IN METRES

MAPSHEET MUNICIPAL CODE No 121 (5040-13.23)	LAST UPI No <b>GGJ32</b>	LAST PLAN No. P.155002	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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*[Signature]* 5.7.11  
COUNCIL DELEGATE DATE



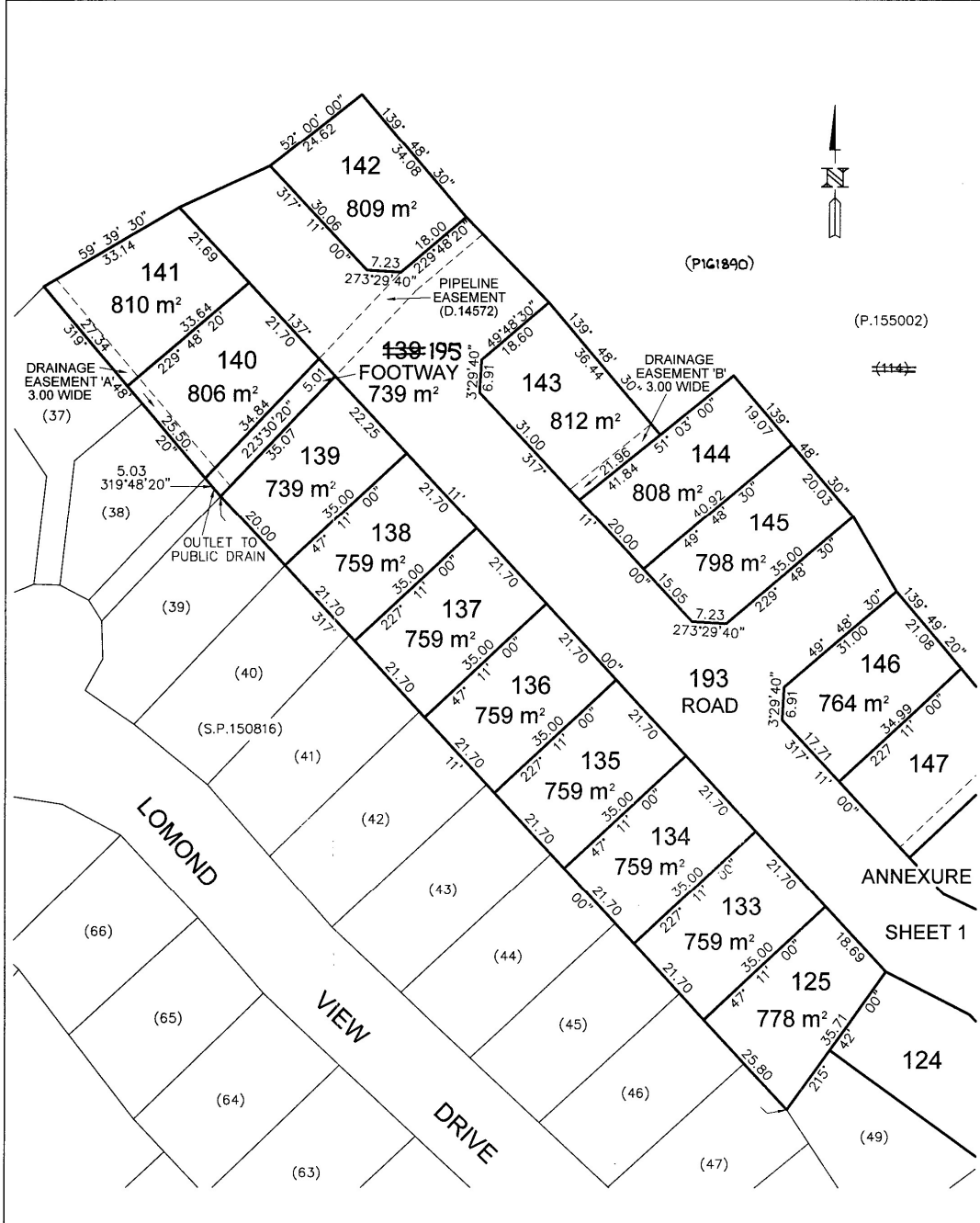
12.1.3 Application Documents

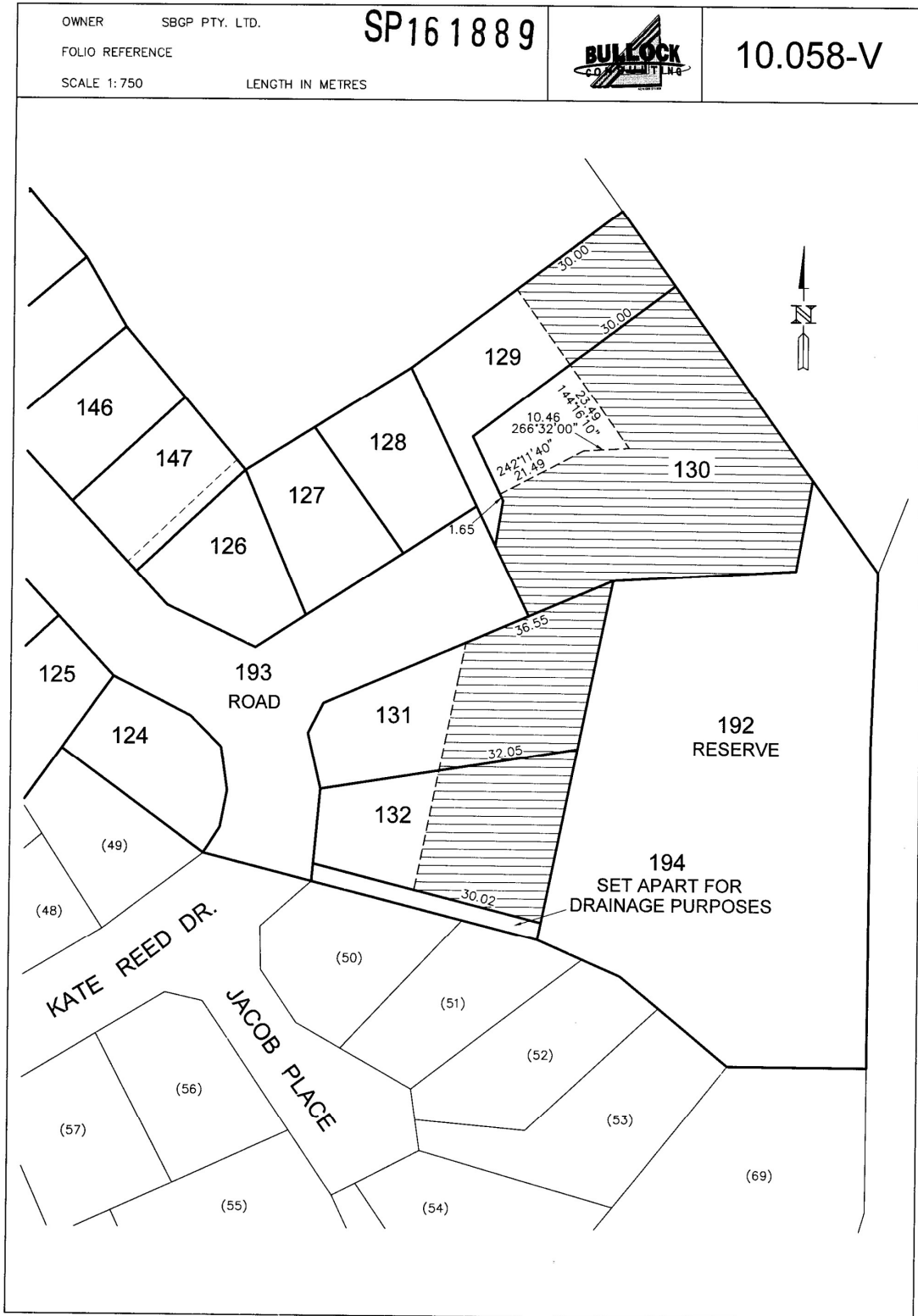


**FOLIO PLAN**  
RECORDER OF TITLES  
Issued Pursuant to the Land Titles Act 1980

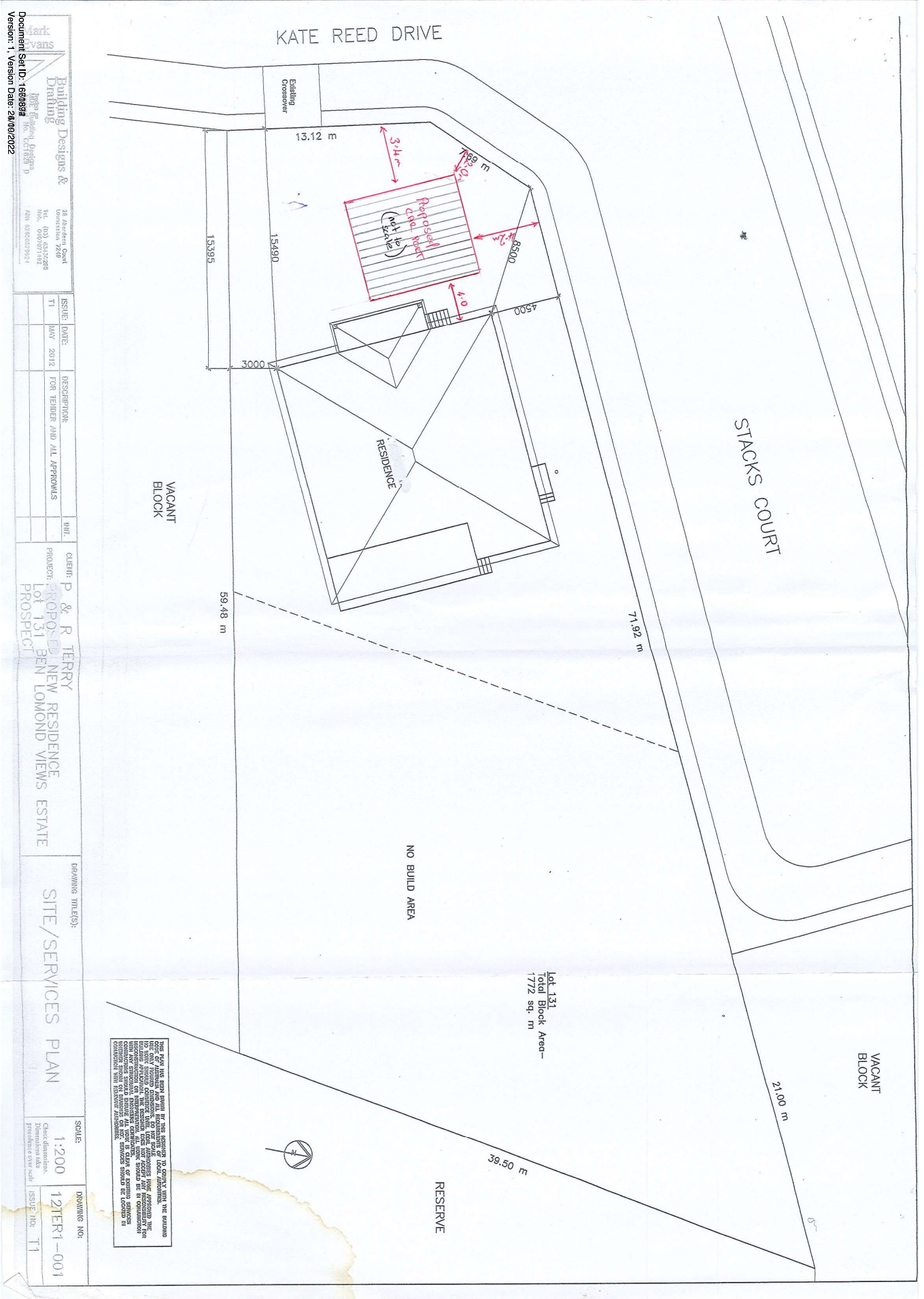


<b>PLAN OF SURVEY</b> ANNEXURE SHEET SHEET 2 OF 2 SHEETS	OWNER SBCP PTY. LTD. FOLIO REFERENCE C.T.155002-411 SCALE 1:750 LENGTH IN METRES	Registered Number <b>SP161889</b>
	SIGNED FOR IDENTIFICATION PURPOSES THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET APPROVED EFFECTIVE FROM 22 JUL 2011	[Signature] 5.7.11 Council Delegate Date





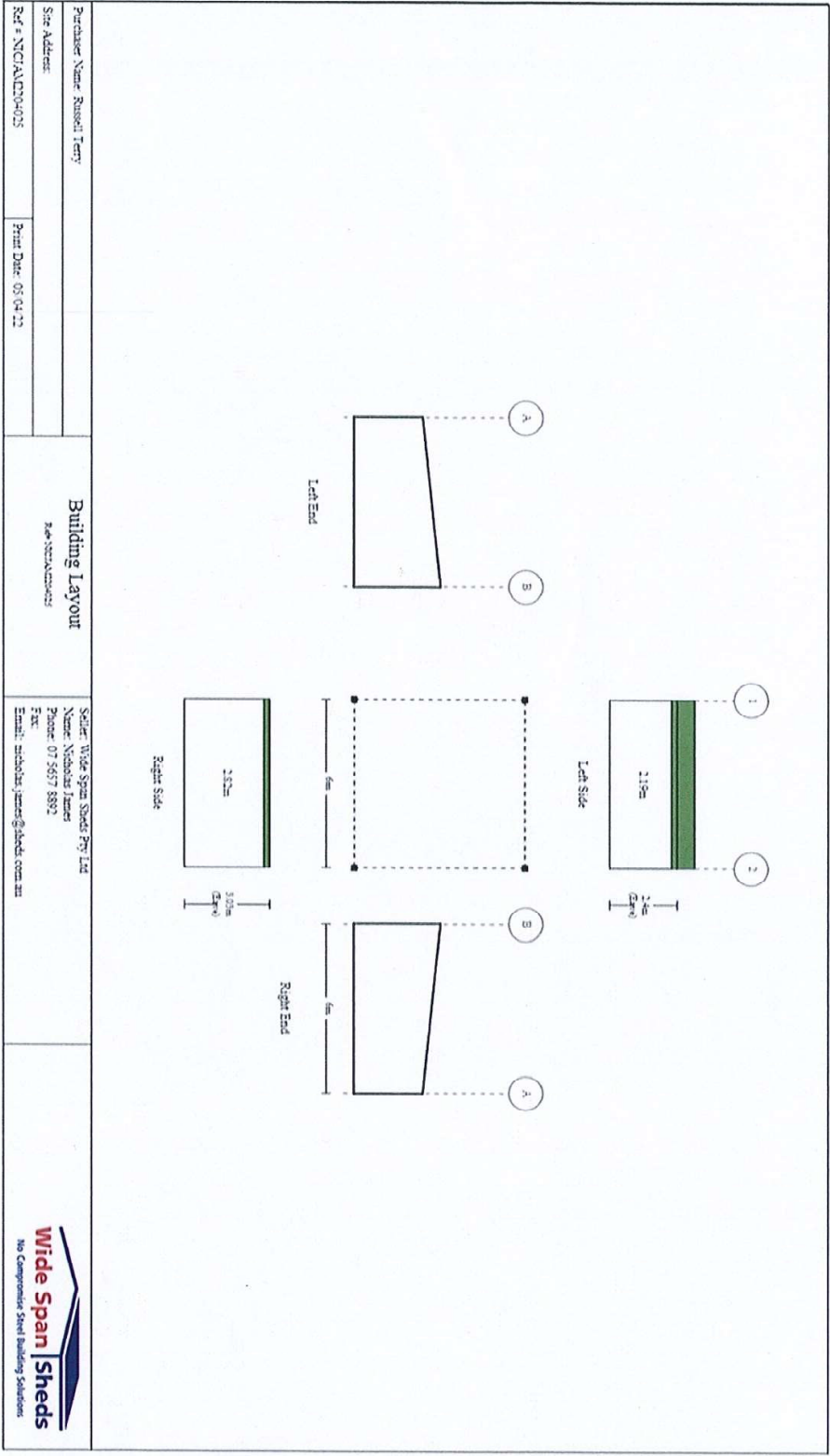
12.1.3 Application Documents



# 12.1.3 Application Documents

Document Set ID: 1671894  
Version: 1, Version Date: 24/10/2022

www.sheds  
NO COMPROMISE STEEL BUILDING SOLUTIONS

Purchaser Name: Russell Terry  
Site Address:  
Ref # NCI/AVN04015  
Print Date: 05/04/22

**Building Layout**  
Ref: NCI/AVN04015

Seller: Wide Span Sheds Pty Ltd  
Name: Nicholas James  
Phone: 07 3657 8892  
Fax:  
Email: nicholas.james@sheds.com.au



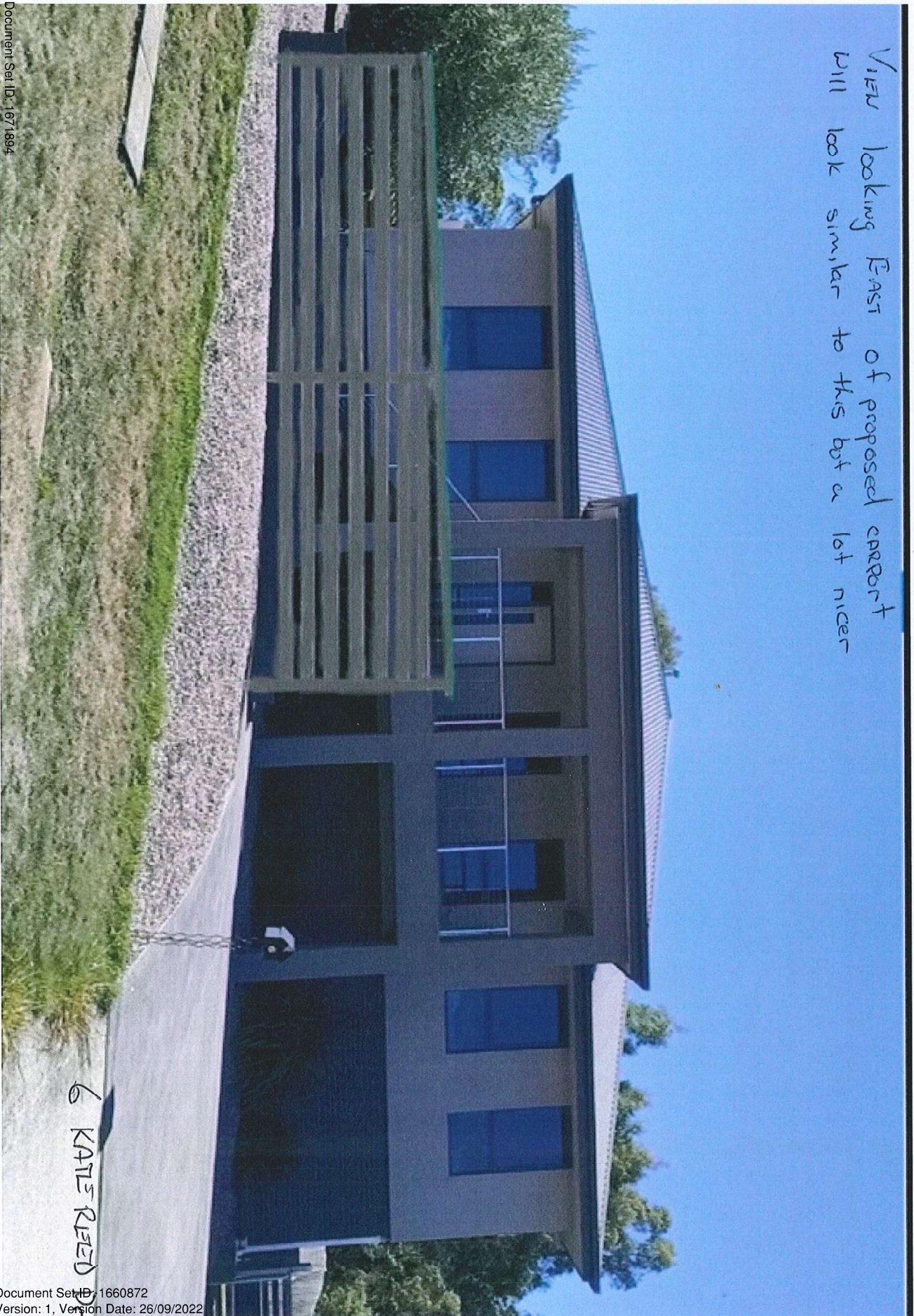
Wide Span Sheds  
No Compromise Steel Building Solutions

## Steel Kit Carport Layout

Document Set ID: 1671894  
Version: 1, Version Date: 24/10/2022

12.1.3 Application Documents

View looking East of proposed carport  
will look similar to this but a lot nicer

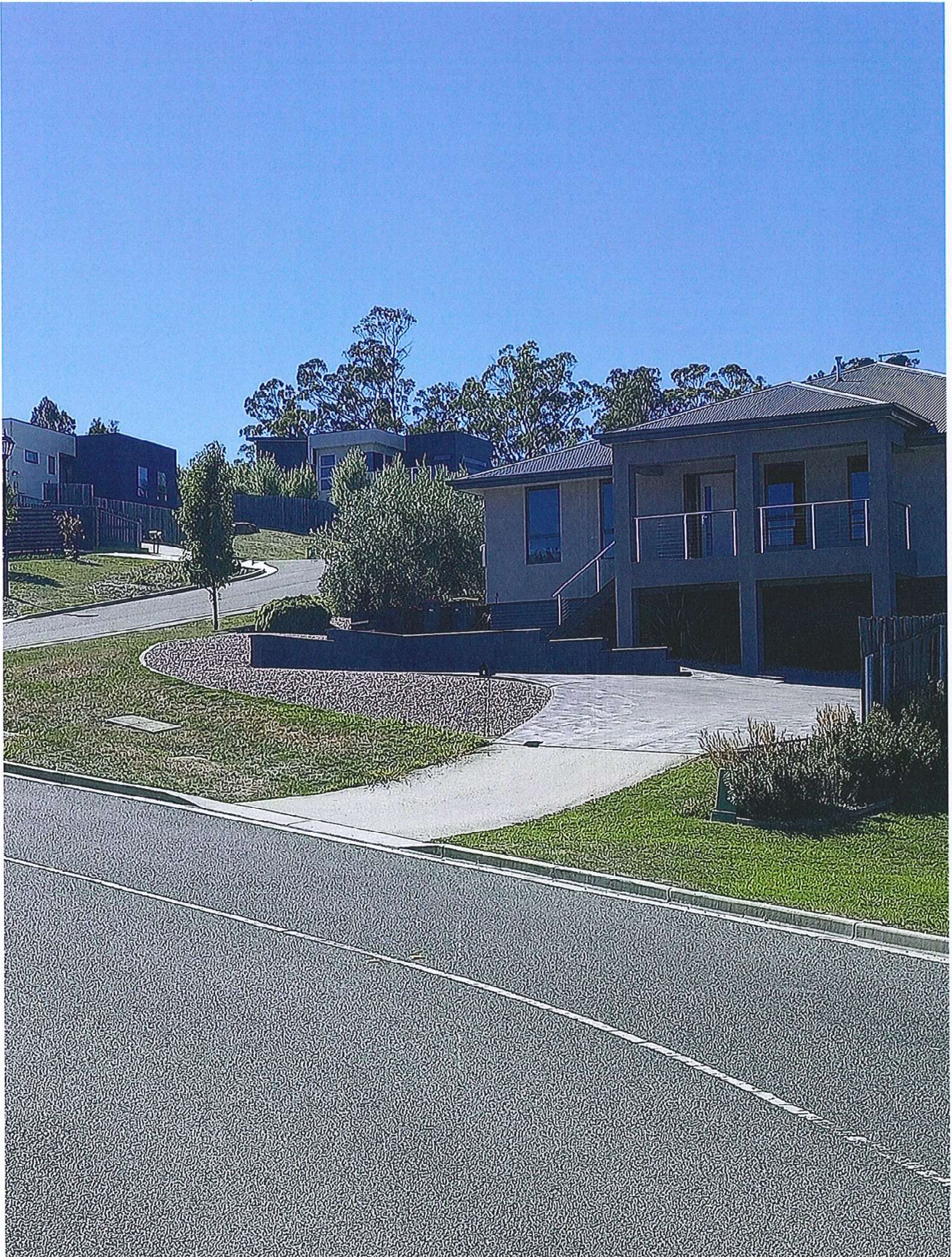


Document Set ID: 1671894  
Version: 1, Version Date: 24/10/2022

6 KATIE REED

Document Set ID: 1660872  
Version: 1, Version Date: 26/09/2022

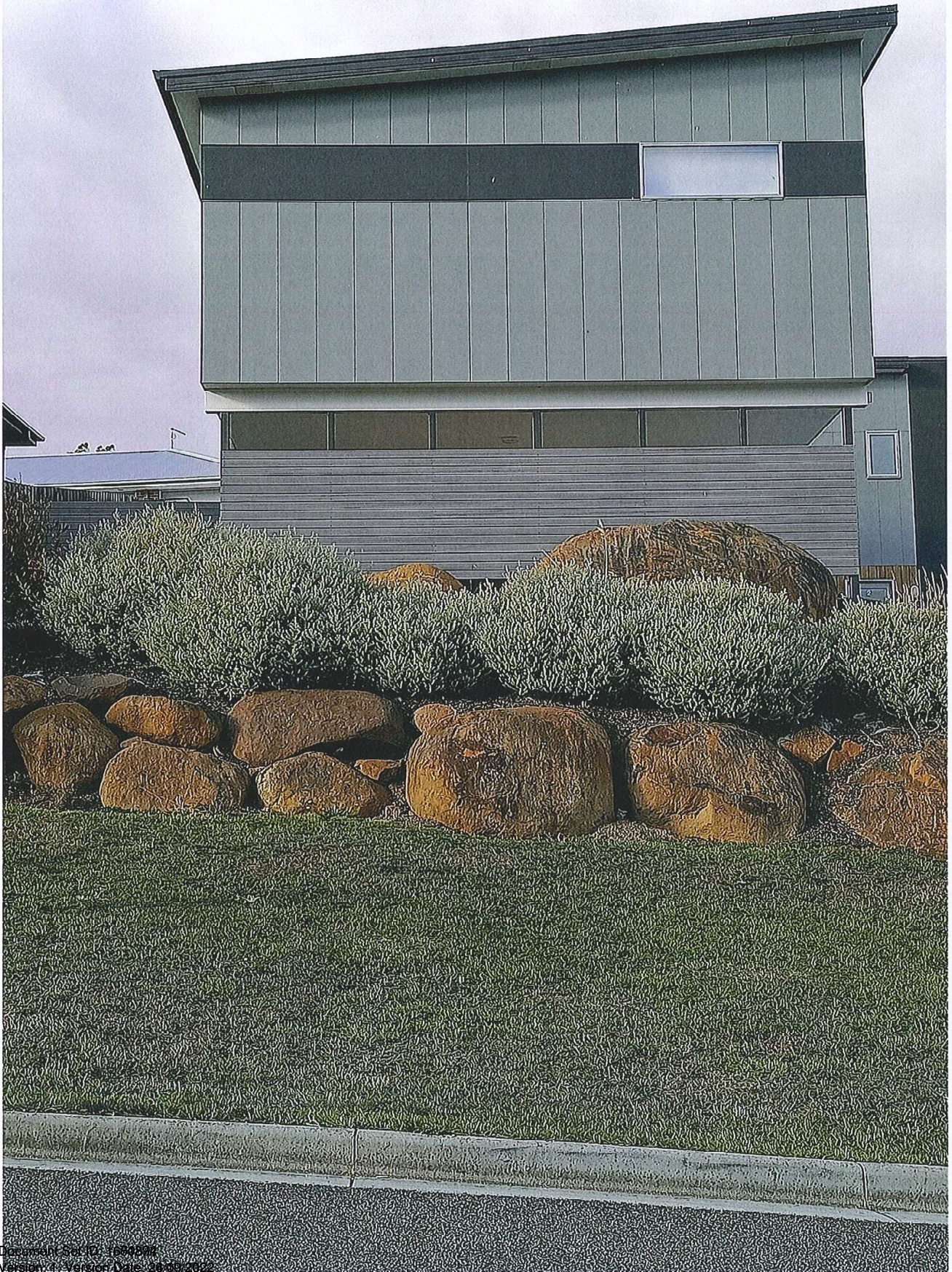
6 KATE REED DRIVE



Document Set ID: 1660892  
Version: 1, Version Date: 28/09/2022



Similar Parking area in Kate Reed Drive



Document Set ID: 1694282  
Version 4 - Version Date: 26/09/2022

## Planning Authority Reports

### 8 Bonney Street, Deloraine

<b>Proposal</b>	Single Dwelling (Secondary Residence)	
<b>Report Authors</b>	Matthew Abell Graduate Town Planner	Natasha Whiteley Team Leader Town Planning
<b>Authorised by</b>	Krista Palfreyman Director Development & Regulatory Services	
<b>Application reference</b>	PA\23\0043	
<b>Decision due</b>	13 December 2022	
<b>Decision sought</b>	It is recommended that Council approves this application. See section titled "Planner's Recommendation" for further details.	

### Applicant's Proposal

<b>Applicant</b>	W Noktabaek
<b>Property</b>	8 Bonney Street, Deloraine (CT's: 32319/3 & 23876/2)
<b>Description</b>	The applicant seeks planning permission for a secondary residence to be constructed to the rear of the existing dwelling.  Documents submitted by the Applicant are attached, titled "Application Documents".



Figure 1: Aerial Photo identifying the subject property and adjoining land.

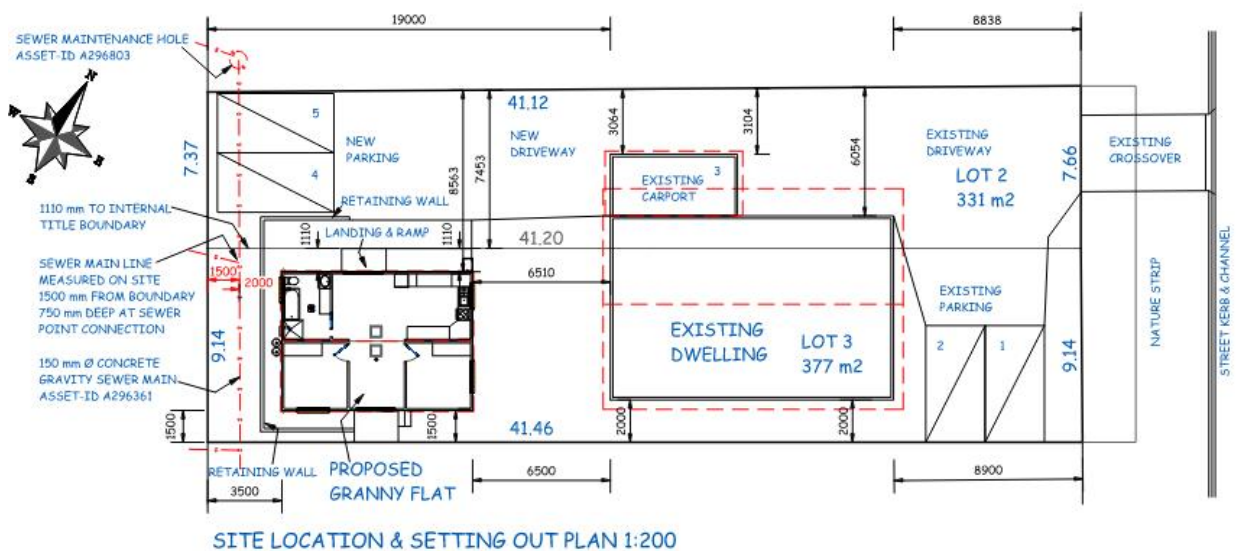


Figure 2: Site plan showing the proposed Secondary Residence.

## Planner's Report

**Planning Scheme** Tasmanian Planning Scheme – Meander Valley (“the Scheme”)

**Zoning** General Residential

**Applicable Overlays** Nil

**Existing Land Use** Single Dwelling

**Summary of Planner's** Generally, a single dwelling (secondary residence) is classed

**Assessment** as No Permit Required in this zone (General Residential).

**Discretions** For this application, one discretion is triggered. This means Council has discretion to approve or refuse the application based on its assessment of:

8.4.2 P3 Setback and building envelope for all dwellings.

Before exercising a discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

See attachment titled "Planner's Advice - Performance Criteria" for further discussion.

**Performance Criteria & Applicable Standards** This proposal is assessed as satisfying the relevant Performance Criteria and compliant with all Applicable Standards of the Scheme.

See attachments titled "Planner's Advice – Performance Criteria" and "Planner's Advice – Applicable Standards" for further discussion.

**Public Response** Five responses ("representations") were received from the public.

See attachment titled "Public Response – Summary of Representations" for further information, including the planner's advice given in response.

**Agency Consultation** The application was referred to TasWater. TasWater has advised that a submission to Planning Authority Notice is not required.

**Internal Referrals** *Infrastructure Services*

No conditions or notes are applicable.

## Planner's Recommendation to Council

The planner's recommendation, based on a professional assessment of the planning application and its compliance with the Planning Scheme, is set out below.

Council must note the qualified advice received before making any decision, then ensure that reasons for its decision are based on the Planning Scheme. Reasons for the decision are also published in the minutes.

For further information, see *Local Government Act 1993, s65, Local Government (Meeting Procedures) Regulations 2015, s25(2)* and *Land Use and Approvals Act 1993, s57*.

## Recommendation

This application by W Noktabaek for a Single Dwelling (Secondary Residence) on land located at 8 Bonney Street, Deloraine (CT's: 32319/3 & 23876/2) is recommended for approval generally in accordance with the Endorsed Plans, and recommended Permit Conditions and Notes.

## Endorsed Plan

1. Weeda Drafting & Building Consultants Pty Ltd; Dated: 02/11/22; Drawing No.: 11522; Sheets: 1-5.

## Permit Conditions

No conditions recommended.

## Permit Notes

1. Any other proposed development or use (including amendments to this proposal) may require separate planning approval. For further information, contact Council.
2. This permit takes effect after:
  - a. The 14-day appeal period expires; or
  - b. Any appeal to the Tasmanian Civil & Administrative Tribunal (TASCAT) is determined or abandoned; or
  - c. Any other required approvals under this or any other Act are granted.
3. Planning appeals can be lodged with TASCAT Registrar within 14 days of Council serving notice of its decision on the applicant. For further information, visit the TASCAT website.

4. This permit is valid for two years only from the date of approval. It will lapse if the development is not substantially commenced. Council has discretion to grant an extension by request.
5. All permits issued by the permit authority are public documents. Members of the public may view this permit (including the endorsed documents) at the Council Office on request.
6. If any Aboriginal relics are uncovered during works:
  - a. All works to cease within delineated area, sufficient to protect unearthed or possible relics from destruction;
  - b. Presence of a relic must be reported to Aboriginal Heritage Tasmania; and
  - c. Relevant approval processes for state and federal government agencies will apply.

### Attachments

1. Public Response - Summary of Representations [12.2.1 - 7 pages]
2. Public Response 1 - K Lockett [12.2.2 - 1 page]
3. Public Response 2 - G Clifford [12.2.3 - 1 page]
4. Public Response 3 - T Kasper & B Whittle [12.2.4 - 3 pages]
5. Public Response 4 - D Solway [12.2.5 - 1 page]
6. Public Response 5 - G Oliver [12.2.6 - 3 pages]
7. Planner's Advice - Applicable Standards [12.2.7 - 16 pages]
8. Planner's Advice - Performance Criteria [12.2.8 - 12 pages]
9. Application Documents [12.2.9 - 10 pages]

### Public Response

#### Summary of Representations

A summary of concerns raised by the public about this planning application is provided below. Four representations were received during the advertised period. One representation (Representation 5) was submitted on 15 September 2022 being outside the advertising period. Council's Planning Authority has determined to accept this as a representation in accordance with section 57(5) of the *Land Use Planning and Approvals Act 1993*.

This summary is an overview only and should be read in conjunction with the full responses (see attached). In some instances, personal information may be redacted from individual responses.

Council offers any person who has submitted a formal representation the opportunity to speak about it before a decision is made at the Council Meeting.

#### Representation 1

**Name** K Lockett

**Concern**

- a) *There have been many boarders (fruit pickers) staying in the house. The unit will be for the owners to live in to free up the main residence for boarders. The number of people living there is not an issue. The representor is concerned about the cars blocking Bonney Street.*
- b) *In fruit picking season there are around 4 to 6 cars along the street with at least 2 or 3 in the front yard of 8 Bonney Street. Some people are not able to access their driveway as cars are blocking the access.*
- c) *There are a few children living along this street now and the number of cars coming and going just from 8 Bonney Street is dangerous.*
- d) *There is a caravan in the backyard which someone is also living in.*
- e) *The representors concern isn't with the numerous people living in the residence, it is the cars which block the street and make using the skinny road very difficult. If the owner were to build another housing unit, the road would be extremely uncomfortable to use and some residence will be unable to access their own yards.*

## 12.2.1 Public Response - Summary Of Representations

### Representation 2

**Name** G Clifford

- Concern**
- a) *8 Bonney is a private residence being used to provide lodging for itinerant fruit pickers. This has led to considerable ill-feeling because of the traffic congestion caused by numerous parked cars in a narrow street. Residents of the street have difficulty getting out of their own driveways.*
  - b) *On many occasions the representor has observed 9 cars parked across the road due to the lodgers. The secondary residence will be used to provide for further lodgers, and thus more cars.*
  - c) *There are little children in this small, quiet, narrow street, and their safety is paramount.*

### Representation 3

**Name** T Kasper & B Whittle

- Concern**
- a) *As per email correspondence with Meander Valley Council's Team Leader, Engineering, attached and dated 21 August 2021, the residents of Bonney Street were invited to add their viewpoints to concerns raised around the ongoing issue of congestion and dangers created by inappropriate parking in Bonney Street. Suggestions were made by Meander Valley Council to try and resolve this issue but as yet we have not seen any action or heard any further.*
  - b) *The owner of 8 Bonney Street has offered lodging to Seasonal Workers for rent for many years now. The representor assumes that this new build will open up the opportunity to offer more rental space at the property. The current residence at 8 Bonney Street is listed as a 3 bedroom home, the addition of this proposed new dwelling will make it a 5 bedroom property with no provision for extra on site car parking. The representor is concerned that this will have the potential to create even more parking congestion than there is, and has long been, out the front of this property and also increase the dangers posed by such.*
  - c) *Bonney Street is a very narrow street, that does not have a footpath for pedestrians. When cars are inappropriately parked (which is often the case), it makes it very difficult for the representors neighbours to access their driveways, it impedes the safe flow of traffic and poses dangers for the many young children who live in this street, as well as for the pedestrians who frequently use this street as a way to walk to the Train Park.*



## 12.2.1 Public Response - Summary Of Representations

### Representation 4

**Name** D Solway

- Concern**
- a) *The representor wants to voice their disapproval of a new dwelling being built in the backyard at 8 Bonney Street Deloraine. This is because the residence is being used as an accommodation business and has been for the last 5 or 6 years with up to 8 guests staying there at a time. All guests have cars which are parked all down the street which is very narrow and has quite a few young children in it. The Council has had several complaints about this in the past with nothing done. This new building will only add to the problem with the owner having more rooms for more guests.*
  - b) *The representor questions if approval has been granted for an accommodation business being operated out of 8 Bonney Street. The representor does not recall ever seeing a planning notice for that business. If a planning notice cannot be provided, the representor requests Council to investigate how the owner got permission for that business.*

### Representation 5

**Name** G Oliver

- Concern**
- a) *The representor would ordinarily not oppose a person's right to develop on their own property but in this circumstance, experience as a homeowner diagonally opposite the subject property has provided a reason to be worried about impact of the proposed development in regard to street parking. On many occasions, the representor has observed 9 cars parked across the road due to lodgers. The secondary residence will be used to provide for further lodgers and thus more cars. There are little children in this small, quiet, narrow street, and their safety is paramount.*
  - b) *There have been times when the representor has not been able to swing into their driveway due to cars being parked opposite their driveway which in a wider street would not affect the representor, but Bonney Street is quite narrow.*
  - c) *The representor has asked the homeowner to ask the renters not to park there. The representor has felt quite frustrated when during the busy harvest season they have had to approach Bonney Street from the river end when returning from work, knowing full well that they will not be able to swing into their driveway if coming from Parsonage Street which is the*

## 12.2.1 Public Response - Summary Of Representations

*shortest, most direct route for the representor.*

- d) *The representor is concerned regarding the purpose of the proposed development as experience has shown that the homeowner of number 8 is taking in as many Harvest workers as she can. The representor has seen advertisements over the past years with photographs of the bedrooms made by creating divisions within the house to accommodate them. The representor has no issue with the Harvesters/Boarders at all but from experience this proposal is to create even more space to be rented out.*
- e) *The representor feels that Bonney Street is not an appropriate location for an accommodation business where adequate parking cannot be provided.*

### Planner's response to a summary of representations

The representations for this planning application have raised similar matters and concerns. As such the representations have been themed into areas of concern and a response is provided to each theme below.

#### Concern

*The use of the existing dwelling providing accommodation for boarders (fruit pickers) and the proposed secondary residence providing for more boarders.*

Representations: 1, 2, 3, 4 & 5

#### Planner's response

The existing dwelling at 8 Bonney Street has three bedrooms. The applicant has advised Council that they intend to live in the secondary residence. This will enable the main dwelling to be used by four people (one couple and two singles). The applicant has advised that people who live in the dwelling stay for six months. There are no formal agreements between the owner and people staying at the property.

The use of the main residence is not considered 'Visitor Accommodation' as per the definition of the Scheme. This is because Visitor Accommodation is for short to medium-term accommodation. Whilst the Scheme does not define what short to medium-term accommodation is, it is widely accepted that three months, as stipulated in the *Building Act 2016* Director's Determination, is the extent for short to medium-term accommodation.

The definition of Visitor Accommodation in the Scheme is:

## 12.2.1 Public Response - Summary Of Representations

*'Use of land for providing short or medium-term accommodation for persons away from their normal place of residence on a commercial basis or otherwise available to the general public at no cost. Examples include a backpackers hostel, camping and caravan park, holiday cabin, motel, overnight camping area, residential hotel and serviced apartment complex'.*

Given the property is used for a longer-term residential use by the people who are staying, the use of the main residences is considered a dwelling. The Scheme defines a 'Dwelling' as:

*'A building, or part of a building, used as a self-contained residence and which includes food preparation facilities, a bath or shower, laundry facilities, a toilet and sink, and any outbuilding and works normally forming part of a dwelling.'*

More specifically, the dwelling can be defined as a 'Single Dwelling' which is defined in the Scheme as:

*'A dwelling on a lot on which no other dwelling, other than a secondary residence, is situated'.*

As such the proposed development is considered a 'Secondary Residence' because it complies with the following definition:

*'An additional residence which is self-contained and:*

- (a) has a gross floor area not more than 60m<sup>2</sup>;*
- (b) is appurtenant to a single dwelling;*
- (c) shares with the single dwelling access and parking, and water, sewerage, gas, electricity and telecommunications connections and meters; and*
- (d) may include laundry facilities'.*

A Single Dwelling, including a Secondary Residence is listed as No Permit Required in the Use Table in the General Residential Zone. This means that if all the applicable standards of the Scheme are complied with, a Planning Permit is not required to be issued. However, the proposed Secondary Residence does not comply with all the standards of the Scheme and relies on the assessment against the Performance Criteria. As such a Planning Permit must be granted to enable the proposal to progress.

No additional planning approval is required to share the dwelling with various parties. The property acts as a dwelling by providing longer-term residential housing.

It is considered that a commercial business such as visitor accommodation is not occurring at the property given the length of stay of occupants. However, it is noted that if the duration of stay at the property is reduced to a short to medium-term, and the owner or occupier are using the property as their main place of residence, then it is likely that the Visitor Accommodation exemption in the Scheme could be applied. This

## 12.2.1 Public Response - Summary Of Representations

means, that a Planning Permit would not be required for Visitor Accommodation, subject to assessment by Council's Planning Authority.

### **Concern**

*Increased need for on-street car parking as a result of the proposed Secondary Residence.*

Representations: 1, 2, 3, 4 & 5

### **Planner's response**

The Scheme requires a Residential use that provides a two or more bedroom dwelling in the General Residential Zone to provide two carparking spaces per dwelling.

The proposed secondary residence does not increase the need for parking on-site as per the requirements of the Scheme (noting the definition of Dwelling above).

However, in response to the representations that were received to this proposal, a request for additional information was sent to the applicant. This requested the existing parking arrangements on-site to be shown on the site plan. The amended plans that were submitted by the applicant, and subsequently forwarded to the representors, demonstrate that there are 5 informal car parking spaces available on-site for parking.

The proposal does not rely on on-street carparking as the parking requirements (2 spaces) of the Scheme can be achieved on-site. The proposal complies with the Acceptable Solution of Clause C2.5.1 of the Parking and Sustainable Transport Code.

### **Concern**

*Parking and Road Safety within Bonney Street.*

Representations: 1, 2, 3, 4, 5

### **Planner's response**

All representations raised concerns about cars being parked along Bonney Street. As a result of inappropriate parking in Bonney Street, access to properties has been restricted as property owners are unable to enter or exit their property. The safety of Bonney Street for pedestrians and children has also been raised.

As explained above, the proposal achieves compliance with the on-site parking requirements as stipulated in the Scheme. The application does not propose any on-street car parking. The use of the existing vehicle access to the subject site will also not

## 12.2.1 Public Response - Summary Of Representations

increase to more than 40 vehicle movements per day. A dwelling is considered to have 9 vehicle movements per day. Therefore, the application complies with the relevant Acceptable Solution of Clause C3.5.1 of the Road and Assets Code. As such, there is no requirement to request a Traffic Impact Assessment as part of the assessment of the application. There are also no applicable provisions in the Scheme that apply regarding road safety and traffic.

As such, the matters regarding the use of Bonney Street cannot be considered as part of the assessment of the application against the Planning Scheme.

Council's Infrastructure Department has provided the following comments regarding the application and Bonney Street:

*'Council's Infrastructure Department notes that the acceptable solution is met regarding on-site parking. However, in addition to this and noting previous concerns from members of the public regarding parking in Bonney Street, Council Officers are preparing a parking plan which will be distributed to residences and property owners for comment. It is expected that this concept parking plan will be ready for consultation in early 2023. The timing for implementation of any parking restrictions within Bonney Street will be dependent on the responses from the community on the proposed plan.'*

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**Note:** The planning application was advertised in a local newspaper and on Council's website for a statutory period of 14 days from 27 August 2022 to 12 September 2022. The property was also signposted.

## 12.2.2 Public Response 1 - K Lockett

**From:** [REDACTED]  
**Sent:** Tue, 30 Aug 2022 11:15:18 +1000  
**To:** "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>; "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>  
**Subject:** 8 Bonney street Deloraine

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

To whom it may concern,

I am writing to voice my concerns on the planned unit being built behind the main residence of 8 Bonney Street Deloraine. I have lived in Bonney Street for 7 years now and during that time the owner Ms W. Noktabaek has had many borders (fruit pickers) staying in her house. Last year she told me she was hoping to build a unit in her backyard so she and her partner could live in, to then free up the main residence for more borders.

The number of people living there isn't the issue, it is the cars blocking up our already very small street.

In fruit picking season she averages around 4 to 6 cars along the street with at least 2 or 3 in her front yard. My across the road neighbourhood isn't able to get into her driveway. There are a few children living along this street now and the number of cars coming and going just from that residence is dangerous.

She also has a caravan in the backyard in which someone is living in. Said caravan was on the street of over a week before it was forcibly moved into her backyard.

Again, my concern isn't with the numerous people living in the residence, it is the cars in which block our street and make using the skinny road very difficult. If she were to build another housing unit, the road would be extremely uncomfortable to use and some residence will be unable to access their own yards.

A number of us on the street really don't want this to happen and you will be hearing from all of us before the 12th of September. Please consider the size on this street and that there is no parking for the resistance as it is let alone more.

We did voice our concerns earlier in the year and nothing happened. I was told she wouldn't be able to build due to the parking, I am hoping this hasn't changed.

I can be contacted on [REDACTED]

Looking forward to hearing for you,

Kind regards,

Kimberlee Lockett

## 12.2.3 Public Response 2 - G Clifford

**From:** [REDACTED]  
**Sent:** Thursday, 1 September 2022 3:28 PM  
**To:** [REDACTED]  
**Subject:** Re: mail@mvc.tas.gov.au

Hullo Jenny , we were in touch on the phone a moment ago . Could you please forward the following email to Mathew in Planning ?. Mathew , further to our phone conversation the other day about a pending application for a secondary residence at 8 Bonney st , Deloraine . I live [REDACTED] . 8 Bonney is a private residence being used to provide lodging for itinerant fruit pickers . This has lead to considerable ill-feeling because of the traffic congestion caused by numerous parked cars in a narrow street . Residents of the street have difficulty getting out of their own driveways . On many occasions I have observed 9 cars parked across the road due to lodgers . The secondary residence will be used to provide for further lodgers , and thus more cars . Finally , there are little children in this small , quiet , narrow street , and their safety is paramount . Gary Clifford [REDACTED]

## 12.2.4 Public Response 3 - T Kasper & B Whittle

**From:** [REDACTED]  
**Sent:** Fri, 2 Sep 2022 16:56:30 +1000  
**To:** "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>  
**Subject:** Planning Application: PA\23\0043

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

To Whom It May Concern,

We are writing in regard to the Planning Application: PA\23\0043

Applicant: W Noktabaek

Property Address: 8 Bonney Street DELORAINE (CT's: 32319/3 & 23876/2)

Proposal: Secondary residence - setback.

We would like to express our concern about the potential for further issues regarding on-street parking in Bonney Street as a result of this planning application.

As per email correspondence with Meander Valley Council Team Leader of Engineering, Jarred Allan, attached below and dated 21 August 2021, the residents of Bonney street were invited to add their view points to concerns raised around the ongoing issue of congestion and dangers created by inappropriate parking in Bonney street.

As per the email attached, suggestions were made by MVC to try and resolve this issue but as yet we have not seen any action or heard any further.

The owner of 8 Bonney street has offered lodging to Seasonal Workers for rent for many years now and so we are assuming that this new build will open up the opportunity to offer more rental space at the property. The current residence at 8 Bonney street is listed as a 3 bedroom home, the addition of this proposed new dwelling will make it a 5 bedroom property with no provision for extra on site car parking. We are concerned that this will have the potential to create even more parking congestion than there is, and has long been, out the front of this property and also increase the dangers posed by such.

Bonney street is a very narrow street, that does not have a foot path for pedestrians. When cars are inappropriately parked (which is often the case), it makes it very difficult for my neighbours to access their driveways, it impedes the safe flow of traffic and poses dangers for the many young children who live in this street, as well as for the pedestrians who frequently use this street as a way to walk to the Train Park.

We welcome the opportunity to discuss this with you further as we would like to have this issue resolved and as the planning application is presented now we are currently opposed to it going ahead. We are happy to be contacted on our mobile numbers listed below.

Sincerely,

Tess Kasper - [REDACTED]

Ben whittle - [REDACTED]  
[REDACTED]

Begin forwarded message:

**From:** [REDACTED]  
**Subject: RE: Bonney Street, Deloraine on-street parking**  
**Date:** 23 Aug 2021 at 2:01 pm  
**To:** [REDACTED]



## 12.2.4 Public Response 3 - T Kasper & B Whittle

Hi Tess,

Thanks for your feedback. No issues regarding deadline, it was more to try and encourage people to get there responses in within a reasonable time frame so we can keep it moving. We will put this with the other comments we have received and come up with a plan that will hopefully appease most if not all residences. We will undertake more consultation prior to implementing any actions.

Just a couple of initial comments / responses to your points. The Church has offered up the very solution you have raised, however we (Council) think that a more physical solution is warranted, for example line marking / signage etc. Our experiences with relying on the dancer's parents is it is likely to be something we have to chase up / re-inform on a regular basis as new parents come in or it's raining so they just want to be as close as possible or they just "forget".

Feel free to contact me if you have any other concerns or comments.

Thanks again,



Jarred Allen, Team Leader Engineering

P: [REDACTED] E: [REDACTED]

26 Lyall Street Westbury, TAS 7303 | PO Box 102, Westbury Tasmania 7303

[www.meander.tas.gov.au](http://www.meander.tas.gov.au)

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**From:** [REDACTED]  
**Sent:** Monday, 23 August 2021 9:47 AM  
**To:** Meander Valley Council Email  
**Subject:** Bonney Street, Deloraine on-street parking

## 12.2.4 Public Response 3 - T Kasper & B Whittle

Dear Jarred,

Thank you for providing us with the opportunity to voice our concerns regarding the issue of On-Street Parking in Bonney street, Deloraine. My apologies this email is late, I hope my concerns and suggestions can still be acknowledged.

I have two issues I wish to raise.

The first being the number of cars that drop off and pick up young dancing students from the Baptist Church from the side entrance in Bonney Street. This issue is at its peak during Dance lessons held there on Thursdays after school - but also Monday and Friday afternoons and occasionally on the weekends. At the height of this issue there can be up to 10 cars parked on both sides of our narrow street from the West Parade end all the way up to number 3 and 4 Bonney street. This creates two dangerous issues - the thoroughfare of local traffic trying to drive through the street space and into our private driveways without 'swiping' or damaging these parked cars is a real issue. I am also greatly concerned about the safety of the young children that cross our street before and after their dance class - often in excitement and inattention - when visibility for safely crossing is compromised by the congestion of the parked cars either side of the road.

This issue could be solved simply by the Baptist Church making a statement to the Dance Class Teachers who rent their building to run their classes- that there is not to be any parking of cars in Bonney street, that it is not appropriate for dance students to be picked up and dropped off in Bonney street - instead inviting them to make use of the more than ample car spaces available at the Train Park in West Parade. Perhaps Meander valley Council could also consider erecting signage for Bonney street as being for 'Local Traffic Only'.

The second issue with On Street Parking in Bonney Street stems from the multiple cars parked out the front of 8 Bonney street.

The owner of this house has invited 'boarders' to stay at her residence - all of whom park their vehicles out the front of this house when not at work on the weekends and outside of business hours during the week. These cars are often parked inappropriately in the street, blocking safe driveway access for my neighbours, and also blocking safe passage for vehicles to travel down the street. On approx. 3 occasions I have had to reverse back down Bonney street - turn around - and exit Bonney street from the other end as passing by the congestion created by these inappropriately parked cars has been too risky.

I am of the understand that my neighbours have tried to address this issue with the owner of 8 Bonney street on numerous occasions and nothing has changed. I would like the Meander Valley Council to please speak of our concerns on our behalf with the owner of this property as this issue is ongoing - and her spoken plans of creating more 'living space' and invite more 'boarders' to stay at her residence will only escalate this issue further.

I look forward to hearing your thoughts and suggestions,

With thanks and kind regards,

Tess Kasper



## 12.2.5 Public Response 4 - D Solway

**From:** [REDACTED]  
**Sent:** Thu, 8 Sep 2022 21:35:24 +1000  
**To:** "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>  
**Subject:** proposed new dwelling for number 8 Bonney st Deloraine

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

To whom it may concern, Im sending this email to voice my disapproval to a new dwelling being built in the backyard at 8 Bonney st Deloraine because this residence is being used as an accommodation business and has been for the last 5 or 6 years with up to 8 guests staying there at a time with all of them having a car which are parked all down the street which is very narrow and has quite a few young children in it, the council has had several complaints about this in the past with nothing done , this new building will only add to the already problem with the owner having more rooms for more guests. while on the subject of the accommodation business being operated out of 8 Bonney st I don't recall ever seeing a planning notice for that business so I would like to see a copy of that and if the council can not supply one I would like council to investigate how the owner got permission for that business. Thanking you Darren Solway [REDACTED]

## 12.2.6 Public Response 5 - G Oliver

### Matthew Abell

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**From:** [REDACTED]  
**Sent:** Thursday, 15 September 2022 8:08 AM  
**To:** Meander Valley Council Email  
**Subject:** Planning Application for number 8 Bonney St

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Good morning, following my conversation with Matthew from Planning, I would like to formally submit my response/concerns regarding the Planning application submitted to Council by the homeowner of number 8 Bonney St. Deloraine.

Please note that I ordinarily would not oppose a persons' right to for development on their own property but in this circumstance, experience as a homeowner diagonally opposite the above address in Bonney St. has given me reason to be worried of the impact of the proposed development in regard to street parking.

There have been times when I have not been able to swing into my driveway due to cars being parked opposite my driveway which in a wider street would not affect me but Bonney St. as you are aware is quite narrow. I have politely asked the homeowner to ask her renters' not to park there, I have felt quite frustrated when during the busy Harvest season I have had to approach Bonney St. from the river end when I am returning from work ,knowing full well that I will not be able to swing into my driveway if coming from Parsonage st. which is the shortest, most direct route home for me as I travel into Deloraine from the northern end of town.

This leads me to my concern regarding the purpose of the proposed development as experience has shown that the homeowner of number 8 is taking in as many Harvest workers as she can. I have seen her advertisements over the past years with photographs of the bedrooms she has made by creating divisions within her house to accommodate them. I have absolutely no issue with the Harvesters/Boarders at all but experience tells me that this proposal is to create even more space to be rented out.

I feel that Bonney St. is not an appropriate location for an accommodation business where adequate parking cannot be provided.

I am surrounded by such lovely neighbours who have all been so incredibly patient as we have seen this situation escalate over time and worry about the impact on our street with each approaching summer harvesting season.

I thank you for the opportunity to respond and look forward to any resolution the Council may provide regarding this long standing problem of parking in Bonney St.

Sincere Regards

Gail Oliver [REDACTED]  
[REDACTED]

## 12.2.6 Public Response 5 - G Oliver

### Matthew Abell

---

**From:** [REDACTED]  
**Sent:** Thursday, 15 September 2022 8:14 AM  
**To:** Meander Valley Council Email  
**Subject:** Fwd: Bonney Street, Deloraine on-street parking

Caution: This email came from outside of MVC - only open links and attachments you're expecting.

Please find this supporting email sent to Council by invitation approximately 1 year ago, in regard to Parking in Bonney St. Deloraine

Sincere Regards  
Gail Oliver  
[REDACTED]

----- Forwarded message -----  
[REDACTED]

Date: Wed, Aug 25, 2021 at 5:47 AM  
Subject: Bonney Street, Deloraine on-street parking  
To: <[mail@mvc.tas.gov.au](mailto:mail@mvc.tas.gov.au)>

I would like to respond to the letter sent by council regarding the above subject and hope that I am not too late for consideration. I bought my property and have lived at number 5 for almost six. There have been two main concerns with parking on our relatively narrow street that has increased the frustrations of the residents of Bonney St. over the past few years who until recently have been silent and I believe, very patient indeed.

1. The users of the church hall at the river end of Bonney St. often park on both sides of the road when dropping off and picking up children for dance classes and other activities. It is potentially quite dangerous to turn on to our street and then to brake when you realise you cannot fit between the parked cars as there could be traffic directly behind. Many times there have been people standing on the road talking to someone parked there. I feel some no standing signs are actually necessary to avoid accidents, especially with young children who may run out from the church hall behind parked cars to cross the road, of course the residents are aware of the potential hazards and drive slowly here but there are motorists that drive quickly around this corner and have to brake suddenly, I would hate to see someone, especially a child hit by a car.

2. The second issue relates to a house being used as a share house for seasonal workers and the amount of cars parked that restrict access to our own properties. I live diagonally opposite number 8 and have had cars parked directly opposite my single driveway and have literally not been able to swing in or drive out and had to go and ask for the car to be moved. In the past I had politely asked the property owner to please ask her boarders' to keep my access clear.

When it is the busier harvest season' I have to drive down the main street of Deloraine and come up from the river end of Bonney St. because I know that I won't be able to swing into my driveway from the northern end of my street which is a much shorter distance home into Bonney from Parsonage St. I approach Deloraine from the northern end of town when driving home from work.

I have also observed cars having to reverse back down Bonney St. as they cannot continue through if there is a car parked on both sides of the St.

I do not believe our lovely street is suitable for such a business that does not have adequate parking for an accommodation facility .

The residents of Bonney St. have been silent and very patient over this issue but It has become quite evident and upsetting that our neighbour has shown such a disregard and lack of consideration for the other residents. I am

## 12.2.6 Public Response 5 - G Oliver

expecting that this situation will only get worse as the owner of this property has spoken about erecting another building in the backyard of the property.

I am also concerned about the quality of the living conditions for those paying rent there, I have on many occasions heard the smoke detector activated in the space under the house and In past years I have seen these poor boarders' cleaning their teeth and washing dishes in a sink set up outside at night in very cold conditions ( I think that has been removed now). Although it is quieter now there is definitely a pattern where there will be more congestion in the warmer months when harvesting begins again.

I thank you for your letter and Councils interest and willingness to address these issues that affect the residents of Bonney St., I have, at times, felt like selling my property because of the above issue that has changed and impacted on our otherwise lovely Bonney St.,

Sincerest Regards

Gail Oliver  
[REDACTED]

## Planner's Advice: Applicable Standards

### Background

The proposal is for a Secondary Residence at 8 Bonney Street, Deloraine. The subject site contains two titles identified as CT: 23876/2 and CT: 32319/3 and has a total combined area of 708m<sup>2</sup>. The land slopes upwards from Bonney Street to the rear of the property. The subject site contains an existing dwelling.

Figure 1 provides an aerial photo of the subject property and adjoining land. The adjoining properties contain single dwellings with associated residential outbuildings.



Figure 1: Aerial Photo identifying the subject property and adjoining land.

The subject site is within the General Residential Zone (red) and the properties to the South-west of the subject site are within the General Business Zone (blue) as shown in Figure 2 below.

## 12.2.7 Planner's Advice - Applicable Standards



Figure 2: Zoning map of the subject site and the surrounding area.

The proposed secondary residence will contain; two bedrooms, an open-plan kitchen/dining/lounge room and a bathroom. The proposed secondary residence will have a maximum gross floor area of 58.75m<sup>2</sup> and a maximum height of 4.61m. The proposal will be positioned 5.5m behind the existing dwelling. The secondary residence will be setback 1.5m from the south-eastern side boundary, 4.52m from the rear boundary, and 1.10m from the internal boundary of Lot 2 of 8 Bonney Street (CT: 2875/2). The proposal meets the definition of a secondary residence. In Table 3.1 of the Scheme a Secondary Residence means the following:

*"An additional residence that is self-contained and:*

- a) has a gross floor area not more than 60m<sup>2</sup>;*
- b) is appurtenant to a single dwelling;*
- c) shares with the single dwelling access and parking, and water, sewerage, gas, electricity and telecommunications connections and meters; and*
- d) may include laundry facilities."*

Figure 3 and 4 below show the site plan and elevations of the proposed Secondary Residence. Figure 5 and 6 below are photos showing the location of the proposed development.



## 12.2.7 Planner's Advice - Applicable Standards

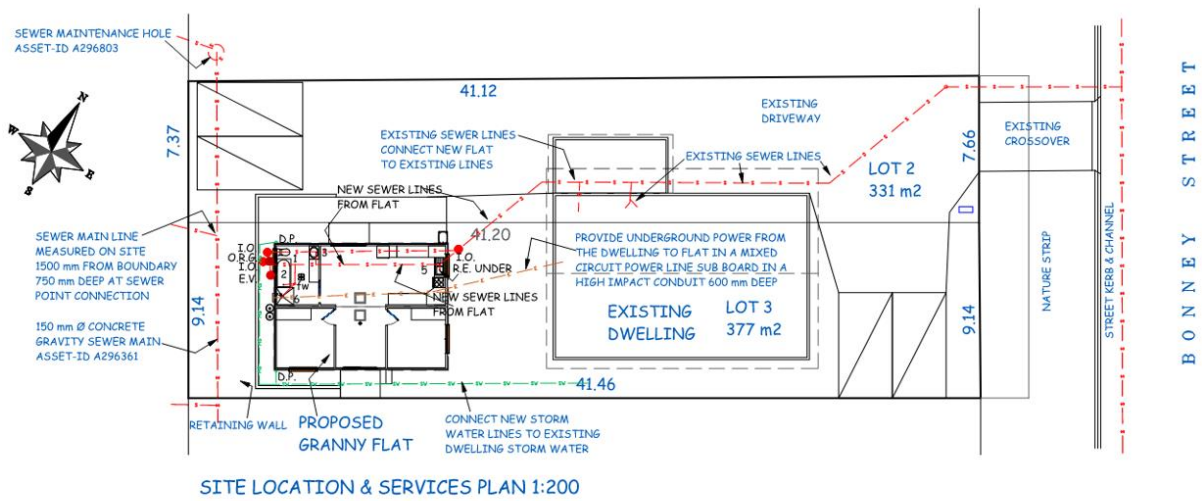


Figure 3: Site plan of the proposed development.

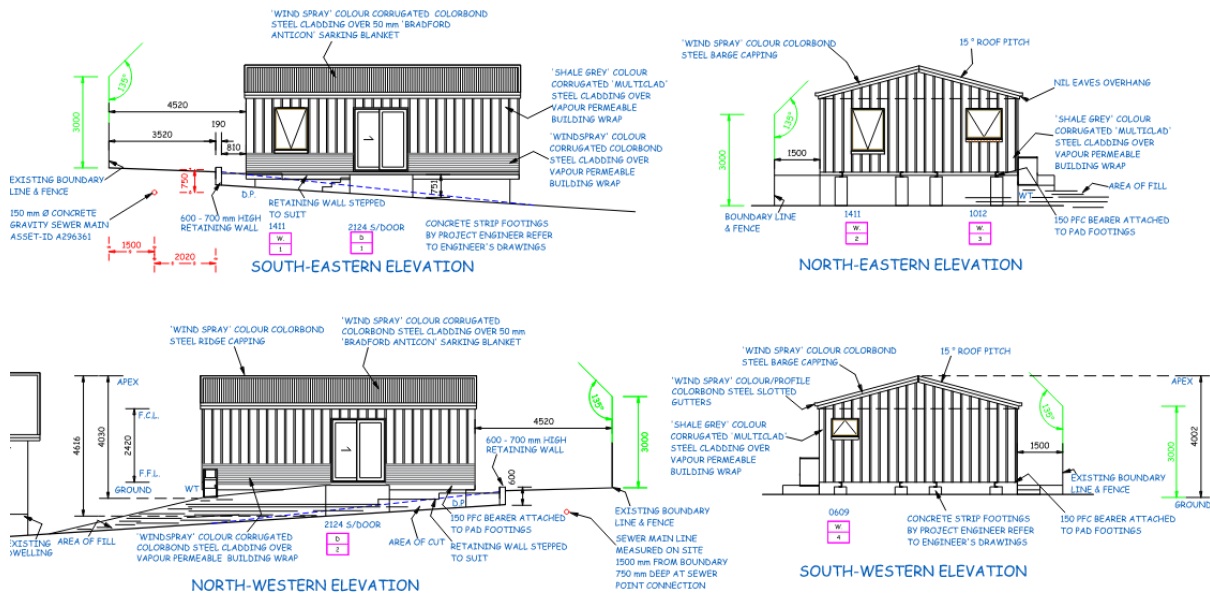


Figure 4: Elevation plans of the proposed development.

12.2.7 Planner's Advice - Applicable Standards



Figure 5: Photo of the location of the proposed Secondary Residence.



Figure 6: Photo of the location of the proposed Secondary Residence.

## 12.2.7 Planner's Advice - Applicable Standards

### Summary of Planner's Advice

This application was assessed against General Provisions Standards, as well as the Applicable Standards for this Zone, any relevant Codes and Specific Area Plans.

All Standards applied in this assessment are taken from the Planning Scheme.

This application is assessed as compliant with the relevant Acceptable Solutions, except where "*Relies on Performance Criteria*" is indicated (see tables below).

Council has discretion to approve or refuse the application based on its assessment of the Performance Criteria, where they apply. Before exercising discretion, Council must consider the relevant Performance Criteria, as set out in the Planning Scheme.

For a more detailed discussion of any aspects of this application reliant on Performance Criteria, see the attachment titled "Planner's Advice - Performance Criteria".

### 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
8.3.1	<i>Discretionary Uses</i>	
A1 – A4	The proposal is for a secondary residence for a single dwelling that fits within the residential use class. Residential use for a single dwelling including a secondary residence is a no permit required use in the General Residential Zone. Therefore, Clause 8.3.1 does not apply to this proposed development as the proposal is not a discretionary use.	Not Applicable
8.3.2	<i>Visitor Accommodation</i>	
A1	The proposal is for a secondary residence for a single dwelling which fits within the residential use class. Therefore, the proposal does not involve any visitor accommodation use which means Clause 8.3.2 does not apply to this planning application.	Not Applicable

## 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
8.4.1	<i>Residential density for multiple dwellings</i>	
A1	The proposed development is for a secondary residence for an existing single dwelling. The proposal fits the definition of a single dwelling as described in Table 3.1 of this planning scheme which a single dwelling 'means a dwelling on a lot on which no other dwelling, other than a secondary residence, is situated.' Therefore, this planning scheme interprets a secondary residence as a part of a single dwelling and is not classified as multiple dwellings. Therefore, development standards for multiple dwellings do not apply to this application.	Not Applicable
8.4.2	<i>Setbacks and building envelope for all dwellings</i>	
A1	The proposed development will be positioned behind the existing single dwelling on site. The proposed development will be setback approximately 25m from the primary frontage (boundary adjoining the road). Therefore, the proposal complies with the setback requirement of 4.5m from the primary frontage and thus fulfills the requirements of this provision.	Complies
A2	The proposed development is for a secondary residence. The proposal does not involve a carport or a garage which means this provision does not apply to this application.	Not Applicable
A3	The secondary residence will be wholly located on CT: 32319/3, being the south-eastern title. A retaining wall of 600mm to 700mm in height that will retain cut is also proposed and will be located across both titles of 8 Bonney Street.	<b>Relies on Performance Criteria</b>

## 8.0 General Residential Zone

**Scheme  
Standard****Planner's Assessment****Assessed  
Outcome**

The secondary residence will have a maximum building height of 4.61m from existing ground level. Note the location of the secondary residence has already been cut. The existing ground level is considered the natural ground level as shown on the elevation plans, in accordance with the definition of existing ground level in the Scheme.

The secondary residence will have the following setbacks as shown in Table 1 below.

Boundary	Setback Distance
North-western side boundary of CT: 32319/3	1.10m
South-eastern side boundary	1.5m
South-western rear boundary	4.52m

*Table 1: Setbacks of the proposed secondary residence from title boundary of CT: 32319/3.*

It is demonstrated that the secondary residence is contained within the building envelope, refer to Figure 7 and Figure 8 below. As such the secondary residence complies with (a).

8.0 General Residential Zone

Scheme Standard

Planner's Assessment

Assessed Outcome

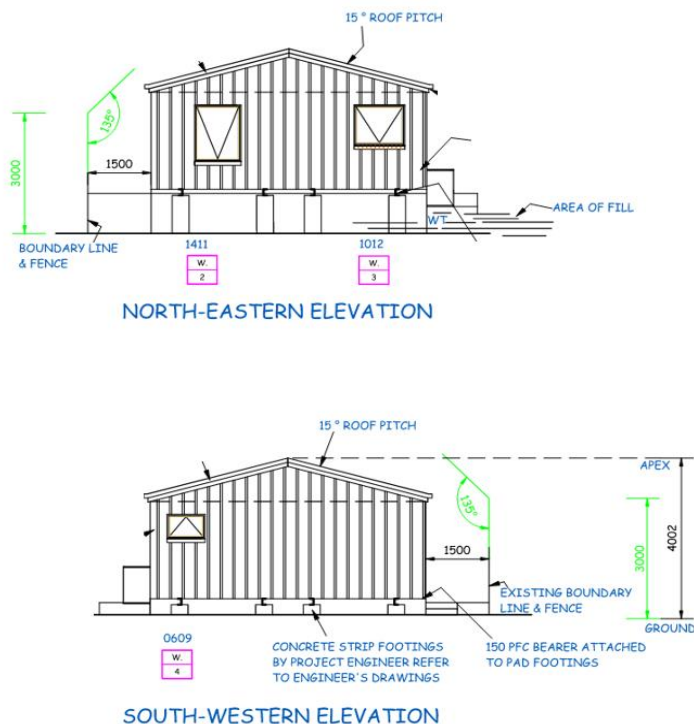


Figure 7: Elevation plans showing the north-eastern and south-western elevation of the proposed development.

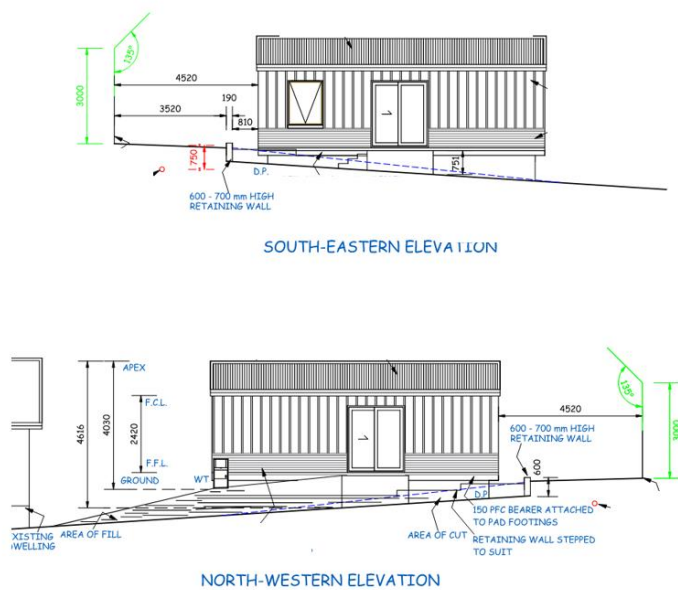


Figure 8: Elevation plans showing the south-eastern and north-western elevation of the proposed development.

## 8.0 General Residential Zone

**Scheme  
Standard****Planner's Assessment****Assessed  
Outcome**

However, the secondary residence is not able to comply with (b) due to its 1.1m setback from the North-western side boundary of CT: 32319/3. The secondary residence is not able to rely on b(i) as there is no existing building on the adjoining lot (CT: 23876/2 of 8 Bonney Street). The secondary residence does not comply with b(ii) as the site has a total length of buildings and structures that is more than 9m in length within 1.5m of the title boundary.

While the proposed secondary residence has a length of 9m when combined with the existing single dwelling it will have a length of approximately 22.85m which exceeds the maximum length requirement. Therefore, the proposed development does not comply with (b)(ii) and the proposal relies on the performance criteria for Clause 8.4.2 P3.

The retaining wall will have the following setbacks as shown in Table 2 below. Note the wall is located on both titles of 8 Bonney Street.

Boundary	Setback Distance
South-eastern side boundary of CT: 23876/2	1.10m
South-eastern side boundary of CT:32319/3	0.5m
South-western rear boundary	3.52m

*Table 2: Setbacks of the proposed retaining from title boundaries.*

The retaining wall which will retain cut, will be contained within the building envelope required at (a). It will rely on the Performance criteria as (b)(ii) can not be complied with. The combined length of wall for buildings and structures (existing dwelling and retaining wall) within 1.5m

## 8.0 General Residential Zone

Scheme  
Standard

## Planner's Assessment

Assessed  
Outcome

of a boundary will exceed 9m in length.

## 8.4.3 Site coverage and private open space for all dwellings

- A1 The proposed development will have a site coverage of approximately 27.24% for both lots and 41.05% for Lot 3 as demonstrated in Table 3 below. The proposed development has total coverage of less than 50% and will comply with (a). Additionally, as the proposed development is not a multiple dwelling, (b) does not apply to this application.
- Complies

Building	Area
Proposed Secondary Residence	58.77m <sup>2</sup>
Existing dwelling	116.58m <sup>2</sup>
Existing carport	17.56m <sup>2</sup>
Lot 2	331m <sup>2</sup>
Lot 3	377m <sup>2</sup>
Subject site	708m <sup>2</sup>
Total site coverage	192.91m <sup>2</sup>
Total site coverage on Lot 3	41.05%
Total site coverage percentage for both lots	27.24%

Table 3: Area of buildings and percentage of the site coverage.

Therefore, the proposal is able to comply with the acceptable solution for Clause 8.4.3 A1.



**8.0 General Residential Zone**

**Scheme Standard**

**Planner's Assessment**

**Assessed Outcome**

A2 The applicant did not show where the private open space is located on-site. However, Figure 9 below, demonstrates there is a sufficient area of land that can be used for the private open space.

Complies

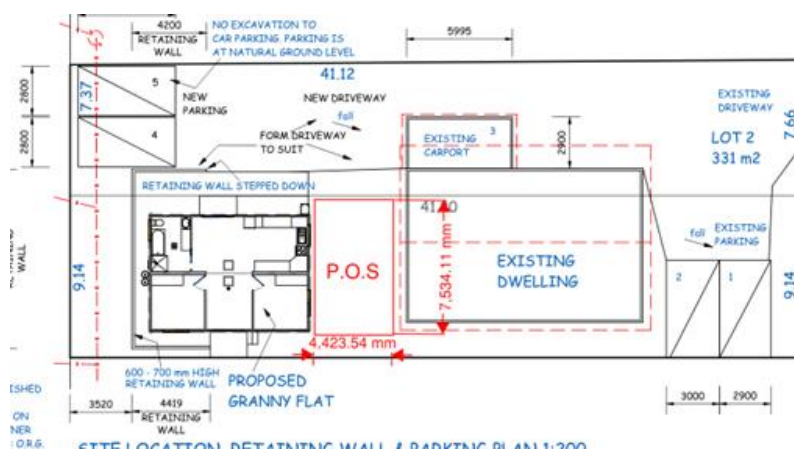


Figure 9: Location of the private open space (P.O.S) on the subject site.

The private open space will have an area of approximately 33m<sup>2</sup> which is greater than 24m<sup>2</sup> and complies with (a). The private open space area will have a length of approximately 7.5m and a width of approximately 4.4m which is greater than 4m in length which complies with (b). The private open space is located behind the existing single dwelling so (c) is not applicable as the private open space is not between the frontage and the dwelling. The proposal will involve some fill on the area where the private open space is generally level. The fill that will be within the private open space area will not result in the gradient of the area being steeper than 1 in 10 (10%) which complies with (d).

Overall, the proposed development will ensure there is an area for private open space that is able to comply with the acceptable solution for Clause 8.4.3 A2.

## 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
8.4.4	<i>Sunlight to private open space of multiple dwellings</i>	
A1	As this planning scheme interprets a secondary residence is part of a single dwelling, it is not classified as multiple dwellings. Therefore, development standards for multiple dwellings do not apply to this application.	Not Applicable
8.4.5	<i>Width of openings for garages and carports for all dwellings</i>	
A1	The proposed development is for a secondary residence and does not involve a carport or a garage. Therefore, Clause 8.4.5 does not apply to this application.	Not Applicable
8.4.6	<i>Privacy for all dwellings</i>	
A1	The proposed development does not involve a balcony, deck, roof terrace, parking space, or carport. Therefore, this provision does not apply to this application.	Not Applicable
A2	The proposed development does not involve a glazed door to a habitable room of a dwelling, that has a floor level more than 1m above the existing ground level. The elevation plans demonstrate that the floor level has a height less than 1m from the existing ground level on the south-eastern elevation, north-western elevation and south-western elevation. Therefore, this provision does not apply to those windows and doors as the floor level is less than 1m in high from the existing ground level.  However, at the north-eastern elevation the floor level that floor level is approximately 1m high and there are two windows to habitable rooms (kitchen and bed 1). However, the windows face the north-eastern side of the property, towards the front boundary. Therefore, the windows on	Complies

## 8.0 General Residential Zone

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
	<p>the north-eastern elevation will have a setback greater than 4m from the rear and side boundaries thus complying with the setback requirement for (a) (i) and (ii). As the proposal is a secondary residence (iii) and (iv) do not apply to this application, as the proposal is not for multiple dwellings.</p> <p>The proposal is able to satisfy (a) thus complying with the acceptable solution.</p>	
A3	As this planning scheme interprets a secondary residence are part of a single dwelling, it is not classified as multiple dwellings. Therefore, development standards for multiple dwellings do not apply to this application.	Not Applicable
<hr/>		
8.4.7	<i>Frontage fences for all dwellings</i>	
A1	The proposed development does not involve any fencing. Therefore, Clause 8.4.7 does not apply to this application.	Not Applicable
<hr/>		
8.4.8	<i>Waste Storage for multiple dwellings</i>	
A1	As this planning scheme interprets a secondary residence are part of a single dwelling, it is not classified as multiple dwellings. Therefore, development standards for multiple dwellings do not apply to this application.	Not Applicable
<hr/>		

## C2.0 Parking and Sustainable Transport Code

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
<i>C2.5.1</i>	<i>Car Parking Numbers</i>	
A1	<p>The proposal is for residential use as the proposed development is a secondary residence to a single dwelling. In Table C2.1 in this Code, residential uses for dwellings with 2 or more bedrooms are required to provide two car parking spaces. As the proposed secondary residence is a part of a single dwelling there is a requirement to have the minimum two car parking spaces on-site. The plans submitted show that there are 5 car parking spaces on-site. Therefore, more than 2 car parking spaces are provided for on-site complying with the Acceptable Solution.</p>	Complies
<i>C2.6.1</i>	<i>Construction of parking areas</i>	
A1	<p>The proposed development will not change the existing surface materials for the parking spaces and driveway. Additionally, due to the slope of the property, the stormwater will be able to be gravity fed into the public stormwater on Bonney Street. Overall, the proposal will be able to satisfy the requirements of this provision</p>	Complies
<i>C2.6.2</i>	<i>Design and layout of parking areas</i>	
A1	<p>The proposed parking, access way, manoeuvring and circulation area will be as follows with respect to (a):</p> <ul style="list-style-type: none"> <li>(i) Complies – The driveway and parking spaces gradient is not more than 25% (1 in 4) thus meeting this provision.</li> <li>(ii) Complies – the internal driveway and circulation area will allow vehicles to enter and</li> </ul>	Complies

C2.0 Parking and Sustainable Transport Code

*Scheme Standard*

**Planner's Assessment**

**Assessed Outcome**

- exit the site in a forward direction.
- (iii) Complies - there are no changes to the existing driveway. However, there is still sufficient width of the 3.06m which satisfies the requirements in Table C2.2 which requires at least a width of 3m for access that services the car parking spaces at the rear of the property (car parking spaces No. 4 and 5).
  - (iv) Complies – the new car parking spaces will satisfy the requirements in Table C2.3 as the width of car parking spaces ranges from 3m to 2.9m which is greater than the 2.3m width in Table C2.3.
  - (v) Complies – the new car parking spaces will satisfy the requirement in Table C2.3 as the proposed new car parking spaces will be able to combine access and manoeuvring width of at least 3.6m.
  - (vi) Not applicable – the new car parking spaces will not be in a building.
  - (vii) Not applicable – the proposal is for a secondary residence for an existing single dwelling. Therefore, there is no requirement to provide delineated the car parking spaces

As the proposal satisfies the standards in (a), (b) is not applicable to this application.

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C2.6.3 *Number of accesses for vehicles*

A1 The subject site will still have one access for vehicles on site which complies with this provision.

Complies

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## 12.2.7 Planner's Advice - Applicable Standards

### C3.0 Road and Railway Assets Code

<i>Scheme Standard</i>	<b>Planner's Assessment</b>	<b>Assessed Outcome</b>
<i>C3.5.1</i>	<i>Traffic generation at a vehicle crossing, level crossing or new junction</i>	
A1.1	Bonney Street is not classified as a Category 1 road in the State Road Hierarchy.	Not Applicable
A1.2	The subject site already has an existing crossover for vehicle access. Therefore, there is no requirement for this application to get written consent from the Road Authority.	Not Applicable
A1.3	The proposed development does not involve a private level crossing over a railway line. Therefore, there is no requirement for this application to get written consent from the Rail Authority.	Not Applicable
A1.4	The proposed development is for a secondary residence to a single dwelling. A single dwelling is expected to generate 9 vehicle movements per day to and from the site. Under Table C3.1 of this Code, the maximum number of vehicle movements per day is 40 vehicle movements per day. Therefore, the proposal is well below the maximum amount thus complying with the requirement in table C3.1 of this code.	Complies
A1.5	Bonney street is not identified as a major road.	Not Applicable

## 8.0 General Residential Zone

### 8.4.2 Setbacks and building envelope for all dwellings

#### Objective

The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- (d) provides reasonable access to sunlight for existing solar energy installations.

#### Performance Criteria P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
  - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
  - (ii) overshadowing the private open space of a dwelling on an adjoining property;
  - (iii) overshadowing of an adjoining vacant property; and
  - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
  - (i) an adjoining property; or
  - (ii) another dwelling on the same site.

Planning Scheme Provision

### Summary of Planner's Advice

The development is assessed as satisfying Performance Criteria P3, and is consistent with the objective.

Details of the planner's assessment against the provision are set out below.

Scheme Provision	Planner's Assessment
<b>8.4.2 Performance</b>	The proposal will be contained within the building envelope which satisfies A3(a). The proposed development's setback for the secondary residence and retaining wall is unable to satisfy the requirements A3(b) due to its

## 12.2.8 Planner's Advice - Performance Criteria

<p><b>Criteria P3</b></p>	<p>setback from the north-western title boundary of CT: 32319/3.</p> <p>The setback for A3(b) requires that any development proposed to be setback less than 1.5m from a side boundary, has total length not exceeding 9m. While the proposed secondary residence has a length of 9m, when combined with the existing dwelling will have a total length of 22m. As the proposal will have a setback of 1.1m from the north-western side boundary of CT: 32319/3, it does not satisfy the requirements for A3(b).</p> <p>The proposal also involves the construction of a retaining wall to accommodate the secondary residence on-site. The proposed retaining wall will be constructed over the internal title boundary of 8 Bonney Street for CT: 23875/2 and CT: 32319/2 which does not satisfy the requirements of A3(b).</p> <p>Therefore, the proposed development relies on the performance criteria. An assessment has been made against the relevant provisions in the performance criteria below.</p>
<p><b>8.4.2 Performance Criteria P3(a)</b></p>	<p>The siting and scale of the proposed secondary residence and the retaining wall will not cause an unreasonable loss of amenity to adjoining properties due to the proposal satisfying the requirements of the following standards:</p>
<p><b>8.4.2 Performance Criteria P3 (a)(i)</b></p>	<p>The proposal is contained within the building envelope and complies with the setback requirements from the south-eastern side boundary shared with 6 Bonney Street and rear boundary shared with 13 and 15 West Barrack Street. Therefore, there is no requirement for the applicant to provide shadow diagrams for these standards.</p> <p>As the development will be less than 1.5m from the internal title boundary of 8 Bonney Street, the proposal will need to be assessed to ensure that there is no unreasonable overshadowing of CT: 101197/2 of 8 Bonney Street.</p> <p>Council's Town Planner has used a program (FindMyShadow.com) to identify the extent of overshadowing on the adjoining properties. It is important to note that the shadow diagrams are not to scale and is only to show approximately how the adjoining properties will be overshadowed by the proposed secondary residence. The shadow diagrams show approximately how the proposal will overshadow at 9am, 12pm, and 3pm on both the shortest day of the year (22<sup>nd</sup> June) and the longest day of the year (22<sup>nd</sup> December). It is noted that the shadow diagrams do not consider the proposed cut and fill that will occur on the property and the slope of the land. Therefore, the extent of shadows cast by the development may be less</p>



## 12.2.8 Planner's Advice - Performance Criteria

than or slightly greater than what is demonstrated in the shadow diagrams.

Figure 1 below shows the contours over an aerial photo. This demonstrates that the land falls in elevation from the rear boundary to the front boundary (Bonney Street).

Figures 2 to 7 below show the approximate extent of shadowing of the proposed development.

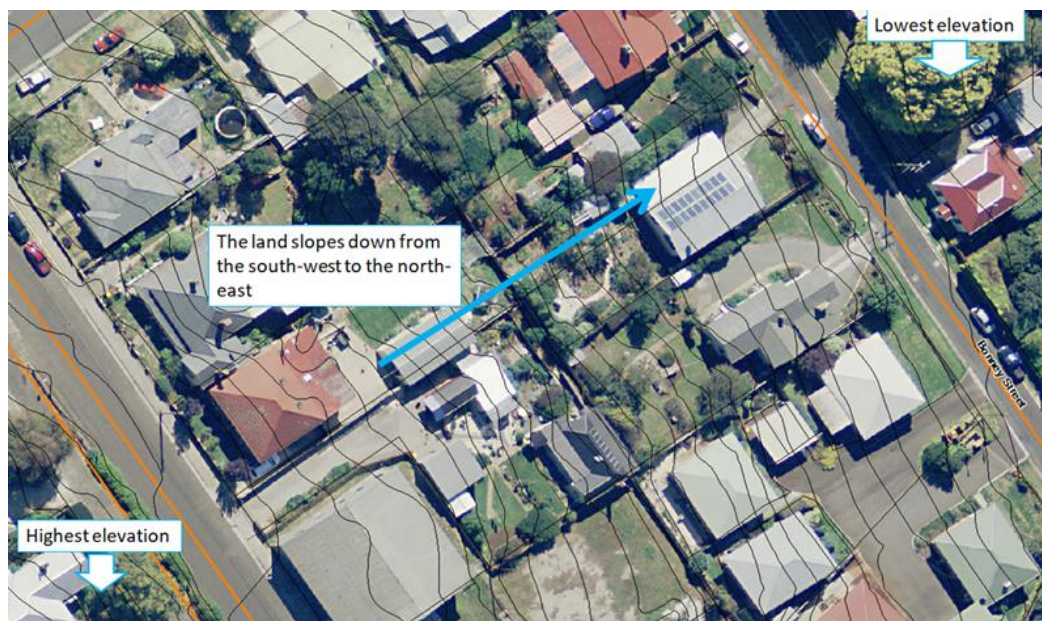


Figure 1: Aerial view showing the highest elevation and lowest elevation and slope of the land.



Figure 2: Shadow diagrams (not to scale) of the proposal at 9am on the 22<sup>nd</sup> June.

12.2.8 Planner's Advice - Performance Criteria



Figure 3: Shadow diagrams (not to scale) of the proposal at 9am on 22<sup>nd</sup> December.



Figure 4: Shadow diagrams (not to scale) of the proposal at 12pm on 22<sup>nd</sup> June.

## 12.2.8 Planner's Advice - Performance Criteria



Figure 5: Shadow diagrams (not to scale) of the proposal at 12pm on 22<sup>nd</sup> December.



Figure 6: Shadow diagrams (not to scale) of the proposal at 3pm on 22<sup>nd</sup> June.

## 12.2.8 Planner's Advice - Performance Criteria



Figure 7: Shadow diagrams (not to scale) of the proposal at 3pm on 22<sup>nd</sup> June.

The shadow diagrams demonstrate that on the shortest day, 22<sup>nd</sup> June, the proposal does not cause any overshadowing to CT: 101197/2 at 8 Bonney Street. The adjoining properties at 10 Bonney Street (CT: 23876/1) and 15 West Barrack Street (CT: 108071/1) are not impacted by overshadowing from the proposal.

The adjoining property at 13 West Barrack Street will receive some overshadowing in the morning at 9am on the 22<sup>nd</sup> June. However, as mentioned before, the shadow diagrams do not take into consideration the cut and gradient of the land as shown in Figure 8 below. Therefore, it is considered that the overshadowing to 13 West Barrack Street would be less. However, the proposal will only overshadow a garden shed, a residential outbuilding (garage/storage shed), and a small section of garden on the adjoining property which would have already been overshadowed by its own fence. Therefore, the proposal will not cause any overshadowing to a habitable room on the adjoining property at 13 West Barrack Street on the 22<sup>nd</sup> June Street and the rest of the year, which satisfies the requirements of P3(a)(i).

## 12.2.8 Planner's Advice - Performance Criteria



Figure 8: Photo showing the cut on site and the boundary fences.

The adjoining property at 6 Bonney Street will receive some overshadowing from the proposal between 12 pm and 3 pm on the 22<sup>nd</sup> June. As mentioned before, the shadow diagram does not take into consideration of the cut and gradient on site. However, the approximate shadow diagrams demonstrate that the proposal does not cause any overshadowing to a habitable room to the dwelling the adjoining property at 6 Bonney Street.

Overall, the shadow diagrams demonstrate the proposed secondary residence will not cause any overshadowing to a habitable room of a dwelling on the adjoining properties.

Therefore, the proposal satisfies the requirement of P3(a)(i).

### 8.4.2 Performance Criteria P3 (a)(ii)

The adjoining properties 10 Bonney Street and 15 West Barrack Street will not receive any overshadowing from the proposed development as demonstrated above.

The adjoining property at 13 West Barrack Street will receive some overshadowing from the proposal at 9am on 22<sup>nd</sup> June. The proposal is only shadowing approximately 60m<sup>2</sup> of land on 13 West Barrack Street at 9am on 22<sup>nd</sup> June. However, there is approximately 225m<sup>2</sup> of land that is able to be used as private open space by the occupants of the site. Refer to

## 12.2.8 Planner's Advice - Performance Criteria

Figure 9.

Therefore, the proposal's overshadowing of 13 West Barrack Street is considered reasonable as it is only causing overshadowing to approximately 26% of the private open space area in the morning at 9am on 22<sup>nd</sup> June and there is approximately 74% of the private open space area that will be free from overshadowing from the proposed development. It is noted that for the rest of the year the overshadowing from the proposal will be less than 22<sup>nd</sup> June, which means the private open space area will receive more sunlight thus reducing any shadowing impact from the development. Overall, the proposal does not cause any unreasonable overshadowing to the private open space area on 13 West Barrack Street.



Figure 9: Aerial view of 13 West Barrack Street (CT: 22413/1) showing the area to be overshadowed by the proposal.

The adjoining property at 6 Bonney Street will receive some overshadowing from the proposal. The proposal will overshadow 6 Bonney Street between 12pm to 3pm on 22<sup>nd</sup> June and a small amount of overshadowing at 3pm on 22<sup>nd</sup> December. Figures 10 and 11 show the approximate area of 6 Bonney Street that will be overshadowed by the proposal. At 12pm on 22<sup>nd</sup> June, the proposal will overshadow approximately 75m<sup>2</sup> of the private open space area at 6 Bonney Street, however, approximately 280m<sup>2</sup> will not be impacted by the proposal.

By 3pm on 22<sup>nd</sup> June the overshadowing will increase to cover approximately 120m<sup>2</sup> of private open at 6 Bonney Street. There will be

### 12.2.8 Planner's Advice - Performance Criteria

approximately 190m<sup>2</sup> of private open space area outside the extent of shadow cast from the proposed development. It is noted that the proposal will have a smaller shadow on other days of the year which reduce any shadowing impact from the development. Overall, the occupants at 6 Bonney Street will always have access to an adequate area of private open space that will not be impacted by overshadowing caused by the development and will be able to take advantage of sunlight.



Figure 10: Aerial view of 6 Bonney Street showing the area to be overshadowed at 12pm on 22<sup>nd</sup> June.

12.2.8 Planner's Advice - Performance Criteria



Figure 11: Aerial view of 6 Bonney Street showing the area to be overshadowed at 3pm on 22<sup>nd</sup> June.

The shadow diagrams show the approximate extent of the overshadowing the proposal will cause to the adjoining properties. It is considered the proposal will not cause any unreasonable overshadowing to the private open spaces on the adjoining properties.

Overall, the proposal satisfies the requirement of P3(a)(ii).

**8.4.2  
Performance  
Criteria P3  
(a)(iii)**

Not Applicable - The subject site does not adjoin a property that is vacant. Therefore, this standard does not apply to this proposal.

**8.4.2  
Performance  
Criteria P3  
(a)(iv)**


The proposed secondary residence is a single-story building with a maximum height of 4.6m and is of a bulk and scale that is consistent with the built form in the surrounding area. The proposed secondary residence will be partially obscured from the view from the adjoining properties by fencing. The proposed secondary residence will be compatible with the adjacent and adjoining properties and is not considered to create a visual impact.



## 12.2.8 Planner's Advice - Performance Criteria

<p><b>8.6.1</b> <b>Performance</b> <b>Criteria P3(b)</b></p>	<p>The location of the secondary residence and the retaining wall comply with the rear boundary setback requirements. The proposal will result in the repetition of an established development pattern in the surrounding area. Figure 12 below shows most properties within the surrounding area have buildings within 1m of a boundary. The proposed setbacks of the secondary residence will be consistent with the development of surrounding lots.</p>  <p><i>Figure 12: The subject site is a context of the surrounding area.</i></p> <p>Therefore, the proposal will be able to satisfy the requirements for P3(b).</p>
<p><b>8.6.1</b> <b>Performance</b> <b>Criteria P3(c)</b></p>	<p>From the aerial view, there are solar panels on the existing dwelling on the subject site and the adjoining property at 13 West Barrack Street. As demonstrated in the shadow diagrams above, the proposal will not reduce any sunlight on the solar panels.</p>

## 12.2.8 Planner's Advice - Performance Criteria

	 <p data-bbox="635 772 1248 801"><i>Figure 13: Aerial view showing the nearby solar panels.</i></p> <p data-bbox="411 840 1412 875">Therefore, the proposal will be able to satisfy the requirements for P3(c).</p>
<p data-bbox="194 949 384 1111"><b>8.6.1</b> <b>Performance</b> <b>Criteria P3</b> <b>Conclusion</b></p>	<p data-bbox="411 949 1474 1155">The proposed secondary residence and retaining wall will not cause an unreasonable loss of amenity to adjoining properties. The extent of overshadowing cast by the secondary residence will not cause an unreasonable loss of sunlight to habitable rooms of a dwelling and private open space areas on the adjoining properties.</p> <p data-bbox="411 1193 1474 1272">The proposed development satisfies the Performance Criteria and is considered consistent with the Objective.</p>

# APPLICATION FORM

## PLANNING PERMIT

**Land Use Planning and Approvals Act 1993**

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.



Meander Valley Council Working Together		
RECD	22 AUG 2022	MVC
Permits	SS	Dept. DBS
<b>OFFICE USE ONLY</b>		

Property No:	15102	Assessment No:	70 - 0700 - 0120
DA\	23/0070	PA\	23/0043
PC\	23/0009		

- Is your application the result of an illegal building work?  Yes  No
  - Have you already received a Planning Review for this proposal?  Yes  No
  - Is a new vehicle access or crossover required?  Yes  No
- Indicate by ✓ box

### PROPERTY DETAILS:

Address:	7 Bonney Street	Certificate of Title:	32319/23876
Suburb:	Deloraine 7304	Lot No:	3 / 2
Land area:	m <sup>2</sup> / ha		
Present use of land/building:	residential	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

### DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- |   |  |                                      |                                     |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry                 | <input type="checkbox"/> Other         |                                      |                                     |

Total cost of development (inclusive of GST):  Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building:  (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area:  m<sup>2</sup>      New building height:  m

Materials: External walls:  Colour:

Roof cladding:  Colour:

## 12.2.9 Application Documents



### RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



#### SEARCH OF TORRENS TITLE

VOLUME 23876	FOLIO 2
EDITION 5	DATE OF ISSUE 16-Dec-2019

SEARCH DATE : 28-Nov-2022

SEARCH TIME : 01.27 PM

#### DESCRIPTION OF LAND

Town of DELORAINÉ  
Lot 2 on Diagram 23876  
being the land described in Conveyance No. 63/3110  
Derivation : Part of 3 Acres (Section M) Granted to J. Bonney  
Prior CT 4400/92

#### SCHEDULE 1

M728770 TRANSFER to REBECCA NOKTABAG FARRELL and WASSANA  
NOKTABAEK Registered 16-Dec-2019 at 12.01 PM

#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: A right to go and repass through over and  
along the strip of land marked Road Widening on the  
said Diagram as the same is more particularly set  
forth in Conveyance No. 37/5910

#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## 12.2.9 Application Documents



### FOLIO PLAN RECORDER OF TITLES

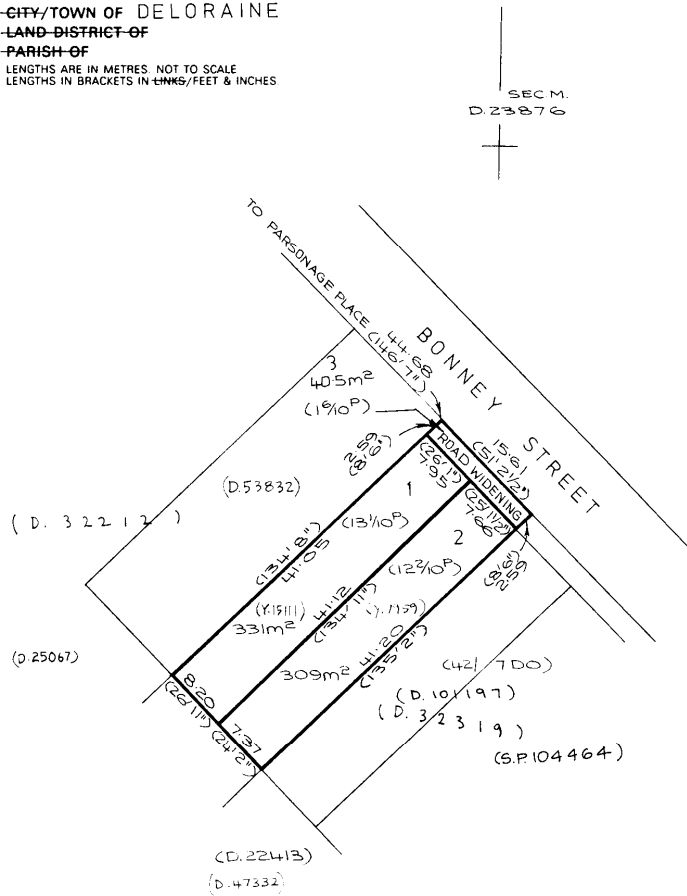
Issued Pursuant to the Land Titles Act 1980



APPROVED FROM 24 AUG 1984 <i>E. R. Thorp</i> RECORDER OF TITLES	<b>CONVERSION PLAN</b>	REGISTERED NUMBER <b>D. 23876</b>
FILE NUMBER	GRANTEE PART OF 3 <sup>A</sup> -0 <sup>R</sup> -0 <sup>P</sup> GTD. TO JOSEPH BONNEY (SEC.M.)	
	S.L. 21/8/84 <small>OS 4 2004</small>	

SKETCH BY WAY OF ILLUSTRATION ONLY

~~CITY/TOWN OF DELORAINÉ~~  
~~LAND DISTRICT OF~~  
~~PARISH OF~~  
LENGTHS ARE IN METRES. NOT TO SCALE  
LENGTHS IN BRACKETS IN CHMS/FEET & INCHES



## 12.2.9 Application Documents



### RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



#### SEARCH OF TORRENS TITLE

VOLUME 32319	FOLIO 3
EDITION 5	DATE OF ISSUE 16-Dec-2019

SEARCH DATE : 28-Nov-2022

SEARCH TIME : 01.27 PM

#### DESCRIPTION OF LAND

Town of DELORAINÉ  
Lot 3 on Diagram 32319  
being the land described in Conveyance No. 63/3110  
Derivation : Part of 3 Acres (Section M) Granted to J. Bonney  
Prior CT 4400/93

#### SCHEDULE 1

M728770 TRANSFER to REBECCA NOKTABAG FARRELL and WASSANA  
NOKTABAEK Registered 16-Dec-2019 at 12.01 PM

#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any

#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

12.2.9 Application Documents



**FOLIO PLAN**  
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

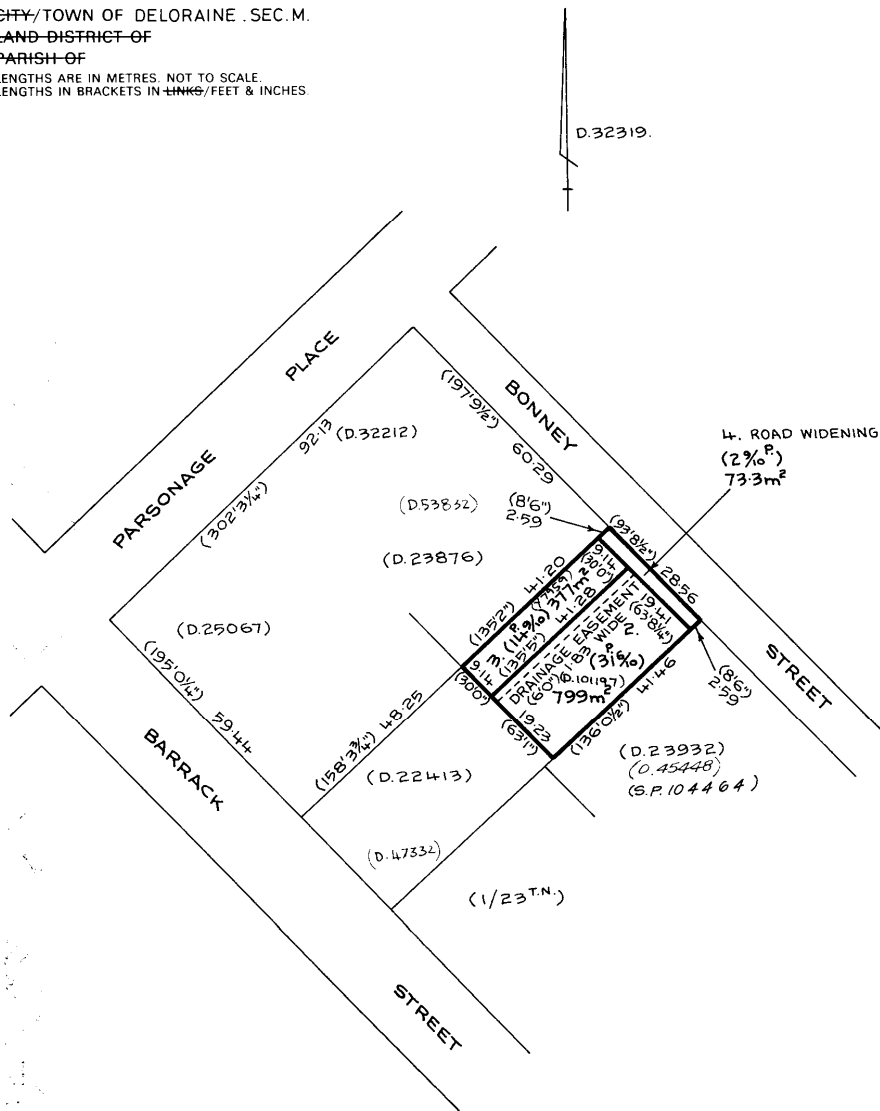


APPROVED: 25 SEP 1987 <i>[Signature]</i> RECORDER OF TITLES	<b>CONVERSION PLAN</b> CONVERTED FROM 42-7.D.O.	REGISTERED NUMBER <b>D.32319</b>
FILE NUMBER Y.7959.	GRANTEE PART OF 3-0-0 JOSEPH BONNEY.	DRAWN B. HILL. 27-8-87

05 \* 2062

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF DELORAINÉ . SEC. M.  
LAND DISTRICT OF  
PARISH OF  
LENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES



# PROPOSED 'TINY HOUSE TASWIDE Pty. Ltd. TRANSPORTABLE HOUSE AT 8 BONNEY STREET, DELORAINE FOR R.N. FARRELL & W. NOKTABAEK

NOVEMBER 2022

PROJECT No. 11522

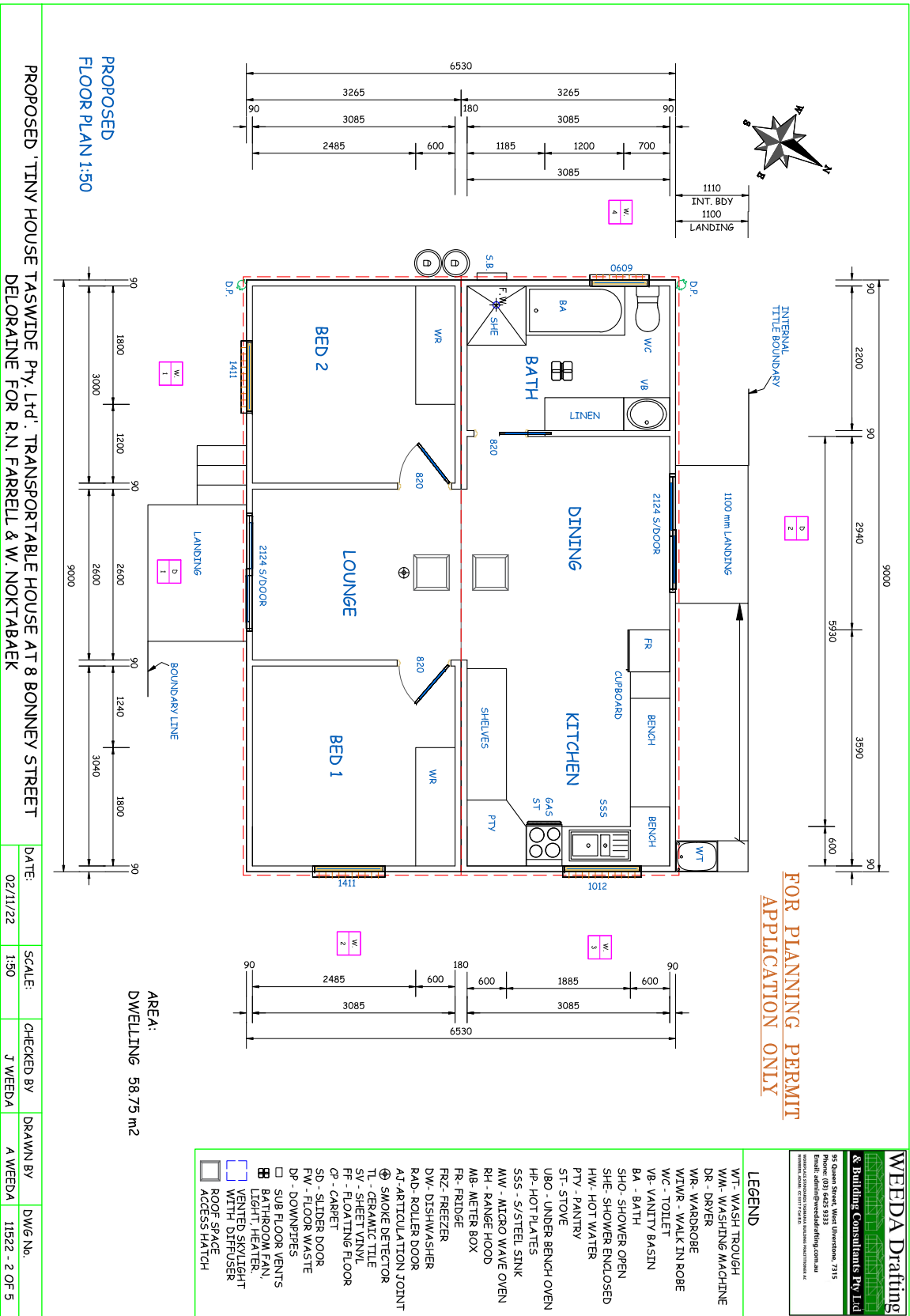
KNOWN SITE HAZARDS		UNDERGROUND SERVICES		WORKING AT HEIGHTS		RESTRICTION OF ACCESS TO PUBLIC	
REFER TO SAFETY SITE PLAN							
DISTRIBUTION	DRAFT	PLANNING APPROVAL	BUILDING APPROVAL	BUILDING SURVEYOR	TITLE HOLDER	BUILDER	
TITLE REFERENCE Volume 32319 Folio 3	DESIGN WIND SPEED 'N2'	SOIL CLASS. 'M'	BUILDING CLASS. 1(a)	CLIMATE ZONE SEVEN	ALPINE AREA NO	KNOWN SITE HAZARDS REFER TO SAFETY NOTES	
BUSHFIRE ATTACK LEVEL B.A.L. - LOW	AREAS DWELLING	58.75 m2					
TITLE PAGE	11522 - 1 OF 5						
FLOOR PLAN 1:50	11522 - 2 OF 5						
ELEVATIONS & NOTES	11522 - 3 OF 5						
CONTOURS & SOIL MANAGEMENT PLAN	11522 - 4 OF 5						
SITE LOCATION & SERVICES PLAN	11522 - 4 OF 5						
SITE LOCATION & PARKING PLAN	11522 - 5 OF 5						
SITE LOCATION & SETTING OUT PLAN	11522 - 5 OF 5						
PROPOSED 'TINY HOUSE TASWIDE Pty. Ltd.' TRANSPORTABLE HOUSE AT 8 BONNEY STREET DELORAINE FOR R.N. FARRELL & W. NOKTABAEK							
DATE:	02/11/22	SCALE:	1:100	CHECKED BY:	J WEEDA	DRAWN BY:	A WEEDA
						DWG No.	11522 - 1 OF 5

NOTE: THE BUILDING CONTRACTOR SHALL ENSURE THAT THE WHOLE SET OF DRAWINGS AND SUPPORTING DOCUMENTATION IS PASSED ONTO ALL SUB CONTRACTORS & SUPPLIERS PRIOR TO THOSE ENTITIES COMMENCING MANUFACTURING OR SUPPLYING MATERIALS FOR THE PROJECT. THESE ENTITIES COMMENCING MANUFACTURING OR SUPPLYING MATERIALS FOR THE PROJECT, MEDIA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. WILL NOT BE LIABLE FOR ANY ACTION IF THESE CONDITIONS ARE NOT FOLLOWED. IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS OR SUPPORTING DOCUMENTS, THEY MUST BE REFERRED TO THE DESIGNER/DRAFTSMAN FOR RESOLUTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT © AND SHALL NOT BE REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN APPROVAL OF BOTH THE OWNERS AND WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. COMMENCING ON SITE THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL DRAWINGS AND CONSTRUCT & ARE THE SET OF DRAWINGS STATED IN THE BUILDING CONTRACT.

**WEEDA Drafting**  
 & Building Consultants Pty Ltd  
 95 Queen Street, West Uverstone, 7315  
 Phone: (03) 6425 9333  
 Email: admin@weedadrafting.com.au  
 WEEDA DRAFTING & BUILDING CONSULTANTS  
 MEMBERS, BVAL CC 33177 CALICO

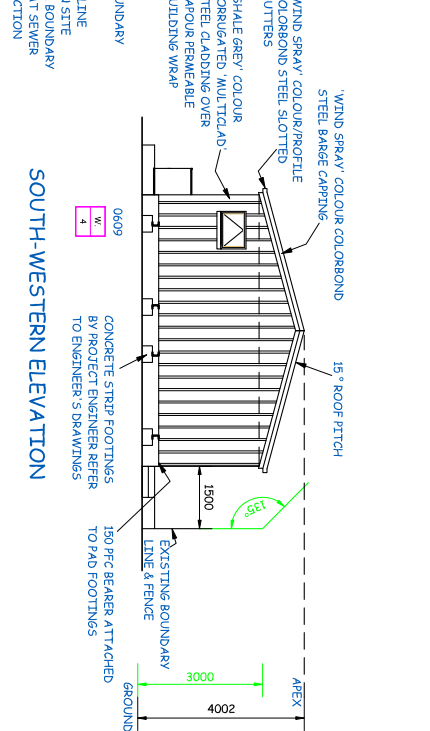
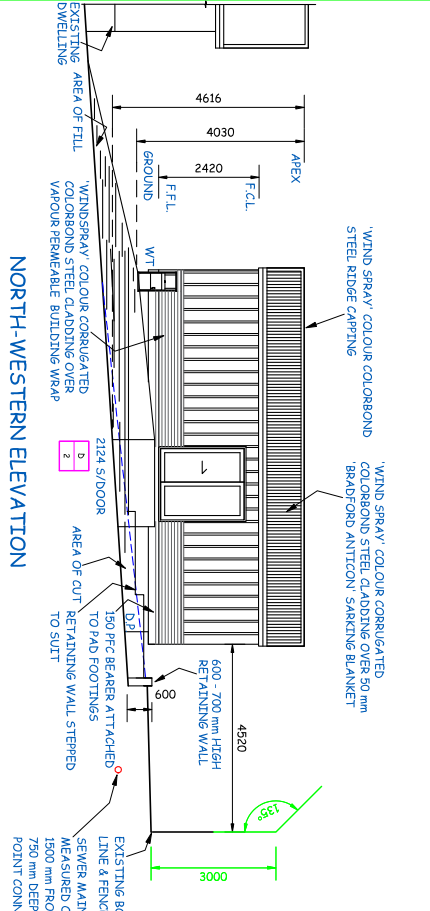
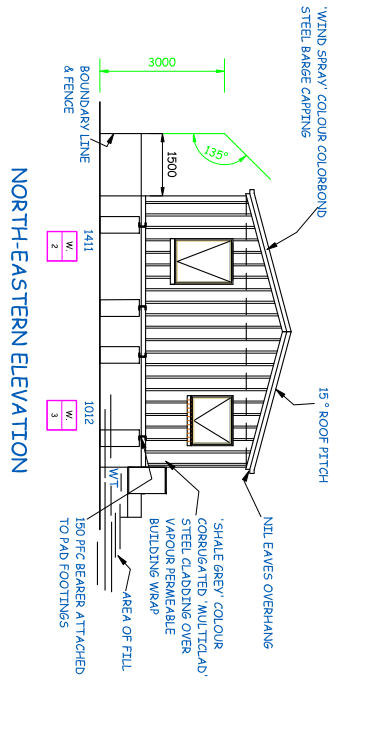
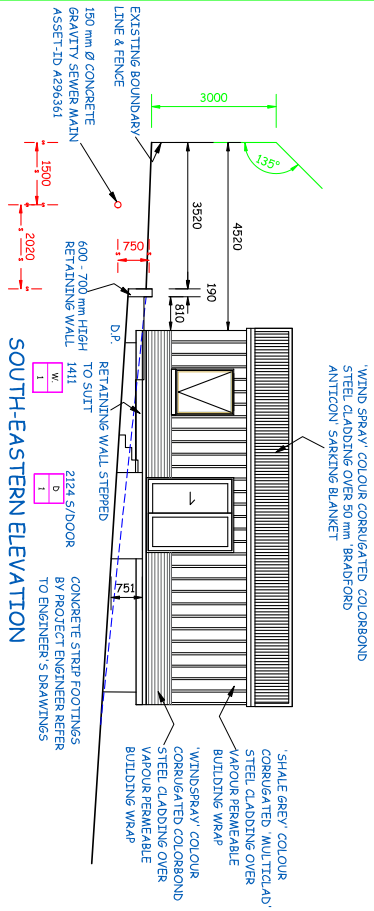


# 12.2.9 Application Documents



Document Set ID: 1828494  
Version: 1, Version Date: 09/11/2022

**FOR PLANNING PERMIT APPLICATION ONLY**

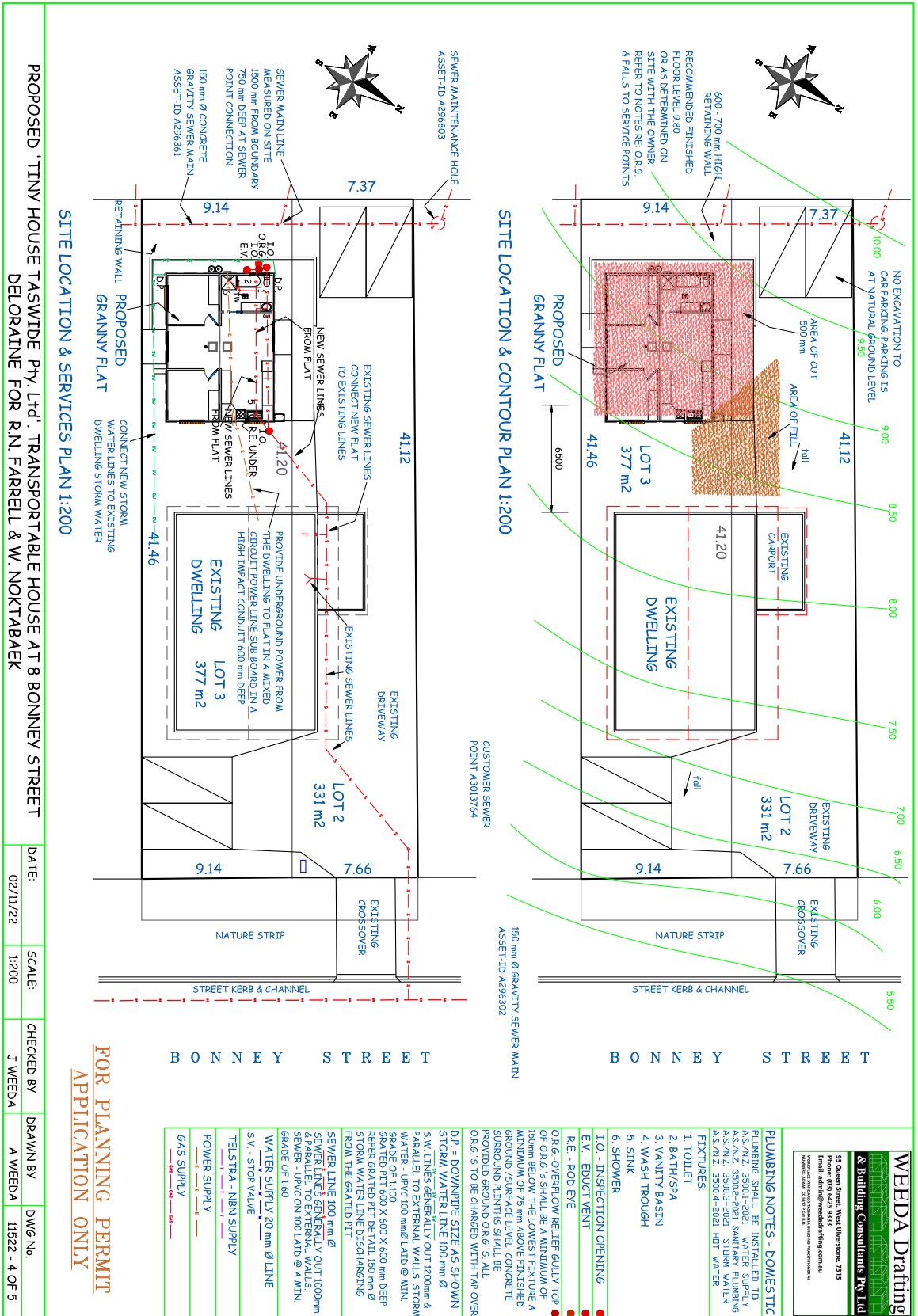


**PROPOSED 'TINY HOUSE TASWIDE Pty. Ltd' TRANSPORTABLE HOUSE AT 8 BONNEY STREET  
DELORAINIE FOR R.N. FARRELL & W. NOKTABAEK**

DATE:	02/11/22	SCALE:	1:100	CHECKED BY:	J WEEDA	DRAWN BY:	A WEEDA	DWG No.:	11822 - 3 OF 5
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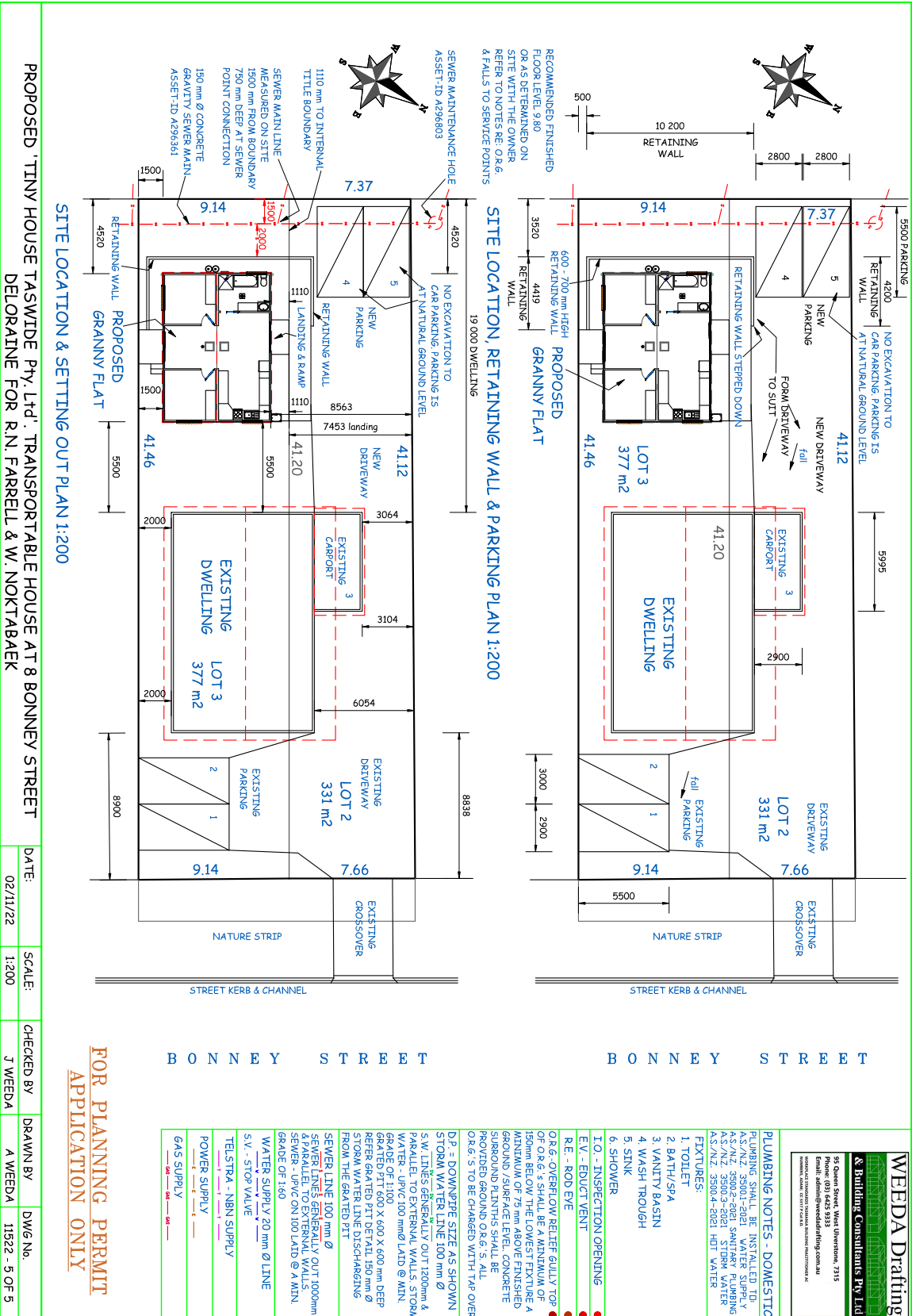
**WEEDA Drafting**  
 & Building Consultants Pty Ltd  
 150 Queen Street West, Melbourne, 3115  
 Phone: (03) 4423 8333  
 Email: admin@weedadrafting.com.au  
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# 12.2.9 Application Documents



# 12.2.9 Application Documents

Document Ref ID: 1024498  
Version: 1, Version Date: 09/11/2022



## Infrastructure Services

### Proposed Road Names - Liddesdale Drive, Reedsdale Court

**Report Author** Jarred Allen  
Team Leader Engineering

**Authorised by** Dino De Paoli  
Director Infrastructure Services

**Decision Sought** Council approval of the street names Liddesdale Drive and Reedsdale Court for proposed public roads at Deloraine.

**Vote** Simple majority

---

#### Recommendation to Council

That Council approves, pursuant to Section 11 of the *Place Names Act 2020*, the following road names for proposed public roads within the subdivision located at 4 Gleadow Street, Deloraine:

1. Liddesdale Drive; and
2. Reedsdale Court.

---

#### Report

Two new roads are being built as part of Stage 1 of an approved subdivision at 4 Gleadow Street, Deloraine.

The proposed road names have been put forward by the developer, Jason Sherriff.

The names 'Liddesdale' and 'Reedsdale' originate from the poem 'The Lay of the Last Minstrel.' The poem has local significance as the town of Deloraine is named after a character. The proposed street names 'Liddesdale' and 'Reedsdale' are locations referenced in the poem.

As shown in Image 1, the proposed Liddesdale Drive is between Gleadow Street and Emu Bay Road. The proposed Reedsdale Court is located off Liddesdale Drive.

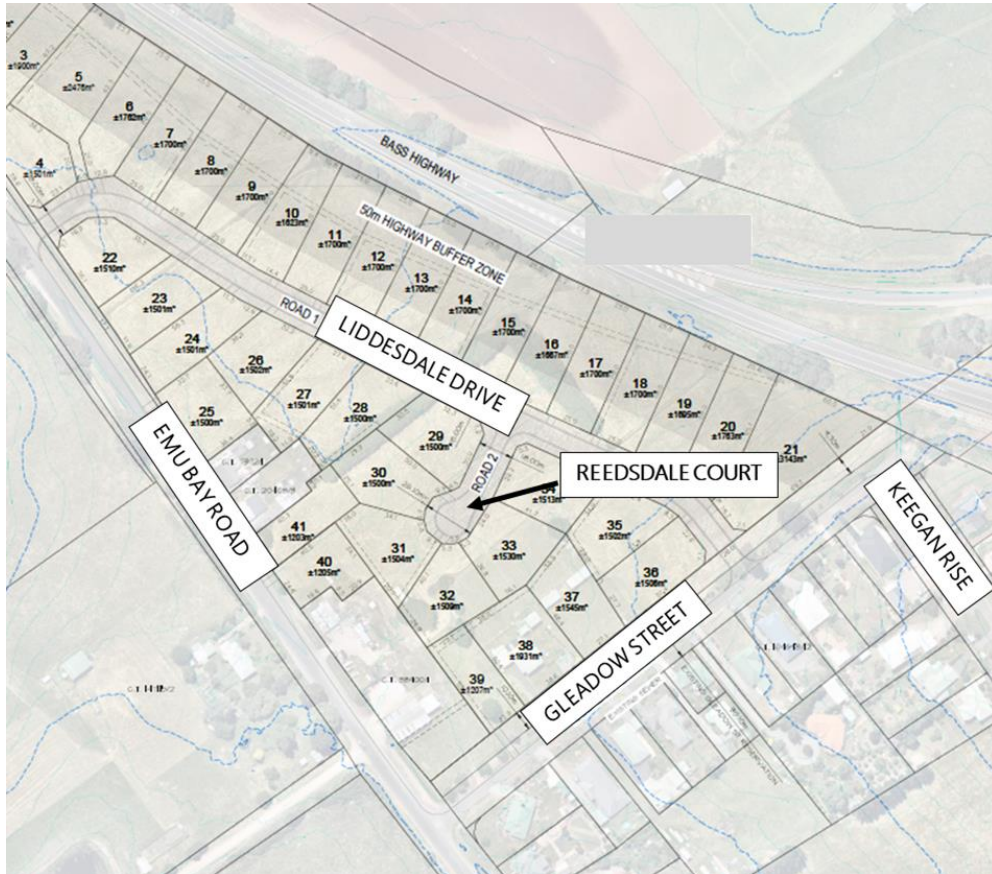


Image 1: Two new public roads within the 4 Gleadow Street subdivision in Deloraine

**Attachments** Nil

**Strategy** Furthers the objectives of Council’s strategic future directions;

1. A sustainable natural and built environment; and
2. A thriving local economy.

See Meander Valley Community Strategic Plan 2014-24. [Click here](http://www.meander.tas.gov.au/plans-and-strategies) or visit [www.meander.tas.gov.au/plans-and-strategies](http://www.meander.tas.gov.au/plans-and-strategies) to view.

**Policy** Not Applicable

**Legislation** *Place Names Act 2020*

**Consultation** Council approved road names must be submitted to the Placenames Tasmania database administered by the Department of Natural Resources and Environment.

**Budget & Finance** There are no financial implications for Council from this proposal.

**Risk Management** Risk is managed through the formal process of ratifying road names to avoid conflict with existing named roads in other municipalities within Tasmania.

Non-duplication of names also ensures greater address clarity for emergency services.

- Alternative Motions**
1. Council can choose a name other than that proposed.
  2. Council can delegate the responsibility of approving another name to the General Manager.

## Governance

### Quarterly Report - September 2023

**Report Author** Jacqui Parker  
Manager Governance and Performance

**Authorised by** John Jordan  
General Manager

**Decision Sought** Council to confirm its oversight of organisational performance through review of quarterly reporting information.

**Vote** Simple majority

---

#### Recommendation to Council

Council to receive and note the attached report of performance against the Annual Plan 2022-23 for the period from July to September (Quarter 1).

---

#### Report

Council's 2022-23 Annual Plan contains 103 operational activities which are executed across each of our business areas, in line with the organisation's strategic objectives.

Working to the targets set by the Annual Plan ensures Council continually progresses, improves and achieves its stated strategic objectives.

Each activity listed in the Annual Plan is carefully planned out over the course of the financial year, forming the basis of a transparent and accountable performance assessment and reporting mechanism.

To summarise the attached September 2022 report regarding Council's performance for the first quarter of this financial year against its Annual Plan targets:

#### Achieved

22 activities were achieved.

Activities achieved are those with an inherent and identifiable quarterly goal, which has been attained to the high quality standards that are expected.



## Progressing

38 activities are progressing.

Activities that are progressing are those with substantial work underway, where it can be demonstrated that Council is on track to achieve its projected Annual Plan target within the financial year. Details of Council's specific progress against each individual activity is noted within the attachment.

## Pending

41 activities are pending.

Activities that are pending involve tasks that either cannot be commenced in the current quarter (due to their inherent nature or timing) or tasks which have been the subject of an intervening delay that cannot be resolved by Council (generally, this refers to external factors beyond Council's span of control).

Note: The report does not reflect the impact of the October flood event which will be reported in the December reporting period.

## Deferred

2 activities are deferred.

Deferral indicates matters for which the approach is yet to be affirmed since the November 2022 election. Deferred agendas can be progressed following consultation with the newly convened Council, in line with its feedback and direction.

**Attachments** 1. Annual Plan 2022-23 Activity Summary [15.1.1 - 16 pages]

**Strategy** Supports the objectives of Council's strategic future direction 5: innovative leadership and community governance.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit [www.meander.tas.gov.au/plans-and-strategies](http://www.meander.tas.gov.au/plans-and-strategies) to view.

**Policy** Not applicable

**Legislation** *Local Government Act 1993: ss71-72.*

**Consultation** Not applicable

**Budget & Finance** Not applicable

**Risk Management** Not applicable



**Alternative  
Motions** Not applicable

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
Supporting our customers									
5.1, 5.3, 5.6	Renew the Customer Service Charter to ensure alignment to customer expectations and our capacity to deliver service outcomes	Review complete	Corporate Services		✓	✓	✓	Pending	Scheduled to commence in Q2.
5.4, 5.6	Develop a new customer feedback policy and automated customer survey tool to ensure we learn from our customers and respond to complaints	Feedback process in place	Corporate Services		✓	✓	✓	Pending	Scheduled to commence in Q2.
5.1, 5.3, 5.6	Identify opportunities to provide customers with more control through online forms and self-service which leverages the new ERP system	Report complete	Corporate Services				✓	Pending	Scheduled to commence in Q4.
3.3, 3.4	Review and update Council's New Residents Kit to improve information on key services, events, dates for people new to our community	New kit available	Community Wellbeing		✓	✓		Progressing	Internal drafting and consultation underway in preparation for Council Workshop in March (Q3).
4.1, 6.4	Update information (web) and user guides for the use of indoor facilities	Revision complete	Infrastructure Services	✓	✓			Progressing	Scheduled for completion in Q3.
4.1, 6.4	Simplify the booking process for Council facilities and assess feasibility of online booking systems and develop implementation plan if viable	System implemented	Infrastructure Services		✓	✓	✓	Progressing	Pilot system still under evaluation for Deloraine Community Complex.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
<b>Managing our asset portfolio</b>									
5.2, 6.1, 6.3	Complete a review of property assets – develop a divestment plan for surplus assets, and implement on approval from Council	Divestment Plan	Works		✓			Progressing	Initial report considered at August Workshop. Deferred until post-election (caretaker impact).
5.2, 6.1-6.6	Determine future of former landfill at Bracknell – lease renewal or sale	Lease or sale complete	Infrastructure Services	✓	✓	✓	✓	Progressing	Ground survey undertaken at site. Land valuation pending.
6.2, 6.3	Progress the Hadspen Meander Valley Road intersection upgrades design and procurement documentation	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Further assessment of site constraints underway and consultant design work continuing.
6.2, 6.3	Develop a level of service strategy and policy to inform the provision, replacement and upgrading of sport, recreation and public amenities	Strategy in place	Infrastructure Services			✓		Pending	Scheduled to commence in Q3.
6.2	Renew the Eastern Play Spaces Strategy 2020	Update complete	Infrastructure Services			✓		Progressing	Scheduled to commence in Q3. Review of previous draft strategy document underway.
<b>Investing in community facilities and infrastructure</b>									
4.1, 6.4	Finalise electrical safety and asbestos audits and register and deliver program of rectification works	Works complete	Infrastructure Services	✓	✓	✓		Progressing	Work continuing with suppliers.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
4.1, 6.4	Complete a review of all leases and agreements, develop a contemporary lease document and renew leases when due	Review complete	Infrastructure Services	✓	✓	✓		Progressing	Review of lease register progressing.
4.1, 6.4	Implement a program to renew and ensure currency of all leases and agreements	Program delivered to schedule	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
4.1, 6.4	Secure lease over former Meander Primary School	Lease executed	Community Wellbeing		✓			Achieved	Lease executed; planning processes and maintenance works are progressing across Q1 and Q2.
4.1, 6.4	Develop a community hall renewal policy, considering asset condition, utilisation rates, renewal and maintenance costs and service options	Review complete	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
4.1	Renew lease for the Meander River reserve areas in Deloraine	Complete	Infrastructure Services		✓	✓		Progressing	Lease documents signed by Council. Pending return of executed documents from the Crown.
6.2, 6.3	Progress tendering and commence construction of the Deloraine Squash Courts	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Q1 milestone achieved. Ready for tender. Tender decision deferred to Q2 until post-election.
6.1, 6.3	Progress construction of Bracknell Hall	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Q1 milestone achieved. Builder commenced. Foundation works to progress in Q2.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
6.2, 6.3	Progress consultation, master planning and design of the Deloraine Recreation Precinct	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Q1 objectives achieved. Initial consultation phase completed.
6.1, 6.3	Design and commence construction for new centralised Works Department depot at Valley Central	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q1 objectives achieved. Concept design completed. Detailed design in progress with decision on funding and tender post-election.
6.2, 6.3	Deliver lighting upgrades to Deloraine AFL oval	Completed	Infrastructure Services		✓	✓		Progressing	Materials and contractor commenced. Materials procured.
6.2, 6.3	Implement a preferred project management methodology for major project delivery	Method implemented	Infrastructure Services			✓		Pending	Scheduled to commence in Q3.
6.2, 6.3	Develop and deliver maintenance schedules and improvement programs for civil and road related assets	Programs complete	Works		✓	✓	✓	Pending	Scheduled to commence in Q2.
6.1, 6.3	Deliver operational programs to maintain Council owned public amenities, urban streetscapes, public land and public facilities	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q1 objectives achieved. Operational maintenance progressing to program schedule.
6.1, 6.3	Deliver capital and maintenance program for road and associated infrastructure	Progressed to schedule	Works	✓	✓	✓	✓	Achieved	Q1 objectives achieved. Operational maintenance progressing to schedule.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
6.1, 6.3	Deliver the bridge inspection and maintenance program	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Achieved	Q1 inspections undertaken.
6.1, 6.3	Deliver civil construction and infrastructure works for transport and recreation assets	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Capital works update to be provided to Council at December workshop.
6.2, 6.3	Plan, manage, construct and maintain bridges, culverts and other infrastructure	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Capital works update to be provided to Council at December workshop.
<b>Making a positive contribution to community wellbeing</b>									
3.1-3.5, 4.1	Deliver support to the Meander Valley Art Award	Exhibition held	Community Wellbeing	✓	✓	✓		Achieved	Successful event held at Westbury Town Hall with a two week exhibit of 58 entries and attendance of 470 in September 2022.
3.1, 3.4, 4.1	Manage recurrent sponsorship funding to Deloraine Cup, Deloraine, Chudleigh and Westbury Show Societies	Payments made	Community Wellbeing	✓				Progressing	Funding agreement to be settled Q2.
3.3, 3.4	Deliver programmed activity and support for NAIDOC Week	Number of activities supported	Community Wellbeing	✓				Deferred	Local Indigenous groups are considering approach and options for a locally timed celebration in 2023.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
3.1-3.5, 4.1	Deliver a community celebration and thank you event upon signing of a lease for the former Meander Primary School site	Event held	Community Wellbeing		✓			Progressing	Community BBQ and celebration event planned for October 2022.
3.1-3.5, 4.1	Deliver programmed activity and support for Youth Week	Number of activities supported	Community Wellbeing				✓	Progressing	Scheduled to commence in Q4. DPAC grant of \$50,000 received, with first milestone in Q4.
3.1-3.5, 4.1	Deliver programmed activity and support for Volunteer Week	Number of initiatives delivered	Community Wellbeing				✓	Pending	Scheduled to commence in Q4.
3.1, 3.4, 4.1	Deliver programmed activity and support for Seniors Week	Number of initiatives delivered	Community Wellbeing		✓			Progressing	Two events scheduled for Q2: <ul style="list-style-type: none"> <li>• University of the Third Age</li> <li>• Westbury Health and Westbury Community Garden</li> </ul>
3.3, 3.4	Review legacy support arrangements and finalise agreements (church lighting)	Review complete	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.
3.1-3.5, 4.1	Deliver community consultation on Deloraine Recreation Precinct.	Complete	Community Wellbeing	✓	✓	✓	✓	Achieved	Q1 target achieved. Initial consultation and engagement planning undertaken.



## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
3.1, 3.4,4.1	Undertake consultation and engagement to prepare inputs for Community Strategic Plan	Consultation completed	Community Wellbeing			✓	✓	Progressing	Scheduled to commence in Q3. Low key community forums progressed in Q1 to inform consultation program for CSP review.
3.1, 3.2, 3.4	Undertake needs analysis and review grant and sponsorship categories and funding amounts to ensure community needs are met	Complete	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.
3.2, 3.4, 3.5	Deliver community survey and drop-in sessions to determine community views on Council performance, services and key issues of interest	Complete	Community Wellbeing	✓	✓			Progressing	Consultation program (and preparation of preliminary report on survey results to date) underway.
3.2, 3.4, 3.5	Review and update Council's Community Wellbeing Program and brief incoming Council	Council approved program	Community Wellbeing		✓	✓		Pending	Scheduled to commence in Q2.
3.2, 3.4, 3.5	Undertake consultation with key groups to identify the needs for volunteering in our community.	Findings report	Community Wellbeing	✓	✓			Progressing	Westbury volunteer surveys completed. Report to be prepared in Q3.
3.2, 3.4, 3.5	Establish a staff community volunteering program	Number of participating staff	Community Wellbeing				✓	Progressing	Q1 - Provision included in draft Enterprise Agreement. Balance scheduled to commence in Q4.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
3.2, 3.4, 3.5	Liaise with tourism and business operators to deliver in kind support to major events i.e., Deloraine Car Show, AgFest, Winterfire	Support delivered	Works	✓	✓	✓	✓	Achieved	Q1 support provided to AgFest and Winterfire events.
Supporting economic growth, prosperity and the environment									
2.1, 2.2	Renew and release an updated Meander Valley regional prospectus to promote the region to potential businesses and people relocating	Prospectus promoted	Community Wellbeing			✓		Progressing	State Development review draft provided. To be actioned Q2.
2.1, 2.2	Progress development of branding and marketing initiatives to establish Meander Valley as a lifestyle, tourism and investment destination	Progressed with key projects	Community Wellbeing			✓	✓	Progressing	Grant milestones for Short Walks projects achieved. Walks selected, and tendering for walking track, branding and 'furniture' issued, brand workshop held.
2.1, 2.2	Assess the feasibility of electronic notice boards located at community hubs throughout the region to support Council and community messaging	Budget item for 2023-24	Community Wellbeing				✓	Pending	Scheduled to commence in Q4.
2.1, 2.2	Deliver business information and networking sessions (3) to business operators across Meander Valley	Delivered	Community Wellbeing		✓			Progressing	Three sessions scheduled to deliver in Q2. With Economy Id provider.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
2.3, 2.5	Review services and attractions at the Great western Tiers Visitor Centre to enhance customer service and tourist satisfaction	Review undertaken	Community Wellbeing			✓		Pending	Scheduled to commence in Q3.
1.1, 1.2, 1.3	Deliver a climate change youth forum	Delivered	Community Wellbeing		✓			Achieved	Delivered in Q1 with presentation to Council Workshop in November (Q2).
<b>Supporting community health outcomes, resilience and emergency management responses</b>									
4.4	Review Municipal Emergency Management Plan in line with new SES regional template	Complete	Infrastructure Services		✓	✓		Pending	Scheduled to commence in Q2.
4.4	Complete logical test of Emergency Management Plan	Complete	Infrastructure Services			✓		Pending	Scheduled to commence in Q3.
<b>Managing planning, development and regulation</b>									
4.3	Finalise and implement the review of the Dog Management Policy	Policy approved	Development & Regulatory		✓	✓		Progressing	Second round of feedback received, to be presented to Council Meeting in Q2.
1.1, 1.2, 1.3	Contribute to regional planning initiatives: Northern Tasmanian Regional Land Use Strategy Review	Participation	Development & Regulatory	✓	✓	✓	✓	Achieved	Q1 target achieved. Regional demand and study underway.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
1.1, 1.2, 1.3	Contribute to the Greater Launceston Plan Review	Participation	Development & Regulatory		✓	✓		Progressing	Contributed to the initial round of consultation with consultant engaged to review the GLP.
1.2	Progress development of a Structure Plan for Carrick	Plan delivered	Development & Regulatory			✓	✓	Pending	Scheduled to commence in Q3.
1.1, 1.2, 1.3	Complete the Prospect Vale - Blackstone Heights Structure Plan Review	Completed	Development & Regulatory		✓	✓		Pending	Scheduled to commence in Q2.
1.2	Complete implementation of an automated planning assessment tool and template report	Implemented	Development & Regulatory		✓			Pending	Scheduled to commence in Q2.
<b>Provide contemporary waste collection, disposal and recycling services and infrastructure</b>									
1.1, 1.5	Review and update the Waste Management Strategy and model against long-term financial plan	Endorsed strategy	Infrastructure Services		✓	✓		Pending	Scheduled to commence in Q2.
6.1, 6.6	Complete feasibility assessment of new landfill cell at Deloraine	Feasibility assessed	Infrastructure Services		✓	✓		Pending	Scheduled to commence in Q2.
1.1, 1.5	Progress purchase of landfill land (Cluan)	Land purchased	Infrastructure Services		✓	✓	✓	Progressing	Discussions with landowner concerning purchase of existing lease area ongoing.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Community Strategic Plan Reference	Annual Plan Targets 2022-23	Target	Department	Sep	Dec	Mar	Jun	Quarter 1 Status	Comment
1.5, 6.6	Design and commence construction a new transfer station at Deloraine	Progressed to schedule	Infrastructure Services	✓	✓	✓	✓	Progressing	Work continuing by consultant. Supply contract for weighbridge approved.
1.1, 1.5	Provide the annual Hard Waste Collection Service	Collection provided	Infrastructure Services		✓			Progressing	Scheduled to provide pick up service in Q2.
1.1, 1.5	Assess the feasibility and deliver a program to promote voluntary car body removal in rural areas	Implemented if feasible	Infrastructure Services			✓	✓	Pending	Scheduled to commence in Q3.
1.5, 6.1, 6.6	Design and construct new landfill cell at Cluan	Progressed to schedule	Infrastructure Services			✓	✓	Pending	Consultant review of concept design in progress.
1.1, 1.5	Select and implement operating model for Cluan and Deloraine landfills	New model implemented	Infrastructure Services		✓	✓		Pending	Scheduled to commence in Q3.
1.1, 1.5	Maintain planning and environmental approvals and compliance for landfill operations	Zero environmental issues	Infrastructure Services	✓	✓	✓	✓	Achieved	Compliance reporting ongoing.
1.3, 1.4, 1.5	Achieve EPA approvals for increased height and manage land fill cell at Deloraine in accordance with approvals to provide for either continuing operation or close and capping	Approval obtained	Infrastructure Services		✓	✓	✓	Progressing	Documentation for EPA approvals progressing.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Provide a robust, reliable, secure and available ICT environment									
5.1, 5.2	Undertake a full review of ICT security arrangements to strengthen cyber security and data management, implement cyber security protection actions to mitigate risk of cyber attack	Plan and measures in place	Corporate Services		✓	✓		Pending	Scheduled to commence in Q2.
5.1, 5.2	Assess and implement as required upgrading of website enabling technology	Assessment complete	Corporate Services		✓	✓		Pending	Scheduled to commence in Q2.
5.1, 5.2	Invest in the skills development of our ICT team to ensure they are able to address emerging ICT agendas	Skills development underway	Corporate Services		✓	✓		Pending	Scheduled to commence in Q2.
Modernising and digitising our systems and processes to increase our productivity and capabilities									
5.1, 5.2	Deliver upgrades to Microsoft licences and software to enhance access to better technology, security and remote working capabilities	Implemented	Corporate Services		✓	✓		Pending	Scheduled to commence in Q2.
5.2, 5.3, 5.6	Establish the ERP System Upgrade Project (project plan, resourcing and financial plan, implementation staging, risk mitigation, governance)	GM approved plan	Corporate Services		✓			Pending	Scheduled to commence in Q2.
5.2, 5.3, 5.6	Commence implementation of the 2022-23 stages of the ERP System Upgrade Project including recruitment of resources	Progressed to schedule	Corporate Services		✓			Pending	Scheduled to commence in Q2.

## 15.1.1 Annual Plan 2022-23 Activity Summary

5.1, 5.2	Review technical software supporting GIS, engineering and other specialist software and implement updates as needed	Review complete	Infrastructure Services			✓	✓	Pending	Scheduled for Q3.
5.1, 5.2	Undertake progressive improvement in records and data management to enable data migration to the new ERP solution	Measures implemented	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.
<b>Deliver good governance and resilience through sound corporate and financial management</b>									
5.4	Coordinate the 2022 Local Government election including new Councillor induction and training	Induction complete	Governance	✓	✓			Achieved	Fully reviewed induction program prepared in Q1 To be delivered to newly elected Council in Q2.
5.4	Maintain General Manager's electoral roll	Role reviewed before election	Governance		✓			Achieved	General Manager's Roll reviewed and submitted to Tasmanian Electoral Commission in Q1.
5.4, 5.5, 5.6	Implement new software solutions to support Council Meetings, record keeping and public information.	Completed	Governance	✓	✓			Achieved	Core agenda & minutes software implemented. Ongoing software evaluations and staff training underway to improve customer service and performance reporting improvements.
5.4	Refresh and promote "Good Governance" program and induction for incoming Councillors	Completed	Governance		✓			Progressing	Rolling program of induction and professional development scheduled throughout Q2 & Q3.

## 15.1.1 Annual Plan 2022-23 Activity Summary

5.4	Develop a caretaker policy for the local government election period	Completed	Governance		✓			Achieved	Approved by Council 9 Aug 2022.
5.4, 5.6.	Review the risk management framework and mitigations to enhance responses to changing risk profiles	Six-month review complete	Governance	✓	✓	✓	✓	Pending	Rescheduled to Q2.
5.1, 5.2, 5.6	Review corporate risk registers and implementation status of mitigation actions	Risk registers updated	Corporate Services		✓		✓	Pending	Scheduled to be undertaken in Q2.
5.6	Conduct a review and annual test scenario and update the Business Continuity Plan	Annual test completed	Corporate Services		✓			Pending	Scheduled to commence in Q2.
5.6	Update staff Code of Conduct and related policies, complete staff training	New code implemented	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.
5.4, 5.6	Deliver staff training and development in Council's records management system	Delivered	Corporate Services	✓	✓	✓	✓	Achieved	Q1 achieved. All new employees have received induction training in records management.
5.6, 5.3	Deliver the Annual Plan for 2023-24	Delivered	Governance	✓	✓			Progressing	Drafted for Council 11 October 2022.
5.1, 5.2, 5.3	Deliver the Annual Report for 2021-22	Delivered	Governance			✓		Progressing	Drafted for approval in Dec 2022, on receipt of Tas Audit Office input.
5.1, 5.2, 5.3	Deliver the Annual General Meeting	Delivered	Governance	✓	✓			Progressing	Scheduled for 13 December 2022.
5.1, 5.2, 5.3	Renew the Community Strategic Plan	Draft CSP prepared	Governance	✓	✓			Pending	Preliminary work re-scheduled for Q2 and Q3.



## 15.1.1 Annual Plan 2022-23 Activity Summary

5.4	Represent and respond to the Future of Local Government Review	Data and responses provided	Governance	✓	✓	✓	✓	Achieved	Q1 information and data requests provided.
5.6	Review Council's administrative and legislative delegations	Internally consolidated	Governance	✓	✓	✓	✓	Progressing	Delegations review progressing internally, preparing for consultation with newly elected Council in Q3.
<b>Managing our supply chain to procure goods and services</b>									
5.4, 5.6	Deliver training and ensure compliance with organisation wide procurement and contract policy and processes	Training delivered	Corporate Services	✓	✓	✓	✓	Achieved	Q1 – All new employees have received induction training in accounts payable.
<b>Informing and engaging our community</b>									
5.1, 5.3	Develop and implement a Council Communication Strategy	Strategy implemented	Governance		✓	✓		Progressing	<ul style="list-style-type: none"> <li>Scheduled to commence in Q2.</li> <li>Contractor proposals received.</li> </ul>
5.1, 5.3	Update Council's writing style guide, including writing for the web	Style guide updated	Governance		✓	✓		Pending	<ul style="list-style-type: none"> <li>Scheduled to commence in Q4.</li> </ul>
5.1, 5.3	Update corporate photo library with new images.	Library renewed	Governance		✓	✓		Progressing	Contractor engaged with production scheduled to start February 2023.
5.1, 5.3	Develop a signage strategy to ensure all Council signage is cohesive	Visits to homepage	Governance	✓				Deferred	Pending election and consideration by Council. Note measure is incorrect.
5.1, 5.3	Implement website functionality and content improvements	Updated website	Governance			✓	✓	Pending	Scheduled to commence in Q3.

## 15.1.1 Annual Plan 2022-23 Activity Summary

Demonstrating a commitment to our people									
5.4, 5.6	Coordinate workplace culture “health check” and assistance with measures to promote a positive workplace	Survey and actions complete	Corporate Services	✓	✓	✓	✓	Achieved	Q1 –staff focus groups facilitated by an external consultant delivered.
5.4, 5.6	Review the annual staff performance review process with management	Review findings implemented	Corporate Services				✓	Pending	Scheduled to commence in Q4.
5.4, 5.6	Develop a Workforce Strategy and Resourcing Plan, including overview of recruitment and induction processes	Strategy in place	Corporate Services			✓	✓	Pending	Scheduled to commence in Q3.
5.4, 5.6	Deliver a new Enterprise Agreement to better meet the needs of employees and our organisation	New EA approved	Governance	✓	✓			Progressing	Enterprise Agreement progressed to first vote in Q1.

## Governance

# Appointment of Members to Special Committees of Council

**Report Author** Jacqui Parker  
Manager Governance and Performance

**Authorised by** John Jordan  
General Manager

**Decision Sought** The Council makes appointments to special committees under section 24 (2) of the *Local Government Act 1993*.

**Vote** Simple majority

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### Recommendation to Council

That Council:

1. Appoints under section 24(2) of the Local Government Act 1993, special committee membership as per the attached list "Recommended Appointees to Special Committees of Council"; and
2. Notes that appointments to the Mole Creek Hall Committee will be recommended separately to Council after that Committee's Annual General Meeting on 14 December 2022.

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### Report

The purpose of this report is for Council to consider the attached membership details, and formally appoint each person under the *Local Government Act 1993*: section 24(2) to the nominated special committee.

The special committees and their volunteer members deliver a range of services to the Meander Valley Community.

At present, Meander Valley Council has the following established special committees:

1. Birralee Memorial Hall Committee;
2. Bracknell Public Hall and Recreation Ground Committee;

3. Carrick Community Committee;
4. Caveside Recreation Committee;
5. Chudleigh Memorial Hall Committee;
6. Dairy Plains Memorial Hall Committee;
7. Deloraine Community Car Committee;
8. Meander Hall and Recreation Ground Committee;
9. Mole Creek Memorial Hall Committee;
10. Rosevale Memorial Hall and Recreation Ground Committee;
11. Selbourne Memorial Hall Committee;
12. Weegenah Hall Committee;
13. Westbury Community Car Committee;
14. Westbury & Districts Historical Society; and
15. Whitmore Recreation Ground Committee.

The membership composition of each committee is decided at each individual committee annual general meeting. A list of names for each member is then provided to Council.

The Mole Creek Hall Committee will hold an Annual General Meeting on 14 December 2022. Appointments to this Committee will be considered and confirmed by Council at the January 2023 Ordinary Council Meeting.

**Attachments** 1. Recommended Appointees to Special Committees of Council [15.2.1 - 2 pages]

**Strategy** Supports the objectives of Council's strategic future direction 3: vibrant and engaged communities.

See Meander Valley Community Strategic Plan 2014-24. [Click here](#) or visit [www.meander.tas.gov.au/plans-and-strategies](http://www.meander.tas.gov.au/plans-and-strategies) to view.

**Policy** Not applicable

**Legislation** *Local Government Act 1993: s24.*

**Consultation** Special committees seek to appoint members through discussions conducted at their respective Annual General Meetings, which are locally advertised in line with legislative requirements.

Any member of the community who is interested in becoming involved with any of the work undertaken by a special committee has the ability to attend the AGM and either contribute to discussions about membership or seek membership and/or nomination for a role as office-bearer.

**Budget & Finance** Not applicable

**Risk Management** Special committees operate under a Memorandum of Understanding with Council, outlining arrangements for the management of the respective Council-owned assets.

Each individual member of a special committee provides member information details to Council for insurance purposes.

**Alternative Motions** Not applicable

## 15.2.1 Recommended Appointees To Special Committees Of Council

Special Committee	Members Appointed at Special Committee's AGM
1. Birrale Memorial Hall Committee	D Arnold, Ernie Blackberry, Esther Blackberry, G Blackberry, L Blackberry, J Booth, F Camino, M Dewsberry, R Franklin, D Hall, N Hall, J Pennington, & R Rumble.
2. Bracknell Public Hall and Recreation Ground Committee	A Cousens, S Cousens, C Jones, N Jones, Sharmane Jones, Stephen Jones, E Leonard, R Leonard, I Mackenzie, T Preece, L Richardson, B Shelton, Mark Shelton, Merrilyn Shelton, O Shelton & C Spencer.
3. Carrick Community Committee	J Cunningham & D Williams.
4. Caveside Recreation Committee	C Capper, G Capper, Ann Crowden, Andrew Crowden, M Crowden, Z Crowden, C Doyle, N Doyle, L Ertler, Katy Haberle, Kelvin Haberle, B Harris, B Hedger, P Hickman, K Howe, M Howe, S Jones, R Linger, M Manners, S Manners, J Philpott, S Philpott, C Robertson, Gillian Robertson, J Robertson, T Roberstson, D Rollins, M Rollins, A Scott, D Scott, J Scott & R Stafford.
5. Chudleigh Memorial Hall Committee	A Cameron, M Cameron, S Cameron, N Clarke, D Crowden, S Crowden, L Ertler, L Flannagan, L Haberle, P Hickman, L Middleton, L Motton, D Philpott, L Philpott, P Philpott, T Picket, N Ritchie, S Snow, B Sturzaker, W Richardson, & M Wyer.
6. Dairy Plains Memorial Hall Committee	A Atkins, G Atkins, K Atkins, P Atkins, R Atkins, C Lee & B Phelan.
7. Deloraine Community Car Committee	K Earley, C Fowler, S Keegan, M Savage, L Wadley & M Young.
8. Meander Hall and Recreation Ground Committee	A Berne, K Bird, T Buttery, A Costello, C Chilcott, D Chilcott, M Johnston, N Johnston (Hon), S Johnston, B McGowan, P Mallon, S Saltmarsh & H Smith.
9. Rosevale Memorial Hall and Recreation Ground Committee	K Best, L Blackwell, G Cuthbertson, T Cuthbertson, W Cuthbertson, C Davson-Galle, R Hardwicke, C Hendley, T Hendley, R Millwood, T Reed, G Smith, B Tatnell, J Tatnell, H Scheibler & R Scheibler.

## 15.2.1 Recommended Appointees To Special Committees Of Council

Special Committee	Members Appointed at Special Committee's AGM
10. Selbourne Memorial Hall Committee	A Batterham, M Brown, J Brown, P Brown, D Eyles, G Eyles, J Eyles, P Eyles, D French, M Heazelwood, M Hills, T Hills, A Reed & N Reed.
11. Weegeena Hall Committee	J Buck, R Buck, C Gard, M Graves, S Harvey, J Hawley, A Lindsay, B Lindsay, G Lindsay, J Lindsay, M Lindsay, C Norton, L Norton, L Pittard, C Roberts, S Roberts, A Robinson, F Robinson, K Sheldon, M Sheldon, G Swinsburg, R Thomas & M Webster.
12. Westbury Community Car Committee	E Blackley, C Blazeley, T Carter, D Dienes, K Hewlett, D Pyke, R Travis & W Travis.
13. Westbury & Districts Historical Society	C Bennett, M Cameron, B Green, V Greenhill, J Starr-Thomas, P Swain, A Taylor, K Treloggan, S West & A Witherden.
14. Whitemore Recreation Ground Committee	P Coull, M Cresswell, M Dent, S French, K Hingston, N Hingston, K Johns, R Johns, B Pearn, S Pearn, K Pitt, E Shaw & C Suitor.

## Motion to Close Meeting

**Motion** Close the meeting to the public for discussion of matters in the list of agenda items below.

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(1)*.

**Vote** Absolute majority

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## Closed Session Agenda

### Confirmation of Closed Minutes

Refer to *Local Government (Meeting Procedures) Regulations 2015: s34(2)*.

### Leave of Absence Applications

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(h)*.

### 2023 Australia Day Award Nominees

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(g)* regarding information of a personal and confidential nature or information provided to the council on the condition it is kept confidential.

### Contract No. 236-2022/23 Construction of Deloraine Squash Courts

*Local Government (Meeting Procedures) Regulations 2015: s15(2)(d)* regarding contracts, and tenders, for the supply of goods and services and their terms, conditions, approval and renewal.

### Cluan Landfill - Acquisition of Existing Landfill Lease Area

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(f)* regarding proposals for the council to acquire land or an interest in land or for the disposal of land.

### Council Works Depot Development & Divestment of Surplus Assets

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(2)(f)* regarding proposals for the council to acquire land or an interest in land or for the disposal of land.

### Release of Public Information

Refer to *Local Government (Meeting Procedures) Regulations 2015: s15(8)*.

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## Meeting End

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