



Meander Valley Council
Working Together

ORDINARY AGENDA

COUNCIL MEETING

Tuesday 9 November 2021

MEETING CONDUCT

Meetings of Meander Valley Council will be conducted in accordance with Local Government (Meeting Procedures) Regulations 2015.

COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020.

1. Council Meetings are currently being undertaken in accordance with the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*. Meeting arrangements may change at short or without notice in order to comply with directives issued by the Tasmanian Government.
2. COVID restrictions mean that public attendance at meetings is currently restricted, and that meetings may be held virtually, and individual Councillors may participate remotely via online channels.
3. The current COVID-19 circumstance in Tasmania enables Council to conduct face-to-face meetings at the Council Chambers in Westbury with some restrictions.
4. Council seeks to enable access to Council meetings, while also managing and protecting the health of the public, Councillors and staff. Due to prevailing social distancing and other COVID requirements the following arrangements apply to public attendance:
 - a. Numbers are restricted in the public gallery area of the Council Chamber (denoted by markers on the floor at the rear of the room) to **seven members** of the public (including media or other representatives), with attendance prioritised as follows:
 - First priority is to any person making representations to the Council, typically on planning applications. If more than seven representors have an interest in an Agenda item, some may be asked to leave the meeting room after their representation to allow others to make their representation to Council.
 - Second priority is to members of the public. Members of the public are asked to be flexible with their attendance for the entire meeting and when asked, consider vacating the meeting to permit others to attend. If more than seven members of the public register to attend a Council Meeting, priority will be given to those first to register but in line with the order of priority assigned to representors, public and then media.
 - Third priority is to members of the media.
 - At the sole discretion of the Chairperson, attendees may be asked to leave the meeting at the conclusion of an Agenda item. Members of the media may be asked to leave the meeting room to allow other higher priority persons to attend.

- Where more than seven people are in attendance, the Chairperson may (at their absolute discretion) consent to the Council Chamber doors remaining open to enable additional persons to listen to proceedings.
- b. All persons attending must comply with Council's COVID Safety Plan and the directions of Council officers.
- c. Any member of the public or media is to pre-register their interest in attending with Council's Customer Service Centre by phoning (03) 6393 5300. Council reserves its discretion to refuse or reprioritise entry to anyone not pre-registered.
- d. Immediately on arrival, attendees must check in via the 'Check in TAS' mobile phone application, or by providing their name, address and contact number in the register provided.
- e. To enable those not attending a meeting to review proceedings, Council will, within the limits of available technology, ensure meeting Agendas, Minutes and audio recordings of meetings are available. Information and recordings will be posted on Council's website as soon as practicable after the meeting. Council will not provide individual copies of recordings.

General Standards of Conduct and Behaviour

1. Council provides a safe workplace for Councillors, Council staff, visitors and the public and has a zero tolerance policy for all forms of aggression, harassment, bullying, encroachment on personal space, inappropriate gesturing, or discrimination which may be associated with a person's sex, race, disability, or other protected attributes.
2. Any person who hinders or disrupts a meeting is liable to a penalty under section 41 of the *Local Government (Meeting Procedures) Regulations 2015*. The Chairperson may also take reasonable steps to remove the person from the meeting or closed meeting, including requesting the assistance of a police officer in removing the person.
3. Under the *Work Health and Safety Act 2012* the General Manager of Council is the person conducting the business of Council and is obligated to provide a safe working environment for staff, Councillors and those attending the workplace. The General Manager may, through the Chairperson or directly, take action to ensure the safety and wellbeing of all persons in attendance.

Access and Inclusion of People with a Disability

Where a person has a disability or requests assistance in accessing or participating in a meeting, Council will make reasonable adjustments to accommodate and support the person's participation in the meeting.

Any needs should be discussed with Council's Customer Service Centre by phoning (03) 6393 5300 as soon as possible before the scheduled day of the meeting.

SECURITY PROCEDURES

At the commencement of the meeting the Chairperson will advise that:

- Evacuation details and information are located on the wall near the entry to Chambers.
- In the unlikelyhood of an emergency evacuation an alarm will sound and evacuation wardens will assist with the evacuation.
- When directed, everyone will be required to exit in an orderly fashion through the front doors and go directly to the evacuation point which is in the car park at the side of the Town Hall.



Notice is hereby given that an Ordinary Meeting of the Meander Valley Council will be held at the Westbury Council Chambers, 26 Lyall Street, Westbury, on **Tuesday 9 November 2021, commencing at 3.00pm.**

In accordance with Section 65 of the *Local Government Act 1993*, I certify that with respect to all advice, information or recommendations provided to Council with this agenda:

1. the advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and
2. where any advice is given directly to Council by a person who does not have the required qualifications or experience, that person has obtained and taken into account in that person's general advice, the advice from an appropriately qualified or experienced person.

John Jordan
GENERAL MANAGER

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Agenda for an Ordinary Meeting of the Meander Valley Council to be held at the Council Chambers Meeting Room, 26 Lyall Street, Westbury, on Tuesday 9 November 2021 at 3.00pm.

Business is to be conducted at this meeting in the order in which it is set out in this agenda, unless the Council by Absolute Majority determines otherwise.

PRESENT

APOLOGIES

IN ATTENDANCE

CONFIRMATION OF MINUTES

(Reference No. 204/2021)

Councillor xx moved and Councillor xx seconded, ***“that the Minutes of the Ordinary Meeting of Council held on Tuesday 12 October 2021, be received and confirmed.”***

COUNCIL WORKSHOPS HELD SINCE THE LAST MEETING

(Reference No. 205/2021)

Date	Items discussed:
28 September 2021	<ul style="list-style-type: none">• Presentation – Cycling Wayfinding Proposal• Independent Audit Panel Recruitment• TasNetworks Palmerston to Sheffield Transmission Line• Former Meander Primary School Consultation• Westbury Showgrounds Boundary Re-alignment• Items for Noting<ul style="list-style-type: none">a) Bracknell Hall – Project Updateb) Sport and Recreation Forum

ANNOUNCEMENTS BY THE MAYOR

(Reference No. 206/2021)

13 October 2021

Opening of Sewing Machine display at the Great Western Tiers Visitor Centre
NTDC Board meeting - Launceston

27 October 2021

Meander Primary information night

29 October 2021

Northern COVID Regional Recovery Committee

2 November 2021

NTDC AGM and Board meeting

4 November 2021

LGAT AGM

ANNOUNCEMENTS BY COUNCILLORS

(Reference No. 207/2021)

Nil

DECLARATIONS OF INTEREST

(Reference No. 208/2021)

TABLING AND ACTION ON PETITIONS

(Reference No. 209/2021)

PUBLIC QUESTION TIME

General Rules for Question Time

Public question time will continue for no more than thirty minutes for 'questions with notice' and 'questions without notice'.

At the beginning of public question time, the Chairperson will firstly refer to any questions with notice. The Chairperson will ask each person who has a question with notice if they would like to ask their question. If they accept, they will come forward and state their name and where they are from (suburb or town) before asking their question(s).

The Chairperson will then ask anyone else with a question without notice to come forward and give their name and where they are from (suburb or town) before asking their question.

If called upon by the Chairperson, a person asking a question without notice may need to submit a written copy of their question to the Chairperson in order to clarify the content of the question.

A member of the public may ask a Council officer to read their question for them.

If accepted by the Chairperson, the question will be responded to, or, it may be taken on notice as a 'question on notice' for the next Council meeting. Questions will usually be taken on notice in cases where the questions raised at the meeting require further research or clarification. These questions will need to be submitted as a written copy to the Chairperson prior to the end of public question time.

The Chairperson may request a Councillor or Council officer to provide a response. A Councillor or Council officer who is asked a question without notice at a meeting may decline to answer the question.

All questions and answers must be kept as brief as possible. There will be no debate on any questions or answers.

In the event that the same or similar question is raised by more than one person, an answer may be given as a combined response.

If the Chairperson refuses to accept a question from a member of the public, they will provide reasons for doing so.

Questions on notice and their responses will be minuted. Questions without notice raised during public question time and the responses to them will be minuted, with exception to those questions taken on notice for the next Council meeting.

Once the allocated time period of thirty minutes has ended, the Chairperson will declare public question time ended. At this time, any person who has not had the opportunity to put forward a question will be invited to submit their question in writing for the next meeting.

Notes

- Council officers may be called upon to provide assistance to those wishing to register a question, particularly those with a disability or from non-English speaking cultures, by typing their questions.
- The Chairperson may allocate a maximum time for each question, or maximum number of questions per visitor, depending on the complexity of the issue, and on how many questions are anticipated to be asked at the meeting. The Chairperson may also indicate when sufficient response to a question has been provided.
- Limited Privilege: Members of the public should be reminded that the protection of parliamentary privilege does not apply to Local Government, and any statements or discussion in the Council Chamber or any documents produced are subject to the laws of defamation and may be made public or be discoverable under the *Right to Information Act 2009* and other legislation.

PUBLIC QUESTION TIME

(Reference No. 210/2021)

1. PUBLIC QUESTIONS TAKEN ON NOTICE – OCTOBER 2021

3.1 Heather Donaldson, Westbury

Many in the community are sad that Frank Nott left the Council so suddenly, giving us no chance to thank him for his work at Council.

If Frank agrees, would it be possible for Council to organise a thank you event?

Response from John Jordan, General Manager:

It is not usual or appropriate for local government authorities to expend ratepayer funds on acknowledgement events for a Councillor who has resigned before the end of their term, or who is not re-elected. Meander Valley Council has not adopted this practice in the past and would not be proposing to set any alternative precedent going forward. To do so would add significantly to the existing fee and time cost already generated by each Councillor resignation, which includes an amount payable to the Electoral Commission to conduct a recount and appoint a replacement. The community of course, may organise a private event if so desired.

3.2 Heather Donaldson, Westbury

I am quite upset about what I see as a growing rift between Council and some members in our community. I don't know who to ask this question to but wouldn't it be better to invite the people concerned to sit down with Council and discuss and try to resolve the problems on both sides rather than banning them from the building?

Further response from Mayor Wayne Johnston:

To clarify the response without notice that I gave to this question at Council's October Ordinary Meeting, I confirm that my remarks were intended to signal my support for sitting down and trying to resolve differences wherever it is constructive to do so.

While no specific offer to meet has been extended by Council, both people in question were provided with written warnings spelling out the concerns around their behaviour. Both were encouraged to reflect and desist from any further inappropriate behaviours. Despite this request, further instances occurred and resulted in these people being advised that would be welcome to return to meetings after providing a satisfactory written assurance around their behaviour.

To be clear, I support any action that supports Councillors and staff to go about their duties in a safe working environment, and that ensures Council business is not disrupted. Standards of behaviour are in place to protect both people and proper process.

I am willing to meet any person with concerns about Council's meeting conduct requirements if they would like to discuss those issues in good faith. No such request has been received.

2. PUBLIC QUESTIONS WITH NOTICE – NOVEMBER 2021

Nil

3. PUBLIC QUESTIONS WITHOUT NOTICE – NOVEMBER 2021

COUNCILLOR QUESTION TIME

(Reference No. 211/2021)

1. COUNCILLOR QUESTIONS TAKEN ON NOTICE – OCTOBER 2021

Nil

2. COUNCILLOR QUESTIONS WITH NOTICE – NOVEMBER 2021

Nil

3. COUNCILLOR QUESTIONS WITHOUT NOTICE – NOVEMBER 2021

DEPUTATIONS BY MEMBERS OF THE PUBLIC

(Reference No. 212/2021)

PLANNING AUTHORITY ITEMS

For the purposes of considering the following Planning Authority items, Council is acting as a Planning Authority under the provisions of the *Land Use Planning and Approvals Act 1993*. The following are applicable to all Planning Authority reports:

Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

Policy Implications

Not Applicable

Legislation

Council must process and determine the application in accordance with the *Land Use Planning and Approvals Act 1993* (LUPAA) and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

Risk Management

Risk is managed by the inclusion of appropriate conditions on the planning permit.

Financial Consideration

If the application is subject to an appeal to the Resource Management Planning and Appeal Tribunal, Council may be subject to the cost associated with defending its decision.

Alternative Recommendations

Council can either approve the application with amended conditions or refuse the application.

Voting Requirements

Simple Majority

PLANNING AUTHORITY 1

Reference No. 213/2021

NORTH MAGGS ROAD, MERSEY FOREST

Planning Application: PA\22\0073
Proposal: Sports and Recreation (firing range and associated development)
Author: George Walker
Consultant Town Planner

1) Proposal

Council has received an application for the development and use of a firing range on land located at North Maggs Road, Mersey Forest (PID: 3392724 – “the site”. Refer to Photos 1 and 2).

Applicant	Kentish Rifle Club Incorporated	
Property	North Maggs Road MERSEY FOREST (PID: 3392724)	
Zoning	Agriculture	
Discretions	20.3.1 P1	Discretionary use
	20.3.1 P2	
	20.3.1 P3	
	20.3.1 P4	
	C2.6.1 P1	Construction of parking areas
	C2.6.5 P1	Pedestrian access
Existing Land Use	Forestry operations	
Number of Representations	52	
Decision Due (extension granted)	10 November 2021	
Planning Scheme	<i>Tasmanian Planning Scheme – Meander Valley</i> (“the Scheme”)	



Photo 1: Aerial image identifying the location of the site within the context of the municipal area and a point marker showing where the proposed firing range will be located within the site.



Photo 2: Aerial image showing the indicative location of the proposed firing range within the site.

The site comprises a large irregular shaped parcel of land that has an area of 6,917ha. It encompasses Maggs Mountain in its western half and the Arm River valley in its eastern half. The entire site is identified as Permanent Timber Production Zone Land declared under the *Forest Management Act 2013*.

Access to the site is from Maggs Road via Mersey Forest Road. Maggs Road winds around the northern side of Maggs Mountain for approximately 3.3km before Arm Road splits off in a south-westerly direction. Maggs Road continues climbing the western side of Maggs Mountain, rising from an elevation of approximately 640m at the Arm Road junction to an elevation of approximately 880m at the junction with Maggs Road North which follows the plateau of Maggs Mountain which is aligned in a general north to south direction. From the North Maggs Road junction, Maggs Road travels south before winding down the southern side of Maggs Mountain and continuing west to return to Arm Road between Arm River and February Creek. Maggs Road and Arm Road are public access roads and North Maggs Road is an authorised access road. All roads are under the authority of Sustainable Timber Tasmania (STT).

North Maggs Road is a loop road on the Maggs Mountain plateau. The proposed firing range will be located on the eastern side of North Maggs Road, approximately 1.6km from the Maggs Road junction. The location of the proposed firing range is within a 113ha area of forestry operation land which is regenerating following logging (refer to Photo 3).



Photo 3: Photograph looking south-east in the general direction of the proposed firing range from North Maggs Road.

The location and configuration of the proposed firing range is illustrated in Figures 1 and 2 below.

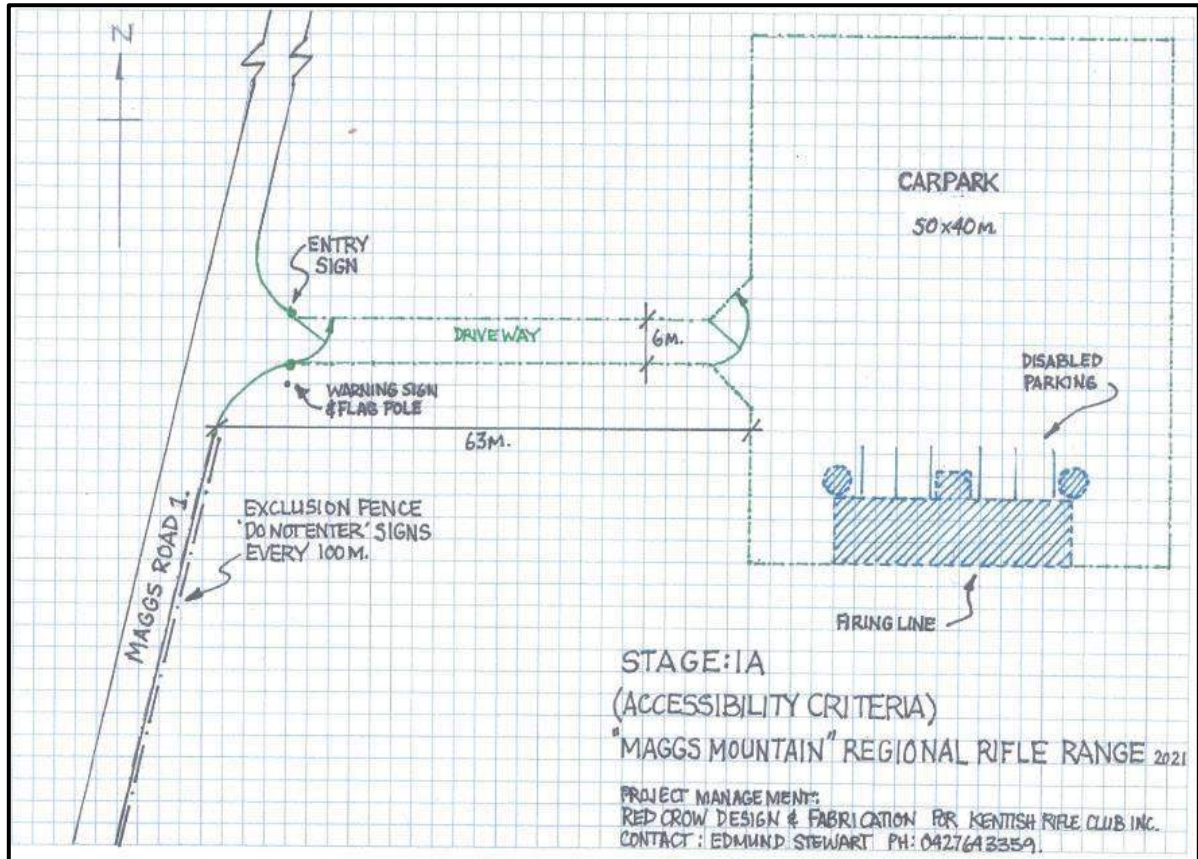


Figure 1: Excerpt of the submitted firing range layout.

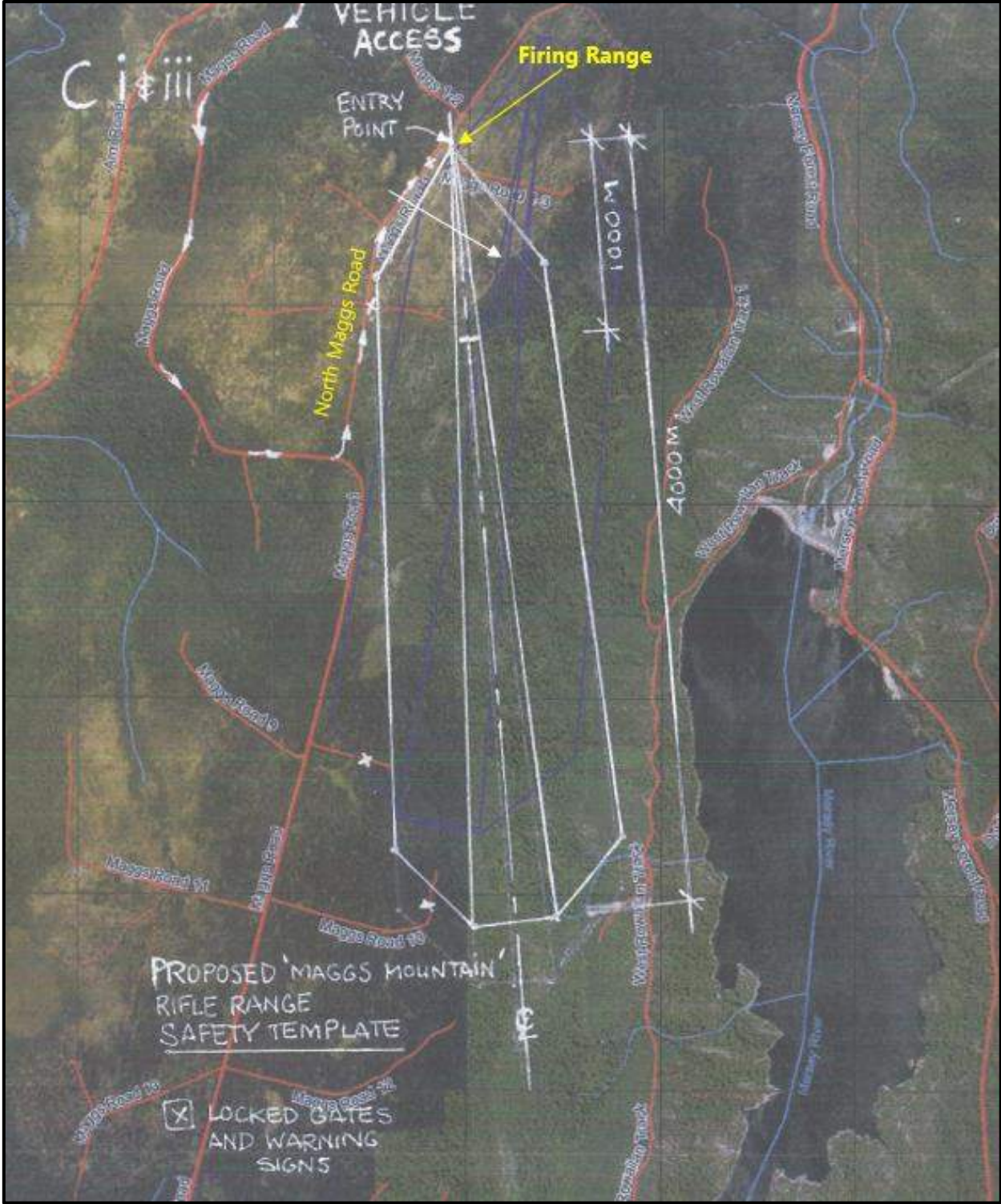


Figure 2: Excerpt of the submitted firing site plan and safety plan.

2) Summary of Assessment

The application proposes to construct and use a firing range. The proposed firing range will comprise the following components:

1. A new gravel driveway and car park. The driveway will extend from the eastern side of North Maggs Road for a length of approximately 63m. The car park and firing range will be contained within a 50m by 40m level gravel hardstand area.
2. The firing line will be located at the southern end of the car park and will comprise two (2) buildings (both 12m by 2.4m) that will be orientated in a general east-west alignment. The buildings will be positioned with a 4m gap between them. A roof structure will be located over the buildings and passage and will extend to the south to provide cover above the firing line. The buildings will be used for storage, meetings and a toilet.
3. The firing range will extend in a general south-east direction for 1km from the firing line. The main target range will comprise a gravel path with target spurs set at 100m intervals on each side. The path will be constructed of compact gravel and graded with a level surface. A butt stop will be constructed at the end of the range to minimise projectiles from travelling beyond the end of the range. The outer parts of the gravel path of the firing range will be maintained in a low vegetative state.
4. A safety area will envelope the firing range for a distance of up to 4km. The final extent of the safety area will be determined by the Commissioner of Police under the *Firearms Act 1996*.

It is proposed to operate the firing range on Fridays, Saturdays and Sundays. There will be up to 25 club days, four (4) state competition days and two (2) national competition days for a total of up to 31 practice and competition days per year.

The applicant estimates that the following maximum number of vehicle trips (to and from the site) will occur for specific days:

- Club days: 24
- State club days: 50
- National competitions: 90

The applicant has confirmed that shooting will occur in up to two (2) blocks between the hours of 9.00am and 4.00pm.

The applicant is comfortable for a condition to be applied to any permit limiting the hours of operation to this period. It is therefore recommended that a condition be applied to any permit which limits the number of shooting days and events per year and the hours shooting can occur when in use.

3) Recommendation

It is recommended that the application for Use and Development of Sport and Recreation (firing range and associated development), at North Maggs Road MERSEY FOREST (PID: 3392724), by Kentish Rifle Club Incorporated, be APPROVED, generally in accordance with the endorsed plans:

1. Proposed 'Maggs Mountain' Rifle Range Plans including:

- a. Safety Template;***
- b. Building Floor and Elevation;***
- c. Access and Carpark;***
- d. Signage;***
- e. Carpark and Firing Line;***
- f. Firing Line; and***
- g. Firing Line Detail Plan View.***

and subject to the following conditions:

1. The firing range must:

- a. operate no more than 31 days per calendar year; and***
- b. limit use of firearms to between 9:00am and 4:00pm on operational days.***

This condition excludes all use of the firing range where firearms are not discharged.

Notes:

- 1. An onsite wastewater design report from a suitably qualified person will be required at the building/plumbing permit stage.***

- 2. Registration as a private water supplier will be required if drinking water from a private water source is used for commercial purposes.**
- 3. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Development and Regulatory Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
- 4. This permit takes effect after:**
 - a) The 14 day appeal period expires; or**
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or**
 - c) Any other required approvals under this or any other Act are granted.**
5. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received.
7. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
8. If any Aboriginal relics are uncovered during works:
 - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
 - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania) Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au; and
 - c) The relevant approval processes will apply with state and federal government agencies.

4) Representations

The application was advertised for the statutory 14-day period from 5 October to 19 October 2021. It is noted that an incorrect planning notice was erected at the site and as such the representation period was extended until 22 October 2021. During the advertising period 52 representations were received.

A summary of the concerns raised in the representations is provided below. While the summary attempts to capture the essence of the concerns, it should be read in conjunction with the full representations included in the attachments.

The table is divided into three (3) columns. The first column lists the key concerns and themes raised by representors. The second column identifies which representor raised the concern or theme within their submission by their number. The third column provides a response to the concern or themes raised. The following comments are relevant to the representations that have been made:

1. 26 submissions were against the proposed firing range.
2. 26 submissions were supportive of the proposed firing range.
3. Representation numbers 3, 4 and 21 were submitted by the same person.
4. Representation 3 is not referenced in the table on the basis that it was a photo and did not raise any specific concerns.

Concern or Theme	Representation	Response
<p>1. Sustainable Timber Tasmania (STT) advised that their approval is subject to obtaining regulatory approval (presumably under the <i>Firearms Act 1996</i>), completion of a Forestry Activity Assessment, consultation and relevant consent from the Department of Primary Industry Water and Environment (DPIPWE) and negotiation of a lease with STT.</p>	<p>1</p>	<p>Noted.</p>
<p>2. There is confusion regarding the 2km Exclusion Zone on the topographical map that was included within the Development Application. The Exclusion Zone includes private property and public roads and no information was included regarding what restrictions would occur within the zone.</p>	<p>1,4/21,5,10,11,12,15, 18,22,23</p>	<p>Clarification was sought from the applicant in relation to the 'Exclusion Zone' that is shown on the submitted topographical map. The applicant advised that the title was written in error and should have read 'Attenuation Zone' which is a reference to the attenuation distance for a shooting range listed in Table C9.1 of the Attenuation Code.</p> <p>It has been determined that the proposed firing range complies with Acceptable Solution C9.5.1 A1 of the Attenuation Code on the basis that the 2km attenuation area required for the firing range will not include a sensitive use, a site that has a planning permit for a sensitive use or land within the General Residential Zone, Inner Residential Zone, Low Density Residential Zone, Rural Living Zone A and B, Village Zone or Urban Mixed Use Zone.</p> <p>The Exclusion Zone that is shown on the topographical map does not mean that land within the zone will preclude, constrain or alter the way in which it's currently used by private land owners and the public. The use of public roads (Maggs Road, Mersey Forest Road and Arm Road) will not be impeded.</p>

Concern or Theme	Representation	Response
<p>3. The firing range will cause a significant impact on surrounding shack and land owners by way of noise and obstruction of access to the region.</p>	<p>2,22</p>	<p>The proposed firing line, where firearms will be discharged, is located within Permanent Timber Production Zone land. It is located approximately 1.5km from the nearest site boundary and approximately 200m in elevation above Arm Road, 400m in elevation above the Lake Rowallan dam wall and 440m in elevation above Mersey River. The tenure of the land and (minimum) horizontal and vertical distances of the proposed firing line from site boundaries and key public spaces within the surrounding area will buffer and minimise noise emissions generated by gun shot at adjoining properties that contain huts and support other recreational uses.</p>
<p>4. The application, as advertised, did not include sufficient information to determine the intensity and scale of the proposed use in order to determine the level of environmental impact that it will have on surrounding properties and uses.</p>	<p>4/21,7,22,25</p>	<p>The application included information relating to operating hours, the number of days per year the use will operate and the number of estimated vehicle trips the use will generate.</p> <p>Based on the information, the use will occur a maximum of 31 days per calendar year (which equates to 8.5% of the year) and will generate an average daily vehicle use of 2.7 vehicle per day.</p> <p>A condition has been recommended limiting the use of the firing range to 31 days per year and the discharging of firearms to between 9:00am and 4:00pm on these days.</p> <p>Based on this information and recommended condition (as well as other factors including separation distance and topographical buffers), the scale and intensity of the proposed use will be mitigated to a level that is expected to cause minimal adverse impacts on adjoining and surrounding uses and users in terms of environmental emissions.</p>

Concern or Theme	Representation	Response
<p>5. The proposal does not comply with the Discretionary Use provisions in standard 20.3.1 of the Rural Zone. In this regard, the proposed firing range will impact recreational use of the area including fishing, camping and bushwalking and enjoyment of use by visitors. Furthermore, the Exclusion Area will confine surrounding uses and the proposed development does not minimise the conversion of agricultural land to a non-agricultural use.</p>	<p>4/21,6,13,15</p>	<p>The proposed firing range has been assessed as satisfying Performance Criteria P1, P2, P3 and P4 of Standard 20.3.1 of the Rural Zone.</p> <p>Please refer to Section 6 of the planning report for a detailed assessment of these provisions.</p>
<p>6. The proximity of a rifle range to the Arm River Education Centre is not conducive to the safety and wellbeing of children and others who stay there.</p>	<p>4/21</p>	<p>Matters relating to public safety and safety of surrounding land users is controlled under the <i>Firearms Act 1996</i>. In this regard, the Commissioner of Police must not grant an application to approve a firing range unless they are satisfied that the situation, construction, suitability and equipment of the range do not cause a hazard to the users of the range, the general public or any other property.</p> <p>Accordingly, if the Commissioner of Police is not satisfied that the proposed firing range meets the specification requirements, then the firing range will not be able to operate, irrespective of whether a planning permit is granted for its use.</p>
<p>7. The proposed location does not offer the infrastructure that a rifle range needs. In this regard there is only a single road access which is a dead-end road, narrow and steep sided and there is no mobile reception which would be</p>	<p>4/21</p>	<p>The planning assessment has determined that the location of the proposed firing range is suitable and appropriate for the purposes of Standard 20.3.1 of the Rural Zone.</p>

Concern or Theme	Representation	Response
necessary in the event of an emergency.		
8. The proposed use and development does not satisfy the Attenuation Code.	4/21,15	The assessment has determined that the Attenuation Code is not applicable. Refer to Section 6 part C9 Attenuation Code.
9. The proposed use and development does not address or satisfy the Bushfire-Prone Area Code.	4/21,6	The Bushfire-Prone Area Code is not applicable to the proposal on the basis that it does not involve subdivision of land or a hazardous or vulnerable use.
10. The proposed use and development does not address or satisfy the Landslip Code.	4/21,6	The Landslip Code is not applicable on the basis that the proposed use and development, being works and occupation of people (excluding the safety exclusion area) is not within an identified landslip hazard area.
11. The proposed use and development does not address or satisfy the Natural Assets Code.	6	The location of the proposed use and development is not subject to a Watercourse Protection Area or Priority Vegetation Area.
12. The application does not contain any information detailing how threatened and endangered wildlife will be managed or what impact the proposed firing range will have on wildlife (such as noise and debris from latent ammunition).	4/21,6,8,11,16,19,22	<p>Matters relating to natural values are contemplated by the Planning Scheme under the Natural Assets Code. In this situation, the Natural Assets Code does not apply to the proposed use and development. Accordingly, the application is not required to address matters relating to impact on natural values.</p> <p>Notwithstanding, this does not exclude the proposed use and development from consideration under the <i>Threatened Species Protection Act 1995</i> and the <i>Environmental Protection and Biodiversity Conservation Act 1999</i>. These Acts are outside the jurisdiction of Council.</p> <p>It is noted that part of the process for securing a lease with STT, the applicant will be required to prepare a Forest Activity Assessment and will need to liaise with DPIPW in relation to impacts on natural values.</p>

Concern or Theme	Representation	Response
13. The development application does not provide any information regarding the impact on helicopter flight paths.	5,6	The site is not subject to the Safeguarding of Airports Code. Consideration of helicopter flight paths is therefore not required by the Planning Scheme.
14. Concern relating to how the proposed firing range will impact users of the Arm River and Maggs Road walking tracks and other nearby walking tracks.	5,7	Please refer to the response to Concern or Theme 4.
15. The development application does not include sufficient information relating to impacts on users of surrounding National Parks including Cradle Mountain Lake St Claire and the Walls of Jerusalem National Park.	5,7,25,26,27	Please refer to the response to Concern or Theme 4. Further to this, the location of the proposed firing line will be 8.5km to the north-west of the Walls of Jerusalem bushwalking entrance and 17km to the north of the nearest point of the Overland Track.
16. The proposed firing range will be inconsistent with, and adversely impact upon, passive nature based recreation values and activities including bushwalking, fishing, canoeing and Whitewater rafting.	6,7,9,11,13,14,17,18,19,22,25,26,27	Please refer to the response to Concern or Theme 3 and 4.
17. There are other firing ranges within Kentish, Penguin and Campbell Town. There is no pressing reason for the rifle club to establish in this location and it is not of particular importance or significant.	7,11,13	Noted. This is not a relevant consideration under the terms of the Planning Scheme.
18. Concern that gun-shot noise emissions will be almost certainly very audible, offensive and in general detriment to hut users by impinging on the overall peace and tranquillity of the area.	4/21,10	Please refer to the response to Concern or Theme 3 and 4.

Concern or Theme	Representation	Response
19. The proposed firing range will cause a safety risk for bushwalkers, anglers and users of the surrounding area.	17,28	Please refer to the response to Concern or Theme 6.
20. The proposed firing range will result in an increase of vehicle use of the area and will lead to deterioration and damage to the road surfaces which will interrupt other users where further road maintenance is required.	19,22	Please refer to the response to Concern or Theme 4.
21. Support of the proposal provided public access along Maggs Road will not be impeded for access to the Arm River Walking Track in addition to other areas within the Exclusion Area.	20,24	Noted. The proposed firing range will not impede access to any public roads within the surrounding area (please refer to the response to Concern or Theme 2 in relation to this matter).
22. An environmental impact assessment has not been undertaken for the proposed firing range.	22,23	The application is not required to have an environmental impact assessment undertaken under the terms of the Planning Scheme.
23. Does the proposal require referral to the Tasmanian or Commonwealth governments for an assessment under their environmental legislation?	23	No. The statutory referral process is associated with Level 2 Activities under the <i>Environmental Management and Pollution Control Act 1994</i> (EMPCA). A firing range is not a Level 2 Activity under Schedule 2 of EMPCA.
24. Is the land to be purchased or leased and how long will the lease go for?	23	This is not a relevant consideration under the terms of the Planning Scheme.
25. What is the frequency and hours of operation of the use and how many vehicles can be expected?	23	Please refer to the response to Concern or Theme 4.
26. How surrounding users be made aware of the firing range within the area?	23	A specification of an outdoor firing range is the requirement to place signage at all access points clearly identifying the presence of the firing range. The submitted information indicates where such signage will be located. Please refer to the

Concern or Theme	Representation	Response
<p>27. General support for the proposed firing range in terms of supporting employment and business within the municipality, encouraging sport and recreation use in all forms and promotion of the area to different users noting that target shooting is recognised as a safe and inclusive national and internationally recognised sport. The proposed rifle range also offers educational and training to firearms users.</p>	<p>29,30,31,32,33,34,35, 36,37,38,39,40,42,43, 44,45,46,47,48,49,50, 51, 52</p>	<p>response to Concern or Theme 6 in this regard. Noted.</p>
<p>28. General support subject to receiving information directly from the applicant.</p>	<p>41</p>	<p>Noted.</p>

5) Consultation with State Government and other Authorities

Not applicable

6) Scheme Assessment

Use Class: Sports and Recreation

Performance Criteria

20.0 Rural Zone														
21.3.1 Discretionary uses														
Objective <i>That the location, scale and intensity of a use listed as Discretionary:</i> <i>(a) is required for operational reasons;</i> <i>(b) does not unreasonably confine or restrain the operation of uses on adjoining properties;</i> <i>(c) is compatible with agricultural use and sited to minimise conversion of agricultural land; and</i> <i>(d) is appropriate for a rural location and does not compromise the function of surrounding settlements.</i>														
Performance Criteria P1 <i>A use listed as Discretionary, excluding Residential, must require a rural location for operational reasons, having regard to:</i> <i>(a) the nature, scale and intensity of the use;</i> <i>(b) the importance or significance of the proposed use for the local community;</i> <i>(c) whether the use supports an existing agricultural use;</i> <i>(d) whether the use requires close proximity to infrastructure or natural resources; and</i> <i>(e) whether the use requires separation from other uses to minimise impacts.</i>														
Response The table below identifies the status of the use of a firing range within each zone of the Planning Scheme: <table border="1" data-bbox="357 1591 1263 1871"><thead><tr><th>Planning Scheme Zone</th><th>Use Status</th></tr></thead><tbody><tr><td>General Residential</td><td>Prohibited</td></tr><tr><td>Inner Residential</td><td>Not used</td></tr><tr><td>Low Density Residential</td><td>Prohibited</td></tr><tr><td>Rural Living</td><td>Prohibited</td></tr><tr><td>Village</td><td>Permitted</td></tr><tr><td>Urban Mixed Use</td><td>Discretionary</td></tr></tbody></table>	Planning Scheme Zone	Use Status	General Residential	Prohibited	Inner Residential	Not used	Low Density Residential	Prohibited	Rural Living	Prohibited	Village	Permitted	Urban Mixed Use	Discretionary
Planning Scheme Zone	Use Status													
General Residential	Prohibited													
Inner Residential	Not used													
Low Density Residential	Prohibited													
Rural Living	Prohibited													
Village	Permitted													
Urban Mixed Use	Discretionary													

Local Business	Discretionary
General Business	Discretionary
Commercial	Not used
Light Industrial	Discretionary
General Industrial	Discretionary
Rural	Discretionary
Agriculture	Discretionary
Landscape Conservation	Prohibited
Environmental Management	Discretionary
Major Tourism	Discretionary
Port and Marine	Not used
Utilities	Discretionary
Community Purpose	Discretionary
Recreation	No Permit Required
Open Space	Discretionary
Future Urban	Prohibited
Particular Purpose Zone - Natural Living	Not listed

The table illustrates that a firing range is prohibited in all residential zones including the Landscape Conservation zone. A firing range has a no permit required and permitted status in the Recreation and Village zones, respectively. A firing range has a discretionary status in all other applicable zones.

A firing range is an activity listed in Table C9.1 Attenuation Distances of the Attenuation Code. The attenuation distance associated with a firing range is 2km. Clause 9.3.1 of the Attenuation Code specifies that an attenuation distance is required to be measured outward from the boundary of a site on which the attenuating activity is located rather than where the activity occurs within the site. Acceptable Solution C9.5.1 A1 encourages the minimisation of adverse impacts on the health, safety and amenity of sensitive use from activities which have the potential to cause emissions by requiring the attenuation area of an attenuating activity to not include residential zoned land and sensitive uses.

The Planning Scheme defines the term "*sensitive use*" as follows:

"a residential use or a use involving the presence of people for extended periods, except in the course of their employment such as a caravan park, childcare centre, dwelling, hospital or school."

A zone analysis indicates the following:

- The Village Zone is applied to small rural settlements which predominately contain residential use.
- Land zoned Light Industrial, General Industrial, Community Purpose and Recreation is generally located adjacent or proximate to settlements.
- Land zoned Urban Mixed Use, Local Business and General Business is typically encased by residential zones.
- The Utilities Zone is applied to roads and other major utility facilities.
- The Environmental Management Zone is applied to conservation areas under the *Nature Conservation Act 2002*.
- The land outside settlements, infrastructure corridors and conservation areas is the Rural and Agriculture Zone.

Based on the above analysis, the zones that allow a firing range, excluding the Utilities and Environmental Management Zone, adjoin or are proximate to residential zoned land and contain high concentrations of people and associated sensitive uses. Land within or adjacent to a settlement area is therefore not considered suitable for a firing range due to the high concentration of sensitive uses. In addition, the Utilities Zone is not practical for a firing range and the Environmental Management Zone should be avoided to prevent impacts on conservation land. The default zone outside of these areas is therefore Rural or Agriculture.

With respect to operational aspects, the proposed firing range requires a large contiguous area that is relatively level with good line of sight to accommodate the firing range and associated safety area which can extend up to 4km. It is also preferable to locate firing ranges away from high concentrations of sensitive uses such as settlements and other small residential nodes.

Based on the zone analysis, and considering the operational aspects of the proposed firing range, it is concluded that the firing range requires a rural location due to a lack of other suitably sized and zoned land outside settlement areas that is capable of accommodating the use. In this regard, the location of the site is removed (under the terms of the Attenuation Code) from sensitive uses including settlement areas and small residential nodes and the size and topography of the site is suitable for the requirements of the firing range.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

Performance Criteria P2

A use listed as Discretionary must not confine or restrain existing use on adjoining

properties, having regard to:

(a) the location of the proposed use;

(b) the nature, scale and intensity of the use;

(c) the likelihood and nature of any adverse impacts on adjoining uses;

(d) whether the proposed use is required to support a use for security or operational reasons; and

(e) any off site impacts from adjoining uses.

Response

The proposed firing range is not expected to confine or restrain existing use on adjoining properties.

Adjoining properties are properties that are next to or have a common boundary with the site. Adjoining private freehold properties are detailed in the table below.

Property	Title	Tenure	Distance from firing line	Direction
1	208926/1	Private Freehold - vacant	4.5km	south-west
2	210371/1	Private Freehold - hut	2.9km	south-west
3	202470/1	Private Freehold - hut	2.6km	south-west
4	202306/1	Private Freehold - vacant	1.2km	west
5	209864/1	Private Freehold - hut	1.8km	south-west
6	202305/1	Private Freehold - vacant	1.5km	west
7	236746/1	Private Freehold - private timber reserve	3.3km	north

The private freehold properties are used for a mixture of short-term accommodation and forestry. Short term accommodation is typically contained in existing huts, but is likely to also include some camping.

All other adjoining properties consist of Permanent Timber Production Zone land, Future Potential Production Forest land, Hydro-Electric Corporation land (Lake Rowallan) or Regional Reserve land which includes the Arm River Regional Reserve at the north-eastern side of Maggs Mountain and the Maggs Mountain Regional Reserve at the south-eastern side of Maggs Mountain.

The proposed firing range use will not confine or restrain existing and future use of the Permanent Timber Production Zone land, Future Potential Production Forest land, Hydro-Electric Corporation land.

The land that the firing line building will be located on, and where firearms will be discharged from, will be located a minimum horizontal distance of approximately 1.5km to a boundary of the site which is to the west.

In addition to the horizontal separation from the nearest adjoining property, the land will be located on an elevation of approximately 880m AHD which, for perspective, is approximately 400m above the level of the Lake Rowallan dam wall and 200m above Arm Road which is the primary vehicle access to the private freehold properties to the west. The substantial horizontal and vertical distance that will be provided between the firing line and adjoining properties and the resultant buffer created by the topography will minimise noise emissions generated when the firing range is in use from being received by users of adjoining properties, including the Regional Reserves. To this effect, the nature of the noise being received at adjoining properties will be soft rather than loud. In any event, the likelihood of gunshot noise being heard at adjoining properties is considered low on the basis that the firing range will operate 8.5% of the year (by days).

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

Performance Criteria P3

A use listed as Discretionary, located on agricultural land, must minimise conversion of agricultural land to non-agricultural use and be compatible with agricultural use, having regard to:

- (a) the nature, scale and intensity of the use;*
- (b) the local or regional significance of the agricultural land; and*
- (c) whether agricultural use on adjoining properties will be confined or restrained.*

Response

The Planning Scheme defines the terms "agricultural land" and "agricultural use" as follows:

***"agricultural land"** means all land that is in agricultural use, or has the potential for agricultural use, that has not been zoned or developed for another use or would not be unduly restricted for agricultural use by its size, shape and proximity to adjoining non-agricultural uses.*

...

***agricultural use** means use of the land for propagating, cultivating or harvesting plants or for keeping and breeding of animals, excluding domestic animals and pets. It includes the handling, packing or storing of plant and animal produce for dispatch to processors. It includes controlled environment agriculture and plantation*

forestry."

Agricultural use is distinct from "*forestry operation*" use which is defined in the Planning Scheme as follows:

"means work connected with -

(a) seeding and planting trees; or

(b) managing trees before they are harvested; or

(c) harvesting, extracting or quarrying forest products –

and includes any related land clearing, land preparation, burning-off or access construction."

The land on which the proposed firing range will be located on is identified as Permanent Timber Production Zone Land declared under the *Forest Management Act 2013*. It is identified as regenerating cleared land in accordance with TAVEG 4.0 mapping which has been confirmed by a site visit. Accordingly, the proposed use will not be located on agricultural land.

The Performance Criteria is therefore not applicable to the proposal.

Performance Criteria P4

A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to:

(a) the nature, scale and intensity of the proposed use;

(b) whether the use will compromise or distort the activity centre hierarchy;

(c) whether the use could reasonably be located on land zoned for that purpose;

(d) the capacity of the local road network to accommodate the traffic generated by the use; and

(e) whether the use requires a rural location to minimise impacts from the use, such as noise, dust and lighting.

Response

The proposed firing range use is appropriate for a rural location.

The nature and scale of the use and the intensity of noise emissions that are generated by the use make it necessary for it to be located in areas that are removed from high concentrations of sensitive uses including settlements and small residential nodes. These areas have been identified as being rural locations. The zone analysis has identified that the proposed use is not suitable to be located in the Village or Recreation zones, in which the Sports and Recreation use class has a permitted and no permit required status respectively, due to the proximity to sensitive uses which make

it difficult for the requirements of the Attenuation Code of the Planning Scheme to be satisfied.

The use is not a use of a type or nature that will compromise or distort the activity centre hierarchy.

It has been determined that the proposed firing range will generate an annual average daily traffic movement to and from a site of 2.7 vehicles per day. Accordingly, the existing road network, which includes two roads that are maintained for public use, will have capacity to absorb the additional traffic generated by the use.

The location of the proposed firing range will assist to minimise noise impacts due to its substantial distance from sensitive uses.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

C2.0 Parking and Sustainable Transport Code

C2.6.1 Construction of parking areas

Objective

That parking areas are constructed to an appropriate standard.

Performance Criteria P1.1

All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) the nature of the use;*
- (b) the topography of the land;*
- (c) the drainage system available;*
- (d) the likelihood of transporting sediment or debris from the site onto a road or public place;*
- (e) the likelihood of generating dust; and*
- (f) the nature of the proposed surfacing.*

Response

The proposed parking area will be readily identifiable and constructed to an appropriate standard so that they are useable in all weather conditions. The access and parking area will be constructed with a compacted gravel subbase and surface which is the same material used for North Maggs Road. The clearing and gravel surface will delineate the access and parking area from the surrounding vegetation. The access and parking area is capable of being constructed with appropriate fall to allow the surface to drain stormwater. The proposed firing range will operate up to 31

days per calendar year. Accordingly, the proposed access and parking area will be used infrequently. The nature of the proposed surfacing of the access and parking area is therefore considered appropriate for the intended use.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

C2.6.5 Pedestrian access

Objective

That pedestrian access within parking areas is provided in a safe and convenient manner.

Performance Criteria P1

Safe and convenient pedestrian access must be provided within parking areas, having regard to:

- (a) the characteristics of the site;*
- (b) the nature of the use;*
- (c) the number of parking spaces;*
- (d) the frequency of vehicle movements;*
- (e) the needs of persons with a disability;*
- (f) the location and number of footpath crossings;*
- (g) vehicle and pedestrian traffic safety;*
- (h) the location of any access ways or parking aisles; and*
- (i) any protective devices proposed for pedestrian safety.*

Response

The proposed firing range will operate up to 31 days per calendar year. Accordingly, the proposed access and parking area will be used infrequently. The firing range will predominately be used by members of the rifle club who will be familiar with the site and parking arrangements. Furthermore, the parking area will be open which will allow good visibility between the parking area and the firing line. Accordingly, the low frequency of use and typically high familiarity of the site by users will improve vehicle and pedestrian safety within the parking area. Accessible parking spaces will be provided adjacent to the main entrance to the firing line.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

Applicable Standards

A brief assessment against all applicable Acceptable Solutions of the applicable zone and codes is provided below.

20.0 Rural Zone														
Scheme Standard	Comment	Assessment												
20.3 Use Standards														
20.3.1 Discretionary uses														
A1	The proposal involves a new Discretionary use.	Relies on Performance Criteria												
A2	There is no acceptable solution.	Relies on Performance Criteria												
A3	There is no acceptable solution.	Relies on Performance Criteria												
A4	There is no acceptable solution.	Relies on Performance Criteria												
20.4 Development Standards for Building and Works														
20.4.1 Building Height														
A1	The building will have a maximum height of 3.6m.	Complies												
20.4.2 Setbacks														
A1	The proposed building will have the following estimated boundary setbacks: <table border="1" data-bbox="451 1350 873 1612" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th>Boundary</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>1.5km</td> </tr> <tr> <td>East</td> <td>1.5km</td> </tr> <tr> <td>West</td> <td>1.7km</td> </tr> <tr> <td>South</td> <td>11km</td> </tr> <tr> <td>North-West</td> <td>5.2km</td> </tr> </tbody> </table>	Boundary	Setback	North	1.5km	East	1.5km	West	1.7km	South	11km	North-West	5.2km	Complies
Boundary	Setback													
North	1.5km													
East	1.5km													
West	1.7km													
South	11km													
North-West	5.2km													
A2	The building will not be used for a sensitive use.	Not Applicable												
20.4.3 Access for new dwellings														
A1	The proposal does not involve a dwelling.	Not Applicable												

Codes

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
C2.2 Application of this Code		
	The code applies to all use and development.	Code applies
C2.4 Development exempt from this Code		
	There are no exemptions.	Code Applies
C2.5.1 Car parking numbers		
A1	Table C2.1 requires 50 car parking spaces to be provided per sport and recreation facility. The proposed car parking area will measure 40m by 50m. Conservatively, 4 rows of 15 car parking spaces are capable of being accommodated within the designated car parking area. This equates to 60 car parking spaces and excludes the four (4) accessible parking spaces that will be located adjacent to the building.	Complies with Acceptable Solution
C2.5.2 Bicycle parking numbers		
A1	Table C2.1 does not set a requirement for bicycle parking spaces to be provided for a firing range.	Not Applicable
C2.5.3 Motorcycling parking numbers		
A1	Motorcycle parking spaces are capable of being provided on the eastern or western side of the building, or within the surplus parking area that will be provided.	Complies with Acceptable Solution
C2.5.4 Loading bays		
A1	Clause 2.5.4 does not apply to the Sport and Recreation Use Class in accordance with clause C2.2.3.	Complies with Acceptable Solution
C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential zone		

A1	The site is not located within the General Residential Zone or Inner Residential Zone.	Not Applicable
C2.6.1 Construction of parking areas		
A1	The proposed vehicle parking, access and circulation area will be constructed of compacted gravel and will be drained to an onsite stormwater detention point. The site is located within the Rural zone.	Complies with Acceptable Solution
C2.6.2 Design and layout of parking areas		
A1.1	<p>The proposed vehicle parking, access and circulation area will:</p> <ul style="list-style-type: none"> • be constructed with a surface with a gradient that is appropriate for accessible purposes; • enable vehicles to enter and exit in a forward direction; • have a minimum driveway width of 6m which satisfies the requirements of Table C2.2; • have sufficient dimensions to enable car parking spaces to have a width of 2.6m and length of 5.4m and a parking aisle of 6m; • not be vertically impeded. <p>However, all parking spaces are unlikely to be delineated by line marking or other physical means.</p>	Relies on Performance Criteria
A1.2	Proposed accessible parking spaces will be located at the front of the building and will be designed and constructed in accordance with AS2890.6.	
C2.6.3 Number of accesses for vehicles		
A1	The proposal does not involve any additional vehicle accesses.	Not Applicable
A2	The site is not located within the Central Business zone.	Not Applicable

C2.6.4 Lighting of parking within the General Business Zone and Central Business Zone		
A1	The site is not located within the General Business Zone or Central Business Zone.	Not Applicable
C2.6.5 Pedestrian access		
A1.1	Designated pedestrian footpaths are not proposed.	Not Applicable
A1.2	The accessible parking spaces will be positioned adjacent to the main entrance to the building.	
C2.6.6 Loading bays		
A1	The proposal is not required to provide loading bays.	Not Applicable
A2	The proposal is not required to provide loading bays.	Not Applicable
C2.6.7 Bicycles parking and storage facilities within the General Business Zone and Central Business Zone		
A1	The site is not located within the General Business Zone or Central Business Zone.	Not Applicable
A2	The site is not located within the General Business Zone or Central Business Zone.	Not Applicable
C2.6.8 Siting of parking and turning areas		
A1	The site is not located in the Inner Residential, Village, Urban Mixed Use, Local Business or General Business zones.	Not Applicable
A2	The site is not located within the Central Business zone.	Not Applicable
C2.7.1 Parking precinct plan		
A1	The site is not subject to a parking precinct plan	Not Applicable
C3 Road and Railway Assets Code		
Scheme Standard	Comment	Assessment
C3.2 Application of this Code		
	The proposal includes a new access off North Maggs Road.	Code applies
C3.4 Development exempt from this Code		
	There are no exemptions.	Exempt

C3.5 Use Standards		
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction		
A1.1	North Maggs Road is not a category 1 or a limited access road.	Not Applicable
A1.2	North Maggs Road is under the authority of Sustainable Timber Tasmania (STT). STT have provided a letter of support for the proposed firing range and included in the letter, is the requirement for a Forest Activity Assessment to be prepared which will identify specific conditions required to manage impacts of the range on the site. The letter is considered sufficient evidence that STT consent for the proposed new vehicle access.	Complies with Acceptable Solution
A1.3	The proposal does not involve a private level crossing.	Not Applicable
A1.4	Based on the information provided by the applicant, the proposed use has the potential to generate up to 980 vehicle movements per year (accounting for ingress and egress). This results in an annual average daily traffic movement to and from a site of 2.7 vehicles per day.	Complies with Acceptable Solution
A1.5	North Maggs Road is not a major road.	Complies with Acceptable Solution
C3.6 Development Standards for Building or Works		
C3.6.1 Habitable Buildings for Sensitive uses within a road or railway attenuation area		
A1	The site is not located within a road or railway attenuation area.	Not Applicable

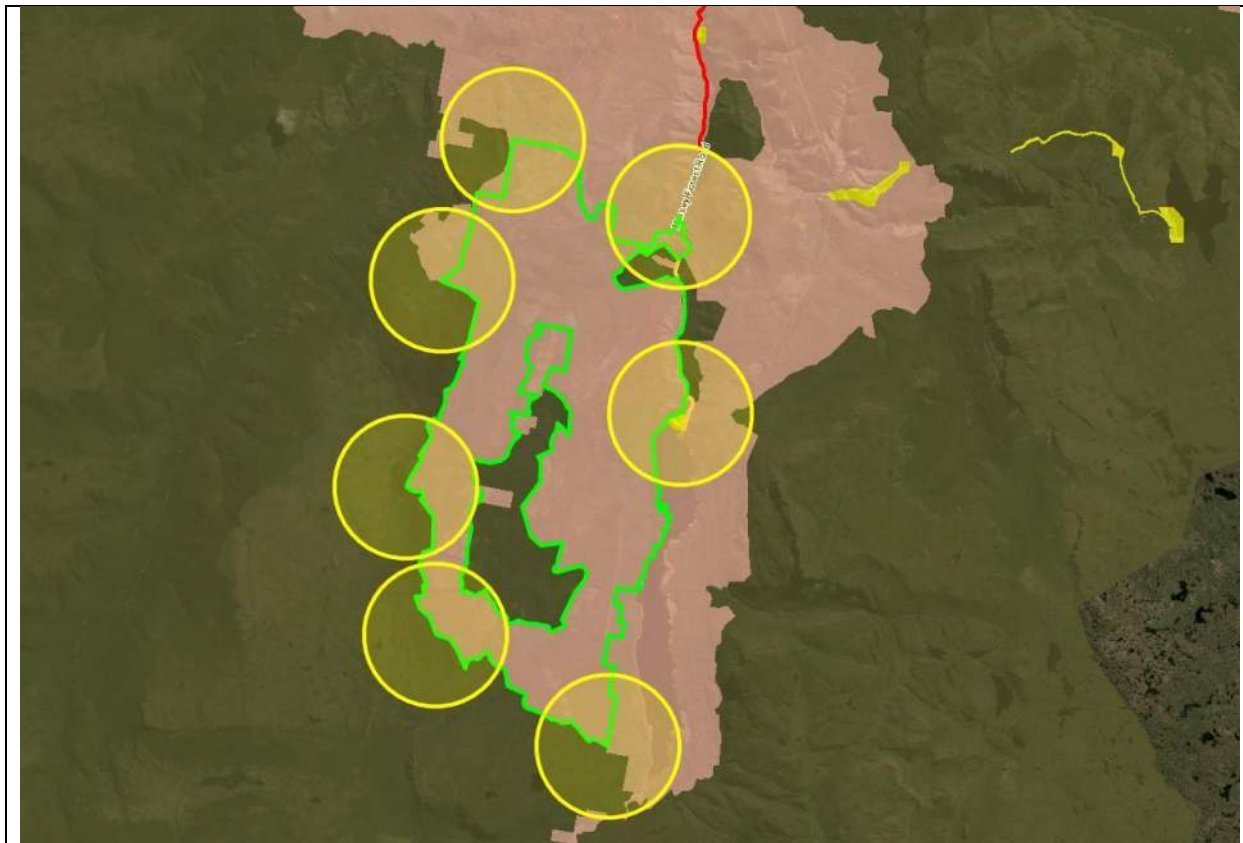
C7 Natural Assets Code		
Scheme Standard	Comment	Assessment
C7.2 Application of this Code		
	The land is not subject to a waterway and coastal protection area, future	Code not applicable

coastal refugia area or priority vegetation area. With respect to the Priority Vegetation Area, the image below illustrates the spatial extent of the Priority Vegetation Area that surrounds the proposed firing range.



C9 Attenuation Code		
Scheme Standard	Comment	Assessment
C9.2	Application of this Code	
	A shooting range is an activity listed in Table C9.1.	Code applies
C9.4	Use or Development exempt from this Code	
	There are no applicable exemptions.	Exempt

C9.5 Use Standards	
C9.5.1 Activities with potential to cause emissions	
A1	<p>The attenuation distance for a shooting range is 2km. The distance is required to be measured as the shortest distance from the boundary of the site on which the activity is located. The image below illustrates 2km radius circles at key extremities of the boundaries of the site. Land comprised within the attenuation area is Crown Land or STT land and does not contain a sensitive use. Land within the attenuation area is zoned Rural or Environmental Management.</p> <p>The private freehold properties that are encompassed by the site do not contain residential use or other forms of sensitive use. The Arm River Educational Centre on the northern side of Maggs Road approximately 850m from the Mersey Forest Road junction is not considered to be a sensitive use on the basis that it is not a school and does not involve the presence of people for extended periods.</p>
	Not Applicable



C9.5.2 Sensitive use within an attenuation area		
A1	The proposal does not involve a sensitive use.	Not Applicable
C9.6 Development Standards for Subdivision		
C9.6.1 Lot design		
A1	The proposal does not involve subdivision of land.	Not Applicable

Internal Referrals

Environmental Health

The following notes have been recommended:

Notes:

1. An onsite wastewater design report from a suitably qualified person will be required at the building/plumbing permit stage.
2. Registration as a private water supplier will be required if drinking water from a private water source is used for commercial purposes.

Infrastructure Services

No infrastructure conditions or notes have been recommended. Nil risk to Council infrastructure.

Conclusion

It is considered that the application for the development and use for Sport & Recreation (firing range & associated development) on land located at North Maggs Road, Mersey Forest (PID: 3392724) is acceptable in the Rural Zone and is recommended for approval.

DECISION:

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

Index No.	21310
Doc No.	
ROVLE	15 SEP 2021
Office	SS
Dept.	085
Officer	
DD	



Meander Valley Council
MVC Working Together

- Application form & details MUST be completed **IN FULL**
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	21310	Assessment No:		-		-		
DA\	22/0126	PA\	22/0073	PC\				

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	NORTH MAGGS ROAD	Certificate of Title:	
Suburb:	MERSEY FOREST	Lot No:	
Land area:	RIFLE RANGE: 40m. W x 1000 M.L } 4.3 m ² / ha CARPARK & FIRING LINE: 50m x 60m }		
Present use of land/building:	S.T.T. LAND FOREST CLEARED	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|---|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input checked="" type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): \$200,000 **DEPENDANT ON WHETHER GRANT APPLICATION IS SUCCESSFUL.**
Includes total cost of building work, landscaping, road works and infrastructure

Description of work: **CLEARING A CARPARK SPACE & FIRING LINE, POSITIONING OF SEA CONTAINERS 40 x 8 FOR FIRING LINE, UNDER COVER, MALE/FEMALE & DISABLED TOILETS. CLEARING A 40m. x 1000 M. FIRING LANE.**

Use of building: **FIXED FIRING LINE & TOILETS.** (main use of proposed building - dwelling, garage, farm building, factory, office, shop)

New floor area: 77.6 m² New building height: 3.6 m

Materials: External walls: **STEEL** Colour: **MID-GREY**
Roof cladding: **COLOURBOND ORB** Colour: **BLACK**

Date: 3rd August 2021
Phone: (03) 6398 7000
Your Ref:
Our Ref:



ABN 91 628 769 359

Head Office:
Level 1, 99 Bathurst Street
Hobart TAS 7000
GPO Box 207
Hobart TAS 7001

Perth:
15960 Midland Highway
Perth TAS 7300
sttas.com.au

Secretary of Kentish Rifle Club INC
PO Box 2086, Spreyton, Tasmania, 7310

Edmund Stewart,

Sustainable Timber Tasmania (STT) is pleased to provide support for the proposed Kentish Rifle Club Inc. located in Permanent Timber Production Zoned land adjacent to Maggs Road PID 3392724.

Approval for the development will be subject to completion of a Forest Activity Assessment which will identify specific conditions required to manage impacts of the range and successful negotiation of a lease for the land.

Yours Sincerely


Type text here

Stephen Rymer
Regional Manager (North)



Page 1 of 1

KENTISH RIFLE CLUB INC.

PO Box 2086, Spreyton, Tas, 7310

kentishrifleclub@outlook.com

ph: 0427643359

Date: 21/08/2021



Discretionary Development Application for a proposed rifle range at Maggs Mountain, Mersey Forest.

- a. Please find attached a completed Development Application Form including written consent from Sustainable Timber Tasmania as the land owner.
- b. A written description of the proposed activity including;
 - i. **How the use will operate and function;**
Please find attached the Range Specification Requirements to Outdoor Firearm Ranges used in Tasmania for Centrefire and Rimfire Rifle Shooting in accordance with the provisions of Section 151(40) of the *Firearms Act 1996*.
 - ii. The Range is designed to be a fixed firing point long distance range that can accommodate rimfire and centre fire rifles. This means the shooters will not move up and down the range at various distances to shoot at targets. The targets move instead.
 - iii. This type of range achieves a higher degree of safety for participants and minimalizes the down range footprint of the range, in turn minimalizing any vegetation disturbance.
 - iv. A fixed firing point range also allows the participants to practice and compete in all weather as the shooting line is undercover.
 - v. The range is designed to function as a purpose-built facility that will cater for participation at a Club, State, National and International level in competition, practice and training in the disciplines of F Class, Bench Rest and Precision Rifle Shooting. It is also designed to accommodate disable and reduced mobility shooters.

ii. Operating hours and expected number of people to participate in the activity;

i) Operating hours for the range are between sunrise and sunset only

ii) The expected number of people to participate in the activity;

Club days 10 > 15

State Club days 20 > 30

National competitions 40 > 50

iii. Days in which the activity will occur;

Saturdays and Sundays (state shooters)

Fridays, Saturdays and Sundays (national shooters)

iv. Expected daily vehicle use to and from the site as a result of the activity;

Club days 10 > 12 twenty-five times a year

State Club days 20 > 25 four times a year

National competitions 40 > 45 twice a year

C. A site plan showing:

i. Boundaries of the site;

Please find attached site map with boundaries marked

ii. Location of the proposed use within the site;

Please find attached locations, fixed firing line, toilets, car park and 1000 metre rifle range.

iii. Vehicle access to the site;

Please find attached site map of vehicular access to the site;

iv. Proposed buildings

Please find attached fixed firing line and toilets;

v. Location of parking areas;

Please find attached location of parking areas;

vi. Any vegetation that is required to be cleared

Please find attached site map of carpark, driveway, rifle range;

vii. External storage spaces. N/A

viii. All uses within a 2km radius of the proposed rifle range (to determine compliance with code C9.0 Attenuation)

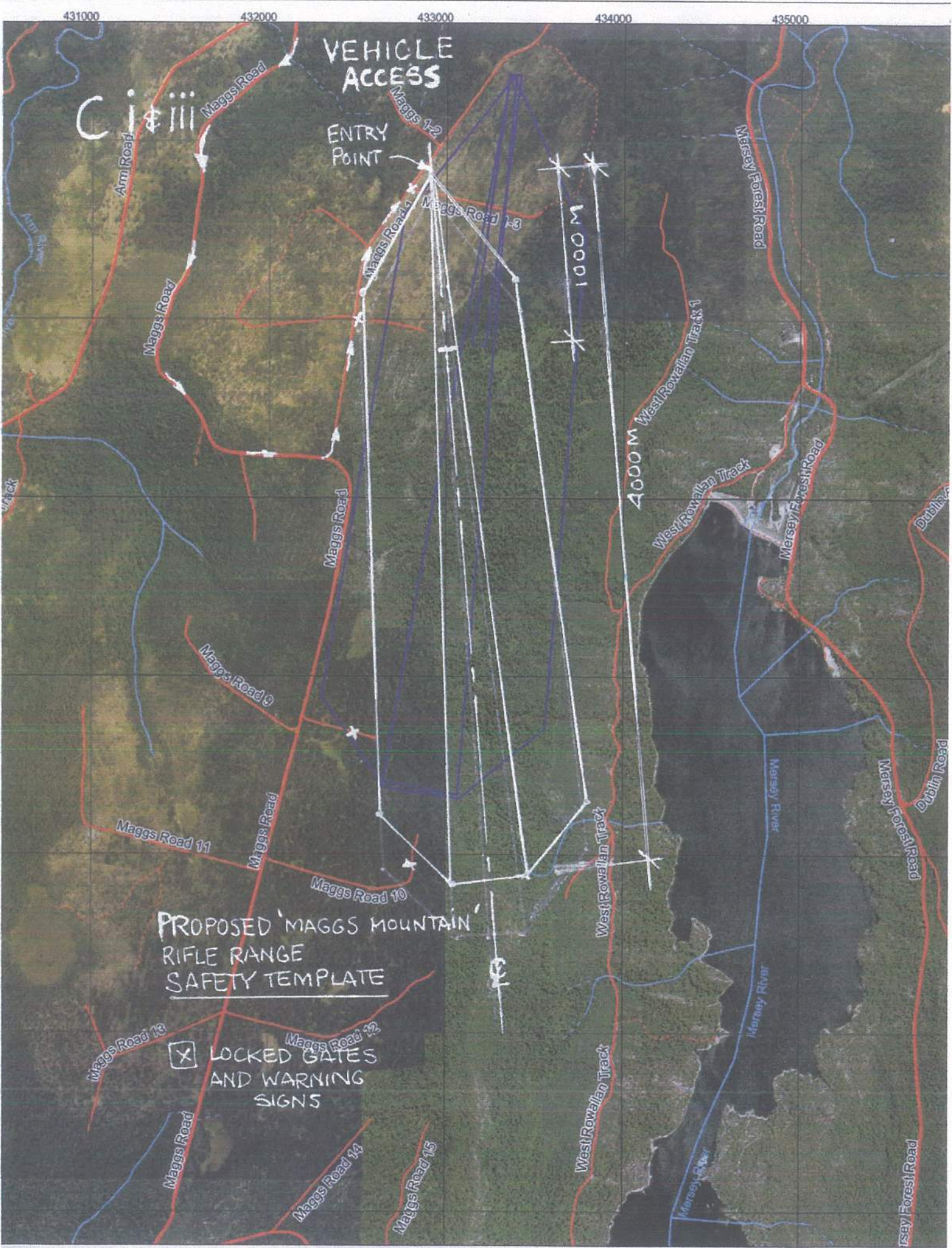
Please find attached map displaying the 2km radius from the fixed firing point.

D. Where it is proposed to construct buildings or structures:

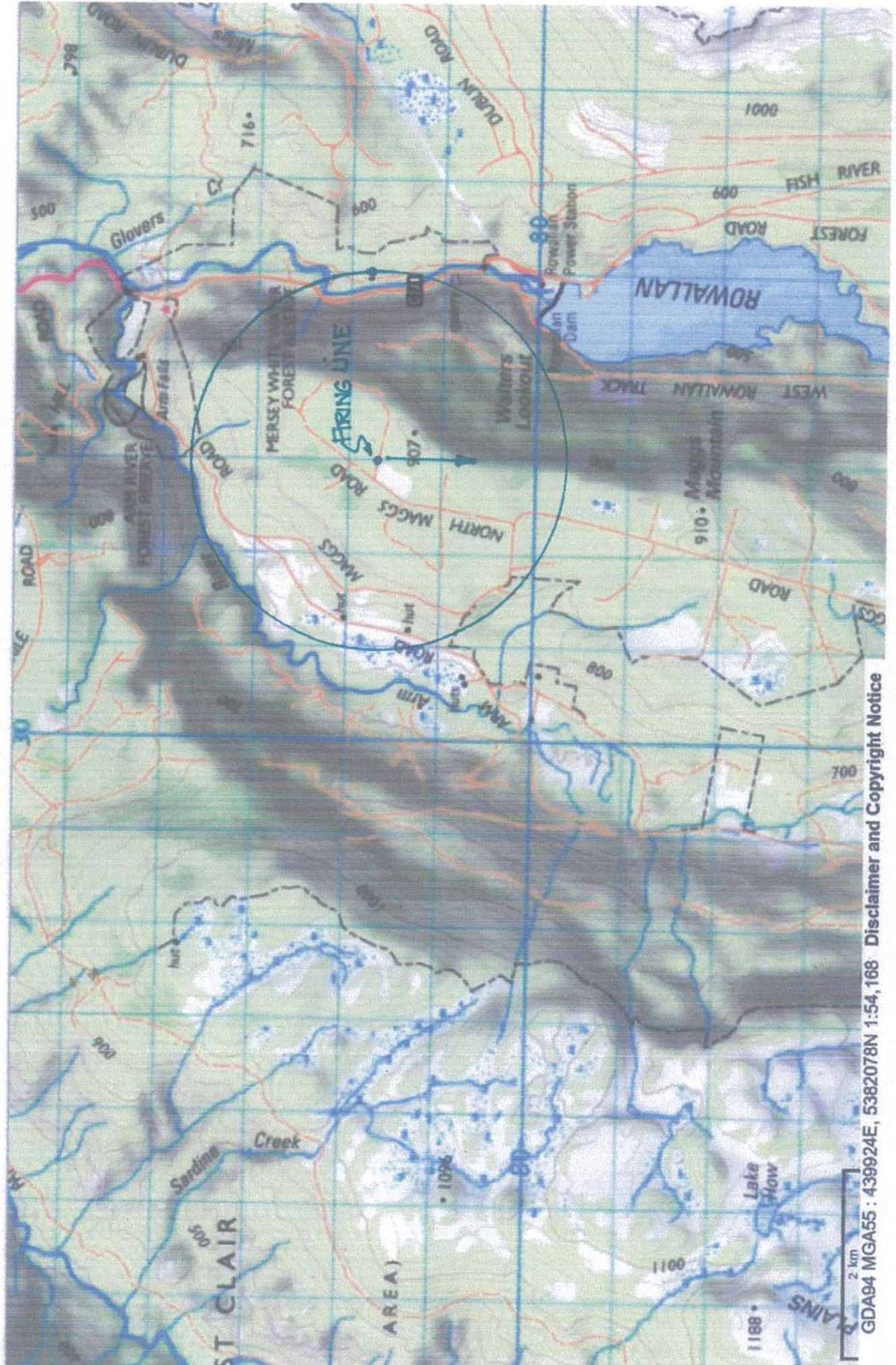
i. Please find attached elevation and floor plans;

E. Details of any signage;

Please find attached signage detail for Entry and Legislated Safety Signage as required with regulations.



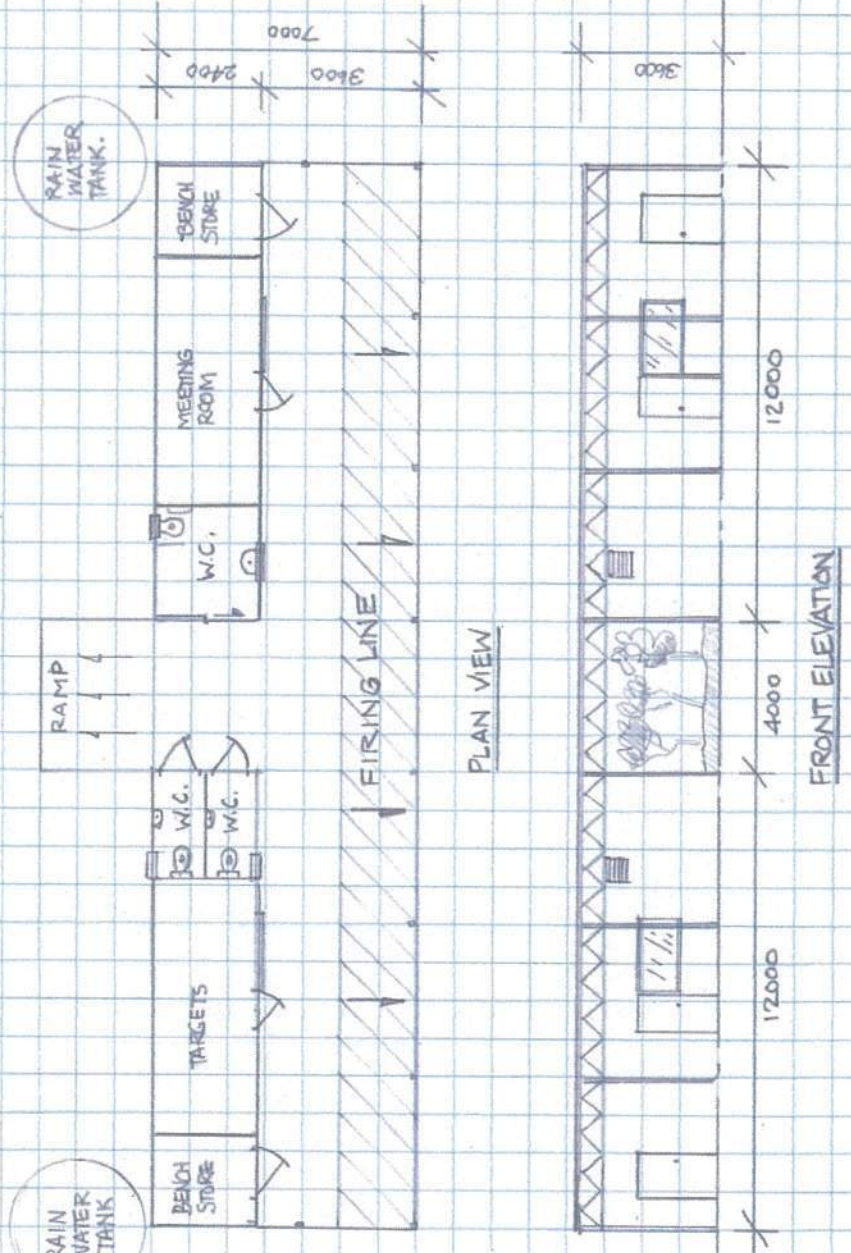
2KM. EXCLUSION ZONE

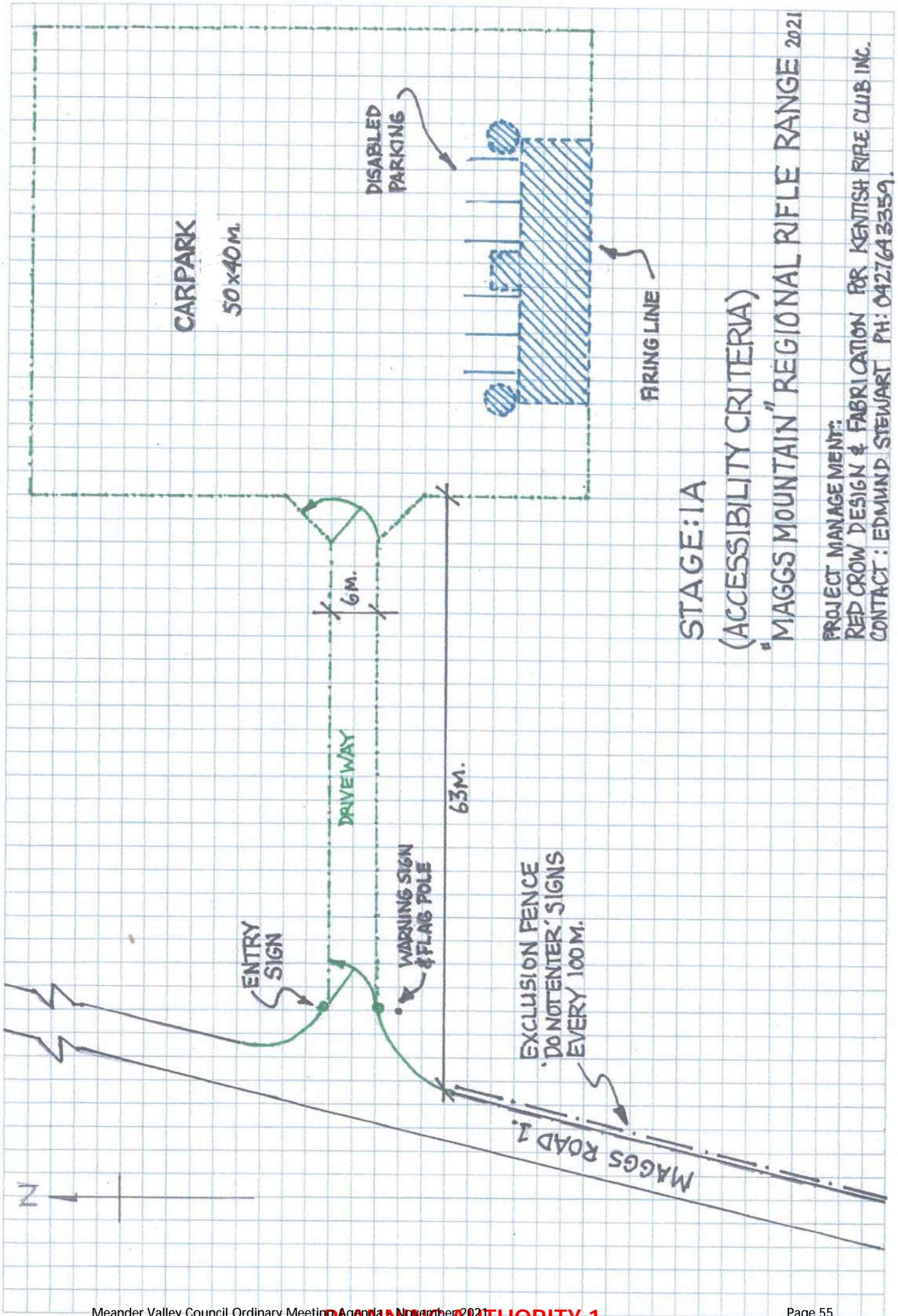


GDA94 MGA55 : 439924E, 5382078N 1:54,168 Disclaimer and Copyright Notice

PROPOSED "MAGGS MOUNTAIN"
 REGIONAL RIFLE RANGE
 KENTISH RIFLE CLUB INC. 2021

PROJECT MANAGER:
 REDCROW DESIGN & FABRICATION
 CONTACT: EDMUND STEWART
 PH: 0427 64 3359
 E: redcrow@wn.com.au

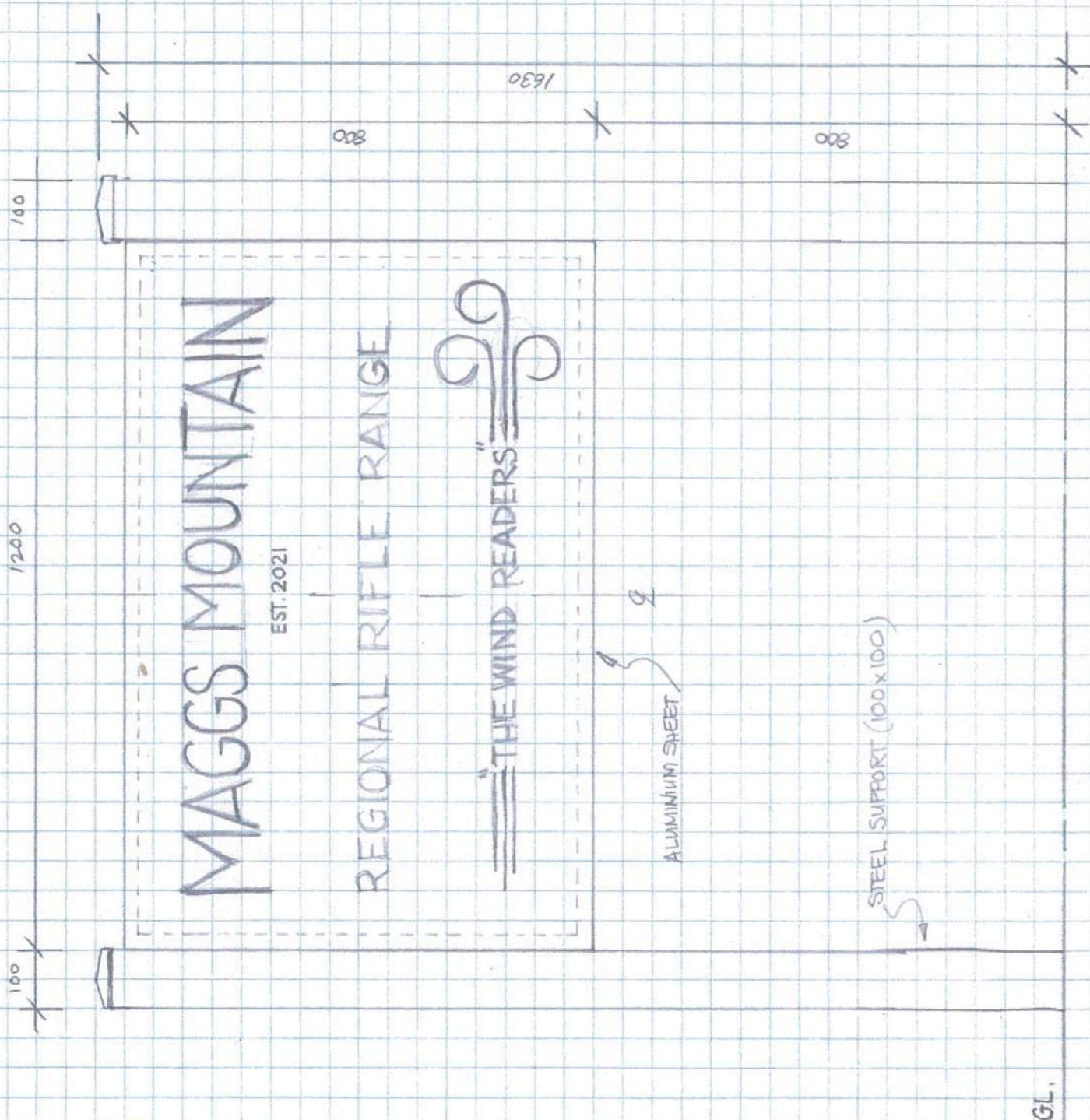




STAGE:IA
(ACCESSIBILITY CRITERIA)

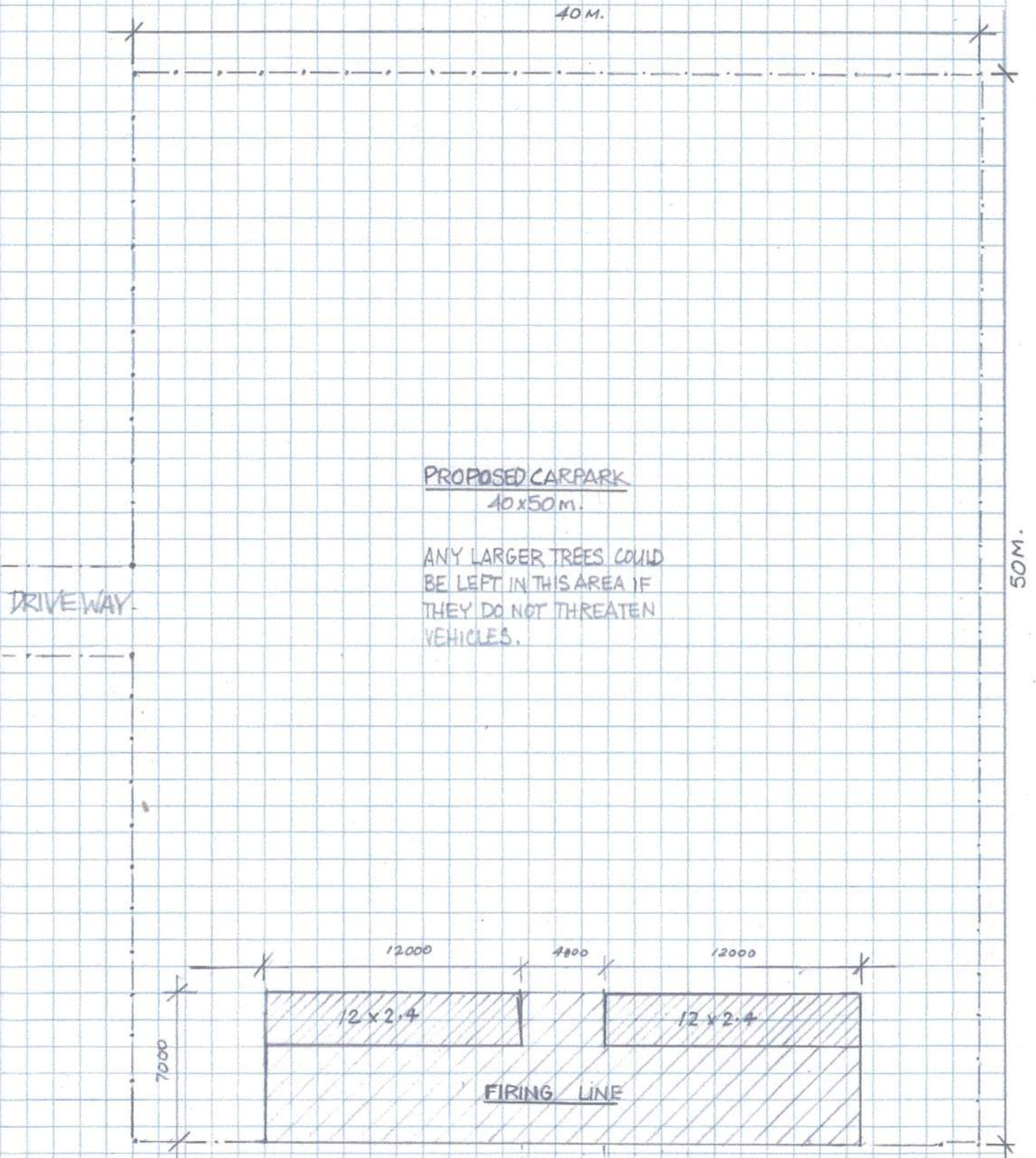
"MAGGS MOUNTAIN" REGIONAL RIFLE RANGE 2021

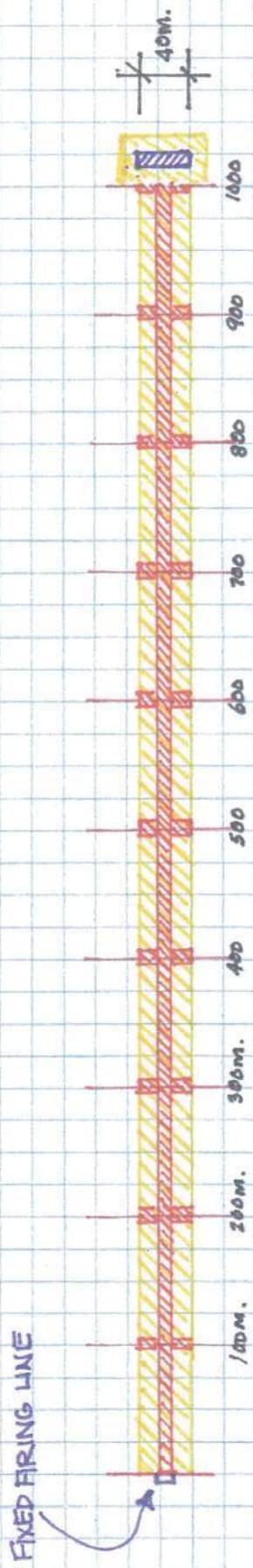
PROJECT MANAGEMENT:
 RED CROW DESIGN & FABRICATION FOR KENTISH RIFE CLUB INC.
 CONTACT : EDMUND STEWART PH: 0427643359.



PROPOSED SIGNAGE: 2021
 MAGGS MOUNTAIN REGIONAL RIFLE RANGE
 KENTISH RIFLE CLUB INC.
 PLEASE FIND REGULATION SAFETY SIGNAGE.

PROPOSED "MAGGS MOUNTAIN"
REGIONAL RIFLE RANGE
KENTISH RIFLE CLUB INC. 2021

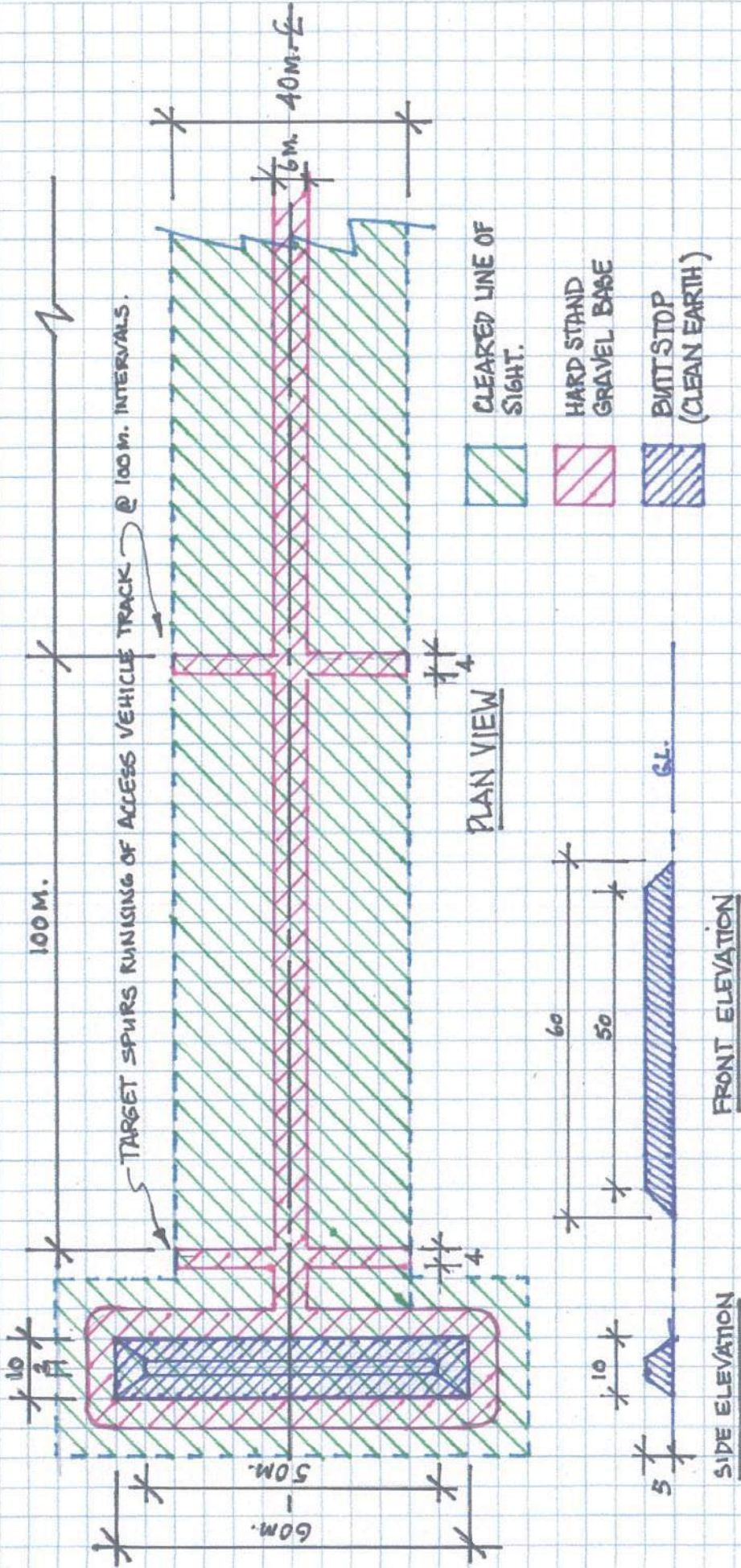




- AREA TO BE CLEARED OF VEGETATION (STUMPS, FALLEN TREES, SCRUB, ROCKS) NOT GRASS OR LOW SHRUB.
- AREA TO BE GRADED, GRAVEL BASE LAYED AND COMPACTED. (7x1000 m.)
- BUTT STOP TO BE CONSTRUCTED CLEAN EARTH 40m x 5m x 10m.

STAGE : 1B
(ACCESSIBILITY CRITERIA)
"MAGGS MOUNTAIN" REGIONAL RIFLE RANGE 2021

PROJECT MANAGEMENT :
 RED CROW DESIGN & FABRICATION
 CONTACT: EDMUND STEWART
 PH: 0427643359



STAGE: 1B (DETAIL OF LANEWAY & BUTT STOP)
 (ACCESSIBILITY CRITERIA)
 "MAGGS MOUNTAIN" REGIONAL RIFLE RANGE 2021

PROJECT MANAGEMENT:
 RED CROW DESIGN & FABRICATION
 CONTACT: EDMUND STEWART
 PH: 0427643359.

6. IDENTIFICATION OF A RANGE

6.1 NOTICE BOARDS

A notice board with appropriate warnings must be clearly placed and must be erected at all normal points of entry to a range.

6.2 DANGER NOTICES

The notice board must be a minimum of 60 centimetres in height by 100 centimetres in length with similar wording and colouring as below:

White
Background

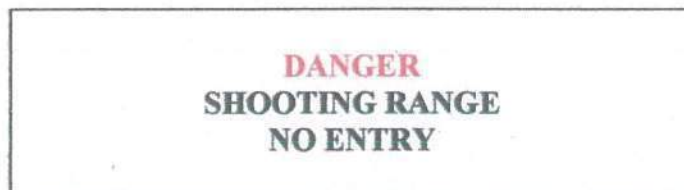


“Danger”
MUST be **RED**
other wording
may be **RED** or
Black

6.3

A danger notice must be big enough to be seen at a reasonable distance and permanently fixed around the perimeter of the property or at areas where likely access to it can be gained by people moving into the area. Danger notices will be a minimum 30 centimetres in height by 50 centimetres in length with similar wording and colouring as below:

White
Background



“Danger”
MUST be **RED**
other wording
may be **RED** or
Black

6.4 FLAGS

Flags must be clearly identifiable and bright red in colour. Flags will be a minimum 90 centimetres in height by 120 centimetres in length.

6.5

All flags must be flying whilst shooting is in progress. They are lowered when firing ceases and removed completely when the range is closed to shooting.

6.6

Generally, each range area must have a minimum of one flag at the entrance to the “Range Proper” and one at the “Backstop” end, if applicable. Individual considerations for other locations may be required depending on surrounding or adjoining properties.

Rep 1

From: "Stephen Rymer" [redacted]
Sent: Tue, 19 Oct 2021 10:19:24 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Sarah Vautin" [redacted]
Subject: PA\22\0073
Attachments: STT Response Meander Valley Council to Kentish Rifle Club.pdf

Hi

Please find attached response to PA\22\0073 from Sustainable Timber Tasmania.

Regards
Stephen

Stephen Rymer | Regional Manager North
Sustainable Timber Tasmania

[redacted] Perth TAS 7300
p. [redacted] | e. [redacted]



Date: 12th October 2021

Phone: 0429 920 204

Your Ref: PA\22\073

Our Ref:

Head Office

Level 1, 99 Bathurst Street
Hobart TAS 7000

GPO Box 207
Hobart TAS 7001

Perth

15960 Midland Highway
Perth TAS 7300

sttas.com.au

John Jordan
General Manager
Meander Valley Council
PO Box 102
Westbury TAS 7303

Dear John,

Sustainable Timber Tasmania has worked with the Kentish Rifle Club to identify a potentially suitable site for their Rifle Range on Permanent Timber Production Zone land managed by STT. While we, in principle, support the Rifle Range, STT's approval for the range is subject to them obtaining regulatory approval for the range, completion of a Forest Activity Assessment and negotiation of a lease with STT.

I note that:

- The 2km exclusion zone shown in the Development Application is significantly larger than the Range Safety Zone discussed with STT, and appears to include private property. We are unclear of the restrictions on use within the 2km exclusion zone.
- One Wedge Tailed Eagle nest is located within the Range Safety Zone and another nest is located in close proximity to the safety zone. STT has requested that Kentish Rifle Club seek approval from DIPEWE regarding the impacts of operating the rifle range on wedge tailed eagles.

Regards



Type text here

Stephen Rymer

Regional Manager North



From: Richard Roffe [REDACTED]
Sent: Wednesday, 20 October 2021 6:43 PM
To: Meander Valley Council Email

Mr John Jordan
General Manager
Meander Valley Council
26 Lyall Street
Westbury Tasmania 7303
mail@mvc.tas.gov.au 18 October 2021

Dear Mr Jordan I would like to submit comments regarding the Mags mountain rifle proposal. The primary objection to this proposal is the significant impact it will have on surrounding shack and land owners by way of noise and obstruction of access to the region. The proposal has little regard for wildlife in the region and encourages the use of high powered weapons in an environmentally sensitive area.

Kind regards

Dr R J Roffe

From: "Jean Symes" [REDACTED]
Sent: Wed, 20 Oct 2021 12:06:28 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Subject: Photo of Maggs Mountain - for Planning Department please

Could I ask you to please forward this email to the Planning Department? it relates to the proposed rifle range on Maggs Mountain.

This is just a photo that might help the planners in their assessment. It shows the western side of Maggs Mountain.

I know that the deadline closed yesterday, and I have made a submission, but this is just intended to help the planners with an illustration of the area.

Kind regards,
Jean

Jean Symes
[REDACTED]



From: "Jean Symes" [REDACTED]
Sent: Tue, 19 Oct 2021 15:44:30 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Cc: "'LindyJ'" [REDACTED]
Subject: Representation - Rifle Range on Maggs Mountain PA 22 - 0073
Attachments: 20211018 - PA 22 0073 Meander Valley - Jean Symes response.docx

Dear Meander Valley Council,

Please find attached my representation regarding the proposed rifle range on Maggs Mountain (PA 22/0073).

Thank you for considering these comments,

Jean

[REDACTED]
[REDACTED]
Cambridge TAS 7170
[REDACTED]
[REDACTED]

Mr John Jordan
 General Manager
 Meander Valley Council
 26 Lyall Street
 Westbury Tasmania 7303
mail@mvc.tas.gov.au

18 October 2021

Dear Mr Jordan,

Re: Kentish Rifle Club Inc PA/22/0073 – Firing range and associated development

I would like to provide comments in opposition to the proposed rifle range at Maggs Mountain. I do not consider that the proposal will achieve an acceptable outcome.

I am the owner of the two northern properties in the Arm valley, an area of 400 acres, adjoining the forestry land on which the rifle range is proposed. There are four huts on this sub-alpine property, one with heritage listing as a traditional trapper's skin shed.

We stay at our huts for recreation and for maintenance of the property. At other times we leave one of the huts unlocked so passers-by can stay there when we're not around. We have an agreement with local friends that they can use a second hut and they spend a lot of time there with trail and quad bikes. At times we agist cattle on the plain, continuing a long-term traditional use. The road to the other properties further upstream passes through our property. We get very great enjoyment in this bush setting, and we manage it so others can share in the amenity of the area.

The applicants have not sought community input before or after submitting their application. I was not contacted by the Rifle Club before they their application and the first I heard about the proposal was when I received Council's letter the application that shows an exclusion zone over most of my property, but does not identify my property with any marked boundaries.

The proposal would encroach on the whole feel of the valley and on our ability to enjoy the place and people in the way we do now. It is a remote area and there would be a reduced sense of safety with more unknown vehicles driving around, especially at night, and possibly with firearms.

My comments below relate directly to the Meander Valley Planning Scheme (Scheme). Having read through the Scheme, my interpretation is that due to a lack of information provided in the application from the Kentish Rifle Club, and the activity itself, that there is a lack of compliance. The relevant scheme sections have been pasted into the boxes.

1. Does not comply with Application Requirements

In Section 6.1.2 Application Requirements, items (a), (b), (d) and (e) have not been met in the advertised application. There is no signed application form, no written permission and declaration of notification required under s.52 of the Act, no copy of the current certificate of title for all land to which the permit sought relates and no full description of the proposed use or development.

Information about the proposed use, intensity and scale of use and potential impacts is very scant. There is no detail on the key elements including frequency of use, hours of use, types of firearm, noise emissions from the firearms, numbers of users, night lighting, sewerage disposal, traffic impact.

6.1.2 Application Requirements

An application must include:

- (a) a signed application form;

- (b) any written permission and declaration of notification required under s.52 of the Act and, if any delegate, a copy of the delegation;
- (d) a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- (e) a full description of the proposed use or development.

Specifically:

- The documents posted on the website don't tell us how often the club would shoot at the range and whether this would include night shooting, whether individuals would shoot outside club events, how many people might attend competitions, how they would manage emergency situations, whether they would stay overnight, how long the lease would be etc.
- The application also has very little information about potential impacts on other properties and users in the area. The map shows a 2 km exclusion zone that covers most of my property but does not even explain what this means.
- There is no information regarding noise, wildlife, bushfire risk, road capacity, emergency planning or impact on landslip risk from earth moving and tree removal on top of the mountain.

2. Does not comply with Rural Zone Purpose

The proposal is not compliant with Rural Zone Purpose 20.1 (d). This proposal does not minimise adverse impacts on surrounding uses. Instead, the noise of firearms, traffic, lighting, and construction of the range has the potential to change the amenity of the of the existing environment and significantly increase the noise level above the existing natural background noise which is minimal.

The proposal will compromise the function of surrounding settlements. Given the privately owned huts and managed land that are in the 'exclusion zone', or within 5km of the firing line, this is evidence that people regularly use this area and enjoy the peaceful amenity. I cannot identify what scale or intensity the proposed activity will be, as it simply is not addressed anywhere in the application to ensure compliance with 20.1.1 (d).

The potential noise from the construction phase and operational noise from gun fire has the potential to change the amenity for existing sensitive uses.

There is insufficient information in the application to assess whether Zone Purpose 20.1.3 is met.

20.1 Rural Zone Purpose

The purpose of the Rural Zone is:

20.1.1 To provide for a range of use or development in a rural location:

(d) minimises adverse impacts on surrounding uses.

20.1.3 To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

Specifically:

- Please consider here the same points as in section 3 below.

3. Does not meet objective for Rural Zone Discretionary Use

In terms of Council's discretionary use, I find that the proposal does not meet standard 20.3.1 (d) for the same reasons above. I contend that the nature of the proposal and the noise it will generate does compromise the amenity of the surrounding area. Two huts and land used for enjoyment are located within the attenuation zone and this does not meet the acceptable solution.

20.3.1 Rural Zone Discretionary Use

Objective

That the location, scale and intensity of a use listed as Discretionary:

(d) is appropriate for a rural location and does not compromise the function of surrounding settlements.

Specifically:

- The existence of the 'exclusion zone' is evidence that there will be an impact on surrounding uses. Being so close to the firing line of a high-powered rifle range would be utterly devastating for me and others who spend time there. There would be days when we could no longer enjoy peaceful afternoons in this superb and tranquil setting. At night there would be increased concern about vehicles driving around and whether they have firearms.
- The application says nothing about noise, but this is one of the key aspects of this proposal that is most out of place in this setting. High-powered rifles can be extremely loud at 150 to 170 dB ratings. Our huts, and the roads to popular bushwalks, to Lake Rowallan and to properties further up the valley are all less than 2 km from the firing line.
- At 2 km distance the noise could be 85 to 105 decibels or more because it will be broadcast from a mountain top and reverberate off the lake and around valley walls on all sides.
- 85 dB is like being 1 metre from a lawnmower, and 105 dB is like 1 metre from a chainsaw. That is very loud for quiet rural valleys, lakes and mountains where people go to enjoy the tranquility and sounds of nature. And very unnerving if it happens unpredictably after the usual silence of the area.
- We love the birds and wildlife that are supported by the natural ambience of the area, and this is a major part of our use of the land, and the enjoyment expressed by our visitors. These could be affected by having an area where there are regular periods of very loud shooting and lots more traffic movement.
- We also agist cattle on the property some years and they may move to inaccessible or boggy areas. We have grandchildren and dogs who are gun shy.
- The area is popular for bushwalking, fishing, camping, white water sports, mountain cattlemen rides, outdoor courses and wildlife spotting. Enjoyment of all of these activities is likely to be significantly affected by annoying and unreasonably intrusive rifle fire.
- Furthermore, recreational use increases on weekends, the same time that the club is likely to carry out most of its shooting events.
- Relaxation and enjoyment of the ambience by people engaging in those activities would be seriously compromised, and they may even feel some concern for their own safety especially with children around.
- School groups and outdoor activity courses use the Arm River Educational Centre as a base and for accommodation. The proximity of a rifle range and vehicles carrying firearms driving past the Centre to get to the range is also not conducive to the safety and wellbeing of children and others who stay there.

4. Does not meet Performance Criterion P1 for Rural Zone Discretionary Use

The application cannot meet the performance criterion Rural Zone Discretionary Use 20.3.1 P1 shown below because there is no information provided on (a) the nature, scale and intensity of use, and the proposal has (b) no importance or significance for the immediate local community. The use could require infrastructure such as suitable roads, mobile reception, ready access to emergency services such as ambulance and firefighting but the location proposed has none of these.

20.3.1 - P1

A use listed as Discretionary, excluding Residential, must require a rural location for operational reasons, having regard to:

- (a) the nature, scale and intensity of the use;
- (b) the importance or significance of the proposed use for the local community;
- (c) whether the use requires close proximity to infrastructure or natural resources

Specifically:

- The applicants have not consulted with most of the local community, and they have not provided any operational information on which an assessment can be made on the scale, intensity and use of the range.
- This suggests to me that the proponents might have been expecting a negative response from the community of landowners and other users, rather than seeing it as important or significant.
- Clearly, a rifle range in such a beautiful and special sub-alpine Tasmanian landscape is not a use that you would consider important unless you were affiliated with the rifle club. Members of the local community do not belong to the rifle club and are not linked to this proposal. It does not hold any significance except for its unsuitability and undesirability.
- In choosing a remote location, the proponents may have hoped to avoid objection from neighbours, but this should be balanced against the need for a location with adequate infrastructure for this type of use.
- The location chosen does not offer the infrastructure that you would think a rifle range needs. There is only one road access, and it is a dead-end road, narrow, gravel and steep sided going up the mountain. There is no mobile reception and no ready access to ambulance and firefighting services.
- I do not think a rifle range should not be so remote that risks associated with it are increased rather than reduced by the remoteness.
- I believe there are increased risks when vehicles carrying firearms drive too far into the hills to be practically supported by emergency services, and monitored.

5. Does not meet Performance Criterion P2 for Rural Zone Discretionary Use

With respect to Discretionary Use 20.3.1 P2 (a), the proposal nominates an 'exclusion zone' within which there are at least two huts. Thus, the proposal will confine and restrain existing use on adjoining properties in regard to the location of the proposed use. Again, there is no information regarding (b) and in regard to (c), the likelihood and nature of adverse impacts on adjoining users (landowners/anglers/bushwalkers) is high.

20.3.1 - P2

A use listed as Discretionary must not confine or restrain existing use on adjoining properties, having regard to:

- (a) the location of the proposed use.
- (b) the nature, scale and intensity of the use.
- (c) the likelihood and nature of any adverse impacts on adjoining uses.

Specifically:

- The application does not explain what the 2 km exclusion zone means and whether it would confine or restrain what we do on our land, and whether people can continue to explore the mountain as they do now.
- There is a beautiful cool, moist fern fairyland above Maggs Road on our property which is like a refreshing garden to enjoy on hot summer days. Nearby there is also a wonderful house site from which the view includes Mt Pelion East and the Du Cane Range. We plan to build a more comfortable house on this site but if the range goes ahead the firing line would be just 1 km from this elevated part of our land and the sound of shooting would be impossibly loud. The rifle range would restrain our use of the land for a comfortable home.
- The comments below are the same as section 3 above but they apply here as well.
- Our huts, and the roads to popular bushwalks, to Lake Rowallan and to properties further up the valley are all less than 2 km from the firing line. At 2 km distance the noise could be 85 to 105 decibels, could be more coming from a mountain top and reverberating off the lake and around valley walls.
- In our huts, being so close to the firing line of a high-powered rifle range would be utterly devastating for me. There would be days when we could no longer enjoy peaceful afternoons in this superb and tranquil setting. At night there would be increased concern about vehicles driving around and whether they have firearms.
- We love the birds and wildlife that are supported by the natural ambience of the area, and this is a major part of our use of the land, and the enjoyment expressed by our visitors. The presence of rare birds and timid animals could be affected by having an area where there are regular periods of very loud shooting and lots more traffic movement.
- We also agist cattle on the property some years and have dogs and grandchildren who are gun shy. These activities may need to be reined in if the noise and presence of firearms scares them too much.
- The area is popular for bushwalking, fishing, camping, white water sports, mountain cattlemen rides, outdoor courses and wildlife spotting. Enjoyment of all of these activities is likely to be significantly affected by annoying and unreasonably intrusive rifle fire. Furthermore, recreational use increases on weekends, the same time that the club is likely to carry out most of its shooting events.
- Relaxation and enjoyment of the ambience by people engaging in those activities would be seriously compromised, and they may even feel some concern for their own safety especially with children around.
- School groups and outdoor activity courses use the Arm River Educational Centre as a base and for accommodation. The proximity of a rifle range and vehicles carrying firearms driving past the Centre to get to the range is also not conducive with the safety and wellbeing of children and others who stay there.

6. Does not meet Performance Criterion P4 for Rural Zone Discretionary Use

In regard to Discretionary Use 20.3.1 P4, I would argue that there is no information regarding (a), that the use will distort the existing activity of the area (b), that there is no information on traffic use at all on what is largely a steep single lane gravel road with a sheer drop on one side (d), and that there is no information on (e) the noise impacts at all, although the selected location, at the summit of Mount Maggs, would not minimise noise impacts as the sound of firing is likely to reverberate down into adjacent valleys.

Further to point (d), I note in a Facebook post by the Kentish Rifle Club, that they intend to hold national and international competitions at the site. What this means for intensity of use and traffic numbers has not been outlined.

20.3.1 - P4

A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to:

- (a) the nature, scale and intensity of the proposed use.
- (b) whether the use will compromise or distort the activity centre hierarchy.
- (d) the capacity of the local road network to accommodate the traffic generated by the use; and
- (e) whether the use requires a local location to minimise impacts from the use, such as noise, dust and lighting.

Specifically:

- The road up Maggs Mountain has limited capacity for increased numbers of vehicles. It is a narrow gravel road where it is difficult to pass a vehicle coming the other way, especially in one area where there is a steep drop on one side and a cutting in the mountain on the other. There is only one road up the mountain, and it is a dead-end road after another 10 km south.
- If the traffic volume increases, I believe there will be demands from users for road widening, sealing and fencing.
- The huge landslide across Maggs Road in 2017 made the road inaccessible for months, and Forestry considered re-routing it lower down the mountain, across more of our land. With an increase in traffic there may also be a need for additional road works to reduce the risk of landslide.
- The rifle club say they want to grow this range into one that will attract state, national and international competitions. This would distort the area from a quiet sub-alpine natural valley into a hub for shooting, but with no services.
- The rifle range proposal may start small but the ambition to grow big will mean many more people coming up into the Mersey State Forests, with increased requirements for facilities, sewerage management and emergency services. And it would increase the risk of fire spreading into nearby parks and reserves.
- Far from requiring a remote area because of the noise problem with rifle shooting, the proposal creates more problems by choosing a location that is too remote and not at all suited to this type of activity or to the scale of the proposed future growth.

7. Insufficient information relating to the Attenuation Code

The Attenuation Code C9.0 aims to reduce adverse impacts on sensitive uses from emissions such as noise. As set out in Attenuation Code 9.0-9.3 with regard to attenuation distances, there is no site boundary marked to allow assessment of the shortest distance from the boundary of the site on which the activity is located, as required by the Scheme.

C9.1 Attenuation Code Purpose	
The purpose of the Attenuation Code is:	
C 9.1.1 To minimise adverse impacts on the health, safety and amenity of sensitive use from activities which have the potential to cause emissions.	
attenuation distance	means the distance listed in Tables C9.1 and C9.2 for the relevant activity measured as the shortest distance from the boundary of the site on which the activity is located.
ATTENUATION DISTANCES	TABLE C9.1
Shooting range The conduct of facilities for outdoor shooting competitions, practice or instruction – emissions such as noise.	2,000m

Specifically:

- If the attenuation distance for a shooting range is 2000 m from the boundary of the site, then I question whether it has been drawn correctly in the application (that's if the 'exclusion area' in the application is the same as the attenuation area). Instead of being a circle from one central point, shouldn't it be measured from the boundary, out by 2000 m in all directions? This would expand the attenuation area from what has been presented, and change its shape.

8. Use does not meet Performance Criteria under Attenuation Code

Furthermore, in Attenuation Code C 9.5.1, P1 (a), the attenuation area includes two huts, as per page four of the application, as well as a large area of land used for pleasure and recreation, however this has not been addressed as per the requirements of the performance criteria. It is unreasonable that the existing amenity and function of private land of the area is potentially lost. The huts and surrounds (sensitive uses) in this valley are all existing sensitive uses. Noise impacts, at a minimum, may result in loss of amenity and function. How these properties can be used and protected from the Rifle club activities is unknown. It is deemed unreasonable that the behaviour and function of an existing sensitive use has to be modified by a new activity.

C9.5.1 Activities with potential to cause emissions

P1

An activity listed in Table C9.1 . . . must not cause;

(a) an unreasonable loss of amenity or unreasonable impacts on health and safety of a sensitive use which is existing, or has a planning permit;

Specifically:

- Some of the same comments apply as in sections 3 and 5 above
- We spend extended stays at our huts, and when we are back home other people are welcome to stay there because we leave it unlocked as a shelter for those who need it.
- But being so close to the firing line and with reverberations around the valley, would be utterly devastating for me and others. There would be days when we could no longer enjoy

peaceful afternoons in this superb and tranquil setting. This would be an unreasonable loss of amenity.

- I do not want the sound of shots as loud as a lawnmower or chainsaw sounding across the quiet rural valleys, lakes and mountains where locals and tourists love to recreate. And very unnerving if it happens unpredictably after the usual silence of the area.
- I imagine living near a shooting range would be very unnerving. The shots would be irregular and unpredictable, causing startle each time. This is not conducive to mental health or wellbeing. It would also scare children and our dogs.
- Some friends and visitors who stay there are veterans, and some of them are particularly sensitive to the sound of firearms and other sudden noises, and to feeling helpless amidst that noise.
- We love the birds and wildlife that are supported by the natural ambience of the area, and this is a major part of our use of the land, and the enjoyment expressed by our visitors. The presence of rare birds and timid animals could be affected by having an area where there are regular periods of very loud shooting and lots more traffic movement.
- Relaxation and enjoyment of the ambience would be seriously compromised, and we could even feel some concern for our own safety especially with children around.
- At night there would be increased concern about our safety with more vehicles driving around and uncertainty whether they have firearms.
- School groups and outdoor activity courses use the Arm River Educational Centre as a base and for accommodation. The proximity of a rifle range and vehicles carrying firearms driving past the Centre to get to the range is also not conducive with the safety and wellbeing of children and others who stay there.

9. Use does not meet Performance Criteria for Bushfire-prone area

In regard to Hazardous Use in a Bushfire-prone area this proposal is for use of high-powered firearms and ammunition in an area with a bushfire overlay. I contend that the application does not meet P1 (a) there is no overriding benefit to the community as noted in section 4 above. There is no information whether (b) alternative locations has been fully explored and there is no information provided on (c) emergency management strategy and bushfire management plan.

Purpose C 13.1

The purpose of the Bushfire-Prone Areas Code is:

C 13.1.1 To ensure that use and development is appropriately designed, located, serviced and constructed to reduce the risk to human life and property, and the cost to the community caused by bushfires.

C 13.2.1 This code applies to:

- (c) A use, on land that is located within, or partially within, a bushfire-prone area, that is a vulnerable use or hazardous use

C 13.5.2 Hazardous uses

Objective

That hazardous uses can only be located on land within a bushfire-prone area where tolerable risks are achieved through mitigation measures that take into account the specific characteristics of both the hazardous use and the bushfire hazard.

P1

A Hazardous use must only be located in a bushfire-prone area if a tolerable risk from bushfire can be achieved and maintained, having regard to:

- (a) Whether there is an overriding benefit to the community
- (b) Whether there is no suitable alternative lower risk site;
- (c) The emergency management strategy (hazardous use) and bushfire management plan

Specifically:

- The proposed location on a remote vegetated mountain top with only one exit road does not reduce the risk of harm to humans and property from bushfire caused by human recreation, particularly when emergency services cannot quickly reach the location.
- Generally, I understand that rifle fire is unlikely to cause a fire. However a high-powered rifle and high velocity rounds heat up so much that most rifles need to be cooled down after firing, and a round that hits a hard object like a rock could cause sparks to fall into vegetation.
- Apart from the use as a rifle range, we could expect the occasional cigarette or BBQ to be lit at the range, especially if shooting continues all day or at night, with added risk of fire spread.
- Given all the other factors that would make a bushfire difficult to contain and to escape from, this activity seems to increase the risk of bushfire to an unreasonable level.
- The area has native vegetation with tall trees and a complex understorey. Some areas at the summit are very dry, while others are marshy. It is on top of a mountain that is subject to very strong winds from different directions and has no significant source of water for fighting a fire.
- There is no mobile coverage in the area to call for help, until you drive 20 km back towards Mole Creek.
- The road is subject to blockage from fallen trees and (being narrow) from vehicle obstruction.

10. Use does not meet Performance Criteria for Landslip Hazard area

The application does not address C 15.6.1 Building and works within a landslip hazard area P1.1 (b) regarding protection measures are to minimise triggering a landslip event. Removal of water-absorbing vegetation and undertaking levelling and mounding earthworks at the top of a hill with wet areas could increase water runoff down the mountain and trigger a landslip event.

The application does not meet P1.2 requiring a landslip report demonstrating that the works do not contribute to landslip on adjacent land.

P1.1

Building and works within a landslip hazard area must minimise the likelihood of triggering a landslip event and achieve and maintain a tolerable risk from landslip having regard to:

- (b) Whether any increase in the level of risk from a landslip requires any specific hazard reduction or protection measures

P1.2

A landslip hazard report also demonstrates that the buildings and works do not cause or contribute to landslip on the site, on adjacent land or public infrastructure.

Specifically:

- The landslip of 2017 was massive and took months to clear before the road was accessible again. It occurred on the western slope of Maggs Mountain, a short distance north-west of the proposed rifle range, and I believe it was due to runoff from near the top of the mountain.
- If tree and scrub removal is proposed, as well as earthworks to dig some of the rising slope to the summit to build embankments, then this could lead to less water absorption, and more runoff, increasing the risk of a landslip on the mountain.
- There is no mention of this major event and risk in the application.

11. Protection of threatened and endangered wildlife

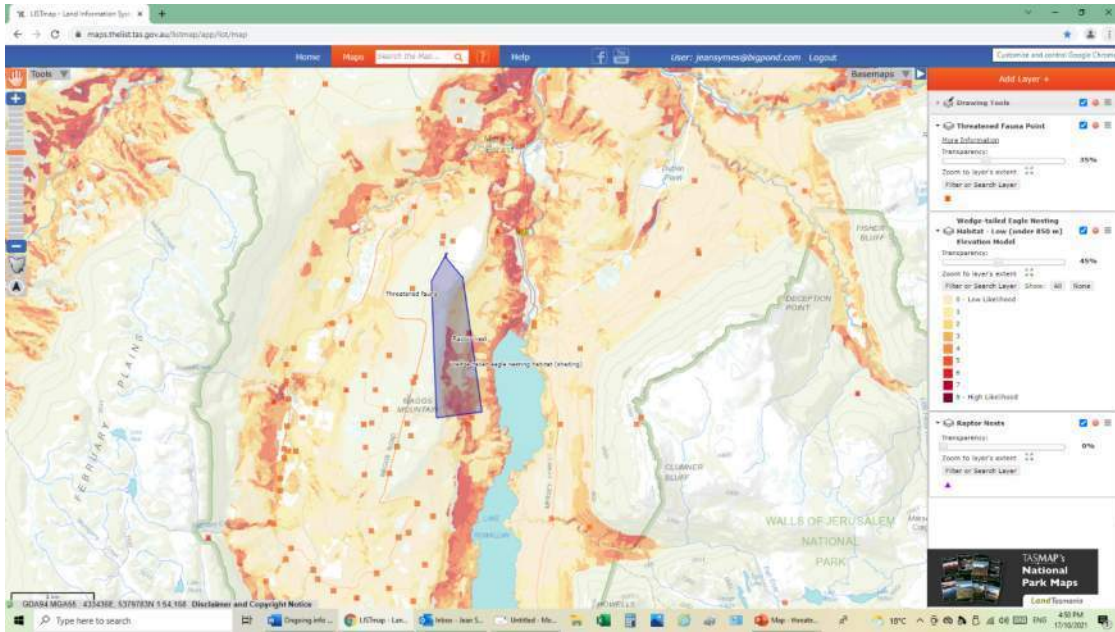
- Threatened species overlays (see map below) show significant sightings and habitat on Maggs Mountain for fauna including Tasmanian Devils, spotted-tailed quolls, wedgetail eagles, white bellied sea eagle, masked owl and grey goshawk. One raptor sighting is right on the firing line.
- With the intention for the shooting range to grow in the future, it is likely that increasing traffic and hours of shooting, and risk of fire could have further impacts on local wildlife.
- There is no information in the application how these threatened species will be managed, or what impact shooting would have on them.

This is not an exhaustive list of how I contend the Scheme is not met, but what seem to be some initial concerns. If council could look at the proposed application in light of these comments and how they relate to the Scheme, I would be most appreciative.

Thank you for your time,

Jean Symes

TheLIST Maps – Threatened Fauna, Raptor and Wedgetail Eagle sightings 18/10/2021



From: "Heath Garratt" [REDACTED]
Sent: Tue, 19 Oct 2021 16:25:46 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planning Application 22/0073 objection
Attachments: Maggs Mountain PA Objection Letter 211019.pdf

To the General Manager,

Please find attached letter regarding planning application PA 22/0073. Don't hesitate to get in touch to discuss further.

Best regards,

Heath



Heath Garratt
General Manager

Tasmanian Walking Company
Quamby Estate, 1145 Westwood Rd, Hagley TAS 7292



19 October 2021

The General Manager
Meander Valley Council
PO Box 102
Westbury
TASMANIA 7303
planning@mvc.tas.gov.au

TO WHOM IT MAY CONCERN

OBJECTION TO:

Planning Application PA 22/0073

Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

The Tasmanian Walking Company wishes to object to the above Planning Application as follows:

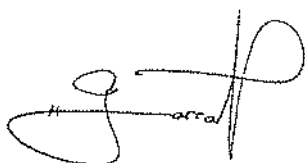
1. The planning application gives insufficient information regarding noise pollution from gun shots to the surrounding World Heritage Area
2. The planning application gives insufficient information about the impacts on local and interstate bush walkers in the area. Of particular concern is the impact on the Arm River Track.
3. The planning application gives insufficient information about impact on helicopter flight paths into the area.
4. The planning application gives insufficient information about what the 2km exclusion zone is and whether that will affect walkers in the area
5. The planning application gives NO information about what measures are being taken to protect the sanctity of the surrounding World Heritage Areas including the Cradle Mountain Lake St Clair National Park and the Walls of Jerusalem National Park

Tasmanian Walking Company is very concerned about the concept proposed through planning application PA 22/0073. The close proximity of the proposed range to the Cradle Mountain - Lake St

Clair National Park, the Walls of Jerusalem National Park and the Tasmanian Wilderness World Heritage Area is of particular concern. The sound of gunfire will likely have a significant, detrimental impact on other visitors to this area who would be enjoying walking, fishing, boating or just soaking in the natural attributes the area has to offer. There is most certainly a need for the applicant to provide more information about the measures being taken to ensure zero impact on the surrounding protected environmental areas and reducing impacts on other visitors to the area.

Please don't hesitate to get in touch to discuss further.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Heath Garratt', with a large, stylized flourish extending from the end of the name.

Heath Garratt
General Manager
Tasmanian Walking Company
28 Rutherglen Road
Hadspen
TASMANIA 7290

From: "Buck, Robert" [REDACTED]
Sent: Tue, 19 Oct 2021 15:20:12 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Overend, Linda" [REDACTED]
Subject: Kentish Rifle Club firing range Maggs Mtn PA\22\0073

To whom it may concern,

The Tasmanian Parks and Wildlife Service are contemplating an objection to the proposal and are requesting an extension of time to further investigate the proposals impacts on the surrounding values and provide a submission.

Reasons for requesting an extension Include:

2.5 km from Arm River Regional Reserve Camp,
2km Mersey White Water Regional Reserve day use area,
2.3 km from West Rowallan track,
1.7 km from Maggs Regional Reserve,
1.5 km from Maggs Rd,
7 km from Walls of Jerusalem National Park track head,
2 close by PWS helipads with flight path over site,
Nearby wedge tailed eagle nests,
Nearby Hydro assets,
Inconsistent with passive nature based recreation values and the,
Proximity of the TWWHA

Can you please approve an extension and provide a new date for our submission.

Kind regards, Rob



Robert Buck
Parks and Reserve Manager (GWT / Mersey)
Northern Region
Tasmania Parks and Wildlife Service

[REDACTED]
[REDACTED]
[REDACTED]



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From: "Crowden, Andrew" [REDACTED]
Sent: Fri, 22 Oct 2021 13:26:50 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Buck, Robert" [REDACTED] "Flood, Paul"
[REDACTED] "Overend, Linda" [REDACTED]
Subject: RE: Kentish Rifle Club firing range Maggs Mtn PA\22\0073
Attachments: PWS representation_Kentish Rifle Club PA 22 0073.pdf

Hi Natasha,

Please see the attached representation to the above Planning Application as per approved time extension below.

Regards Andrew

Andrew Crowden
Regional Planner North

Tasmania Parks and Wildlife Service
[REDACTED]

Level 1, 171 Westbury Road Prospect TAS 7250
GPO Box 46 Kings Meadows TAS 7249



From: Buck, Robert [REDACTED]
Sent: Thursday, 21 October 2021 11:06 AM
To: Planning @ Meander Valley Council <planning@mvc.tas.gov.au>
Cc: Crowden, Andrew [REDACTED]
Subject: RE: Kentish Rifle Club firing range Maggs Mtn PA\22\0073

Thanks Natasha,

PWS will provide a submission by CoB 22nd October 2021

regards

From: Planning @ Meander Valley Council <planning@mvc.tas.gov.au>
Sent: Thursday, 21 October 2021 10:15 AM
To: Buck, Robert [REDACTED]
Subject: FW: Kentish Rifle Club firing range Maggs Mtn PA\22\0073

Hi Rob

Thank you for your email. We can accept a representation if it is received by 22 October 2021.

Kind Regards

Natasha



Planning @ Meander Valley Council,
P: 6393 5300 E: planning@mvc.tas.gov.au
26 Lyall Street Westbury, TAS 7303 | PO Box 102, Westbury Tasmania 7303
www.meander.tas.gov.au

From: Buck, Robert [REDACTED]
Sent: Tuesday, 19 October 2021 3:20 PM
To: Planning @ Meander Valley Council
Cc: Overend, Linda
Subject: Kentish Rifle Club firing range Maggs Mtn PA\22\0073

To whom it may concern,

The Tasmanian Parks and Wildlife Service are contemplating an objection to the proposal and are requesting an extension of time to further investigate the proposals impacts on the surrounding values and provide a submission.

Reasons for requesting an extension Include:

- 2.5 km from Arm River Regional Reserve Camp,
- 2km Mersey White Water Regional Reserve day use area,
- 2.3 km from West Rowallan track,
- 1.7 km from Maggs Regional Reserve,
- 1.5 km from Maggs Rd,
- 7 km from Walls of Jerusalem National Park track head,
- 2 close by PWS helipads with flight path over site,
- Nearby wedge tailed eagle nests,
- Nearby Hydro assets,
- Inconsistent with passive nature based recreation values and the,

Proximity of the TWWHA

Can you please approve an extension and provide a new date for our submission.

Kind regards, Rob



Robert Buck
Parks and Reserve Manager (GWT / Mersey)
Northern Region
Tasmania Parks and Wildlife Service
[REDACTED]
PO Box 46 Kings Meadows TAS 7249



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Mr John Jordan
General Manager
Meander Valley Council
PO Box 102, Westbury TAS 7303
Email: planning@mvc.tas.gov.au

Ref: Kentish Rifle Club Inc - PA\22\0073

Re: Representation to PA\22\0073 - Application by Kentish Rifle Club for Firing Range at North Maggs Rd, Mersey Forest

The Parks and Wildlife Service Northern Region makes a representation to the proposed Firing Range at Maggs Mountain, Mersey Forest as per below points addressing the relevant zoning, codes and associated State Planning Provisions that guide the regulation of use and development.

The Council planners agree to an extension of time until close of business today 22nd October 2021 for this representation.

The Planning Application and associated documents do not adequately address the relevant planning provisions, zoning and codes below (**our comments in orange**):

The proposal is located within **20.0 Rural Zone** and under **20.2 Use Table** best fits a **Discretionary - Sport and Recreation** use class)

20.1 Zone Purpose

20.1.1 To provide for a range of use or development in a rural location:

- (a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics;
- (b) that requires a rural location for operational reasons;
- (d) minimises adverse impacts on surrounding uses.

20.1.2 To minimise conversion of agricultural land for non-agricultural use.

20.1.3 To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

Zone Purpose not addressed in the Planning Application and supporting documents

20.3.1 Discretionary Use

Objective:

That the location, scale and intensity of a use listed as Discretionary:

- (a) is required for operational reasons;
- (b) does not unreasonably confine or restrain the operation of uses on adjoining properties;
- (c) is compatible with agricultural use and sited to minimise conversion of agricultural land; and
- (d) is appropriate for a rural location and does not compromise the function of surrounding

settlements.

Objectives not addressed in the Planning Application and supporting documents

Acceptable Solutions and Performance Criteria (relevant to proposal)

A2 – No Acceptable Solution.

P2 - A use listed as Discretionary must not confine or restrain existing use on adjoining properties, having regard to:

- (a) the location of the proposed use;
- (b) the nature, scale and intensity of the use; Not addressed
- (c) the likelihood and nature of any adverse impacts on adjoining uses;

P2 has not been addressed.

Proposed 2km exclusion zone potentially affects existing use of local roads regularly used to access:

- Walls of Jerusalem National Park track head and other popular walking tracks into the Tasmanian Wilderness World Heritage Area
- Mersey Forest Whitewater Regional Reserve - day use areas and white-water course
- West Rowallan track
- Maggs Regional Reserve
- Lake Rowallan recreational and Hydro assets
- Two PWS helipads used for maintenance and resupply operations (flight path over proposed site)
- Production forests
- Private properties

Proposed use may affect nearby Raptor nests and eagle breeding success due to noise and activity.

Proposed use is inconsistent with passive nature-based recreation values of the surrounding area (zoned Environmental Management under the Tasmanian Planning Scheme) and may affect the Outstanding Universal Value that the nearby TWWHA is internationally recognised for.

Impacts on adjacent Informal Reserves nearby not addressed (Eagle nest reserves and wildlife habitat strips on State Forest).

Access for firefighting and fuel reduction operations not considered.

- (d) whether the proposed use is required to support a use for security or operational reasons;

Not addressed and

- (e) any off site impacts from adjoining uses.

Adjoining land uses such as firefighting, timber harvesting, fuel reduction, Hydro operations, aerial operations and Arm River Camp activities may prevent the proposed use

on occasions. No detail on how that will be managed.

A4 No Acceptable Solution

P4 A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to:

- (a) the nature, scale and intensity of the proposed use;
- (b) whether the use will compromise or distort the activity centre hierarchy;
- (c) whether the use could reasonably be located on land zoned for that purpose;
- (d) the capacity of the local road network to accommodate the traffic generated by the use; and
- (e) whether the use requires a rural location to minimise impacts from the use, such as noise, dust and lighting.

A4 applies but P4 not addressed in Planning Application or supporting documents.

Other shooting ranges are available and promoted for use elsewhere.

Codes

13 Bushfire-prone Areas Code

15 Landslip Hazard Code

7 Natural Assets Code

Codes have not been addressed in the PA and supporting documents.

The advertised documents provide no assurance that the landowner has consented to the lodgement of the application.

The Parks and Wildlife Service respectfully requests that Council refuse this Planning Application in this location.

Yours sincerely



Stan Matuszek
Regional Operations Manager North
PARKS AND WILDLIFE SERVICE
22nd October 2021

From: "Deborah Lynch" [REDACTED]
Sent: Mon, 18 Oct 2021 23:17:36 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Subject: Rifle range proposal - PA 22/0073

To the Mayor and Councillors of Meander Valley Council,
I refer to the above planning application, 22/0073, by the Kentish Rifle Club for a rifle range on Maggs Mountain.

I understand that the club wants a 9 year lease, (with an option for a further 9 years). The club wishes to promote the range for interstate competition and to attract many shooters to the range. I agree with the Tasmanian National Parks Association. I more than a little concerned about the diversity of natural attractions and environmental based activities, which could be impacted, (the Walls of Jerusalem, Arm River - Pelion, other walking tracks, Mersey Whitewater course and so on.)

Thank you
Deborah Lynch.

From: "Linda Connelly" [REDACTED]
Sent: Mon, 18 Oct 2021 21:41:05 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Objection to Application PA/22/0073.

General Manager
PO Box 102
Westbury Tas 7303
Sent by email planning@mvc.tas.gov.au

I refer to the Kentish Rifle Club Inc's application for permit pursuant to section 57 of the *Land Use Planning Approvals Act 1993 (Tas)* in relation to the North Maggs Road Mersey Forest, reference PA/22/0073.

As a trail runner and bushwalker of the impacted area I would like my objection noted to that application. My objection is on the basis of:

1. the environmental impact and
2. the impact on other users of the area.

The proposed zone is surrounded by National Parks and a reserves. The topography of the area is such that the noise that would occur as a result of the proposed use would carry into the National Parks. The noise pollution would have a negative impact on the bird and wildlife in the area and the users of the area.

If the debris from the ammunition is not properly disposed of or contained, this will also have a negative impact on the wildlife and the area.

If it is intended that while the site is in use, that other users are excluded from using the area referred to as the exclusion zone, this would infringe on other people being able to access and use the National Parks and rivers and reserves in the area.

There are other rifle ranges already in existence in relatively close proximity at Devils Gate Road in Kentish, in Penguin and at Campbell town.

It is also noted that the application is insufficient both in form and details. More particularly:

- The first part of the application is not completed.
- There is no supporting information or further detail about the cost of the development.
- There is no information as to the environmental impact of such development.
- There is no information so as to enable the assessment of the necessity and regularity of use.

I respectfully request that Council refuse to grant a permit in respect of the Application.

Regards,
Linda Connelly
(BA LLB GDLP)
[REDACTED]

Sent from [Mail](#) for Windows

From: "Simon Bland" [REDACTED]
Sent: Mon, 18 Oct 2021 14:18:07 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Rifle Club INC/North Maggs Road Mersey Forest/PA\22\0073

Dear John Jordan, General Manager

I Simon Bland am a fly fisherman and fish regarly at lake Rowallan
I am against the proposed rifle range for gun noise and

safety when i fish around the lake shore line.

yours faithfully, Simon bland

[REDACTED]

Deloraine .TAS.7304

phone [REDACTED]

From: "LindyJ" [REDACTED]
Sent: Mon, 18 Oct 2021 13:46:42 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA\22\0073 Representation
Attachments: PA220073.docx
Importance: Normal

Dear Mr Jordan and Whom It May Concern,

Please find attached for your consideration our concerns re the application for planning approval for the Kentish Rifle Club PA\22\0073.

We are owners of an adjoining property Maggs Road Arm Road – RK, DK & GJ Howe, LA Griffiths & JR Howe Property ID [REDACTED]

Please don't hesitate to contact us on [REDACTED] should you require any additional information.

Kind regards,

Lindy John (Griffiths) and Georgina Howe

Mr John Jordan
General Manager
Meander Valley Council
26 Lyall Street
Westbury Tasmania 7303

17/10/2021

Re - Notification of Planning Approval by Kentish Rifle Club Inc. PA\22\0073

Dear Mr Jordan,

As owners of a property situated in the Arm Valley that has been in our family for many generations, and that adjoins the land proposed for the above rifle range, we wish to express our concerns re the proposed rifle range to be situated at North Maggs Road in the Mersey Forest, applied for by the Kentish Rifle Club Inc.

For many years our family has enjoyed the peace and serenity of our property, Maggs Mountain and the valley in general and strongly object to the possibility of the potential noise pollution likely to be generated and that will compromise the amenity of the surrounding areas.

With the proposed rifle range site sitting at an elevation of approximately 700 metres, and most of the Arm River Valley huts located at a considerably lower elevation, the sound of gun-shots will be very audible in the area. The beautiful and natural call of currawongs can be clearly heard reverberating around the hills from the top of Maggs Mountain through to February plains and beyond, a distance of 5 plus kilometres, and their calls are nowhere near as sharp and loud as a high powered gun-shot. We are particularly concerned that the sound of potentially constant gun shots emanating from high calibre rifles located at the higher elevation, will be offensive, and reverberate and echo around the hills. Along with other hut owners in the area, we are particularly concerned that gun-shot noise emissions from this proposed site will almost certainly be very audible, offensive, and in general detrimental to hut users by impinging on the overall peace and tranquillity of the area.

There is a very strong heritage and cultural history value of the area for our and other property owner's families. We all do a lot of bushwalking, fishing and relaxing in the Maggs Mountain and Arm River areas, and are very concerned in regards to the overall negative impact of a firearm range on these activities.

We are certainly not against firearm ranges in general, but considering the existing community, and the long standing activities conducted within the area, believe the proposed location of this firing range is not a suitable site for a high calibre rifle range, and will be very detrimental to existing users and uses of the area.

Considering the above, we seek clarification re the following issues that we believe haven't been clearly addressed in the proposal documents, and how these issues may be contrary to planning scheme requirements for rural zoning and discretionary use including:

- clarity around exactly what the 2km exclusion zone means
- the impact of increased traffic movements in the area
- exact hours and frequency of operation
- the effect and impact on native wildlife
- expected and actual noise levels
- emergency response and potential safety issue resources for the area
- compliance with the planning scheme requirements and ongoing compliance and regulation if approval is granted

Thank you for considering our concerns.

Yours sincerely,

Lindy John and Georgina Howe

From: "John Borojevic" [REDACTED]
Sent: Mon, 18 Oct 2021 12:26:36 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Brett Johnstone - PT EO" [REDACTED] "Sandra Kent"
[REDACTED]
Subject: Representation - PA\22\0073: DA for Rifle Range - Maggs Hill
Attachments: Rifle Range DA Maggs Hill - Opposition - Oct 2021.pdf

Please find attached Representation from Paddle Tasmania in relation to application for a development permit PA\22\0073.

Regards

John Borojevic
Chair - Paddle Tasmania
Phone : [REDACTED]
Email : [REDACTED]
Website: <https://tas.paddle.org.au>



Chairperson:
John Borojevic
Ph: 0423 970 613
john.borojevic@gmail.com

Executive Officer:
Brett Johnstone
Ph: 0408 127 386
eo.tas@paddle.org.au

ABN 47 792 526 420
C/- GPO Box 25, Hobart, Tasmania, 7001
<https://tas.paddle.org.au>

14 Oct 2021

Paddle
Tasmania is
supported by

General Manager
Meander Valley Council
PO Box 102
Westbury 7303

Email: planning@mvc.tas.gov.au



Re: PA\22\0073 - Application by Kentish Rifle Club for Firing Range and Associated Developments, Maggs Hill Rd, Mersey Forest



I am writing on behalf of Paddle Tasmania regarding the above development proposal. Paddle Tasmania was formed in 1971 and is the peak body for recreational and competitive paddling in Tasmania. Paddle Tasmania **opposes** the proposed Rifle Range development at Maggs Hill.



The proposed Rifle Range is adjacent to the Mersey Whitewater Forest Reserve, a heavily used recreational area for whitewater canoeing, kayaking and rafting, and the associated Arm River Camp, a facility heavily used by paddling, school and related groups for accommodation whilst using the Reserve. As such Paddle Tasmania's numerous members and the broader paddling community have a direct interest in this development application.



Significantly, the rifle range Firing Line is less than 2km from the Mersey River between Rowallan and Parangana Dams, and as shown in the development application, both a significant section of the river and the Mersey Forest Rd are within their 2km "Exclusion Zone". Arm River Camp is roughly 2.5km from the Firing Line as is the significant day use picnic area which is the site of major canoeing competitions including State and National and International Championship events and regular National team training (approx. 2.2kms). The Mersey is used year-round for recreational paddling, school camps and club activities, either formal or informal, most weeks of the year.

Development of a Rifle Range is inappropriate in such proximity to a recreational area for canoeing and camping and other nature-based pursuits. Noise pollution from the firing is incompatible with a nature reserve. High powered, long range rifles such as will be used at this location can be heard many kilometres away in the right conditions, and the natural amphitheatre of the Mersey Valley at this location will amplify rifle fire from up in the ranges.

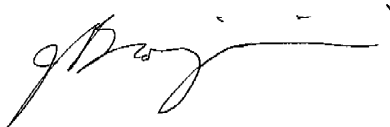
Importantly, the Reserve, and adjacent forests and ranges, has significant rare and endangered wildlife, including Wedge Tailed Eagles regularly spotted on the thermals above Maggs Hill. Rifle fire will undoubtedly adversely impact on this iconic and endangered bird which is under pressure from numerous other developments, including land-clearing and wind farm developments, and sadly - shooting. The state cannot afford to lose any breeding pairs and this development risks just that - disrupting breeding and driving Eagles away.

There is also no pressing need for this development. Rifle shooters have ready access to an existing long-range shooting facility in Campbell Town, run by the state rifle body - the Tasmanian Rifle Association: <https://tasrifle.org.au/>. The Campbell Town facility is for "long range target rifle shooters with a home rifle range at Campbell Town Tasmania, where we can shoot at distances from 300 yards and up to 1500 yards." The Campbelltown facility is less than 90 minutes drive from Kentish and TasRifle promote the facility as readily accessible to shooters from across the state as it is "...Right in the Middle."

I also draw your attention to the representation made by the Tasmanian Canoe Club Inc. which addresses in detail the application of the relevant Planning Scheme to the proposed development. Paddle Tasmania endorses and fully supports their representation and detailed objections to the Rifle Range proposal.

In summary, on behalf of the Tasmanian paddling community, Paddle Tasmania strongly opposes the development of the Rifle Range on Maggs Hill Rd, Mersey Forest and requests that the Council refuse to grant a permit in respect of this development application.

Yours sincerely,



John Borojević
Chair - Paddle Tasmania

Phone: [REDACTED]

Email: [REDACTED]

From: "craig r" [REDACTED]
Sent: Mon, 18 Oct 2021 09:04:23 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>

Planning Application: Kentish Rifle Club Inc PA/22/0075.

I am objecting to the plan of a rifle range on Maggs Rd, Mersey Valley.

The exclusion zone takes in the access road to the Arm River walking track, this means no access to this area when the range is live?.

The sound of a firing range would distract from the pleasure of walking on this track, also the peaceful ambience of fishing and camping in the surrounding areas, because of its location, sound would reverberate throughout the whole valley area.

Has there been a flora/fauna study carried out as Wedge Tail eagles are a common sight in the area.

I'm not opposed to a shooting range, but not in this area. Can they not locate it in their Kentish area.

Regards,
Craig Richards

From: "Callum Tregurtha" [REDACTED]
Sent: Sun, 17 Oct 2021 23:35:15 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Representation - PA\22\0073- Tasmanian Canoe Club Inc.
Attachments: Representation - PA220073- Tasmanian Canoe Club Inc. .pdf

Att: General Manager- Meander Valley Council

Representation - PA\22\0073- Tasmanian Canoe Club Inc.

Please see **attached** further representation in respect of the above development application, on behalf of Tasmanian Canoe Club Inc.

Yours faithfully,

A handwritten signature in black ink that reads "C Tregurtha". The signature is written in a cursive, flowing style.

Callum Tregurtha
Vice Commodore
Tasmanian Canoe Club



Att: General Manager

17 October 2021

Meander Valley Council

PO Box 102, Westbury 7303

VIA EMAIL ONLY TO: planning@mvc.tas.gov.au

Representation - PA\22\0073- Tasmanian Canoe Club Inc.

Our representation is made in response and in opposition to the Kentish Rifle Club Inc.'s (hereafter the proponent") application for a development permit pursuant to section 57 of the *Land Use Planning Approvals Act 1993* (Tas), that would allow the development of the site known as Property ID 3392724, situated off of North Maggs Road, Mersey Forest in Tasmania. This representation is made in addition to the emailed representation already submitted by our secretary, Mr R. Horton.

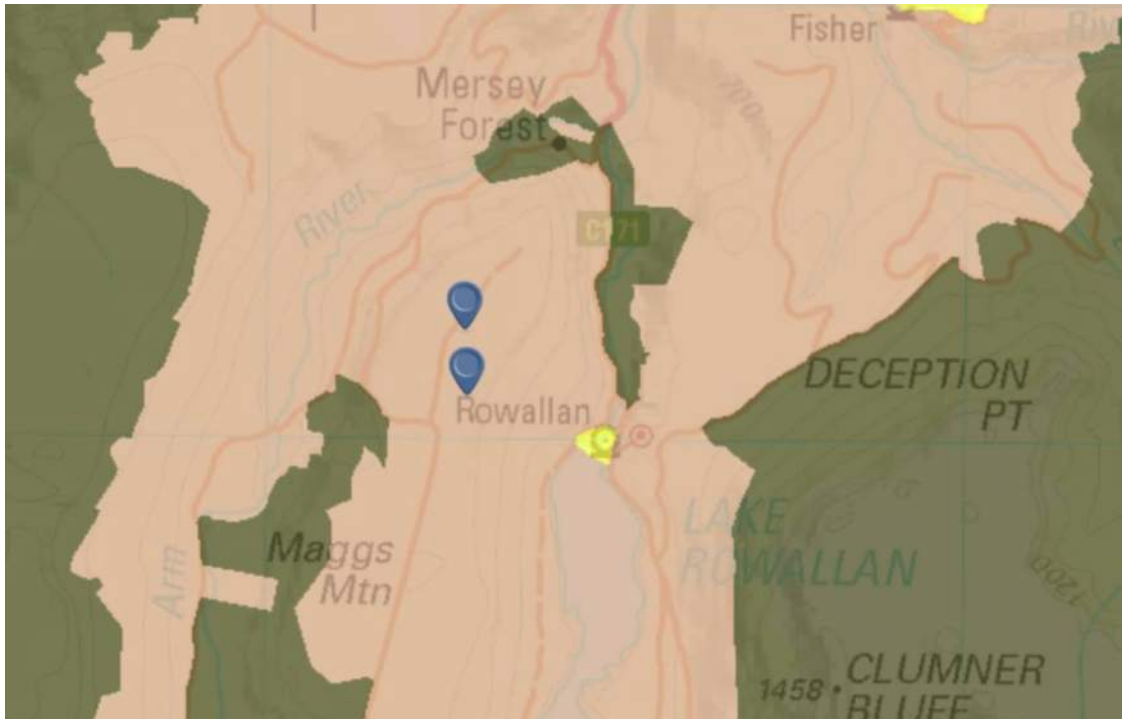
Our Standing in Respect of This Issue

Tasmanian Canoe Club Inc. (hereafter 'the Club') has operated for in excess of 50 years, is based in North-West Tasmania, and is dedicated to furthering kayaking and canoeing throughout Tasmania. As a consequence, the Club is a regular user of the Mersey River between Lake Rowallan and Lake Parangana where the Mersey Slalom course is located (known as the Mersey White Water Forest Reserve). This section of the Mersey River encompassed within the Reserve is utilised by the Club, other similar organisations, school groups, and other commercial and private users regularly. The Slalom Course has hosted both national and international competitions previously.

The Mersey River flows parallel and within close proximity to the proposed development site. The proponents legally required 'Exclusion Zone' overlays approximately one-third of the river area regularly used by the Club and other users. The Club has a direct interest in respect of this development application- our concerns are not abstract or intellectual.

Relevant Planning Area and Zoning

The proposed development area is currently zoned as 'rural' under the *Tasmanian Planning Scheme* and overlaid as a 'bushfire prone area.' In the following map extracted from the Tasmanian Government 'ListMap', the approximate area and zoning can be viewed:-



In respect of the above map, it is noted that:-

1. The off-brown colour represents areas zoned 'rural' under the Tasmanian Planning scheme;
2. The green colour represents areas zoned 'environmental management' under the Tasmanian Planning Scheme; and
3. The blue marker represents the approximate development site location based off of the permit application.
4. The green area to:-
 - a. the west (far left) of the proposed development is the Cradle Mountain-Lake St Clair National Park;
 - b. The immediate south-west of the development site is the Maggs Mountain Reserve;
 - c. The east (far right) of the proposed development is the Walls of Jerusalem National Park; and
 - d. The east (centre) is the Mersey White Water Forest Reserve.

Planning Purpose and Objectives

Under the *Tasmanian Planning Scheme*, the purpose of rural zones are:-

“20.1.1 To provide for a range of use or development in a rural location:

- (a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics;*
- (b) that requires a rural location for operational reasons;*
- (c) is compatible with agricultural use if occurring on agricultural land;*
- (d) minimises adverse impacts on surrounding uses.*

20.1.2 To minimise conversion of agricultural land for non-agricultural use.

20.1.3 To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.”

The purpose of environmental management zones are:-

“23.1.1 To provide for the protection, conservation and management of land with significant ecological, scientific, cultural or scenic value.

23.1.2 To allow for compatible use or development where it is consistent with:

- (a) the protection, conservation and management of the values of the land; and*
- (b) applicable reserved land management objectives and objectives of reserve management plans.”*

Although the development falls within a rural zoned area, the impact on surrounding environmental management zones ought be considered when considering this application.

The proposed development is seeking assessment as a ‘sports and recreation development,’ and consequently is a discretionary use when in a rural zoned area. As a consequence, the development must address the use standards for a discretionary use within the *Tasmanian Planning Scheme*.

Application of Planning Scheme to Proposed Development

It is the Club’s position that the proposed development is inconsistent with the surrounding environmental management zones and does not meet the requirements of the planning scheme for a rurally zoned area for the following reasons:-

1. It does not meet any applicable acceptable solution for development in rural zoning;
2. The development does not meet the following performance criteria:-
 - a. It will constrain and diminish existing uses on adjoining properties as:-
 - i. The development is in an area that is surrounded by land zoned as 'environmental management zones' that are protected for their environmental value and the development is likely to negatively impact on the amenity of the surrounding uses, namely National Parks and Reserves;
 - ii. the development is within approximately 2 kilometres of the Mersey Slalom Whitewater course and is in close proximity to the Arm River camp and bushwalking tracks/camping areas/ existing huts. The proposed Exclusion Zone infringes on these existing uses by overlaying them and restricting access, particularly as the development intends to be used with regularity;
 - iii. The development when in use will include the firing of large gauge ammunitions over extended distances without the use of silencing mechanisms (as silencing mechanisms are illegal in Tasmania). This will likely have a significant negative impact on other existing uses due to the noise pollution caused by the use and topography of the area, and the actual pollution caused by metals and other contaminants being discarded;
 - b. It will likely adversely impact other users by increasing traffic and maintenance required to local road networks. The local road network consists largely of dirt roads and a single sealed access point through Mersey Forest Road. The applicant has not addressed in their application how traffic impact can be minimised, or addressed improving the capacity of the local road network to meet the proposed use. The 'Exclusion Zone' included in the application also overlays Mersey Forest Road and will negatively impact access when in use. This is both a safety and accessibility issue, particularly as the area is a bushfire prone area;
 - c. The development is not of particular importance or significance as there are existing firearm ranges located on Devils Gate Road in Kentish (noting that the Proponent is the Kentish Rifle Club Inc.), at Campbell Town, and at Penguin,

amongst others. The application does not provide sufficient information to address this performance criteria.

- d. The development use requires separation from other uses to avoid impacts to others and that has not been achieved in this application. The proposed use is inconsistent with the surrounding heritage values of the area incorporated into National Parks and Reserves. It also negatively impacts on the use of Lake Rowallan as a recreational fishing lake and the Mersey Whitewater Reserve for kayaking/canoeing, particularly as a result of the Exclusion Zone; and
- e. The development does not minimise the conversion of agricultural land to a non-agricultural use.

General Comments Regarding Application

It is also noted generally about the application:-

1. It does not include any information addressing whether Sustainable Timbers Tasmania agree to this development or have/will issue a licence to enable the development;
2. The first three questions of the application are not answered and it is therefore not a completed application for assessment;
3. The total cost of development provides no evidentiary basis to assert the quantum is a legitimate estimate;
4. It includes no information addressing environmental impacts by noise and other pollution so as to assist in determining whether the application adequately addresses the performance criteria;
5. It does not include sufficient information regarding the development to assess environmental impact caused by the clearing of land, impact on flora and fauna, or the inclusion of toilet amenities on the site;
6. It does not address how, in particular, the Exclusion Zone will impact on other users i.e., is it required to be a hard border to the area when the site is in use;
7. It does not address bushfire mitigation and risk, particularly given the area is subject to a bushfire overlay;

8. It includes no information regarding the size of the proponent organisation and their membership / ability to fund and complete the proposed development, plans for use, and whether other firing ranges are inaccessible/inappropriate so as to provide an evidentiary basis to assess importance and regularity of use; and
9. Given this is a matter where there are significant environmental reserves in the nearby area and risks of pollution, it is the Council's duty under section 20A of the *Environmental Management and Pollution Control Act 1994 (Tas)* to prevent or control acts or omissions that cause or are capable of causing pollution. There is no evidence able to assist Council to discharge that duty.

For the above reasons, Tasmanian Canoe Club Inc. is firmly opposed to the proposed development and respectfully requests that Council refuse to grant a permit in respect of this development application.



Callum A. Tregurtha
BA-LLB (Hons), GDLP
Vice-Commodore of Tasmanian Canoe Club Inc.

Contact No. [REDACTED]

Email [REDACTED]

From: "Phil Wadley" [REDACTED]
Sent: Sun, 17 Oct 2021 21:22:45 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "Tamar Canoe Club Committee" [REDACTED] "John Borojevic"
[REDACTED]
Subject: Re: PA\22\0073 - Application by Kentish Rife Club for Firing Range and Associated developments, Maggs Hill Rd, Mersey Forest

General Manager
Meander Valley Council
PO Box 102
Westbury 7303

I am writing on behalf of the Tamar Canoe Club opposing Maggs Hill Rd. rifle range development.

Our club members often use the Mersey Wildwater Reserve for recreation, training and competition, enjoying the natural wilderness environment while doing so. This is likely to be spoiled by the sound of high powered rifles in the confines of the valley. The Mersey Wildwater Reserve is a premium whitewater venue and attracts visitors from around the state, interstate and international locations. During competitions many camp at Arm River and firearm noise would be disconcerting and likely create negative feedback amongst participants, impacting on the success of future events.

Increased traffic especially during competitions is concerning due to the narrow road and proximity of competitors to the road while unloading & loading gear from their cars and the increased dust levels would require consideration of sealing the road in the area of the Slalom course event grounds.

It would seem this proposal is incompatible with the wilderness nature of the area and would not only negatively on paddlers but also fishermen, bush walkers, and other users of the natural environment.

With a similar rifle range at Campbell Town the disruption to existing users seems unreasonable.

Phil Wadley
[REDACTED]
Commodore
Tamar Canoe Club
Launceston

From: "charles chadwick" [REDACTED]
Sent: Sun, 17 Oct 2021 14:30:09 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Subject: Kentish rifle club Maggs mountain proposal

To whom it may concern

I am a keen bushwalker and often use the Arm river track and am concerned about the proposal for the Kentish rifle club to create a shooting range in the area, on Maggs Mountain. I am particularly concerned about the effect of noise on the tranquil area used for bush walking. I enclose an excerpt from a letter detailing objections based on the proposal and planning scheme.

Yours Sincerely
 Charles Chadwick

The comments relate directly to the Meander Valley Planning Scheme (Scheme). Due to a lack of information provided in the application from the Kentish Rifle Club, and the activity itself, that there is a lack of compliance. Comments are in Italics and the relevant scheme sections below that.

Section 6.1. 2 (a), (b), (d) and (e) of the Scheme have not been met in the advertised application. There is no signed application form, no written permission and declaration of notification required under s.52 of the Act, no copy of the current certificate of title for all land to which the permit sought it to relate and no full description of the proposed use or development.

Information about the proposed use, intensity of use and potential impacts is very scant. There is no detail on the key elements including frequency of use, types of guns, noise emissions from the guns and numbers of users.

6.1.2 of the Scheme states:

An application must include:

- (a) a signed application form;
- (b) any written permission and declaration of notification required under s.52 of the Act and, if any delegate, a copy of the delegation;
- (d) a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- (e) a full description of the proposed use or development.

?The proposal is not compliant with 20.1 (d). This proposal does not minimise adverse impacts on surrounding uses. Instead, the traffic, noise and construction of the range has the potential to change the amenity of the of the existing environment and significantly increase the noise level above the existing natural background noise which is minimal.?

The proposal will compromise the function of surrounding settlements. Given the privately owned huts that are in, or immediately outside, the 'exclusion zone', this is evidence that people regularly use this area and enjoy for the peaceful amenity, being the quiet surrounds. I cannot identify what scale or intensity the proposed activity will be, as it simply is not addressed anywhere in the application to ensure compliance with 20.1.1(d).

The potential noise from the construction phase and operational noise from gun fire has the potential to change the amenity for existing sensitive uses

20.1 Zone Purpose of the Scheme states:

The purpose of the Rural Zone is:

20.1.1

To provide for a range of use or development in a rural location:

- (d) minimises adverse impacts on surrounding uses.

20.1.3

To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

?In terms of Council's discretionary use, I find that the proposal does not meet 20.3.1 (d) for the same reasons above. I contend that the nature of the proposal and the noise it will generate does compromise the amenity of the surrounding area.

Two huts are located within the attenuation zone and this does not meet the acceptable solution.? That the location, scale and intensity of a use listed as Discretionary:?(d) is appropriate for a rural location and does not compromise the function of surrounding settlements.??The proposal thus cannot meet the performance criteria listed below. There is no information provided on the nature, scale and intensity of use (a), and the proposal has no importance or significance for the immediate local community (b).?

P1

A use listed as Discretionary, excluding Residential, must require a rural location for operational reasons, having regard to:

- (a) the nature, scale and intensity of the use;
- (b) the importance or significance of the proposed use for the local community.

With respect to P2 (a), the proposal nominates an 'exclusion zone' within which there are at least two huts. Thus, the proposal will confine and restrain existing use on adjoining properties in regard to the location of the proposed use. Again, there is no information regarding (b) and in regards to (c), the likelihood and nature of adverse impacts on adjoining users (landowners/anglers/bushwalkers) is high.

P2

A use listed as Discretionary must not confine or restrain existing use on adjoining properties, having regard to:

- (a) the location of the proposed use;
- b) the nature, scale and intensity of the use;
- c) the likelihood and nature of any adverse impacts on adjoining uses;

In regard to P4, I would argue that there is no information regarding (a), that the use will distort the existing activity of the area (b), that there is no information on traffic use at all on what is largely a single lane gravel road (d), and that there is no real understanding of the noise impacts at all (e). Further to point (d), I note in a Facebook post by the Kentish Rifle Club, that they intend to hold national and international competitions at the site. What this means for intensity of use and traffic numbers has not been outlined.

P4

A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to:

- (a) the nature, scale and intensity of the proposed use;
- (b) whether the use will compromise or distort the activity centre hierarchy;
- (d) the capacity of the local road network to accommodate the traffic generated by the use; and
- (e) whether the use requires a local location to minimise impacts from the use, such as noise, dust and lighting.

It is impossible to determine if the proposal complies with 20.4.2 regarding setbacks of the buildings onsite, as there are no definitive boundaries or scale drawings of the buildings as they are to be located, with respect to the lease area or boundary of the activity

As set out in Code 9.0-9.3 with regard to attenuation distances, there is no boundary of the site marked to judge the shortest distance from the boundary of the site on which the activity is located, as required by the Scheme.

attenuation distance

means the distance listed in Tables C9.1 and C9.2 for the relevant activity measured as the shortest distance from the boundary of the site on which the activity is located.

ATTENUATION DISTANCES

TABLE C9.1

Shooting range?The conduct of facilities for outdoor shooting competitions, practice or instruction – emissions such as noise.

2,000m

Furthermore, in C 9.5.1, P1 (a), the attenuation area includes two huts, as per page four of the application, however this has not been addressed as per the requirements of the performance criteria. It is unreasonable that the existing amenity and function of private land of the area is potentially lost. The huts (sensitive uses) in this valley are all existing sensitive uses. Noise impacts, at a minimum, may result in loss of amenity and function. How these properties can be used and protected from the Rifle club activities is unknown. It is deemed unreasonable that the behaviour and function of an existing sensitive use has to be modified by a new activity.

C9.5.1 Activities with potential to cause emissions

P1

An activity listed in Table C9.1 . . . must not cause;

(a) an unreasonable loss of amenity or unreasonable impacts on health and safety of a sensitive use which is existing, or has a planning permit;'

From: "trudy richards" [REDACTED]
Sent: Sun, 17 Oct 2021 09:42:06 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planning submission PA\22\0073. Kentish rifle club/Maggs Mountain

To whom it may concern.

I am writing in response to the planning application submitted by the Kentish Rifle Club at North Maggs Road, Mersey Forest.

My relationship with the area and property owners spans over forty years, having grazed cattle on private property within the valley, as well as vermin control.

Yes, I do hold a gun licence, do not have a problem with rifle ranges, but am concerned the area proposed for such a range will have a huge impact, environmentally.

I feel an impact study should be done prior to any decision making, as to the impact it may have on wildlife (there are Wedge tailed Eagles on Maggs Mountain)

I believe the landowners were not approached by the proponents prior to submitting their planning permit, a matter of courtesy and respect.

Do we know the calibre of firearms that will be used, and if it will reverberate through the Arm Valley and lower recreational fishing areas.

Sections of the road leading to Maggs Mountain are prone to landslips, snow and downed trees, making the area inaccessible by vehicle.

I think there is a need for further enquiry, by both proponents and land owners, before moving ahead on this development.

Regards

Trudy Richards
[REDACTED]

From: "Josephine Castillo" [REDACTED]
Sent: Sat, 16 Oct 2021 22:03:47 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Subject: PA22/0073

I wish to object to the proposal by Kent's Rifle Club to set up a rifle range on Maggs Mtn. My objection is on the grounds that it will detract from the peace of the area and enjoyment of bushwalks, as well as potentially dangerous for walkers in the area.

Jo Castillo

Mobile: [REDACTED]

From: "Anglers Alliance" [REDACTED]
Sent: Sat, 16 Oct 2021 15:08:12 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA/22/0073 Proposed Rifle Range, North Maggs Road, Mersey Forest

Anglers Alliance Tasmania, the peak body that represents some 25,000 Tasmanian licensed freshwater anglers, holds concerns for the proposed rifle range in this area which include :

- Zoning and land ownership is unclear
- The proposal is poorly documented making it difficult to gauge the extent and scale of the proposed work
- The proposed hours of operation and frequency of use are not documented
- Increased activity and ballistic noise is not compatible with the natural values and passive recreational use of the area by many groups, and the amenity of anglers on Lake Rowallan could be severely compromised
- The proposed exclusion zone appears to block some road and walking track access
- The proposal has no environmental considerations or study of the impact on native flora and fauna (which should include Wedgetail Eagle nesting sites)

Anglers Alliance Tasmania considers the proposal is incompatible with the natural values of the area and would have a detrimental effect on the amenity enjoyed by adjacent landowners and the many groups of passive recreation users.

Denis Edwards
Executive Officer
Anglers Alliance Tasmania



Gary France - Chairman
Howard Jones - Vice Chairman
Denis Edwards - Executive Officer

GPO BOX 963, HOBART TAS 7001
Phone [REDACTED]
Email: anglersalliance@gmail.com
Web: www.anglersalliance.org.au



ABN 73 327 229 428

From: "Tas Canoe Club" [REDACTED]
Sent: Thu, 14 Oct 2021 15:17:36 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: "John Borojevic" [REDACTED] "Peter Eckhardt"
 [REDACTED] "Callum Tregurtha"
 [REDACTED] "Jill Dassing" [REDACTED]
Subject: Kentish Rifle club application

To planning re: Kentish Rifle Club Inc - PA\22\0073 PROPERTY ADDRESS: North Maggs Road MERSEY FOREST (PID: 3392724) DEVELOPMENT: Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

I am writing on behalf of our club regarding the proposed rifle range.

We are unfamiliar with the process for making an objection and seek your advice if this information is insufficient or incorrect.

Generally we are concerned about the development of a rifle range in proximity to a recreational area for canoeing. The Mersey Wildwater Reserve is a premium recreational area used by our club, other Tasmanian Whitewater clubs, recreational paddlers, rafting clubs, commercial operators and interstate visitors. The facility caters for state and national championships for adults and juniors. Our club members travel from across the north west to paddle on the Mersey.

When paddling events or activities are on, there is substantial road traffic along Mersey Rd, Arm Rd, and camping at Arm River and on both sides of the Mersey River. The reserve attracts several thousand users per year and activities are held on most weeks of the year.

We expect that a rifle range would detract from the nature of the Wildwater reserve by adding additional traffic, increase noise and impose restrictions and limit days of use of the Wildwater Reserve. The noise from firearms would be most unsettling in this area and during events.

Secondly, the increased traffic would lead to more road damage and if additional maintenance was needed this would further interrupt other users.

Thirdly, the area is a wilderness area where our members enjoy seeing wildlife including eagles. We see this development disrupting local wildlife, adding to road kill and leading to littering of firearm discharge materials in the area.

Finally, our objection is that rifle shooters have an existing facility in Campbelltown for the use of long-range shooting from 400m -1500m. This facility welcomes non-club members to participate. There is no obvious need for an extra firearm facility within 60 minutes of Meander. This facility can be policed and monitored, whereas, policing a shooting range in a remote area will prove problematic and is more likely to lead to gun offences and have a further impact on paddlers.

Your sincerely

Russell Horton

Secretary, Tasmanian Canoe Club
 PO Box 333 Ulverstone Tas 7315
 [REDACTED]

From: "President HWC" [REDACTED]
Sent: Thu, 14 Oct 2021 12:55:39 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Cc: "Secretary HWC" [REDACTED] "Helen Daly"
[REDACTED] "Paul Geeves" [REDACTED]
Subject: Application by Kentish Rifle Club Inc - PA\22\0073
Attachments: Meander Valley Council from HWC.pdf

Dear Councillor

Please find attached a letter from the Hobart Walking Club in response to development application PA\22\0073.

Yours sincerely,

Jill Finch
President
Hobart walking Club

14 Oct 2021

Meander Valley Council
26 Lyall St
Westbury TAS 7303
mail@mvc.tas.gov.au

APPLICANT: Kentish Rifle Club Inc - PA\22\0073
PROPERTY ADDRESS: North Maggs Road MERSEY FOREST (PID: 3392724)
DEVELOPMENT: Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

The Hobart Walking Club would like to comment on this proposal. The Club has no objections unless access to walking tracks are impacted. The Club is not opposing the development provided that there are no restrictions on access to Maggs Road as a means of access to the Arm River Track and the Maggs Spur 17 Track.



Jill Finch
President
Hobart Walking Club

From: "Jean Symes" [REDACTED]
Sent: Wed, 13 Oct 2021 16:52:10 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Cc: "Wayne Johnston" <Wayne.Johnston@mvc.tas.gov.au>; "Stephanie Cameron" <Stephanie.Cameron@mvc.tas.gov.au>; "Rodney Synfield" <Rodney.Synfield@mvc.tas.gov.au>; "Michael Kelly" <Michael.Kelly@mvc.tas.gov.au>; "Deborah White" <Deborah.White@mvc.tas.gov.au>; "Michal Frydrych" <Michal.Frydrych@mvc.tas.gov.au>; "John Temple" <John.Temple@mvc.tas.gov.au>; "Tanya King" <Tanya.King@mvc.tas.gov.au>; "Andrew Sherriff" <Andrew.Sherriff@mvc.tas.gov.au>
Subject: Seeking documentation about Planning Application 22/0073 - Rifle Range on Maggs Mountain
Attachments: Rifle - PA.22.0073-Display-Plans

Dear Meander Planning Department and Mayor, Deputy Mayor and Aldermen,

I own one of properties adjoining the Forestry land on which the Kentish Rifle Club proposes a rifle range (PA 22/0073). I received notification from your Planning Department about this. This email is a request for more information to help me prepare a written representation by 5pm on Tuesday 19 October.

I note that my property of 400 acres that is the closest property to the proposed range is not marked on the maps in the PA, although other properties further upstream in the Arm River valley are.

So far I have only been able to find very limited information (attached) on Council's website. There does not appear to be any information about the items below, and I would be grateful if you are able to forward me any further information you may have about these and other relevant aspects of the application.

- What the Exclusion Zone means, that covers most of my property
- Proposed frequency of use and hours of operation
- Type of rounds to be used, and (if lead containing) potential toxic impact
- Type of fencing, and area that will be fenced, and impacts of this on wildlife movement
- Likely increase in vehicle traffic on Maggs Road

And are there any assessments as part of the PA regarding issues such as:

- Decibels of noise likely to be experienced at different points across the nearby valleys, lakes, mountains and tourist locations
- Impact of fencing, traffic and noise on local and threatened wildlife, including raptors
- Effect on the major 2017 landslip area on Maggs Road if more moisture-retaining trees above are cleared

Thanks for any information you can provide about these questions, and also any other information you may have about this proposal, besides what has been posted and is attached here.

Regards,
 Jean

Jean Symes
 [REDACTED]
 Cambridge TAS 7170
 [REDACTED]

From: "Karin Febey" [REDACTED]
Sent: Wed, 13 Oct 2021 18:49:02 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Cc: [REDACTED]
Subject: Re- Notification for Planning Approval of the Kentish Rifle Club locating on Maggs Mountain, Mersey Forest Road

Dear Sir, Madam

I write in response to the above proposal and formally speak on behalf of the private landowners in this representation.

We share several concerns about the proposal and require detailed and comprehensive information as follows as this proposal lacks the information we are seeking. Our concerns are as follows-

1. **The Exclusion Zone** – By definition this means that *there to be no unauthorised entry into the location for personnel due to risk and safety issues, people and vehicles must stay out of this zone*. We have a property within this area and neighbouring properties not far away and we are concerned as to impact to the hut owners with regard access and movement in and around their property. Also how will the 2km zone affect public access through to other properties and to those hikers on route to the Arm River track?
2. **Noise Level-** Our families visit the Arm properties for the serenity , peacefulness, solitude and the beauty of the mountain, having the rifle range nearby will destroy that peace with volleys of rifle fire which will reverberate across the mountain and into the valley. What will be the decibel reading be for the range of firearms used ? There is no where in the proposal that describes any of this .
3. **Hours of Operation** – Will the rifle range be operating weekends, week days , time slots etc ? Will it be an ongoing activity or scheduled once, twice monthly ?
4. **Wildlife and flora-** Is there an environmental impact assessment made on species of animals /birds and flora within the firing zone? . There is no information at all with regards the construction of the facility and the rifle fire impact on those species. Of particular concern is the fate of the Wedgetail eagles who frequent the Arm Valley and who may nest there. Further there has been sightings of the White bellied Sea Eagle who has made its way up through the river system and into the Arm Valley , is this eagle nesting ? With regards to eagles nesting there is a strict environmental process that must be followed to examine and determine nestings prior to this proposal progressing.
5. **Increased traffic in the area-** There will be an increased visitation to the area if the rifle range goes ahead and with this traffic brings concerns as to theft and vandalism to our huts and properties. Our particular property has been vandalised and items of sentimental value stolen along with machinery and wood, further out fences and gates have been driven through in an attempt to see what is beyond. As a result of this we have had to lock huts and gates when in the past these were open to those that genuinely needed a place to stay . This is not to imply that members of the rifle club are disrespectful with private property at all, but what of the increased general public who are keen to see the new range etc We feel our huts will be placed in a very vulnerable position to those people who hold no scruples such as what we have experienced.

6. **Other Recreational Users-** Has the proponent considered other groups accessing the area? The white water community consists of slalom, wild water racing, kayakers, rafters, school outdoor education groups , commercial rafting groups and wild water rescue and instruction training. Parkes and Wildlife are aware of the significance of this reserve to the white water community. What of the Anglers fishing out of Lake Rowallan? , their ambience too , may well be shattered with the volley of rifle fire resounding across the mountain and river. The entry to the slalom course is 800 metres south of the Arm River road turnoff on the Mersey Forest road with a car park, small shelter and toilets for those users and the wild water race course has its entry point 4.5 ks further along the Mersey Forest road. Will the proposed rifle range impact these recreational activities occurring on the Mersey River ?

In Summary

Our group seeks consultation, education and a collaborative approach from all stakeholders concerned in examining all of the concerns highlighted in this representation. We would like an inspection of the proposed site with personnel who is fully conversant and knowledgeable with regards the proposal and drawn plans of the car park, buildings, range , fence etc . Our most critical concern is that there is no where in the planning proposal of an **environmental impact assessment being** undertaken or completed for this activity. This assessment should encompass noise impact on users in the vicinity , more importantly species of birds and other wildlife including the eagles who may be nesting in the zone . or have habitats In this light, the proposal appears quite weak concentrating on the plans for construction only and without any consideration to all other concerns raised in this representation other than the space of the exclusion zone on Maggs mountain.

We look forward to council's response after all public representations have been received. Further we have strong support from the Mole Creek Tourist and Progress Association in the need for much more comprehensive information as to the proposal . The president Mrs Judy Richards can be contacted on 0408135674 at any time to seek the association's views of the proposal . Please feel free to contact me at any time if you require any further information / clarification with regards our representation in this instance.

You may contact me or [REDACTED] and email [REDACTED]

I look forward to hearing from you.

Kind Regards

Karin Febey – Reference - PA/22/0073 21310

[REDACTED]
Port Sorell, Tas, 7307

From: "Katie Tangney" [REDACTED]
Sent: Tue, 12 Oct 2021 21:45:38 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Submission regarding PA\22\0073

General Manager
 Meander Valley Council

To whom it may concern,

I write regarding the proposed rifle range by the Kentish Rifle Club on Maggs Mountain. My family have owned property in this area on the Arm River and up onto the face of Maggs for the last 30 years. The area is a peaceful place, enjoyed by landowners, kayakers, anglers and bush walkers.

I have several concerns about the proposal, some of which may not fall with council's jurisdiction for consideration, but which I will raise below.

- 1) I note from the application submitted that there does not seem to be an environmental impact assessment. There seems to be no information provided for council to determine what impact the building of the facility or sustained gunfire activity would have on the environment and fauna species. We have seen wedge tailed eagles in the vicinity of our property and having previously worked for the Commonwealth Environment Department in assessing proposals under the EPBC Act, I am aware that a proposal such as this would not be conducive to that species in terms of nesting, as an example. Other projects I have worked on in a post approval process require exclusion zones and avoidance of line of sight from nesting trees.
 - 2) Following on from this, does the proposal require referral to the Tas or Commonwealth governments for assessment under their environmental legislations?
 - 3) Is the land to be purchased or leased? Is the land classified as crown land and if it is leased, how long is this lease for?
 - 4) What is the frequency of use expected to be? How many vehicles are expected? How long will bouts of shooting be? How often will the course be used and for how long in terms of hours? Weekends or weekdays?
 - 5) How will land users/bush walkers etc be aware of the firing range around the entirety of the site?
 - 6) What does the 2km exclusion zone mean and how will it affect the huts within that area?
- As a frequent visitor to our own property, my concerns also lie around the noise impacts and the increased number of visitors to the area. We go to our property to enjoy the peace of the mountains. Having to listen to gun shots - and because there is little information in the application, I cannot tell if this will be constant or sporadic - will certainly detract from that experience.

Furthermore, we have had to deal with several break ins, where gates/fences have been cut and generators, firewood, household goods and family journals have been stolen. Our huts have been damaged and memorials have been desecrated. I do not imply that members of this group will be like-minded, but it is a general concern that an increase in traffic to this area, where there are several huts, may result in an increase in vandalism and theft.

I trust that council will not make a decision based on such little information and will, at a minimum, require more from the proponent. I also hope council will understand the history and

current use of the land in the Maggs Mountain/Arm River/Lake Rowallan area and agree that a proposal such as this, does not sit well beside them.

Kind regards

Katie Tangney

Deloraine



From: "Bill Bennett" [REDACTED]
Sent: Mon, 11 Oct 2021 23:10:25 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planning application for Kentish Rifle Club Inc PA\22\0073

John Jordan

General Manager,

Meander Valley Council

Re: Kentish Rifle Club Inc - PA\22\0073

Dear Meander Valley Council,

I am writing to you regarding the above proposal for the rifle range off Maggs Road in the North Mersey Forest.

I am not a shooter myself, but there can't be many places where you can safely build a 1000m rifle range. I think such a range would be an excellent use for this land, and the proposal seems like a well-thought out one. As a bushwalker however, I just wanted to check that there would be no restrictions on access to Maggs Road, and hence to the Arm River Track.

The first diagram on page 3 of the application seems to indicate that Maggs Road would remain entirely outside the range boundaries. However, the 2km "exclusion zone" on page 4 actually includes a large chunk of Maggs Road. Can you clarify that this exclusion zone does not mean that Maggs Rd is closed when the range is open, please? I think this is unlikely, especially as the 2km exclusion zone also includes a section of the C171 to Lake Rowallan!!

It would be a disaster for bushwalkers heading in and out along the very popular Arm River Track if access via Maggs Rd was restricted. The alternative route to the trailhead via Arm Road is now closed, with a bridge down (I believe) and trees and brush deliberately blocking off this road in order to direct walkers along Maggs Road.

Best regards,

Bill Bennett
[REDACTED]

From: "Kelvin Markham" [REDACTED]
Sent: Sun, 10 Oct 2021 12:32:45 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA\22\0073
Attachments: AssociationExtractReport.pdf

I am writing to you to make a representation regarding the application and to ask some questions about the information posted to your website which purports to be the application.

An extract of the Association record shows that Kentish Rifle Club Inc was incorporated only 12 months before the application was made. It is noted that the 'Application' is not signed; the information on the council website does not contain a signed page or the name of the person making the application. It is noted that the plans were drawn by an office bearer of the Association.

There is no information about the Association on the internet and they are not listed as affiliated with or a member organisation of the Sporting Shooters Association.

As the Association wants the exclusive use of in excess of 300Ha of land which includes what are presently public roads and State Forest close to tourism and sporting infrastructure including an international rowing venue, it seems to me that unless we know who the members are and how many of them, the membership criteria etc, it is impossible to decide whether the proposed use of this public land and its impingement on alternative uses is warranted.

The application mentions being subject to the issue of a 'grant'. What 'grant' and from whom?

Now, ordinarily I don't object to reasonable use of land but having ridden horses and attended rowing events at Lake Rowallan, and knowing that the area is used as an 'escape' for so many people, the likely noise and obvious hazard created by such a development seems out of place.

The Proposed firing range is between two iconic Tasmania National Parks, Cradle Mountain and Walls of Jerusalem and puts the West Rowallan track and appears to put a significant portion of the Maggs Mountain Forest Reserve within earshot and within the exclusion zone. This is the aspect of the proposal which concerns me so greatly. It is not as if there are not already several shooting clubs within reasonable distance (including Sassafras) of the towns from which members would be enlisted so there is no demonstrable need for such an enclave. I am not aware of any other shooting club in close proximity to public recreation areas and tourist infrastructure and there is no demonstrable need for it.

Yours sincerely,
 Kelvin Markham LLB
 PL [REDACTED]

Department of Justice

CONSUMER, BUILDING AND OCCUPATIONAL SERVICES
REGISTRATION SERVICES

PO Box 56 Rosny Park, TAS 7018 Australia

Ph 1300 654 499 Fax (03) 61730205

Email: Registration.Services@justice.tas.gov.au Web www.cbos.tas.gov.au

Association Extract - Tasmania

Created on 10 October 2021 at 11:47AM

Current Association Details

Association Name: KENTISH RIFLE CLUB INC.
Incorporation Number IA12606
Status: REGISTERED
Date of Incorporation: 16 September 2020
Next Financial Year End Date: 30 June 2022
Principle Activity: TO RIFLE TARGET SHOOTING
IN A COMPETITIVE MANNER
AND PROMOTE THE SPORT IN
A SAFE MANNER WITHIN THE
COMMUNITY.

Association Postal Address (current)

Address: [REDACTED] PALOONA TAS 7310
Start Date: 16 September 2020

Association Registered Office (current)

Address: [REDACTED] PALOONA TAS 7310
Start Date: 16 September 2020

Association President (current)

Name: LEE, TRAVIS
Address: [REDACTED] DELORAINES TAS 7304
Start Date: 16 September 2020

Association Public Officer (current)

Name: STEWART, EDMUND
Address: [REDACTED] PALOONA TAS 7310
Start Date: 16 September 2020

Association Secretary (current)

Name: STEWART, EDMUND
Address: [REDACTED] PALOONA TAS 7310
Start Date: 16 September 2020

Association Treasurer (current)

Name: CHAPMAN-STEWART, JUDITH

Address: [REDACTED] PALOONA TAS 7310

Start Date: 16 September 2020

Documents Lodged:

Document Type	Date Lodged	Date Processed
Application for Registration	08 Sep 2020	16 Sep 2020
Notice of Special Resolution	15 Sep 2021	20 Sep 2021

DISCLAIMER FOR ASSOCIATIONS EXTRACT

The administrator of the Associations Incorporation Act and every person acting on its behalf disclaims any liability for loss or damage arising from any error, omission or defect in the computer produced extract or the information contained herein, whether resulting from negligence, default or otherwise however so caused or resulting.

From: "brian driscoll" [REDACTED]
Sent: Sat, 9 Oct 2021 18:36:01 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Proposed Rifle Range

To whom it may Concern,

I am writing this in response to the absurdity of the proposed rifle range at near Lake Rowallan. As has been the case this road is the access road to the Walls of Jerusalem World Heritage Area, Arm River track for Mt Ossa walkers and multiple other uses the last thing I am sure bushwalkers and other area users want to hear are high powered rifles disturbing the nature and tranquillity of the area. Kayaks and various other groups also use this area for there pursuits. I cannot see any benefit except offloading of a noise problem out into nature where people happily co exist already without deafening gunshots up and down the valley. The lake is a serene area for uses such as water sports fishing, bushwalking, tourism etc Surely there is a more suitable area for a high powered rifle range rather than one hundreds of tourists use each year as well as families and others. I don't think there has been any consultation at all with any other users of this area at all as in that particular on any given weekend bushwalkers can be found accessing a huge range tracks and areas as a part of recreation I look forward to hearing back from you re my email in regards to this issue cheers.

From: "STEPHEN" [REDACTED]
Sent: Sat, 9 Oct 2021 14:07:25 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA\22\0073

APPLICANT: Kentish Rifle Club Inc - PA\22\0073
PROPERTY ADDRESS: North Maggs Road MERSEY FOREST (PID: 3392724)
DEVELOPMENT: Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

I wish to object to this application on the following grounds:

1. Danger to other recreational users (e.g. bushwalkers, families out for a picnic) in the surrounding areas.
2. Danger to other recreational users (e.g. bushwalkers, families out for a picnic) visiting the waterfalls in the area.
3. Danger to other recreational users (e.g. bushwalkers) using the area for bushwalking, orienteering, etc.
4. Danger to other recreational users (e.g. bushwalkers) using the area to access other bushwalking areas.
5. Indication of threatened species points, raptor nests and possible wedge tail eagle nest areas within a 1,500 metre overlay from the near centre of the proposed gun range.

Regards,
Stephen Yam
[REDACTED] Hadspen 7290
(Meander Valley Council ratepayer)

From: "Neil Pinkard" <[REDACTED]>
Sent: Sat, 16 Oct 2021 17:57:39 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Proposed Kentish Rifle Range at Maggs Mountain - Mersey Forest Road.

We refer to the above proposal by Kentish Rifle Club – reference PA/22/0073.

We have concerns regarding this proposal such as noise, increased traffic in the area and how this may impact on property ie – vandalism and theft etc.

We are concerned about the risk and inconvenience to other users of the area including Anglers fishing on and around Lake Rowallan, bushwalkers traversing the tracks in and around Maggs and Rowallan and recreational users such as the White water rafting and canoeing community who utilize the Mersey River with its access on the Mersey Forest Road .

Another major concern in this impact on the land owners/lessees in the vicinity and all other recreational users. We imagine that the peace and quiet of the valley and mountain will be violated by a volleys of rifle fire resounding around the mountain and the area including the dam area and camping grounds .

This area, including the waters (Lake Rowallan) itself, is a pristine example of the Tasmanian native forested highlands surrounding a remote and pure water that is a prime freshwater fishery inhabited by trophy trout. The Lake is fished by anglers from all over the State including anglers from the South, not to mention those from interstate (COVID19 permitting) who do not expect to be hearing rifle shots echoing around the valley. Many will be, naturally, concerned about the possibility that the shooter maybe irresponsible and that there may be a risk of bullets flying in their direction. This is not what anglers would normally encounter and it could be quite traumatising!

The proposal is very weak in itself and does not indicate an environmental impact assessment encompassing the concerns raised.

We urge you to not issue planning approval.

Neil Pinkard

Neil Pinkard

Secretary

Southern Tasmanian Licensed Anglers Association (STLAA)

Post: 23 Browne St, West Hobart TAS 7000

Phone [REDACTED] **or mobile:** [REDACTED]

Email [REDACTED]

From: "Ash and Jo Hart" [REDACTED]
Sent: Thu, 21 Oct 2021 15:29:15 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planned rifle range - Maggs Mountain

To whom it may concern,

I'm writing this email in support of a rifle range at Maggs Mountain. The planning put in place is sound, and the range will benefit a lot of people, as well as bring in people who will use the local community shops in the area as they drive through. Please consider passing the application.

Kind regards,

Ashley Hart

Devonport

From: "jayden goss" [REDACTED]
Sent: Thu, 21 Oct 2021 15:39:05 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Shooting range

I believe the range will be a good practical idea and will bring more people passing throughout our smaller towns I would come from Ulverstone to use this site and would either need to pass Latrobe Sheffield or Railton in which I would purchase fuel food and any other supplies the plan looks pretty solid covering any issues of access and the direction of the range

Sent from my iPhone

From: "Don Schreuder" [REDACTED]
Sent: Thu, 21 Oct 2021 15:44:29 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Mags Mt rifle range

To whom it may concern.

I am formerly in support of this application, this application makes use of what would over wise be land of little use to others within the area, I've sent countless days walking in and around this area, have family who own a small property in the area and know they & numerous others see the benefits of of using this parcel of land for outdoor recreational activities that may not be supported by some, but are part of our heritage, norm and traditional for many in the area.

A range will provide employment, outdoor recreation and a small but ongoing boost of financial support to an area where fishing, hunting, farming and enjoying the outdoors however we see fit should be encouraged and supported by all councils

Regards Don Schreuder

Don. Schreuder

From: "Brian Allan" [REDACTED]
Sent: Thu, 21 Oct 2021 16:16:02 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Rifle Range

Hi,

Fully support the application of the proposed rifle range.

<https://www.meander.tas.gov.au/assets/img/site/PA.22.0073-Display-Plans.pdf>

It will provide a safe location for community members to enjoy their chosen outdoor sport/interests as do all the other great sport and recreation facilities provided in the municipality.

Looking forward to seeing this project underway.

Thanks

Brian Allan
[REDACTED]

From: "Peter Morice" [REDACTED]
Sent: Thu, 21 Oct 2021 16:26:54 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Planned new rifle range

Hopefully this development gets the green light, since the closing of the rifle range at Sheffield there is no long shooting ranges on the northwest coast, can only be a good thing for the area.

Sent from my iPad

From: "Aaron Howard" [REDACTED]
Sent: Thu, 21 Oct 2021 17:17:09 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Maggs Mountain rifle range

To whom it may concern

I would like to offer my fullest support behind the proposed rifle range at Maggs Mountain

Regards

Aaron Howard

Get [Outlook for Android](#)

From: "D P" [REDACTED]
Sent: Thu, 21 Oct 2021 17:43:16 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Rifle Club

Hello

Daniel Palaski here from Upper Natone.

I wanted to let you know that I support the bulding of the 1000m proposed range. As an SSAA member and VP of a local gun club this is, in my opinion a could be a great asset to the local shooters, local community as well as Tassie tourism. Please make it a go.

Kind Regards
Daniel Palaski

From: "Darren Howell" [REDACTED]
Sent: Thu, 21 Oct 2021 19:13:52 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Rifle club

Hello,

Just a quick note to support the application of: Kentish Rifle Club Inc - PA\22\0073

PROPERTY ADDRESS:

North Maggs Road MERSEY FOREST (PID: 3392724)

DEVELOPMENT:

Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access.

I wholeheartedly support this!

Long range target shooting is a great sport, and the development of this range will bring marksmen and women from around the state and country for competition shoots, which will in turn increase demand for accommodation and food services for the area as well as an increase in general tourism revenue.

It would be a great result for MVC to allow this development to proceed

Kind regards,

Darren P Howell
[REDACTED]

From: "peter jackson" <[REDACTED]>
Sent: Thu, 21 Oct 2021 19:15:15 +1100
To: "Meander Valley Council Email" <mail@mvc.tas.gov.au>
Subject: 1000 metre firing range
Attachments: IMG_1564.jpg

To whom it may concern,

I am a strong supporter of the " Kentish Rifle Club" and their proposed development of a 1,000 metre firing range.

After viewing the supporting documentation; I believe this is a sound venture as the proponents have demonstrated safety and mitigation measures that exceed standards.

A purpose built range of this standard will attract those of us who participate in the sport, at this point in time our shooting group relies on shooting ranges interstate.

I can only see this being a bonus for local businesses in the "Meander Valley Council" areas.

Sincerest Regards

Peter William Jackson

[REDACTED]

Austin's Ferry 7011

Mob: [REDACTED]

--

Peter Jackson

[REDACTED]



PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Kentish Rifle Club Inc - PA\22\0073
PROPERTY ADDRESS:	North Maggs Road MERSEY FOREST (PID: 3392724)
DEVELOPMENT:	Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

The application can be inspected until **Tuesday, 19 October 2021**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).



1 of 11

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Kentish Rifle Club Inc - PA\22\0073
PROPERTY ADDRESS:	North Maggs Road MERSEY FOREST (PID: 3392724)
DEVELOPMENT:	Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

The application can be inspected until **Tuesday, 19 October 2021**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).



From: "corey brooks" [REDACTED]
Sent: Thu, 21 Oct 2021 19:27:57 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Rifle Club Inc - PA\22\0073

General Manager,

I am writing to show my support for the proposed firing range & associated development by the Kentish Rifle Club Inc at North Maggs Road MERSEY FOREST.

This proposed range would be great for Tasmania and the region in general and could attract interstate and overseas visitors, providing an economic boost to the region.

The proposed precision rifle range would have no negative impact on other recreational activities in the area.

Target sports shooting is recognised across the globe as being one of the most inclusive and safest sports, it's a recognised national and international competition sport with several disciplines Olympic sports. It's a great, fun and safe activity which is suitable for all ages and abilities.

Regards

Corey Brooks
[REDACTED]

APPLICANT: Kentish Rifle Club Inc - PA\22\0073

PROPERTY ADDRESS:

North Maggs Road MERSEY FOREST (PID: 3392724)

DEVELOPMENT:

Sports & Recreation (firing range & associated development) - Discretionary use, construction of parking areas, pedestrian access

From: "Adrian Pickin" [REDACTED]
Sent: Thu, 21 Oct 2021 19:48:45 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA\22\0073

To whom it may concern

My name is James A Pickin.

I appreciate the opportunity to make a submission in support to DA application PA\22\0073.

APPLICANT: Kentish Rifle Club Inc - PA\22\0073

PROPERTY ADDRESS:

North Maggs Road MERSEY FOREST (PID: 3392724)

This DA application has a potential to inject much needed economic and social benefits into Meander Valley Council area.

Target shooting is one the most inclusive and safest sports to participate in. It's certainly safer than most team sports which has a high number of injuries, just visit a hospital on the weekend.

Sports shooting is also a recognised Olympic sport and the range proposed has the potential to be a tourist attraction, to bring international and interstate visitors to the area who will spend money in the area.

I also see the range does not encroach onto public roads or tracks. This is because the whole lot is on land managed by Sustainable Timbers Tasmania land for which you need a permit to access. Illegal access is trespassing.

The area has also been logged previously and deemed unsuitable for permanent timber production which makes the site perfect for a range.

And as the area has been logged in the past that's a good indication there are no environmental concerns. No risk to endangered fauna or flora.

The topographical positioning of the range will mitigate any noise from the range, noise impact would be negligible. It's also worth noting the range layout and positioning means there is no impact to other users in the area, be it walkers, fishers or residents who are miles away

Kind regards

JA Pickin

From: "Carlo Di Falco" [REDACTED]
Sent: Thu, 21 Oct 2021 19:49:47 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Gun Club application for a gun range.

To Who it may concern re Kentish Rifle Club Inc PA/22/0073 North Maggs Rd Mersey Forest (PID:3392724)

I wish to write to support this application.

Target shooting is one of the few sports where disabled participants can compete on an equal footing with able bodied participants.

Any concerns with regards safety is ill founded as Tas Police has already approved the safety template of the range and there has never been an injury either on or off a civilian gun range anywhere in Australia.

I have shot on the Monarto Range in South Australia which runs parallel to a major highway without incident for decades. The beauty of this range is that it is in the middle of nowhere and will not materially impact on anyone whether it be fishing, bushwalking or any other recreation which all occur outside this property.

I believe that any additional sporting facility would bring business into this municipality. This application will be a win/win for the area.

Kind Regards
Carlo Di Falco
Vice Chair Shooters Fishers and Farmers Party

From: "Wayne" [REDACTED]
Sent: Thu, 21 Oct 2021 20:21:37 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish 1000m range

Hello
To whom It Concern

I'm involved with the SSAA T06 Sheffield/Rubicon range. I have a couple of questions before myself & our members even think of supporting this range application which sounds really good & just what this area needs. I was wondering if you could let us know who your Committee members are, what your membership is like & the Financial status of your club, that way we can make an informed decision on which way to go with this.
Thanks for your time
Cheers Wayne Brough (President T06 sheffield)

[REDACTED]

Sent from my iPhone

From: "Mineque Saunders" [REDACTED]
Sent: Thu, 21 Oct 2021 20:46:12 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish Rifle Club

To whom this may concern,

I am writing to show my support for the proposed 1000m rifle range. This is a great idea and as usually we have to venture to these size ranges on mainland. After viewing the application I believe it looks well thought out and Exceeding safety measures as the rest of our ranges do. I for one look very forward to seeing the range be underway. Thankyou very much for your time.

Kind regards

Mineque Saunders

From: "Mark Risdon" [REDACTED]
Sent: Thu, 21 Oct 2021 22:31:20 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Proposal for rifle range on Maggs Mountain

Dear Meander Valley Council,

I hope I am not too late to express my strong support for the proposal for a rifle range at Maggs Mountain.

I'm told there has been some opposition to the proposal, and although this is not surprising given the irrational prejudice that some people have towards the shooting sports, it is nevertheless both disappointing and baffling. The range will have no impact whatever on anyone using the lake, river, or walking tracks, or anyone camping anywhere in the area around the lake, because a great deal of work has gone into its development to make sure it doesn't interfere with any of these activities. Tasmania police have deemed the range safe and agreed that it will not affect any other users of the wider area. The topography of the area will even prevent any sound disturbance to the valley. It is far enough from the firing line that nothing will be heard.

Rifle ranges are becoming a rarity these days but the sport of target rifle shooting is growing in popularity. There is no safer, more inclusive, or more egalitarian sport in existence. I have no doubt that a rifle range at Maggs Mountain would be a valuable asset for the region, and I urge the council strongly to support it.

Sincerely,

Mark Risdon

Elliott

Tasmania 7325 Mob: [REDACTED]

From: "mathew muskett" [REDACTED]
Sent: Thu, 21 Oct 2021 23:07:21 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish rifle club 1000m range

To whom it may concern.

I myself am a strong supporter for the new 1000m rifle range proposed to you buy the Kentish rifle club. I think it's a great location and with so few rifle ranges in tas, it's great to see a "true" long rifle range being considered. I will certainly be doing trips up there from southern tas should it all go ahead.

Kind regards. Mathew muskett

From: "Kevin and Carolyn Cook" [REDACTED]
Sent: Thu, 21 Oct 2021 23:18:12 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Support for Maggs Mountain rifle range.

Staff at Meander Valley Council

We would like to show our support for a rifle range on Maggs Mountain Forest Reserve as residents of Deloraine. I believe the planning and assessments that have been carried out by the Kentish Rifle Club has been thorough and should go ahead.

I also believe that other activities in the area can survive and continue and would not be impacted by the rifle range at its proposed location.

We also feel that too often in our Meander Valley Council region there are small groups, or business identities, that have too much say in stopping progress for their own personal reasons and not the overall good for our community. We are not a members of the rifle club but enjoy bushwalking, fishing and our mountains, but truly believe we all have a right and should be able to continue to live work and enjoy our region with one other.

My husband and I support a rifle range in the Maggs Mountain location.

Thank you
Kevin and Carolyn Cook
[REDACTED]
Deloraine 7304

Sent from my iPad

From: "McGee" [REDACTED]
Sent: Thu, 21 Oct 2021 23:20:25 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish rifle club range PA\22\0073 support.

To whom it may concern,

I am very supportive of the 1000m range proposed by the Kentish Rifle club.

I have been participating in rifle shooting competitions for over 35 years. I am a long term member of the SSAA, ACG and North Western Pistol Club and am drawing on my personal experience and long term knowledge of the area in support of the proposed range.

The North West coast and Mersey Valley lack adequate suitable facilities able to host the long range rifle disciplines. Traditionally these sports have been proven well regulated, disciplined and safe. They are among the small number of truly inclusive national/international sports open to Australians regardless of age, ability or gender.

After carefully considering the documentation the area selected would be ideal and offer minimal disruption. I can only see positive outcomes. For instance the presence of the North Western Pistol club, SSAA and Mersey valley clay target clubs on Sustainable timber leases at Sassafras quickly minimised existing vandalism, illegal shooting, illegal rubbish dumping and anti-social behaviour in the surrounding area.

I expect traffic to the range will really only be during daylight hours and for limited periods.

If it is built it will draw competitors from this state and the mainland to the area as Target rifle competitors are known for travelling within Australia and usually stay on to experience the area, often planning a holiday around an event and benefitting local businesses. In addition I see it being a positive recreational and social activity for the community and families to enjoy.

The long range shooting sports have a better safety record, on and off the range, than any other outdoor sporting activity in Australia. Firearms services Tasmania are very diligent when approving range templates and will not do so if there is any possibility of danger to the public. Range inspections for safety compliance are ongoing, regular and thorough.

I hope to see it built and will help in any way I can,

Tim McGee
[REDACTED]

From: "Owen Wensleydale" [REDACTED]
Sent: Thu, 21 Oct 2021 16:38:59 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Kentish rifle range

To whom it may concern,

I am writing you to express my support for the proposed Kentish rifle range, I have lived in northern tas for the last 23 years and work at a local dairy factory and it's my firm belief that this would be a positive for our community. it will promote the sport of target shooting in a safe manner, this is one of the most inclusive sport and one of the safest out there.

I sincerely hope that you chose to approve this development as it will help build our community.

Regards Owen Wensley

Sent from my iPhone

From: "Andrew Schiebel" [REDACTED]
Sent: Fri, 22 Oct 2021 08:16:55 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA 22/0073

Hello

I wish to submit my support for the Kentish Rifle Club PA 22/0073.

As an avid hunter and target shooter I understand the importance of a range run by suitably qualified people that allows other firearm owners to discharge their firearms in a safe and secure area.

This will also mitigate people from the potential deadly activities of going into the bush to 'sight in my rifle'.

Other benefits include teaching young hunters/target shooters the correct handling of firearms.

As mentioned above I whole heartedly endorse this applicatin.

Regards

Andrew Schiebel
[REDACTED]

From: [REDACTED]
Sent: Fri, 22 Oct 2021 09:16:04 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: kentish rifle club

To whom it may concern,

I am supporting the proposed development of the 1000m firing range by the Kentish Rifle Club at Maggs Mountain.

I have viewed the supporting documentation and believe the proponents have clearly demonstrated safety and mitigation measures that exceed standards.

I don't believe this proposal will impact negatively on other users of the surrounding areas.

I believe Local businesses in the Meander Valley area will benefit from this proposal.

Sincerest Regards

Justin Bryan

[REDACTED]
Devonport
Tas 7310

From: "Travis Lee" [REDACTED]
Sent: Fri, 22 Oct 2021 10:25:35 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Re: Proposed Regional Rifle Range at Maggs Mountain - PA/22/0073
Attachments: Kentish RC Letter to Meander.pdf

Please find attached a letter from the Tasmanian Rifle Association regarding the Kentish Rifle Club's proposal to build a rifle range on State Forest land at Maggs Mountain via Kentish Rifle Club
PA/22/0073.



TASMANIAN RIFLE ASSOCIATION INC.

17382 Bass Hwy
Boat Harbour TAS 7321
Mobile : 0417 185 276
TRAscretary@protonmail.com
www.tasrifle.org.au

22nd October 2021

The Town Planner
Meander Valley Council

Re: Proposed Regional Rifle Range at Maggs Mountain - PA\22\073

Dear Sir/Madam

I am writing to you in support of the Kentish Rifle Club's proposal to build a rifle range on State Forest land at Maggs Mountain.

Target Rifle Shooting is the oldest continuously operating sport in Tasmania. The Tasmanian Rifle Association (TRA) was formalised in 1887 from an association of the Hobart Rifles and various Volunteer Defence Corps that had their inaugural competition on a 600 yard rifle range built on the foreshores of Cornelian Bay in Hobart in 1862. We trace our roots from that beginning.

The Kentish Rifle Club is member club of this Association and has Range time allocated at our Campbell Town Range, but the excessive travel time and cost for their members to get to Campbell Town is an impediment to the growth of the Club. A rifle range closer to home is a much better and safer alternative for members than meeting timetables trying to get to the range on time driving the busy Midland Highway.

The Maggs Mountain site was selected after an exhaustive search for land of sufficient size, relatively flat and removed as far as possible from other development that could encroach on the range. The absence of any dwellings that could reasonably claim to be impacted negatively by the rifle range was also a paramount consideration.

Rifle shooting is the safest of sports. We at the TRA have a safety code that is comprehensive, practiced and guarded zealously by our members and is demonstrably effective. In 134 years of continuous operation by our Association we have recorded zero shooting related accidents. The Kentish Rifle Club as a member club will practice the same safety culture at Maggs Mountain.

Rifle Ranges often raise unfounded concerns by the general public. The most common one often being noise. This is because the objections are often founded on a lack of knowledge and understanding of noise and its propagation. To help alleviate any concerns in this area, I would like to cite the TRA Rifle Range at Campbell Town as an example.

The Campbell Town Rifle Range lies on the southern edge of Campbell Town where the firing points directly abut a row of houses and the Campbell Town Golf Course. The range is less than 2km from the centre of the CBD with some 50 houses closer than 2km. As Campbell town is relatively flat, all of these houses are at the same level as the rifle range and have little topographic shielding. Shooting is carried out on the range on 50 weekends per year on both Saturday and Sunday. We also hold ten days continuous

competition shooting in March each year and have done so since the range was developed 20 years ago. In that time no complaints have ever been received by this Association in relation to noise.

Given that there is no habitation or development at the same elevation, or indeed within 2 km of any part of the proposed rifle range, there can be no concern about noise at Maggs Mountain.

The proposed rifle range will have a safety template approved by Firearms Services via a 'Permit to Operate a Rifle Range'. This document will govern all operation on the site in a legal and safe manner. Further to this over 100 years of continuous operation has resulted in the 'Standard Shooting Rules' which govern the operation of competitions and practice.

A rifle range is an education centre as well as a competition venue. Young shooters and those new to the sport are educated by example, proficiency training and through safety courses that stay with a shooter for life.

A recent Range Officer Training Course held in Burnie in October gave accreditation to ten shooters on the safe operation of a rifle range – 'training the trainer'. With the TRA, education is on going. It is in the community's interest to have rifle ranges as venues for shooters to have a venue to be both educated and to become proficient with their firearm.

At Maggs Mountain, all of the above can be accomplished in a safe and community minded environment that will be an asset to Meander Valley Council.

I request a favourable decision from council.

Yours sincerely,



Peter Fox,
TRA Hon. Secretary.



From: "Dale Wesley" [REDACTED]
Sent: Fri, 22 Oct 2021 14:29:50 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA/22/0073 Kentish Rifle Club

I wish to register my support for the proposed rifle range at North Maggs Road, Mersey Forest. The range will fit in with the outdoor activities the area is renowned for. A 1000m range will attract sporting shooters from around the state and nationally to compete. This will greatly benefit the municipality and local businesses in the same way as the Lake Barrington rowing course, the slalom kayaking course, fishing and local bushwalking. Sporting shooter club rifle ranges have a proven safety record and are a great way to bring another sporting competition to the area.

Regards

Dale Wesley
[REDACTED] Kindred 7310

Mob. [REDACTED]

Sent from my iPhone

From: "Zimm" [REDACTED]
Sent: Fri, 22 Oct 2021 16:17:08 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Submission in support of Kentish rifle club

To whom it may concern,

I wish to provide my support to the Kentish rifle clubs plan regarding the building of a 1000 yard rifle range. I would definitely consider travelling to the region from down south to utilise a facility like this, the ability to compete in a long range discipline is sadly lacking in Tasmania.

Rifle shooting is a safe , inclusive and fun sport or discipline to be a part of , and I would implore you to approve this application,

Regards

Andrew Zimmermann

Kingston

Tasmania.

Sent from ProtonMail for iOS

PLANNING AUTHORITY 2

Reference No. 214/2021

137 DEXTER STREET, WESTBURY

Planning Application: PA\22\0043
Proposal: Multiple Dwellings (8 units)
Author: George Walker
Consultant Town Planner

1) Proposal

Council has received an application for eight (8) Multiple dwellings on land located at 137 Dexter Street, Westbury (CT: 31062/2 - "the site" refer to Photo 1).

Applicant	Urban Design Solutions
Property	137 Dexter Street, Westbury (CT: 31062/2)
Zoning	General Residential Zone
Discretions	8.4.2 P2 Carport frontage setback
	8.4.2 P3 Building envelope
	C2.6.3 P1 Number of vehicle accesses
Existing Land Use	Residential
Number of Representations	Six (6)
Decision Due (extension granted)	10 November 2021
Planning Scheme:	<i>Tasmanian Planning Scheme – Meander Valley</i> ("the Planning Scheme")

The site contains an existing dwelling. If approved, the application will result in the construction of seven (7) units and the retention of the existing dwelling for a total of eight (8) Multiple dwellings, at 137 Dexter Street, Westbury within the General Residential Zone.

The site comprises a single lot that has an irregular shape with an area of 3,382m². It has 25.6m of frontage to Dexter Street along its southern boundary and adjoins three (3) lots along its western boundary, one (1) lot along its northern boundary and two (2) lots along its eastern boundary. The adjoining lots to the west contain single dwellings. The adjoining lot to the north contains five (5) Multiple dwellings that are aligned in a row

that is parallel to the shared boundary. The adjoining lots to the east are vacant. The site and adjoining and adjacent lots are located in the General Residential zone.

The site contains a single dwelling in its south-eastern corner adjacent to the Dexter Street frontage (refer to Photo 2). It also contains three (3) outbuilding which will be removed to facilitate the proposed Multiple dwellings. Four (4) clusters of trees are also proposed to be removed.

Land contained within the site slopes in a westerly direction at a gradient of 5%.



Photo 1: Aerial image showing the location of the site.



Photo 2: Photograph of the site looking north-west from Dexter Street.

The proposed demolition plan and dwelling layout plan are illustrated in Figures 1 and 2.

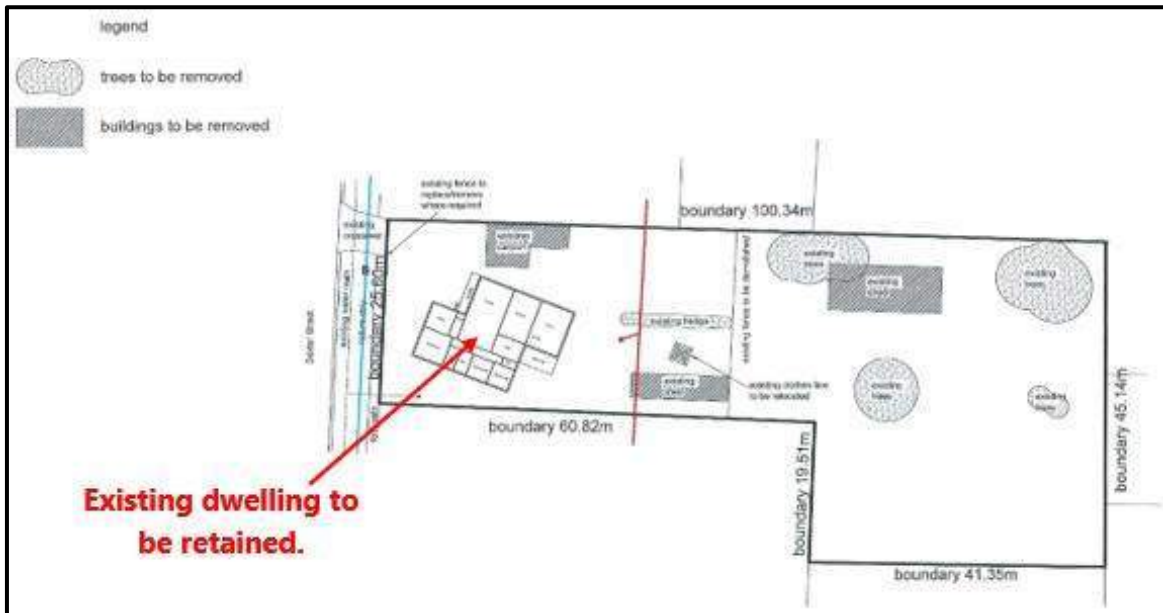


Figure 1: Excerpt of the submitted demolition plan showing the location of existing buildings and trees to be removed and dwelling to be retained.

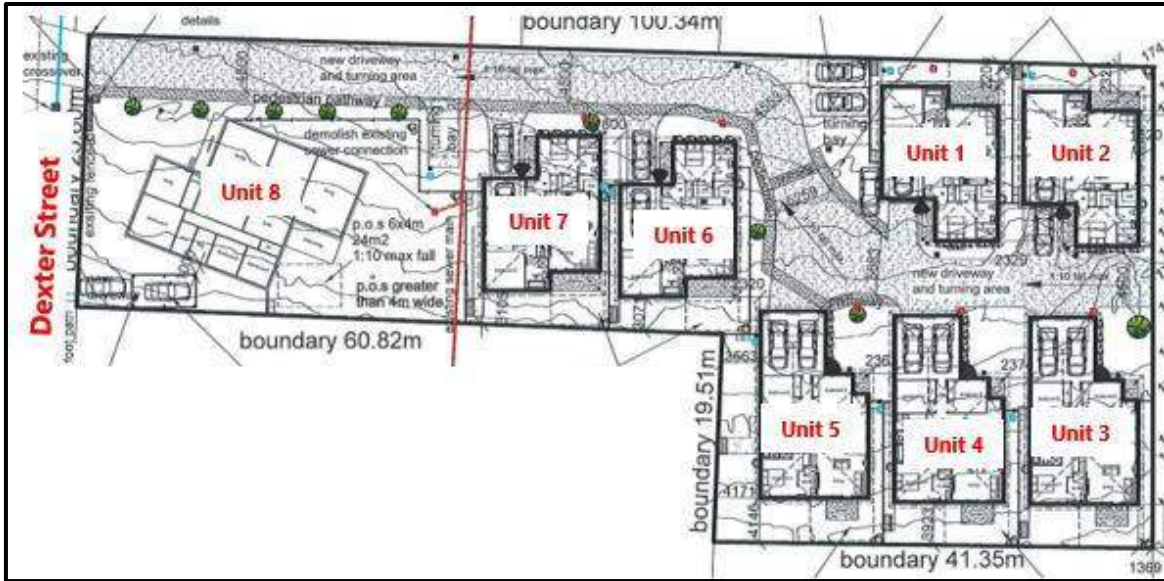


Figure 2: Excerpt of the submitted site plan showing the layout of the proposed dwellings.

2) Summary of Assessment

The application details a proposal to construct seven (7) Multiple dwellings and the retention of the existing dwelling for a total of eight (8) Multiple dwellings at 137 Dexter Street, Westbury. Relevant details of the proposed dwellings are provided in Table 1.

Unit No.	Floor Area	Height		Private Open Space		Bedrooms	Parking Spaces
		Eave	Roof Apex	Minimum	Total		
1	131m ²	2.4m	5.2m	24m ²	63.3m ²	2	2
2	131m ²	2.4m	5.2m	24m ²	71.5m ²	2	2
3	154m ²	2.4m	5.1m	24m ²	68.9m ²	3	2
4	154m ²	2.4m	5.1m	24m ²	72.3m ²	3	2
5	154m ²	2.4m	5.1m	24m ²	138.7m ²	3	2
6	131m ²	2.4m	5.2m	24m ²	78.9m ²	2	2
7	131m ²	2.4m	5.2m	24m ²	77.2m ²	2	2
8	204m ²	-	-	24m ²	252.2m ²	3	2

Table 1: Relevant details of proposed dwellings.

Incidental development includes:

- Construction of a new sealed internal driveway that will extend from the existing crossover at the western end of the frontage. The driveway will incorporate two (2) visitor parking spaces which will be positioned on the southern side of proposed Unit 1. The internal driveway will include a delineated pedestrian pathway which will be predominately located on the eastern side of the driveway. The driveway will have a minimum width of 4.5m which excludes the pedestrian pathway.
- Construction of a new vehicle access at the eastern end of the frontage. A new driveway will extend into the site from the vehicle access and will provide the sole access and parking area for proposed Unit 8.
- Construction of a carport at the end of the driveway for proposed Unit 8. The proposed carport will be open walled and will have a roofed area of 18m² and maximum building height of 3m.
- Approximately 1,100m² area of fill is required in the north-western section of the site. Fill will be installed to an AHD level of 174.8m. The fill will encompass most of proposed Units 1 and 2 and the western portions of proposed Units 6 and 7. It will also encompass part of the driveway. The purpose of the fill is to enable appropriate fall to drain stormwater and sewerage.

3) Recommendation

It is recommended that the application for Use and Development for Multiple dwellings (8 units), on land located at 137 Dexter Street, WESTBURY (CT:31062/2), by Urban Design Solutions, be APPROVED, generally in accordance with the endorsed plans:

- a) Urban Design Solutions; Dated: 12 August 2021; Job No: 6885; Version: 02; Sheets: 01-27.**
- b) Rare; Dated: 12 August 2021; Project No. 224002; Drawing No. CP501 Rev 1 and CP701; Concept Servicing Plan.**
- c) Traffic and Civil Services; Dated: 13 August 2021; Traffic Impact Assessment.**

and subject to the following conditions:

- 1. All visitor parking spaces and turning spaces are to be line marked or otherwise physically delineated to the satisfaction of Council's Town**

Planner. Spaces must be clearly dedicated, through line marking or incidental signage.

- 2. Private open space for each unit appropriately screened by solid fencing or the like to a minimum height of 1.7m to ensure privacy for each unit is maintained from the shared access and adjacent dwellings.**
- 3. A new fence is to be constructed for the full length of the western boundary of the site to a minimum height of 1.8m above finished ground level.**
- 4. The existing driveway crossover to service the 7 rear units must be widened to 4.5m in accordance with the findings of the Traffic Impact Assessment and Tasmanian Standard Drawings TSD-R03 and R04 to the satisfaction of the Director Infrastructure Services. Refer Note 1.**
- 5. The proposed driveway crossover to service Unit 8 must be constructed in accordance with Tasmanian Standard Drawings TSD-R03 and R04 to the satisfaction of the Director Infrastructure Services. Refer Note 1.**
- 6. Prior to the commencement of use the following must be completed to the satisfaction of Council:**
 - a) Visitor parking spaces and turning spaces delineated in accordance with Condition 1.**
 - b) Fencing of the private open space areas in accordance with Condition 2.**
 - c) The western boundary fence constructed in accordance with Condition 3.**
 - d) Widening of the driveway crossover in accordance with Condition 4.**
 - e) New driveway crossover to be installed in accordance with Condition 5.**
- 7. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA 2021/01403-MVC attached).**

Notes:

- 1. The installation of a new pit to Council's stormwater main is to be undertaken by a suitably qualified contractor. Work must not commence until receiving written permission from Council. Refer to Note 2.**
- 2. Prior to any construction being undertaken in the road reserve, separate consent is required by the Road Authority. An Application for Works in Road Reservation form is enclosed. All enquiries should be directed to**

Council's Infrastructure Department on (03) 6393 5312.

- 3. Stormwater detention is required for this development. Please see attached letter regarding provision of detention and the requirements of Council acting as the Stormwater Authority in accordance with the *Urban Drainage Act 2013*.**
- 4. Road-side waste and recycling bin collection will not be permitted by the Road Authority for this development. Private waste and recycling services should be engaged by the Body Corporate with allowance for internal collection. For further information please contact Council's Road Authority on 6393 5312.**
- 5. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Development and Regulatory Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
- 6. This permit takes effect after:**
 - a) The 14 day appeal period expires; or**
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.**
 - c) Any other required approvals under this or any other Act are granted.**
7. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.
8. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received.
9. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.

10. If any Aboriginal relics are uncovered during works:

- a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction;
- b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania) Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au; and
- c) The relevant approval processes will apply with state and federal government agencies.

4) Representations

The application was advertised for the statutory 14-day period from 25 September 2021 to 12 October 2021. During the advertising period six (6) representations were received. A summary of the concerns raised in the representations is provided below. While the summary attempts to capture the essence of the concerns, it should be read in conjunction with the full representations included in the attachments.

Representation 1

Overall concerns

1. The extent of fill shown on the concept servicing plan will cause an impact upon the adjoining lot to the west (29 Adelaide Street) in terms of visual impact and loss of privacy from proposed Units 1 and 2 with respect to clause 8.4.2 P3 and 8.4.6 of the General Residential zone.
2. It is requested that a fence to a minimum height of 1.8m above the finished surface level along the boundary with 29 Adelaide Street be required as a condition of approval.

Response

Clause 8.4.2 P3 of the General Residential zone is invoked by the proposed development in relation to the following locations:

- The carport associated with proposed Unit 8 will encroach into the frontage setback of the building envelope; and
- proposed Units 2 and 3 will be within 1.5m of the rear (northern) boundary and their combined wall length will exceed 9m.

With respect to proposed Units 1 and 2 relative to the western boundary, which is shared with 29 Adelaide Street, both buildings will be contained within the building envelope prescribed by Figure 8.1 in the Planning Scheme. In this regard, each building will be

setback a minimum of 2.2m from the western boundary. Taking into account 800mm of fill, each building will have a height above existing ground level of approximately 3.2m at their respective setbacks. The prescribed building envelope allows a wall height of 5.2m at the same location which would comply with the Acceptable Solution. Accordingly, the location and height of proposed Units 1 and 2 will have a height and setback that complies with the Acceptable Solution.

The assessment has identified that clause 8.4.6 A2 is engaged on the basis that it is likely that the western habitable rooms (and their western facing windows) will have a finished floor level of equal to or slightly above 1m above existing ground level (ground level pre-fill) and will be located within 3m of the western (side) boundary.

The application details that fencing will be provided along the western boundary to a minimum height of 1.8m which would satisfy subclause A2(b)(iii) of the clause. It is therefore recommended that a condition be applied to the permit requiring a new fence with a minimum height of 1.8m above finished ground level to be constructed along the western boundary of the site.

This condition would satisfy the concerns raised by the representor.

Representation 2

Overall concerns

1. The amount of development that is proposed is too dense and will impact the heritage character of Westbury.
2. There is a lack of green space within the unit development.

Response

The site is zoned General Residential and is not subject to any part of the Local Historic Heritage Code. It is not subject to a local provision within the Planning Scheme. Multiple dwellings are a Permitted use within the General Residential zone. In addition to this, the proposed development satisfies the Acceptable Solutions for dwelling density and provision of private open space. On this basis, the proposed development satisfies the Planning Scheme with respect to heritage character, density and open space.

Representation 3

Overall concerns

1. The Traffic Impact Assessment (TIA) has not adequately accounted for full use of Dexter Street and adjacent future development.

2. There will be a potential traffic hazard in the event waste and recycling bins are placed on the roadside for collection.
3. Removal of the existing vegetation on the site will have a negative environmental impact on adjoining and adjacent residents and native fauna.
4. The proposed development may impact recently planted street trees along Dexter Street.

Response

The Traffic Impact Assessment (TIA) was prepared by a suitably qualified and experienced traffic engineer. It concluded that the proposed development would be appropriate on traffic and pedestrian safety grounds subject to the recommendations. To this effect, Council's Infrastructure Services have adopted the information and recommendations contained within the TIA and have recommended conditions be applied to any permit which align with the recommendations of the TIA. These are Conditions 4 and 5 of the recommendation.

With respect to roadside bin collection, a note has been recommended detailing that roadside bin collection will not be permitted by the Road Authority, being Council, and that private collection services will need to be engaged with allowance for internal collection.

With respect to vegetation removal, it is recognised that the site is subject to the Priority Vegetation Area of the Natural Assets Code. However, the Priority Vegetation Area does not apply to the General Residential zone for development that does not involve subdivision of land. Accordingly, the Planning Scheme does not provide a mechanism to protect or control removal of vegetation in this circumstance.

It has been determined that the location of the proposed new driveway and extension to the existing driveway will not have an adverse impact on the recently planted street trees.

Representation 4

Overall concerns

1. The location of proposed Unit 2 will be located in close proximity to the shared boundary with 25A Adelaide Street which appears unnecessary for Westbury.
2. The proposed development will result in the removal of a blackwood tree which will alter the aesthetics of the area and remove habitat for native fauna.
3. The density of the proposed development is out of character with Westbury.
4. Proposed Units 1 and 2 could overshadow adjoining land at 29 Adelaide Street

which is currently being subdivided into four (4) lots.

5. The view from 25A Adelaide Street will change from a native tree to a residential building which will cause an environmental impact;
6. There are several differences between the existing units at 25A Adelaide Street and the proposed unit development.

Response

The location of proposed Unit 2 relative to the northern boundary which is shared with 25A Adelaide Street is assessed as having a reasonable separation and visual impact in terms of clause 8.4.2 P3 of the Planning Scheme. In this regard, proposed Unit 2 will be contained within the building envelope prescribed by Figure 8.1 of the Planning Scheme. The visual impact of the length of the building will largely be minimised by the boundary fence that will separate the two (2) properties and the single storey height of the dwelling which is typical for this form of residential development.

Removal of the blackwood tree is allowable under the terms of the Planning Scheme. In this regard, the Planning Scheme does not provide a mechanism to protect or control removal of vegetation in this circumstance.

The proposal satisfies the Acceptable Solution for dwelling density. The proposed development will therefore have a character that is fostered by the Planning Scheme.

With respect to proposed Units 1 and 2, potential overshadowing of the adjoining lot to the west is not required to be considered on the basis that the buildings do not invoke discretion against clause 8.4.3 P3 with respect to the western boundary.

The differences between unit developments are noted.

Representation 5

Overall concerns

1. The proximity of proposed Unit 3 to the boundary of 25A Adelaide Street is too close.
2. The density of the proposed unit development is unnecessary.
3. The proposed development will result in the loss of open space and a native tree within the streetscape.
4. Construction activities associated with the proposed development will impact residents of the adjoining units at 25A Adelaide Street.

Response

With respect to the location of proposed Unit 3, it will be setback a minimum distance of 1.5m from the northern boundary which is shared with 25A Adelaide Street and therefore satisfies the requirements of Acceptable Solution 8.4.2 A3. Accordingly, the location is considered appropriate under the terms of the Planning Scheme.

The proposed satisfies the Acceptable Solution for dwelling density. The proposed development will therefore have a character that is fostered by the Planning Scheme.

The lot is a private freehold title and is able to be developed under the terms of the Planning Scheme. Development of land inherently involves some form of change within an area. In this instance, the proposed development has been assessed as complying with the Planning Scheme.

Construction activities are required to be undertaken in accordance with the *Environmental Management and Pollution Control Act 1994* which is separate from the controls under the Planning Scheme.

Representation 6

Overall concerns

1. The proposed development fails to satisfy clause 8.4.2 P3(a)(iv) in so far as the development will have a visual impact and cause a loss of amenity when viewed from the adjoining units at 25A Adelaide Street.
2. Removal of the large and old blackwood has been omitted from the application. The blackwood forms part of the character of the area and contributes to views from adjoining and adjacent lots and public areas.
3. No impact has been discussed regarding the location of the streetlight within the unit development.

Response

With respect to concerns 1 and 2, responses have been provided to similar concerns raised in Representation 5.

The proposed streetlamp will be located on the southern side of proposed Unit 1 adjacent to the multiple corners of internal driveway and pedestrian crossing. Light will be cast downwards to improve visibility for vehicles and pedestrian traffic. It will be located approximately 10.5m from the western boundary with units located between the proposed light and other boundaries. Its height will be lower than the maximum building height of the proposed new units. On this basis, the proposed streetlamp is not expected to affect the amenity of adjoining or adjacent dwellings.

5) Consultation with State Government and other Authorities

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA 2021/01403-MVC) was received on 22 September 2021.

6) Scheme Assessment

Use Class: Residential

Performance Criteria

8.0 General Residential Zone

8.4.2 Setbacks and building envelope for all dwellings

Objective

The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;*
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;*
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and*
- (d) provides reasonable access to sunlight for existing solar energy installations.*

Performance Criteria P2

A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.

Response

The proposed carport associated with Unit 8 will be setback 4.8m from the primary frontage of the site. This distance does not satisfy the Acceptable Solution of 5.5m or alternatively 1m behind the building line of the existing dwelling.

The street is Dexter Street. The adjoining property to the west (29 Adelaide Street) contains a garage which is setback approximately 2.4m from the Dexter Street frontage. The 4.8m setback of the proposed carport will therefore be compatible with the setback of garages in the street.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

Performance Criteria P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
 - (iii) overshadowing of an adjoining vacant property; or*
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;**
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
 - (i) an adjoining property; or*
 - (ii) another dwelling on the same site.**

Response

The applicable building envelope is described in Figure 8.1 of the Planning Scheme. The proposed dwelling units will encroach the prescribed building envelopes in the following areas:

- the carport associated with proposed Unit 8 relative to the frontage boundary; and
- proposed Units 2 and 3 will be within 1.5m of the rear (northern) boundary and their combined wall length will exceed 9m which does not satisfy Acceptable Solution 8.4.2 A3(b)(ii).

With respect to the proposed carport, the adjoining property is 133 Dexter Street which does not contain a dwelling or solar energy installations. Accordingly, subclauses P3(a) and (c) are not applicable. Having regard to subclause P3(b), the assessment against Performance Criteria 8.4.2 P2 has determined that the carport will be compatible with the setback of garages in the street. The location of the proposed carport will therefore satisfy subclause P3(b) in so far as it will provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area, relative to frontage boundaries.

With respect to proposed Units 2 and 3, the adjoining property is 25A Adelaide Street which is located to the north. The adjoining property comprises five (5) multiple dwellings which are configured in a single row that is parallel to the shared boundary.

The multiple dwellings are single storey and have a uniform setback of approximately 3m measured from the existing fence line. The primary area of private open space for each of the multiple dwellings is located on eastern side of each dwelling. The space between each multiple dwelling and the shared boundary typically comprises a small storage shed and landscaped garden.

Proposed Units 2 and 3 will be located to the south of the multiple dwellings on the adjoining property to the north. The proposed units will therefore not result in a reduction in sunlight to a habitable room or overshadow the private open space of a dwelling on the adjoining property. Subclause P3(a)(i) and (ii) are therefore satisfied. Subclause P3(a)(iii) is not applicable on the basis that the adjoining property is not vacant.

The proposed units will have a wall height of 2.4m to the underside of the eave and a hipped roof. The height and form of the proposed units will be compatible with the dwellings on the adjoining property. Further, the proposed units will be contained within the physical envelope prescribed by Figure 8.1. Accordingly, the proposed units are not expected to result in significant visual impacts when viewed from the adjoining property in terms of apparent scale, bulk and proportions.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

C2.0 Parking and Sustainable Transport Code

C2.6.3 Number of accesses for vehicles

Objective

That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;*
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and*
- (c) the number of accesses minimise impacts on the streetscape.*

Performance Criteria P1

The number of accesses for each frontage must be minimised, having regard to:

- (a) any loss of on-street parking; and*
- (b) pedestrian safety and amenity;*
- (c) traffic safety;*
- (d) residential amenity on adjoining land; and*
- (e) the impact on the streetscape.*

Response

A second vehicle access will be constructed at the eastern end of Dexter Street which will serve proposed Unit 8, the existing dwelling on the site.

The section of the Dexter Street, equal to the frontage of the site, comprises the existing vehicle access at the western end of the frontage, a footpath adjacent to the frontage and a grassed nature strip between the edge of the footpath and surface of the road. The grassed nature strip also includes an open stormwater drain. It does not contain formal on-street car parking. The proposed new vehicle access will therefore not cause a loss of, or displace, on-street car parking within Dexter Street.

The submitted Traffic Impact Assessment (TIA) assessed the proposed new vehicle access as being adequate in terms of vehicle and pedestrian safety. A condition has been recommended by Council's Infrastructure Department requiring the new access to be constructed in accordance with Tasmanian Standard Drawings TSD-R03 and R04 which will ensure that it is constructed to an appropriate standard.

The proposed new access will effectively transfer the existing single dwelling vehicle use from the western side of the frontage to the eastern side of the frontage. Whilst Unit 8 will form part of the multiple dwelling use proposed for the site, the new vehicle access will have a single dwelling function, providing sole vehicle access and parking to one (1) dwelling only. The proposed access will have a single dwelling form and function and will therefore be consistent with the amenity of future residential development and use on the adjoining lot to the east or the streetscape.

The proposed development satisfies the Performance Criteria and is considered to comply with the Objective.

Applicable Standards

A brief assessment against all applicable Acceptable Solutions of the applicable zone and codes is provided below.

8.0 General Residential Zone		
Scheme Standard	Comment	Assessment
8.3 Use Standards		
8.3.1 Discretionary uses		
A1	The proposal is for a use that is identified as 'permitted' within Table 8.2.	Not Applicable
A2	The proposal is for a use that is identified as	Not Applicable

8.0 General Residential Zone		
	'permitted' within Table 8.2.	
A3	The proposal is for a use that is identified as 'permitted' within Table 8.2.	Not Applicable
A4	The proposal is for a use that is identified as 'permitted' within Table 8.2.	Not Applicable
8.3.2 Visitor Accommodation		
A1	The proposal does not involve visitor accommodation use.	Not Applicable
8.4.1 Residential Density for multiple dwellings		
A1	The site has an area of 3,317m ² and the proposal will result in eight (8) dwellings on the site. The site area per dwelling is therefore 414m ² .	Complies
8.4.2 Setbacks and building envelope for all dwellings		
A1	Proposed Unit 7 will be the closest dwelling to the frontage. It will have a frontage setback of approximately 37m.	Complies
A2	Proposed Unit 7, which will contain an attached garage, will be the closest dwelling with a garage to the frontage. The attached garage will have a frontage setback of approximately 37m from the frontage. The existing dwelling, which is annotated as Unit 8, will be provided with a new carport. The proposed carport will be setback approximately 4.8m from the frontage and will not be 1m behind the building line of Unit 8 which has a frontage setback of approximately 4.6m.	Relies on Performance Criteria
A3	The applicable building envelope is described in Figure 8.1 of the Planning Scheme. The proposed dwelling units will encroach the prescribed building envelopes in the following areas: Carport associated with proposed Unit 8; Proposed Units 2 and 3 will be within 1.5m of the rear boundary and their combined wall length will exceed 9m.	Relies on Performance Criteria
8.4.3 Site coverage and private open space for all dwellings		
A1	The proposal will result in a site coverage of 39%.	Complies

8.0 General Residential Zone																				
	<p>Each proposed unit will be provided with the following amount of private open space:</p> <table border="1"> <thead> <tr> <th>Unit</th> <th>Area (m²)</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>63.3</td> </tr> <tr> <td>2</td> <td>71.5</td> </tr> <tr> <td>3</td> <td>68.9</td> </tr> <tr> <td>4</td> <td>72.3</td> </tr> <tr> <td>5</td> <td>138.7</td> </tr> <tr> <td>6</td> <td>78.9</td> </tr> <tr> <td>7</td> <td>77.2</td> </tr> <tr> <td>8</td> <td>252.5</td> </tr> </tbody> </table>	Unit	Area (m²)	1	63.3	2	71.5	3	68.9	4	72.3	5	138.7	6	78.9	7	77.2	8	252.5	
Unit	Area (m²)																			
1	63.3																			
2	71.5																			
3	68.9																			
4	72.3																			
5	138.7																			
6	78.9																			
7	77.2																			
8	252.5																			
A2	<p>Each dwelling will be provided with an area of private open space with the following features:</p> <ul style="list-style-type: none"> • minimum area of 24m²; • minimum horizontal dimension of 4m; • will not be located between each dwelling and the frontage; • Will have a gradient of less than 1:10. 	Complies																		
8.4.4 Sunlight to private open space of multiple dwellings																				
A1	<p>Proposed Unit 7 will be to the north of the private open space for Unit 8. The separation distance between the unit and private open space satisfies Figure 8.4 of the Planning Scheme.</p> <p>The private open space for other units will be located on the eastern or western sides of respective units and will not have a unit directly to the north of the private open space or each area of private open space will receive at least three (3) hours of sunlight to 50% of the area between 9:00am and 3:00pm on 21st June.</p>	Complies																		
8.4.5 Width of openings for garages and carports for all dwellings																				
A1	<p>The proposed carport associated with Unit 8 will have a width of 3m. All other proposed garages will be setback at least 12m from the frontage.</p>	Complies																		
8.4.6 Privacy for all dwellings																				
A1	<p>The proposed car parking spaces and carport will have a finished surface level less than 1m above natural</p>	Not Applicable																		

8.0 General Residential Zone		
	ground level.	
A2	<p>Proposed Units 1 and 2 will be located on fill. The existing ground level at the western end of the proposed unit location is 174m AHD. The proposed fill will occur to a level of 174.8m AHD which is 800mm above existing ground level. Assuming that the finished floor level for each unit will be 200mm-300mm above finished surface level, the habitable room with windows on the western wall of each unit will have a finished floor level of equal to or slightly above 1m.</p> <p>In this case, the application details that fencing will be provided along the western boundary to a minimum height of 1.8m which would satisfy subclause A2(b)(iii) of the clause. Notwithstanding, it is recommended that a condition be applied to the permit requiring a new fence with a minimum height of 1.8m above finished ground level to be constructed along the western boundary of the site.</p>	Complies
A3	Proposed Units 1 and 2 will have a habitable room window within 2.5m of the shared driveway. The windows will be setback a minimum distance of 1m from the edge of the shared driveway and will be provided with an external screen between the habitable room window and shared driveway which will have a height of at least 1.7m above the finished floor level of the habitable room.	Complies
8.4.7 Frontage fences for all dwellings		
A1	The proposal does not involve a new frontage fence.	Not Applicable
8.4.8 Waste storage for multiple dwellings		
A1	Each unit will be provided with a storage area of at least 1.5m ² to the rear of respective units.	Complies

Codes

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
C2.2 Application of this Code		

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
	The code applies to all use and development.	Code applies
C2.4 Development exempt from this Code		
	There are no exemptions.	Code Applies
C2.5.1 Car parking numbers		
A1	Table C2.1 requires two (2) car parking spaces for every two (2) or more bedroom dwellings and one (1) dedicated visitor car parking space per four (4) dwellings for multiple dwelling developments. Proposed Units 2, 6 and 7 will be provided with a single car parking space within their attached garage and a tandem parking space within the driveway in front of respective garages. Proposed Units 3-5 will be provided with a double garage accommodating two vehicles side by side. Proposed Unit 1 will be provided with a single car parking space within the attached garage and a parking space on the southern side of the garage. Proposed Unit 8 will be provided with two (2) parking spaces in tandem. Two (2) dedicated visitor parking spaces will be provided at the western end of proposed Unit 1 which will be accessed from the shared driveway.	Complies with Acceptable Solution
C2.5.2 Bicycle parking numbers		
A1	Table C2.1 does not set a requirement for bicycle parking spaces to be provided for dwellings within the General Residential zone.	Not Applicable
C2.5.3 Motorcycling parking numbers		
A1	Less than 20 car parking spaces are required.	Not Applicable
C2.5.4 Loading bays		
A1	Clause 2.5.4 does not apply to the Residential use class in accordance with clause C2.2.3 of the Scheme.	Not Applicable
C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential zone		
A1	The proposal does not involve a non-residential use.	Not Applicable
C2.6.1 Construction of parking areas		
A1	The proposed driveway and car parking areas will be constructed with a concrete or sealed surface and will be drained to a legal stormwater discharge point.	Complies with Acceptable Solution

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
C2.6.2 Design and layout of parking areas		
A1.1	The submitted site plan indicates that all car parking spaces will be constructed to comply with Australian Standard AS2890.	Complies with Acceptable Solution
A1.2	Accessible parking spaces are not required to be provided for detached multiple dwelling units.	
C2.6.3 Number of accesses for vehicles		
A1	It is proposed to construct a new access to for Unit 8. This will result in the frontage having two (2) accesses.	Relies on Performance Criteria
A2	The site is not located in the Central Business zone.	Not Applicable
C2.6.4 Lighting of parking within the General Business Zone and Central Business Zone		
A1	The site is not located in the General Business zone or Central Business zone.	Not Applicable
C2.6.5 Pedestrian access		
A1.1	The proposed use requires greater than 10 car parking spaces. A 1m wide pedestrian footpath is proposed to provide delineated access for pedestrians between each unit and the frontage. The submitted Site Plan (Drawing No. 6885 Version 02 Sheet No. 03) includes a note specifying that the pedestrian footpath will be provided with bollards between the driveway and footpath with the driveway crossing to be signed and marked.	Complies with Acceptable Solution
A1.2	Accessible parking spaces are not required to be provided for detached multiple dwelling units.	
C2.6.6 Loading bays		
A1	The proposal is not required to provide loading bays.	Not Applicable
A2	The proposal is not required to provide loading bays.	Not Applicable
C2.6.7 Bicycles parking and storage facilities within the General Business Zone and Central Business Zone		
A1	The site is not located within the General Business zone or Central Business zone.	Not Applicable
A2	The site is not located within the General Business zone or Central Business zone.	Not Applicable

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
C2.6.8 Siting of parking and turning areas		
A1	The site is not located within any of the listed zones.	Not Applicable
A2	The site is not located within the Central Business zone.	Not Applicable
C2.7.1 Parking precinct plan		
A1	The site is not subject to a parking precinct plan.	Not Applicable

C3 Road and Railway Assets Code		
Scheme Standard	Comment	Assessment
C3.2 Application of this Code		
	The code applies on the basis that the proposed use will intensify the use of an existing access and a new access is proposed.	Code applies
C3.4 Development exempt from this Code		
	There are no exemptions from this code.	Not Applicable
C3.5 Use Standards		
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction		
A1.1	Dexter Street is not a category 1 or limited access road.	Not Applicable
A1.2	Written consent from Council as the road authority is capable of being provided should the road authority deem that the submitted Traffic Impact Assessment is satisfactory. Written consent can be in the form of permit conditions if such conditions are deemed necessary.	Complies with Acceptable Solution
A1.3	The proposal does not involve a new private level crossing.	Not Applicable
A1.4	Section 5.2 of the submitted Traffic Impact Assessment (TIA) indicates that the medium density units can expect to generate the following vehicle trips: <ul style="list-style-type: none"> • up to 2 bedrooms: 4-5 vehicles per day • greater than 2 bedrooms: 5-6.5 vehicles per day 	Complies with Acceptable Solution

C3 Road and Railway Assets Code		
Scheme Standard	Comment	Assessment
	<p>The rates are guides by the <i>RTA Guide to Traffic Generating Developments</i>. It is understood that the RTA Guide vehicle trip rates account for ingress and egress movements and are averaged across a year.</p> <p>The existing access will serve four (4) x 2 bedroom units and three (3) x 3 bedroom units. Based on the higher vehicle trip rate, the seven (7) units can expect to generate up to 39.5 annual average daily vehicle movements (to and from the site).</p> <p>The proposed new access is expected to generate up to 6.5 vehicle movements per day.</p>	
A1.5	Dexter Street is not a major road.	Not Applicable
C3.6 Development Standards for Building or Works		
C3.6.1	Habitable Buildings for Sensitive uses within a road or railway attenuation area	
A1	The site is not located within a road or railway attenuation area.	Not Applicable
C3.7 Development Standards for Subdivision		
C3.7.1	Subdivision for sensitive uses within a road or railway attenuation area	
A1	The proposal does not involve subdivision of land and the site is not located within a road or railway attenuation area.	Not Applicable

Internal Referrals

Infrastructure Department

The following conditions and notes have been recommended for inclusion in any permit:

Conditions

1. The existing driveway crossover to service the seven (7) rear units must be widened to 4.5m in accordance with the findings of the Traffic Impact Assessment and

Tasmanian Standard Drawings TSD-R03 and R04 to the satisfaction of the Director Infrastructure Services. Refer Note 1.

2. The proposed driveway crossover to service unit 8 must be constructed in accordance with Tasmanian Standard Drawings TSD-R03 and R04 to the satisfaction of the Director Infrastructure Services. Refer Note 1.
3. The installation of a new pit to Council's stormwater main must be undertaken by a suitably qualified contractor. Work must not commence until receiving written permission from Council. Refer Note 1.

Upon review of recommended Condition 3, it is considered that the condition is best served as a note because it is a matter that does not have a specific planning purpose and can be dealt with by other statutory mechanisms.

Notes

1. Prior to any construction being undertaken in the road reserve, separate consent is required by the Road Authority. An Application for Works in Road Reservation form is enclosed. All enquiries should be directed to Council's Infrastructure Department on 6393 5312.
2. Stormwater detention is required for this development. Please see attached letter regarding provision of detention and the requirements of Council acting as the Stormwater Authority in accordance with the *Urban Drainage Act 2013*.
3. Road-side waste and recycling bin collection will not be permitted by the Road Authority for this development. Private waste and recycling services should be engaged by the Body Corporate with allowance for internal collection.

Conclusion

It is considered that the application for Multiple dwellings (8 Units) on land at 137 Dexter Street, Westbury is acceptable in the General Residential Zone and is recommended for approval.

DECISION:

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



Meander Valley Council
Working Together

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No
 - Have you already received a Planning Review for this proposal? Yes No
 - Is a new vehicle access or crossover required? Yes No
- Indicate by ✓ box

PROPERTY DETAILS:

Address:	<input type="text" value="137 Dexter St"/>	Certificate of Title:	<input type="text" value="31062/2"/>
Suburb:	<input type="text" value="Westbury"/> <input type="text" value="7303"/>	Lot No:	<input type="text" value="2"/>
Land area:	<input type="text" value="3382"/>	m ² / ha	
Present use of land/building:	<input type="text" value="single dwelling"/>	(vacant, residential, rural, industrial, commercial or forestry)	
• Does the application involve Crown Land or Private access via a Crown Access Licence:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
• Heritage Listed Property:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$ 1.54 million est."/> <small>Includes total cost of building work, landscaping, road works and infrastructure</small>			
Description of work:	<input type="text" value="7 residential units"/>			
Use of building:	<input type="text" value="dwelling."/> <small>(main use of proposed building – dwelling, garage, farm building, factory, office, shop)</small>			
New floor area:	<input type="text" value="1068.6m<sup>2</sup>"/>	New building height:	<input type="text" value="5.21 m"/>	
Materials:	External walls: <input type="text" value="brick"/>	Colour:	<input type="text" value="grey/neutral tones"/>	
	Roof cladding: <input type="text" value="colourbond."/>	Colour:	<input type="text" value="grey/neutral tones."/>	

SEARCH OF TORRENS TITLE

VOLUME 31062	FOLIO 2
EDITION 5	DATE OF ISSUE 17-Feb-2020

SEARCH DATE : 25-Jun-2021

SEARCH TIME : 09.35 AM

DESCRIPTION OF LAND

Town of WESTBURY
 Lot 2 on Diagram 31062
 Being part of the land described in Conveyance No.48/1236
 Derivation : Part of 3A 3R 24Ps Gtd to J. Taylor
 Prior CT 4093/64

SCHEDULE 1

M516717 TRANSFER to GEORGIA ANNE PISTOR Registered
 18-May-2015 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 27/6414 CONVEYANCE Made Subject to Boundary Fences Condition
 E209654 MORTGAGE to MyState Bank Limited Registered
 17-Feb-2020 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

APPROVED	CONVERSION PLAN	REGISTERED NUMBER
RECORDER OF TITLES	CONVERTED FROM C.T.3498/45	D.31062
FILE NUMBER A.904154.	GRANTEE PART OF 3·3·24 JOHN TAYLOR.	DRAWN B. HILL. 30·3·87

OS K 2062

SKETCH BY WAY OF ILLUSTRATION ONLY

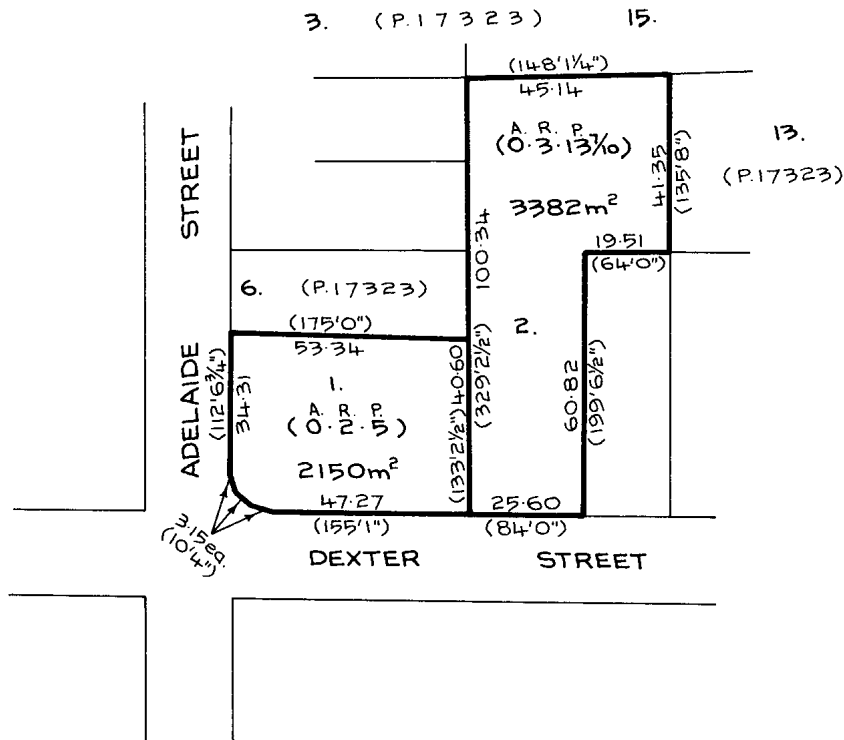
CITY/TOWN OF WESTBURY. SEC. H.

LAND DISTRICT OF

PARISH OF

LENGTHS ARE IN METRES. NOT TO SCALE.

LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.



Planning Report
Multiple Dwelling proposal
137 Dexter St, Westbury

Prepared by:
Town Planning Solutions Pty Ltd
17 August 2020



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Document Issue Status

Ver.	Issue Date	Description	Originator		Checked		Approved	
0	21/07/20	Client review	MP		JV		MP	
1	17/8/21	Planning Approval	MP				MP	

Introduction

This report provides an assessment of a proposed 8-unit multiple dwelling proposal at 137 Dexter Street, Westbury against the *Tasmanian Planning Scheme* and *Meander Valley Local Provisions Schedule*.

This report was prepared by Mick Purves, Principal and Director of Town Planning Solutions Pty Ltd.

Mick is a qualified and practising Town Planner with a Bachelor of Environmental Design and a Master of Town Planning from the University of Tasmania. Mick is a member of the Planning Institute of Australia, a Certified Practising Planner and current President of the Tasmanian Division of the Institute.

Mick has 28 years' experience in the development industry and 22 years post-graduate experience working as a town planner and development manager in Local Government and consultancy.

Proposal documents

The drawings used for this assessment were prepared by Urban Design Solutions, drawing series no 6730, version 02, dated 12 August 2021.

The Traffic Impact Assessment report was prepared by Traffic & Civil Services, Final version, August 2021.

Abbreviations

LPS	Meander Valley Local Provisions Schedule
Scheme	Tasmanian Planning Scheme
Site	137 Dexter Street, Westbury
Proposal	8 x multiple dwellings, job 6730 by Urban Design Solutions, dated 12 August 2021

The Site and Proposal

The project is located on land contained in Certificate of Title FR31062/2, and known as 137 Dexter Street, Westbury (Site).

The site is described as follows:

- it is a L-shaped lot, surrounded by existing suburban style development to the subject and adjoining streets;
- it contains an existing brick veneer house, numerous outbuildings and sheds;
- frontage is provided to Dexter Street;
- the title identifies that the site has an area of 3382m², though this project identified an area of approximately 3250m²;
- the site has a very gentle slope across its length, sloping down to the west;
- it has a grassed surface with a few shrubs and trees;
- it has connections to reticulated water, stormwater and sewer services;
- it is accessed via Dexter Street, a bitumen road with gravel shoulders;
- the title north of the site has an existing 4-unit strata development on it; and
- two adjoining sites to the east, 131 and 133 Dexter Street, are vacant.

The existing site conditions are shown in the aerial photography shown in Figure 1, with the site outlined in red.

The surrounding area contains residential development in a largely suburban style, albeit at densities that range from suburban (immediate north) to rural lifestyle lots (nearby lots on opposite sites of the road). Development within the area is understood to range from the 1800's through to the current time. Land to the north continues the residential development pattern through to Meander Valley Road and the town centre. This is shown in Figure 2, with the site outlined in red.



Figure 1 – site detail



Figure 2 – site and context

Proposal

The proposal is described in the plans prepared by Urban Design Solutions, and includes the following:

- demolition of the existing outbuildings, mature vegetation, internal fencing and driveways;
- construction of an additional seven units to the rear of the existing house; and
- renovation of the existing house and construction of a carport.

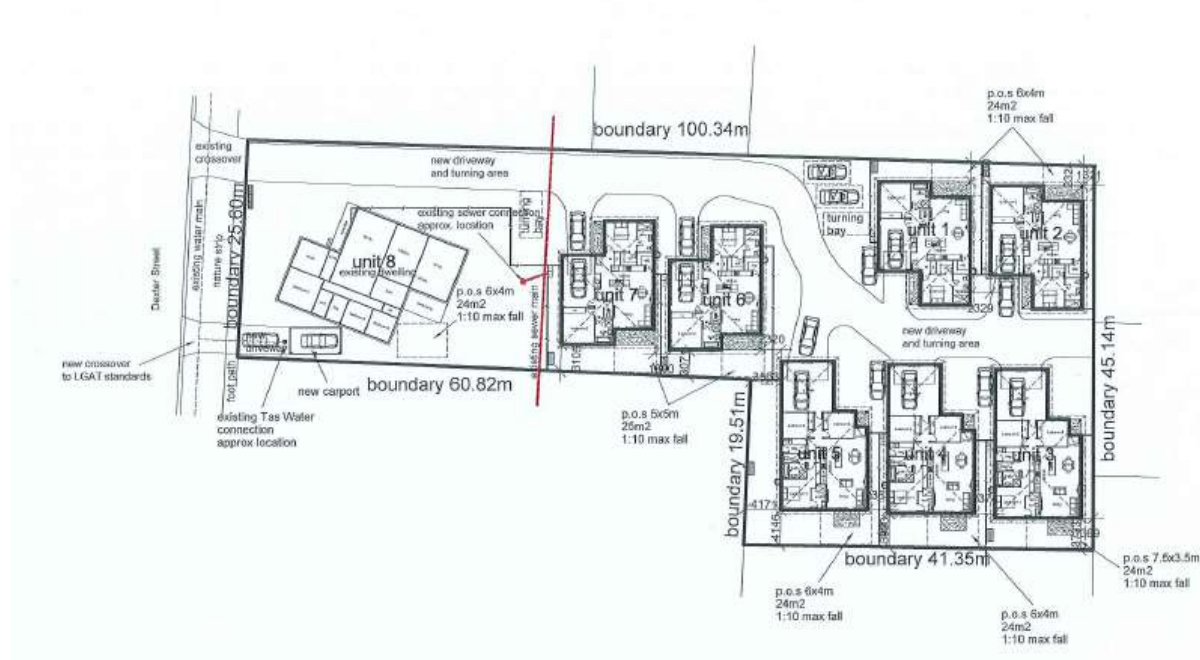


Figure 3 – Proposed site layout plan

Planning Scheme

The site is located within the Meander Valley Council and therefore subject to the *Tasmanian Planning Scheme* (Scheme) and *Meander Valley Local Provisions Schedule* (LPS).

Zoning and overlay information was obtained from TheLIST, which identified 137 Dexter Street as:

- within the General Residential zone;
- subject to a Priority Vegetation Overlay;
- is not identified as subject to any hazards or overlays under the LPS.

The Scheme and LPS documents were obtained from the Iplan website in July 2021.

The existing use of the property complies with the defined use of residential at Table 6.2 of the Scheme, as follows:

use of land for self-contained or shared accommodation. Examples include a secondary residence, boarding house, communal residence, home-based business, home-based child care, residential care facility, residential college, respite centre, assisted housing, retirement village and single or multiple dwellings.

The existing dwelling on the site complies with the defined term, Single Dwelling, provided at Table 3.1 as follows:

means a building, or part of a building, used as a self-contained residence and which includes food preparation facilities, a bath or shower, laundry facilities, a toilet and sink, and any outbuilding and works normally forming part of a dwelling.

The proposal complies with the term Multiple dwellings, which is part of a residential use and defined at Table 3.1 of the Scheme, as follows:

means 2 or more dwellings on a site.

The site has an irregular shape, and requires consideration of whether it comprises an internal lot as defined under the Scheme, as follows:

means a lot:
(a) lying predominantly behind another lot; and
(b) having access to a road by an access strip, private road or right of way.

The shape of the lot does not provide an access strip as defined under Table 3.1 (*means the narrow part of an internal lot to provide access to a road*). The Dexter Street frontage is 25.6 metres, which is neither narrow, nor solely used to provide access to the site.

It is noted that while the proposal includes demolition of many existing improvements on the site, the standards of the Scheme and LPS do not provide for consideration of that aspect of the proposal.

The exemption provided at clause 4.6.18 of Table 4.6 of the Scheme provides for strata division of the proposal under the *Strata Titles Act 1998* without requiring planning approval, provided it is completed in accordance with a planning permit.

8 General Residential zone

Clause 8.2 of the Scheme establishes the use table for the zone and defines multiple dwellings as a permitted use within the zone. The use is therefore permitted.

Use standards at clause 8.3 do not apply to the proposal.

Development standards at clause 8.4 apply to the proposal.

8.4.1 Residential density for multiple dwellings	
A1 Multiple dwellings must have a site area per dwelling of not less than: (a) 325 m ² ; or...	Site area 3250 m ² by 8 units = 406 m ² . Complies.
8.4.2 Setbacks and building envelope for all dwellings	
A1 Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or ...	The setback of the existing house from the frontage will not change. The title does not contain a building area. Complies.
A2 A garage or carport must have a setback from a primary frontage of at least: (a) 5.5m, or alternatively 1m behind the façade of the dwelling; or ...	The Site Plan shows a carport for unit 8 located at least 1 metre behind the line of the existing building. Complies.
P3 The siting and scale of a dwelling must: (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining property; (iii) overshadowing of an adjoining vacant property; or (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;	The boundary walls within 1.5 metres for units 2 and 3 are 12 metres long. The application requires assessment against P3. In response: (a) the proposal is not expected to cause an unreasonable loss of amenity to adjoining properties, based on the following: (i) sunlight to habitable rooms of dwellings on adjoining properties is unlikely to be impacted as properties to the north will not be subject to overshadowing from the proposal and dwellings on properties to the west of the site are located approximately 32 to 34 metres from the site; (ii) overshadowing the private open space of dwellings on adjoining properties is unlikely to be impacted as properties to the north will not be subject to overshadowing from the proposal and dwellings on properties to the west of the site are located approximately 32 to 34 metres from the site;; (iii) adjoining vacant properties (131 & 133 Dexter Street) are located east of the proposal and will experience limited overshadowing during the afternoon; and (iv) visual impacts of the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; Based on this, the proposal is not expected to cause any unreasonable loss of amenity to

	adjoining properties from the siting and setback of the proposed units.
(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and	<p>The existing house is located 2 metres from the eastern boundary, while structures on the adjoining titles range from no setback to side and rear boundaries (27 Adelaide Street) to approximately 2 metres (133 Dexter Street.</p> <p>25A Adelaide Street provides a recent unit development in a similar style to the current proposal and at a similar density and with similar setbacks.</p> <p>Based on this, the siting and scale of the dwellings is consistent with established properties in the surrounding area.</p>
(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:	<p>The setbacks from the proposed units to the existing dwelling on the subject and adjoining properties is not expected to have any impact on solar energy installations.</p> <p>Based on this, the siting and setback of the proposed dwellings is not expected to cause any adverse impacts to the amenity of adjoining dwellings, open space or solar energy infrastructure.</p> <p>The proposal complies with P3.</p>
(i) an adjoining property; or (ii) another dwelling on the same site.	
8.4.3 Site coverage and Private Open Space for all dwellings	
A1 Dwellings must have:	<p>The allowable site coverage is up to 3,250m².</p> <p>The existing house and carport and proposed units occupy 1269m², plus the, allowing a site coverage of 39%.</p> <p>Complies.</p>
(a) a site coverage of not more than 50% (excluding eaves up to 0.6 m); and Site coverage is defined as <i>means the proportion of a site (excluding any access strip) covered by roofed buildings.</i>	
(b) for multiple dwellings, a total area of private open space of not less than 60 m ² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer).	<p>The Site and Floor Plans show that all units will have access to at least 60m² of Private Open Space. Elevations clearly show that all units have access to the Private Open Space within 1.8 metres of the finished floor level.</p> <p>Complies.</p>
A2 A dwelling must have an area of private open space that:	<p>An area of 6 x 4 metres is shown adjacent the sliding door to each unit on the Site and Floor plans.</p> <p>Complies.</p>
(a) is in one location and is at least: (i) 24 m ² ...; and	
(b) has a minimum horizontal dimension of: (i) 4 m; ... and	<p>An area of 6 x 4 metres is shown adjacent the sliding door to each unit on the site and floor plans.</p> <p>Complies.</p>
(c) is located between the dwelling and the frontage, only if the frontage is orientated	The Site and Floor plans show no private open space is located within the frontage setback.

between 30 degrees west of north and 30 degrees east of north; and	Complies.
(f) has a gradient not steeper than 1 in 10.	The Site Plans and Elevations clearly show the POS for each unit will have a maximum grade of 1:10. Complies.
8.4.4 Sunlight to private open space of multiple dwellings	
A1 A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c): (a) the multiple dwelling is contained within a line projecting (see Figure 8.4): (i) at a distance of 3m from the northern edge of the private open space; and (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal; or (b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and	Units 2, 3, 4 and 5 do not have other dwellings to the north of open space and comply with A1 (a). POS for unit 1 is located on the north west corner, and will receive unfettered sunlight from midday through the afternoon, complying with (b). Open space for units 6 and 7 is located on the north east corner. The layout of unit 7 identifies that its POS will receive unfettered sunlight to midday, complying with (b). Unit 6 is similar to unit 7, with a 5 x 5 metre POS. Unit 5 will cause some morning shading to the POS, which will be limited to the rear 2 metres by midday and then reduce further through the afternoon. Unit 6 complies with (b). All units comply with A1 (a) or (b).
(c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: (i) an outbuilding with a building height not more than 2.4m; or (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.	The subject structures are not detached buildings and therefore not an outbuilding as defined at Table 3.1 of the TPS. Not applicable.
8.4.5 Width of openings for garages and carports for all dwellings	
A1 A garage or carport within 12 m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6 m or half the width of the frontage (whichever is the lesser).	The Site Plans clearly show there will be one garage within 12 metres of the primary frontage. Opening for the garage will be less than 6 metres. Complies.
8.4.6 Privacy for all dwellings	
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:	The gentle slope of the site allows the finished floor levels of units and private open space to be within a few hundred millimetres of the natural ground level. This standard does not apply to the proposal. Even if Council takes the opposing view, yards for each unit are provided with a 1.8 metre high fence, complying with the 1.7m screening requirement.

<p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>Complies.</p>
<p>A2 A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must satisfy (a), unless it satisfies (b):</p> <p>(a) the window or glazed door:</p> <p>(i) is to have a setback of not less than 3m from a side boundary;</p> <p>(ii) is to have a setback of not less than 4m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>(b) the window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.</p>	<p>The gentle slope of the site allows the finished floor levels of units to be within a few hundred millimetres of natural ground level. This standard does not apply to the proposal.</p> <p>Complies.</p>
<p>A3 A shared driveway or parking space (excluding a parking space allocated to that</p>	<p>The Site and Floor Plans show that Units 3 to 8 comply with the minimum 2.5 metre setback to</p>

<p>dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <p>(a) 2.5 m; or</p> <p>(b) 1m if:</p> <p>(i) it is separated by a screen of not less than 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</p>	<p>shared driveways and parking spaces requirement. Units 1 and 2 do not (for bedrooms 1 and 2, and bedroom 1 respectively).</p> <p>Unit 1, bedroom 2, will be separated from common parking spaces by a 1.8 metre Colourbond fence.</p> <p>The elevations for unit 1 and 2 identify that the subject window for bedroom 1 will have a sill height of approximately 1.8 metres above the common driveway. If site conditions vary this dimension, the subject windows will have an obscure treatment applied to 1.7 metres above the finished floor level.</p> <p>Complies.</p>
<p>8.4.7 Frontage fences for all dwellings</p>	
<p>A1 No AS (refer Exemption 4.6.3):</p> <p>Fences (including free-standing walls) within 4.5m of a frontage, if located in:</p> <p>(a) the General Residential Zone, Inner Residential Zone, Low Density Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone, Commercial Zone or any particular purpose zone, and if not more than a height of:</p> <p>(i) 1.2m above existing ground level if the fence is solid; or</p> <p>(ii) 1.8m above existing ground level, if the fence has openings above the height of 1.2m which provide a uniform transparency of at least 30% (excluding any posts or uprights);</p>	<p>No fence to the frontage is proposed. The letterbox structure will be less than 1.2m high.</p> <p>Complies with exemption 4.6.3, therefore standard is not applicable.</p>
<p>8.4.8 Waste storage for multiple dwellings</p>	
<p>A1 A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5 m² per dwelling and is within one of the following locations:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or ...</p>	<p>The Site Plans show that each unit has an area for waste and recycling bins located within their respective 'yard' spaces.</p> <p>Complies.</p>
<p>8.5 Development standards for non dwellings</p>	
<p>The proposal is for dwellings within the residential use class.</p>	<p>Not applicable.</p>
<p>8.6 Development Standards for Subdivision</p>	
<p>The proposal does not include subdivision.</p>	<p>Not applicable.</p>

The proposal complies with the relevant acceptable solutions and performance criteria at 8.4.2 P3 for building envelope and is therefore eligible for approval based on the zone standards.

E6 Car Parking and Sustainable Transport Code

C2.2.1 This code applies to all use and development of land.	The Code applies to the proposal and is not exempt under C2.4.
C2.2.2 Clause C2.5.3 applies to use and development for Residential (multiple dwellings).	The clause applies to the proposal.
C2.5.1 Car Parking Numbers	
A1 The number of car parking spaces must be no less than the number specified in Table C2.1, excluding if: ...	<p>Table C2.1 requires:</p> <ul style="list-style-type: none"> • 2 spaces per 2+ bedrooms/dwelling; and • 1 visitor space per 4 dwellings. <p>The proposal requires 14 spaces for units and 2 visitor spaces.</p> <p>The Site Plan shows 17 sealed and formed parking spaces are provided.</p> <p>Complies.</p>
C2.5.3 Motorcycle parking numbers	Not applicable as no requirement is set under Table C2.1.
C2.6.1 Construction of car parking spaces	
<p>A1 All parking, access ways, manoeuvring and circulation spaces must:</p> <p>(a) be constructed with a durable all weather pavement;</p> <p>(b) be drained to the public stormwater system, or contain stormwater on the site; and</p> <p>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</p>	<p>The Site Plans note a concrete sealed driveway provided to all units and manoeuvring areas. Visitor spaces and passing bays will be clearly marked as such.</p> <p>Complies.</p>
C2.6.2 Design and layout of parking areas	
<p>A1.1 Parking, access ways, manoeuvring and circulation spaces must either:</p> <p>(a) comply with the following:</p> <p>(i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;</p>	The TIA advised that the proposal meets this requirement.
(ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;	The site plan demonstrates that parts of the site providing 4 or more parking spaces can be accessed and exited in a forward gear.
(iii) have an access width not less than the requirements in Table C2.2;	Table C2.2 requires an access width of 4.5 metres. The site plan clearly shows a 4.5 metre wide driveway to the body of the site.
(iv) have car parking space dimensions which satisfy the requirements in Table C2.3;	Table C2.3 requires parking spaces of 2.6 x 5.4 metres. The site plan clearly shows dwelling

	and visitor parking spaces that meet the minimum dimensions.
(v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;	Table C2.3 requires parking spaces of 2.6 x 5.4 metres. The site plan clearly shows dwelling and visitor parking spaces that meet the minimum dimensions.
(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and	Elevations for each unit show garage doors are the lowest clearance on parking spaces, at 2.2 metres,
(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or	The site plan clearly shows that parking spaces will be marked.
(b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.	The TIA advised that the design meets AS 2890. The proposal complies.
A1.2 Parking spaces provided for use by persons with a disability must satisfy the following: (a) be located as close as practicable to the main entry point to the building; (b) be incorporated into the overall car park design; and (c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities.1	Disabled car parking will be provided at the discretion of the Building Surveyor, through the assessment under the National Construction Code. Complies.
C2.6.3 Number of accesses for vehicles	
P1 The number of accesses for each frontage must be minimised, having regard to: (a) any loss of on-street parking; and (b) pedestrian safety and amenity; (c) traffic safety; (d) residential amenity on adjoining land; and (e) the impact on the streetscape.	The proposal includes a new access for the existing house and must therefore comply with P1. The proposed access will disperse the intensity of traffic movements from within the site, and effectively relocate the use patterns for the existing house from the western to the eastern side of the land. This will prove the efficiency for use and safety of the accesses to the road network. In response to P1: (a) the area contains relatively low-density residential use, with single dwellings typically located on large and larger than normal lots. As a result, it is not expected that an additional access for this site will have any adverse impacts on car parking in the area; and (b) the proposed access is located in an area with good visibility and where there is no particularly consistent pattern to the location of accesses. Pedestrian safety and amenity are not expected to be unduly affected by the proposed access;

	<p>(c) traffic safety issues were examined in the TIA and determined to comply with traffic safety requirements.</p> <p>(d) the land adjoining the proposed access location is a vacant larger residential lot. The proposed access will not have any adverse amenity impacts to adjoining dwellings.</p> <p>(e) this section of Dexter Street contains a range of development intensities that includes multiple dwellings. The proposed access is consistent with that pattern and therefore is not expect to have any adverse impacts on the streetscape.</p> <p>The conclusion of this assessment and also the supporting TIA is that the proposal complies with P1.</p>
A2 Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.	Not applicable.
C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone	Not applicable.
C2.6.5 Pedestrian access	
<p>A1.1 Uses that require 10 or more car parking spaces must:</p> <p>(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:</p> <p>(i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or</p> <p>(ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and</p> <p>(b) be signed and line marked at points where pedestrians cross access ways or parking aisles.</p>	<p>The site plan shows a 1 metre wide footpath from the Dexter Street frontage through to the main body of the site, adjacent units 1 and 4.</p> <p>(a) bollards are proposed between the driveway and footpath; and</p> <p>(b) crossings for accesses will be signed and marked.</p> <p>Complies.</p>
A1.2 In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.	<p>Disabled car parking will be provided at the discretion of the Building Surveyor, through the assessment under the National Construction Code.</p> <p>Complies.</p>
C2.6.6 Loading bays	Not applicable.
C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone	

The following standards were not applicable to the proposal:

C2.6.6 Loading bays;

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone;

C2.6.8 Siting of parking and turning areas;

C2.7 Parking Precinct Plan

The application complies with the relevant acceptable solutions and performance criteria for the Car Parking and Sustainable Transport Code.

Discretions were supported by the Traffic Impact Assessment and were not considered to be of such an extent of technical complexity that the objectives for each standard did not require consideration to complete assessment.

C3 Road and Rail Asset code

<p>C3.2.1 This code applies to a use or development that: (b) will require a new vehicle crossing, junction or level crossing; or ...</p>	<p>The Code applies to the proposal and is not exempt at C3.4.</p>
<p>C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction</p>	
<p>A1.4 Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than: (a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road. ...</p>	<p>The TIA assessed traffic movements for the proposal and determined that the proposal will generate an existing 36 movements per day, complying with Table C3.1. Complies.</p>
<p>C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area Not applicable.</p>	
<p>C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area Not applicable.</p>	

The application complies with the relevant acceptable solutions and performance criteria for the Road and Rail Assets Code.

The assessment against the standards supports approval of the application.

E7 Natural Assets Code

<p>C7.2.1 This code applies to development on land within the following areas: ... (xii) General Residential Zone or Low Density Residential Zone, only if an application for subdivision.</p>	<p>The proposal does not include subdivision.</p>
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Clause C7.2.1 clearly establishes that the Code does not apply to the proposal.

Remaining Scheme Codes

The following codes were determined as not applicable to the application:

C1.0 Signs Code
C4.0 Electricity Transmission Infrastructure Protection Code
C5.0 Telecommunications Code
C6.0 Local Historic Heritage Code
C8.0 Scenic Protection Code
C9.0 Attenuation Code
C10.0 Coastal Erosion Hazard Code
C11.0 Coastal Inundation Hazard Code
C12.0 Flood-Prone Areas Hazard Code
C13.0 Bushfire-Prone Areas Code
C14.0 Potentially Contaminated Land Code
C15.0 Landslip Hazard Code
C16.0 Safeguarding of Airports Code

Conclusion

The proposal seeks approval for 8 multiple dwellings on an existing title within an established residential area.

The site is not affected by any natural hazards and both the use and development were able to demonstrate compliance with all relevant standards from the Scheme.

Discretions that were sought for the building envelope (8.4.2 P3) and accesses to the site (C2.6.3 P1) demonstrated compliance with the relevant performance criteria. Pursuant to clauses 6.7, 6.8 and 6.10 of the Scheme, the application can be considered for approval.

The application has demonstrated compliance with the Scheme and ought to be approved.

proposed unit development

lot: 2, no. 137
Dexter Street
Westbury

planning

job no.	6885
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certificate of title - SP 31062/2	
property ID	7178901

areas	land area	3382.00m2
	existing dwellings area	194.21m2 (approx)
	new dwellings area	1068.61m2
	impervious area	953.04m2
	site cover	65.51% (approx)

sheet no.	01	of	27	cover sheet	1:100 @ A3
	02	of	27	survey extract	nts
	03	of	27	overall site plan	1:500 @ A3
	04	of	27	suncil - asima sun notes	nts
	05	of	27	turning curves	1:250 @ A3
	06	of	27	demolition plan	1:500 @ A3
	07	of	27	floor plan unit 1	1:100 @ A3
	08	of	27	elevation unit 1	1:100 @ A3
	09	of	27	elevation unit 1	1:100 @ A3
	10	of	27	floor plan unit 2	1:100 @ A3
	11	of	27	elevation unit 2	1:100 @ A3
	12	of	27	elevation unit 2	1:100 @ A3
	13	of	27	floor plan unit 3	1:100 @ A3
	14	of	27	elevation unit 3	1:100 @ A3
	15	of	27	elevation unit 3	1:100 @ A3

sheet no.	16	of	27	floor plan unit 4	1:100 @ A3
	17	of	27	elevation unit 4	1:100 @ A3
	18	of	27	elevation unit 4	1:100 @ A3
	19	of	27	floor plan unit 5	1:100 @ A3
	20	of	27	elevation unit 5	1:100 @ A3
	21	of	27	elevation unit 5	1:100 @ A3
	22	of	27	floor plan unit 6	1:100 @ A3
	23	of	27	elevation unit 6	1:100 @ A3
	24	of	27	elevation unit 6	1:100 @ A3
	25	of	27	floor plan unit 7	1:100 @ A3
	26	of	27	elevation unit 7	1:100 @ A3
	27	of	27	elevation unit 7	1:100 @ A3

11 2 AUG 2021

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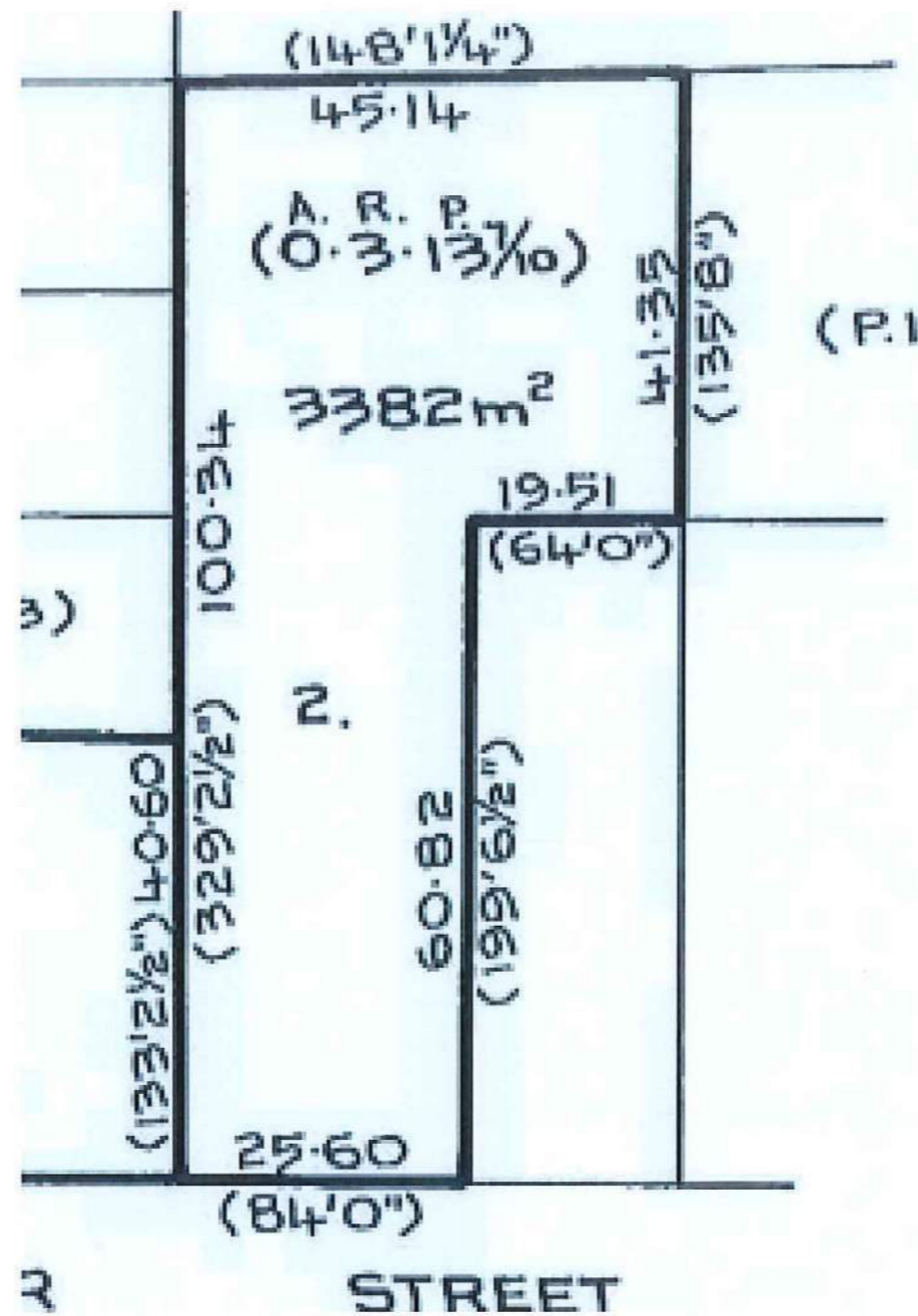


HIA member



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Jason Van Zetten Acr.cc1952x
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survey extract
 this survey extract plan has been prepared with the most available version of the title/survey plan at the time of these plans if in any doubt regarding this extract of survey or any site setout contact the designer immediately

survey plan extract

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amendment
1.
2.
3.

proposed unit development

lot : 2, no. 137
 Dexter Street
 Westbury

PLANNING AUTHORITY 2

dwg no.	6885	version -	02
sheet:	02	of	27
date:	June 2021	print date	
scale	nts		
bal	n/a	drawn:	JVZ

12 AUG 2021



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notes
 all site dimensions are to outside cladding unless otherwise noted confirm all dimensions on site prior to commencement of works all site preparation is to comply with NCC vol.2 2019

ensure finished floor level is min 150mm above finished ground level ensure finished floor level of a concrete slab is positioned so that the ORG is 150mm below the lowest plumbing fixture and above the ground the builder is to provide protection to adjoining properties and buildings in accordance with the building regulations

note, all neighbouring building locations are approx only, if further information is required consult a land surveyor










the level information provided on these plans is limited only and only to be used for the purpose intended if further information is required consult surveyor

outdoor clothes drying area to be located adjacent and accessible from laundry




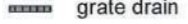

all other matters not specifically mentioned are to comply with the NCC vol.2 2019 - if in doubt ask

site setout the setout dimensions shown on these drawings are from the building to boundary to the title boundary (not necessarily to fences) IF ANY DOUBT on boundary dimensions consult a land surveyor

driveway to have maximum 1:5 fall the driveway / access is to be constructed to meet the requirements of AS2890.1 ensure all stormwater from the driveway is directed to either the stormwater system or adjacent garden beds (not neighbouring property) the builder is to identify all service locations and protect prior to commencement of works

 waste & recycle storage on conc slab min 1.5m ²	 car space, min 5.4 x 2.6m to nmc table E6.3 (parking in double garage or single garage with extra space for each unit) all parking spaces are to be constructed to AS2890 and drained to stormwater system	 8no. mail boxes installed into brick or similar structure 1.2h x 2m long (nom) at front of site with concrete access path from the driveway with clearly marked street and unit numbers	 wall mounted clothes line with concrete path from the dwelling to the clothes line
 concrete / sealed driveway fall all driveways / paths away from the dwellings to stormwater pits / detention system as per engineers details	 visitor car space - x2 min 5.4 x 2.6m to MVC table C2.1 clearly marked 'visitor space' all parking spaces are to be constructed to AS2890 and drained to the stormwater system	 sensor lights to be installed near front door of each dwelling	 private open space 6m x 4m (24m ²) min. north facing to MVC 8.4.3
 1800h colorbond or timber fences including access gates			

legend

-  customer water meter connection point location
-  sewer connection
-  stormwater connection
-  grate drain
-  pit drain

refer to details and drawings by Rare for details and specifications of meters, mains and connections

pedestrian path bollards installed between shared driveway and path crossings for access to be signed and marked

refer to engineers details for existing dwelling stormwater connection

new crossover to LGAT standard drawing TSD-R03-v1

existing 10km/h shared zone area sign

adjoining property 35 Adelaide St

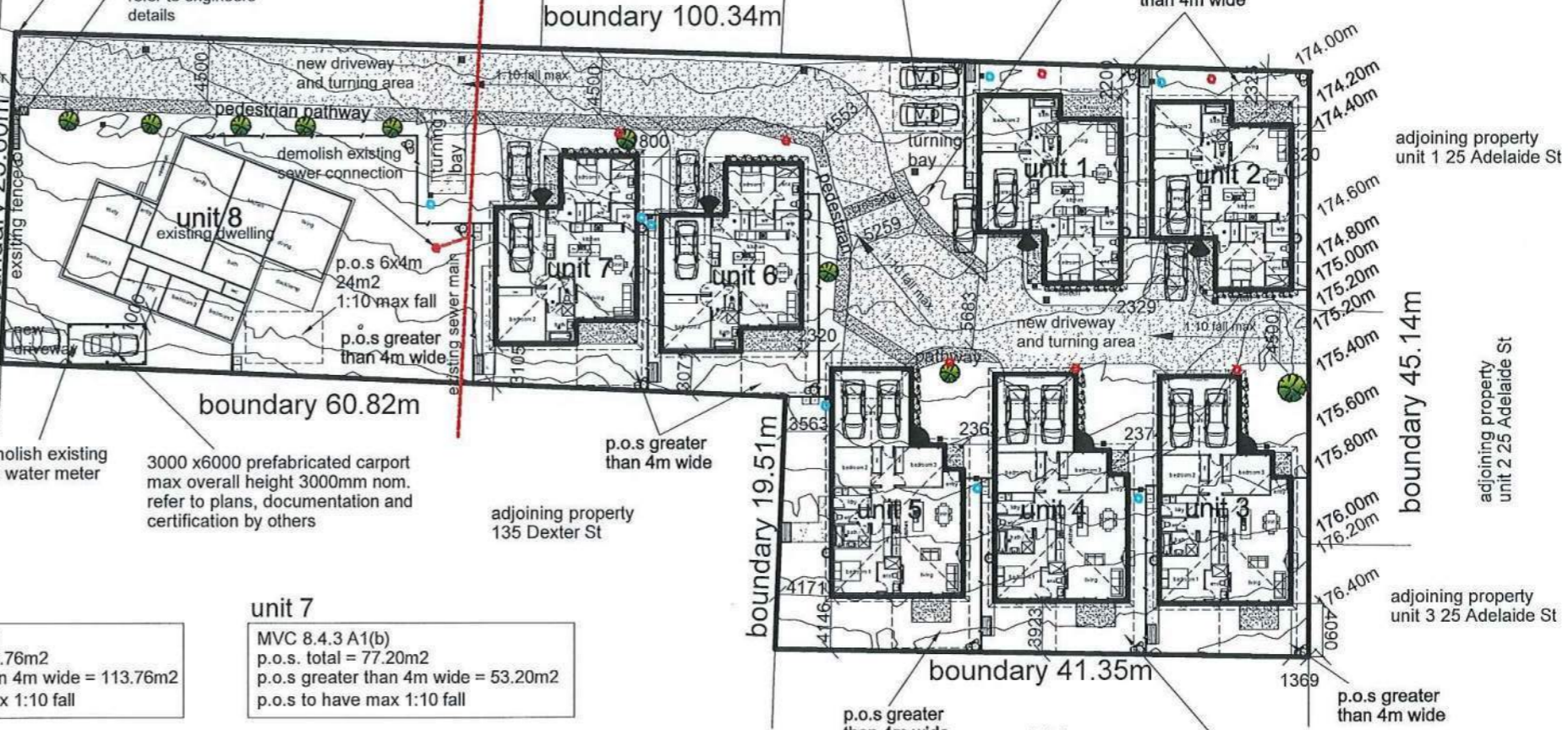
adjoining property 33 Adelaide St

adjoining property 29 Adelaide St

Suncil - Asima Sun solar street light light output 1650 - 4600lm mounted on 4000mm pole installed to manufacturers specifications refer to page 4 for details

all visitor car parking are to be line marked

p.o.s greater than 4m wide



unit 1
 MVC 8.4.3 A1(b)
 p.o.s. total = 63.30m²
 p.o.s greater than 4m wide = 39.3m²
 p.o.s to have max 1:10 fall

unit 3
 MVC 8.4.3 A1(b)
 p.o.s. total = 68.96m²
 p.o.s greater than 4m wide = 43.96m²
 p.o.s to have max 1:10 fall

unit 5
 MVC 8.4.3 A1(b)
 p.o.s. total = 138.76m²
 p.o.s greater than 4m wide = 113.76m²
 p.o.s to have max 1:10 fall

unit 7
 MVC 8.4.3 A1(b)
 p.o.s. total = 77.20m²
 p.o.s greater than 4m wide = 53.20m²
 p.o.s to have max 1:10 fall

unit 2
 MVC 8.4.3 A1(b)
 p.o.s. total = 71.52m²
 p.o.s greater than 4m wide = 47.52m²
 p.o.s to have max 1:10 fall

unit 4
 MVC 8.4.3 A1(b)
 p.o.s. total = 72.32m²
 p.o.s greater than 4m wide = 47.32m²
 p.o.s to have max 1:10 fall

unit 6
 MVC 8.4.3 A1(b)
 p.o.s. total = 78.98m²
 p.o.s greater than 4m wide = 54.98m²
 p.o.s to have max 1:10 fall

unit 8
 MVC 8.4.3 A1(b)
 p.o.s. total = 252.56m²
 p.o.s greater than 4m wide = 228.56m²
 p.o.s to have max 1:10 fall

site plan

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1.
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proposed unit development
 lot : 2, no. 137
 Dexter Street
 Westbury

dwg no.	6885	version -	02
sheet:	03	of	27
date:	June 2021	print date	
scale:	1:500 @ A3		
bal	n/a		
		drawn:	JVZ

PLANNING AUTHORITY 2



luminaries

material	cast aluminium
coating	graphite grey: SW302g (close to RAL 9007)
	silver grey: MW3000
	corten brown: Mars 2525, YX355F
screen	clear polycarbonate with UV-resistant acrylate on both sides
mounting	on pole, 60mm top diameter
connection	in the pole
classification	IP66, class II
impact resistance	IK10
weight	8.4kg
wind-sweeping area	0.143m ² (laterally)

led

LED type	CREE XPGBWT-B1-CACE-A0KE5
operating life	min 100.000 hours at a max 25° C, L80B10
colour temperature	2700, 3000 or 4000 kelvin
colour rendering	min 80, typically 85 Ra
colour accuracy	3 steps SDCM
luminous power	3000K: 1650-4600 lm
luminous intensity class, 13201-2-2015	G*1
glare index class	D6
output ratio	74%

battery

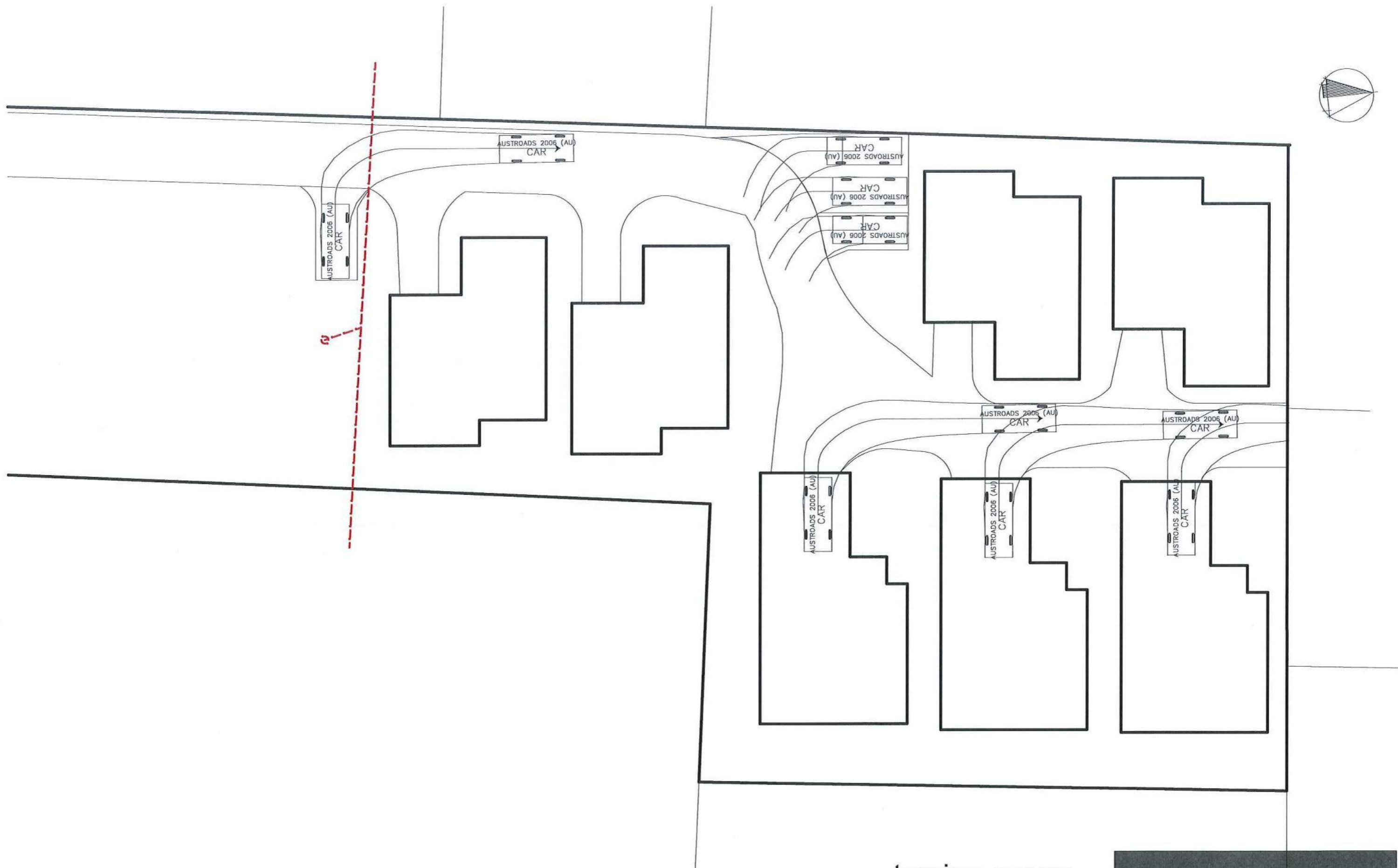
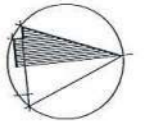
based on a nickel-metal-hydride environmental friendly battery. (no cadmium, mercury or lead). Pending on location and environment the solution will be designed accordingly	
operating temperature range	-30° to 77°
life cycle	4000
sizes	10,8v - 130Wh or 10,v - 260Wh

refer to Suncil Asima Sun data sheet for further information, specs. Installation strictly to manufacturers specifications

Suncil - Asima Sun notes

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	1.		sheet: 04 of 27	print date
	2.		date: June 2021	2 AUG 2021
	3.		scale nts	drawn: JVZ
			bal n/a	


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turning curves

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	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:250 @ A3	
			bal n/a	drawn: JVZ

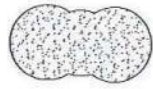
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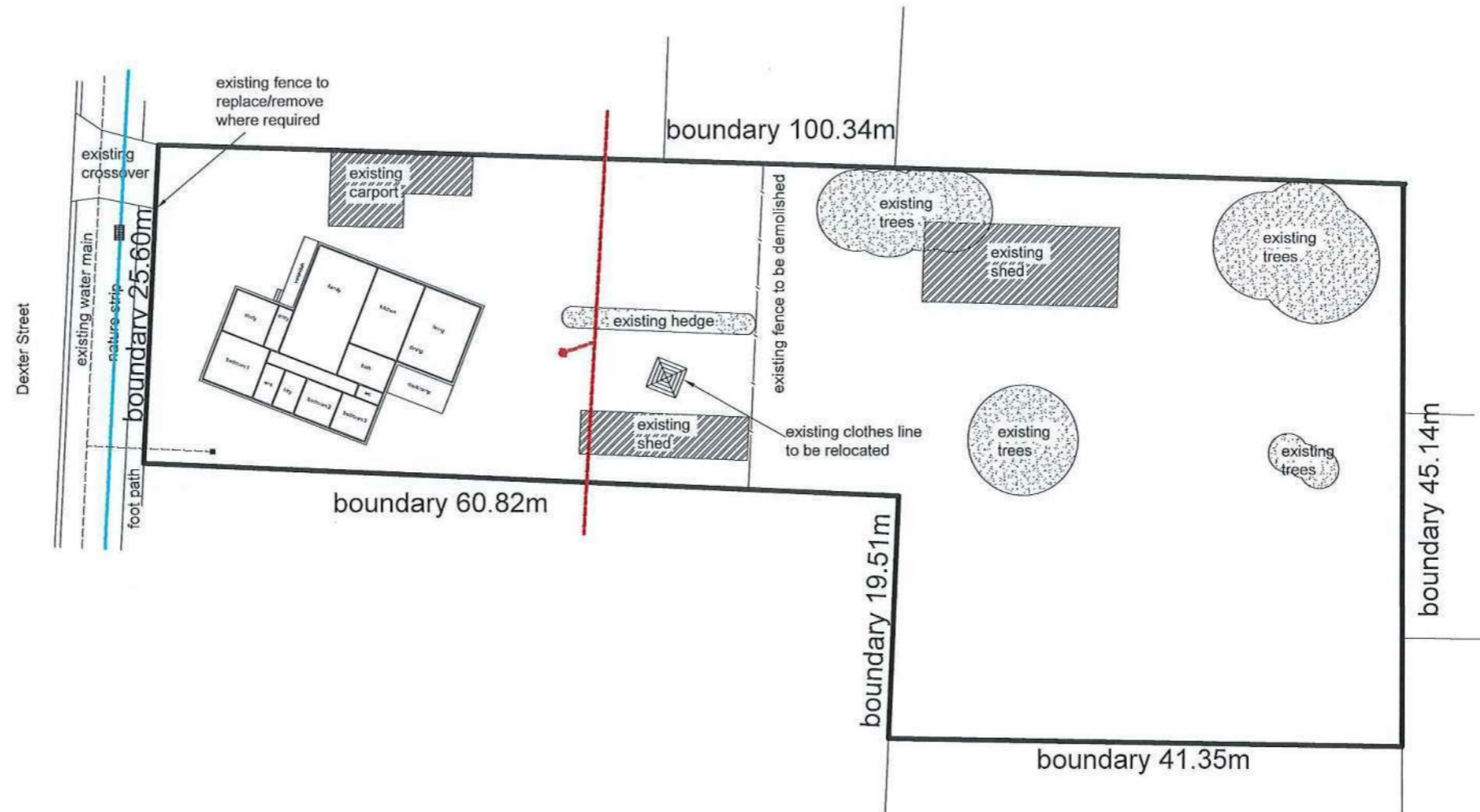
legend



trees to be removed



buildings to be removed



demolition plan

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proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	06	of	27
date:	June 2021	print date	12 AUG 2021
scale	1:500 @ A3		
bal	n/a	drawn:	JVZ

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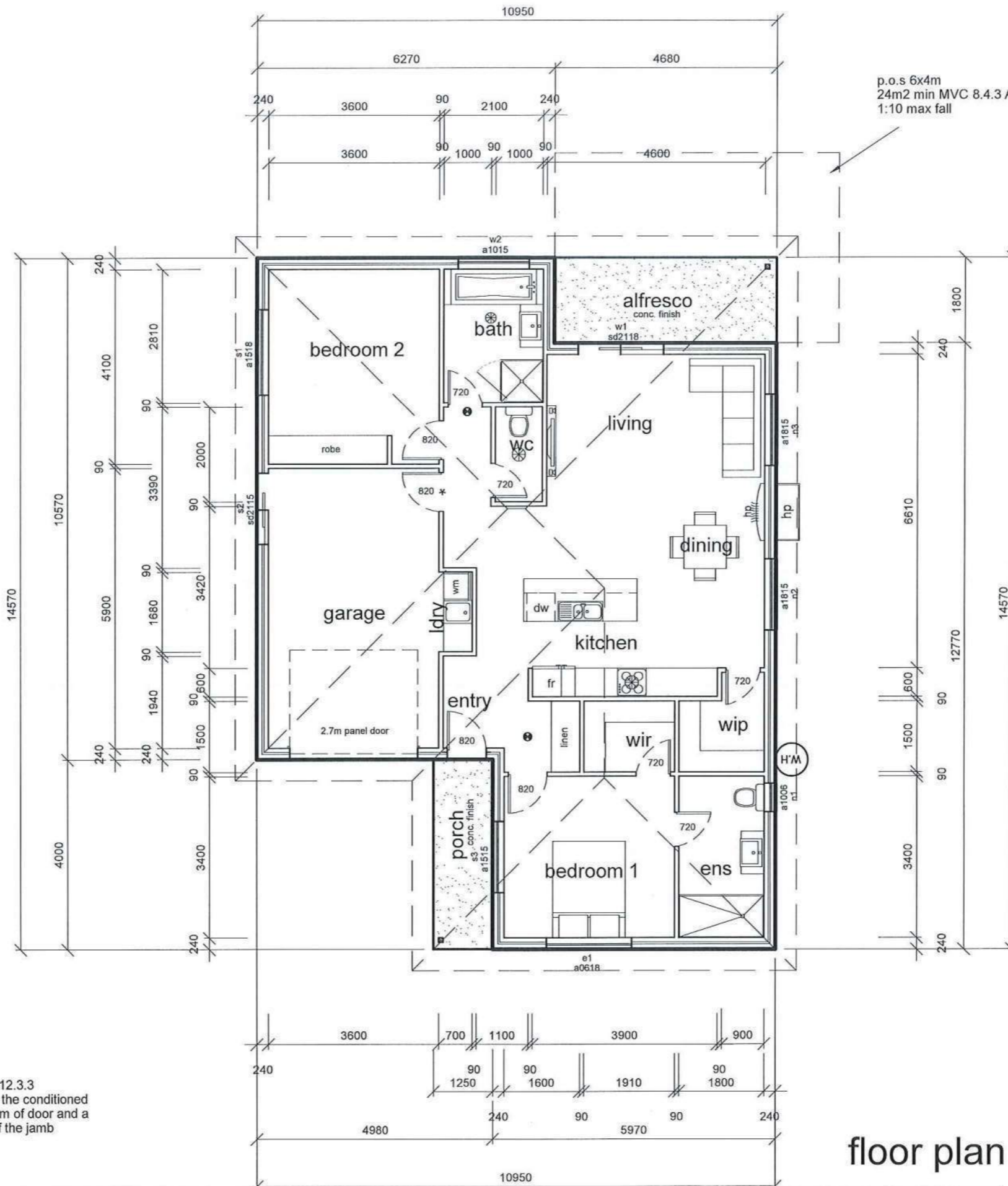
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floor area 131.19m² (14.12sq)
alfresco area 8.42m²
porch area 5.00m²

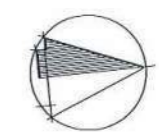
NOTES

- confirm all dimensions prior to construction.
- do not scale - if in doubt ask (admin@urbantas.com.au)
- ensure all stormwater is directed away from foundations
- all construction to be in accordance with NCC volume2 2019 and relevant AUS standards
- install hard wired smoke detectors near all sleeping areas and on each storey to NCC volume2 2019 3.7.5.2 all smoke alarms must be interconnected
- location of hot water cylinder (H.W)
- heat pump unit - indoor (hp)
- heat pump unit - outdoor (hp)
- concrete / paved paths to all access points of dwelling max step ht 190mm. fall away from dwelling at 1:50min direct all stormwater to s/w pits / drains to s/w system
- all exhaust fans are to be ducted to exterior of building to requirements of NCC volume2 2019 3.12.3.4 and be fitted with self closing damper (or filter in rangehood) where the exhaust fan is the only source of ventilation or in areas prone to condensation hard wire fan to light switch
- b/h - bulk head over
- o/h - over head cupboards
- floor finishes
- carpet finish over quality underlay to AS/NZ 2455
- tiling is to be carried out in accordance with AS3958. where required waterproofing to NCC volume2 3.8.1
- the products used in the construction are to be suitably resistant to the actions that would be encountered and specifically fit for purpose
- these plans are to be used in conjunction with written specifications and the building contract with all products included in the construction determined prior to commencement of construction
- Urban Design Solutions are to be notified of any changes prior to commencement of construction these plans are to be read in conjunction with ALL other approved documents included in the Certificate of Likely Compliance as issued by the building surveyor
- all associated maintenance manuals and instructions are to be handed to the owner / occupier of the dwelling prior to occupancy

* garage access to dwelling seal door to NCC volume2 2019 3.12.3.3 sealed to restrict air infiltration into the conditioned space. install draft stopper to bottom of door and a foam /rubber seal to the edges of the jamb



p.o.s 6x4m
24m² min MVC 8.4.3 A2
1:10 max fall



unit 1

floor plan

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amendment
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proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	07	of	27
date:	June 2021	print date	12 AUG 2021
scale	1:100 @ A3		
bal	n/a	drawn:	JVZ

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FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



2200 x 2700mm panel lift door
selected automatic garage door
to comply with AS4505. beam over to
engineers details centered on wall
from front

east elevation

east side windows
screen to 1700mm
MVC 8.4.6 A3 (b)



south elevation

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 08 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



west elevation



north elevation

hot water unit installed to manufacturers specifications

heat pump unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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amendment	
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proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
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date:	June 2021	print date	1 2 AUG 2021
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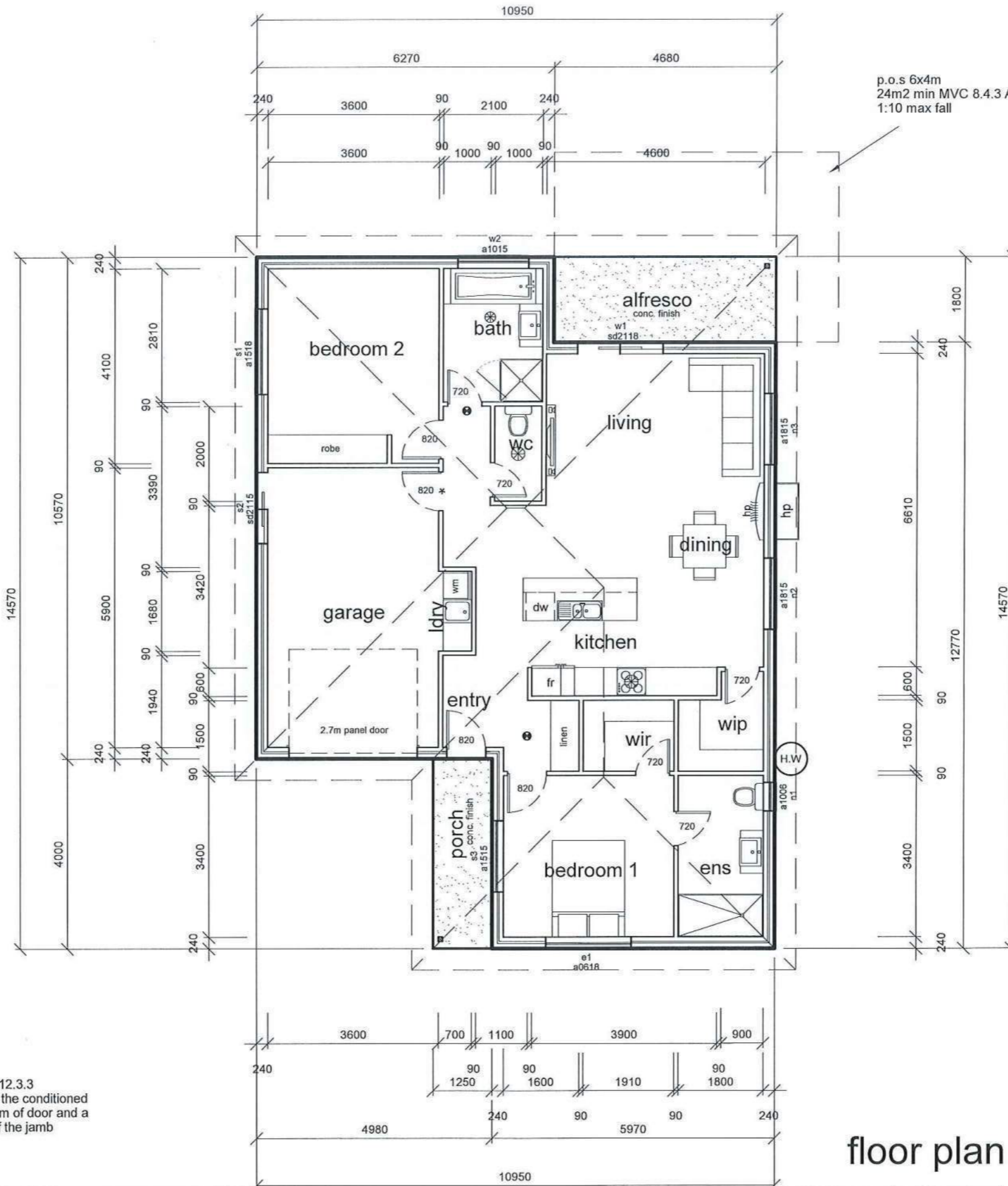
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alfresco area 8.42m²
porch area 5.00m²

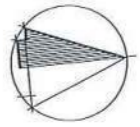
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floor plan



unit 2

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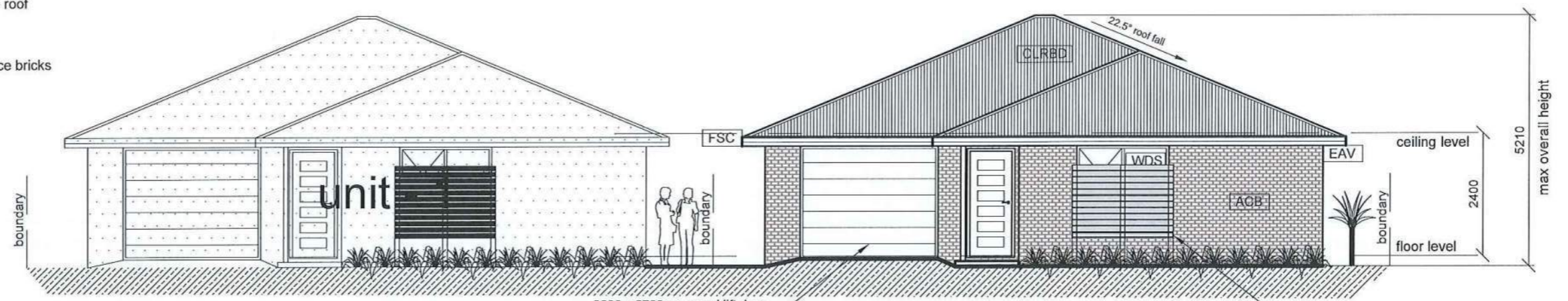
proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
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date:	June 2021	print date	12 AUG 2021
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bal	n/a	drawn:	JVZ

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PLANNING AUTHORITY 2

- FSC**
colorbond pre-coated folded metal gutter and fascia trim system
- EAV**
eave overhang 450mm all round
- CLRBD**
Colorbond 'corrugated' (min 5deg) roof
- ACB**
selected austral brick fired clay face bricks
- WDS**
windows and doors



2200 x 2700mm panel lift door
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to comply with AS4505. beam over to
engineers details centered on wall
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east elevation

east side windows
screen to 1700mm
MVC 8.4.6 A3 (b)



south elevation

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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proposed unit development

lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	11	of	27
date:	June 2021	print date	1 2 AUG 2021
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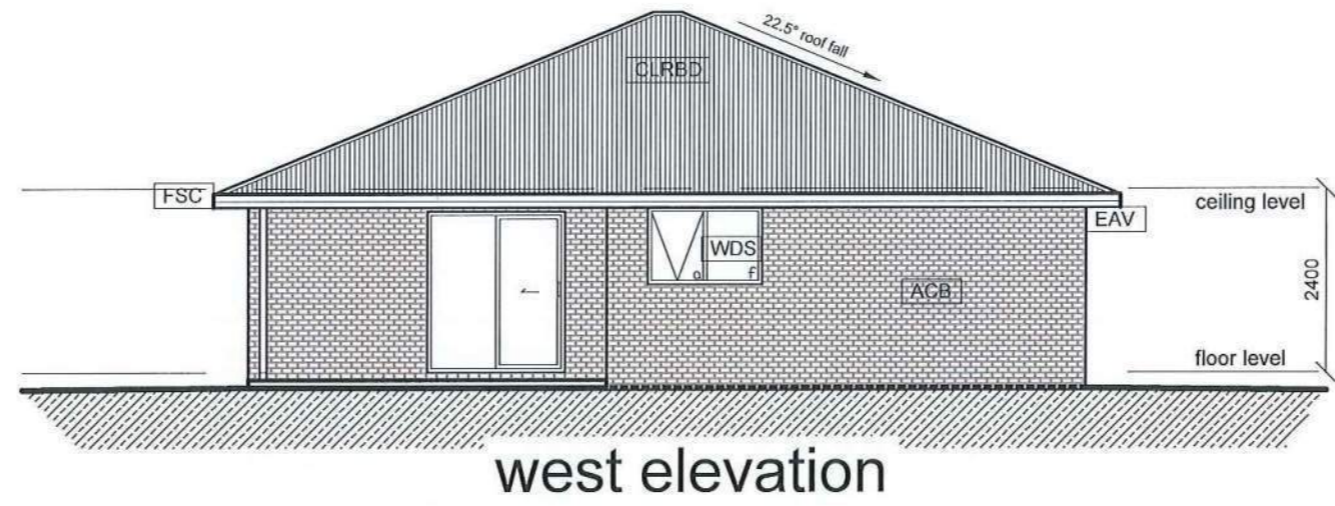
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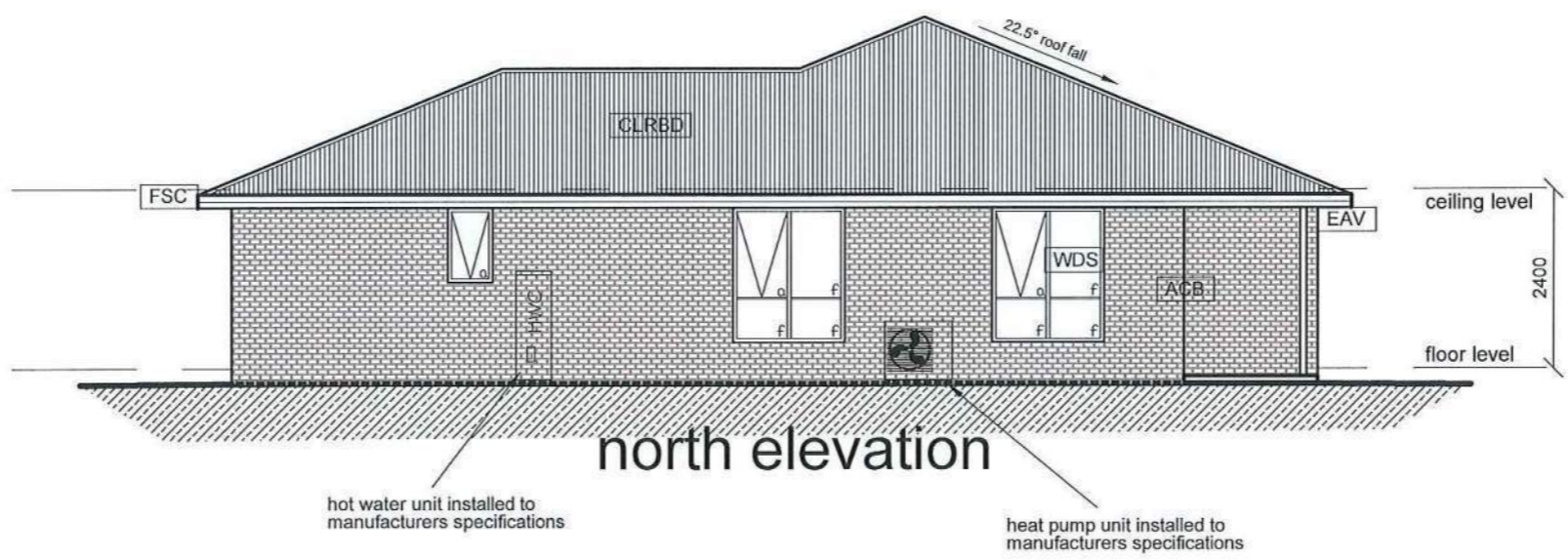
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west elevation



north elevation

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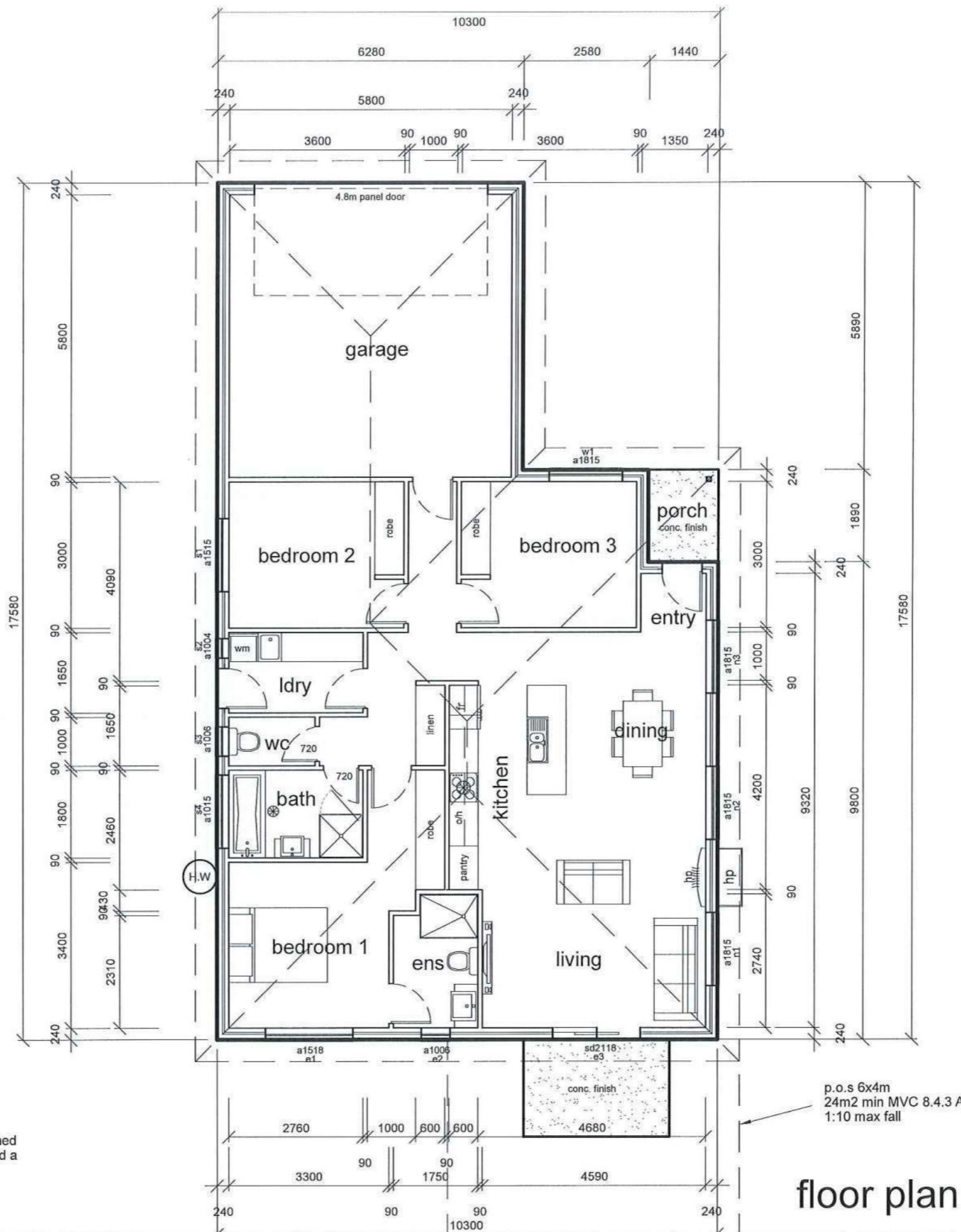
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floor area - 154.67m²
porch area - 2.72m²

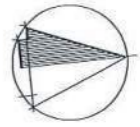
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floor plan



unit 3

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amendment
1.
2.
3.

proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	13	of	27
date:	June 2021	print date	1 2 AUG 2021
scale	1:100 @ A3		
bal	n/a	drawn:	JVZ



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www.urbantas.com.au
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Page 210

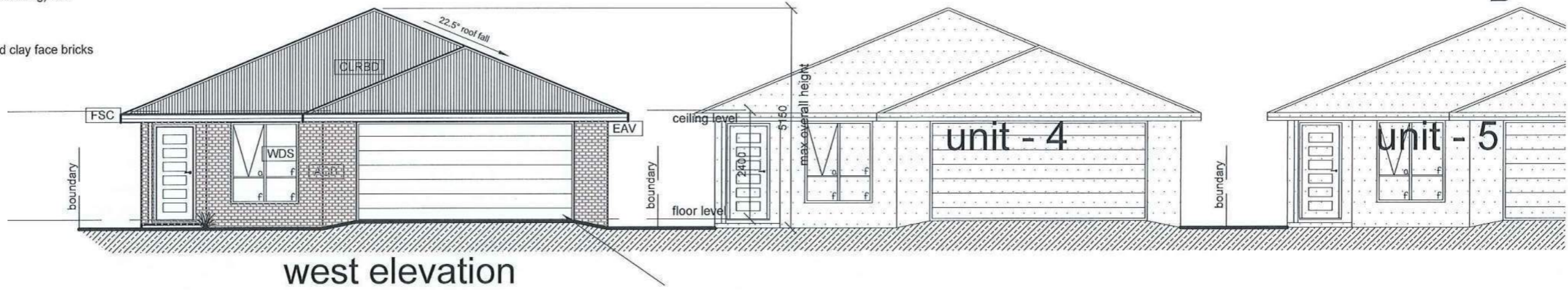
FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

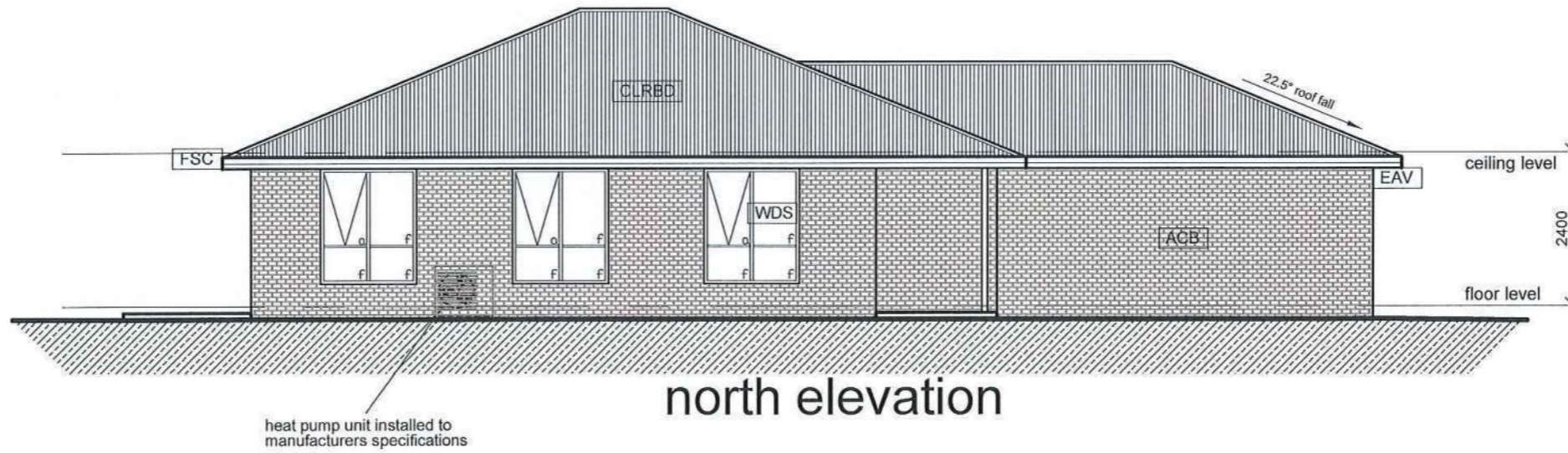
CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



2200 x 4800mm panel lift door selected automatic garage door to comply with AS4505. beam over to engineers details centered on wall from front



ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 14 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale: 1:100 @ A3	
			bal: n/a	drawn: JVZ

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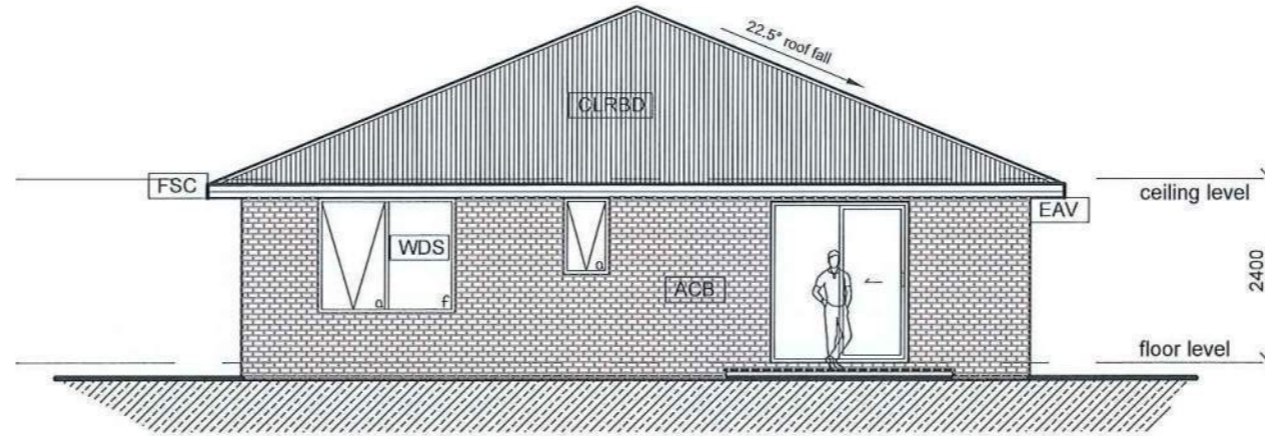
FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

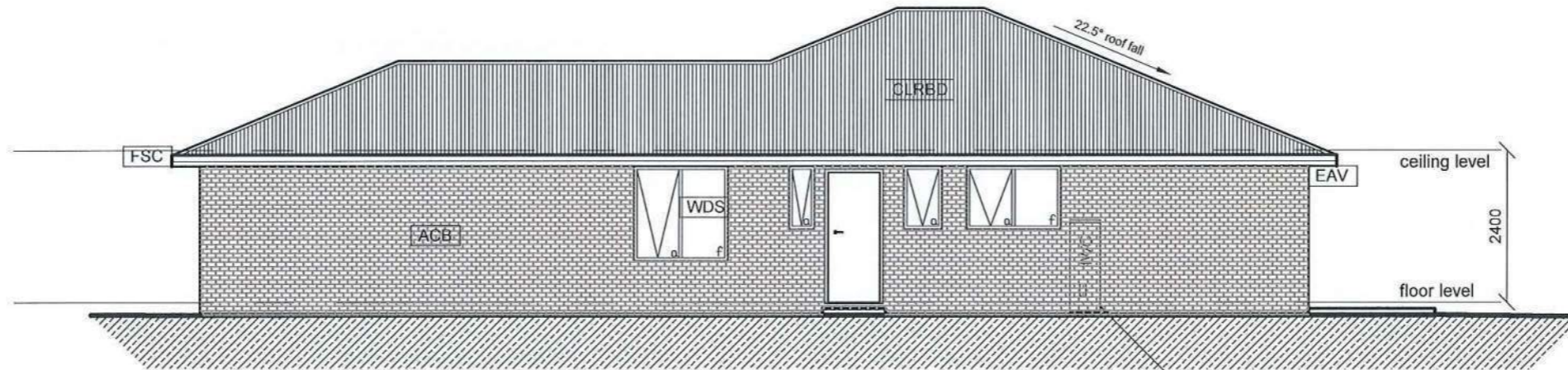
CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



east elevation



south elevation

hot water unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 15 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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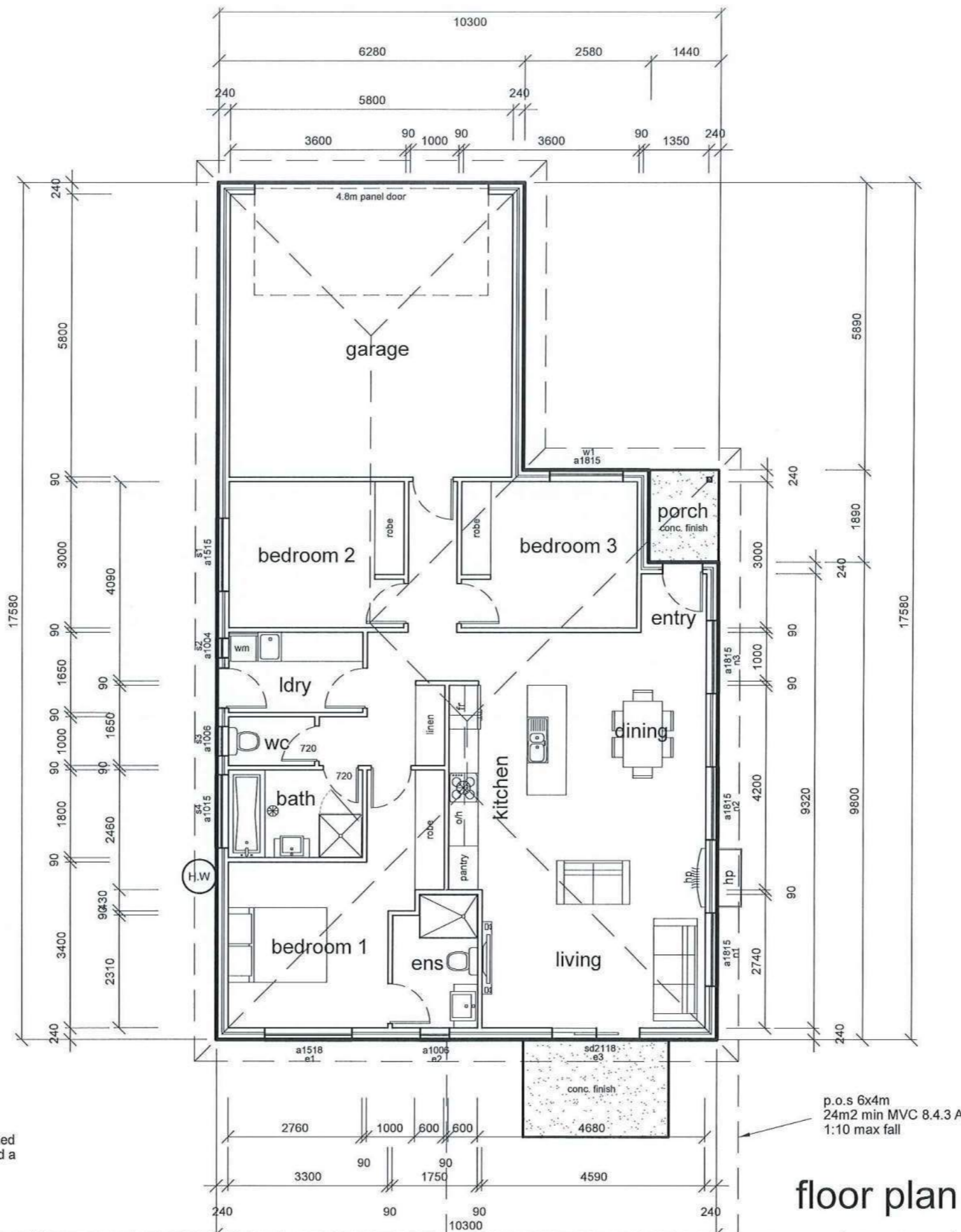
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floor area - 154.67m²
 porch area - 2.72m²

NOTES

- confirm all dimensions prior to construction.
- do not scale - if in doubt ask (admin@urbantas.com.au)
- ensure all stormwater is directed away from foundations
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- heat pump unit - indoor (hp)
- heat pump unit - outdoor (hp)
- concrete / paved paths to all access points of dwelling max step ht 190mm. fall away from dwelling at 1:50min direct all stormwater to s/w pits / drains to s/w system
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- b/h - bulk head over
- o/h - over head cupboards
- floor finishes
 - carpet finish over quality underlay to AS/NZ 2455
- tiling is to be carried out in accordance with AS3958. where required waterproofing to NCC volume2 3.8.1
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* garage access to dwelling seal door to NCC volume2 2019 3.12.3.3 sealed to restrict air infiltration into the conditioned space. install draft stopper to bottom of door and a foam /rubber seal to the edges of the jamb



floor plan



unit 4

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amendment
1.
2.
3.

proposed unit development

lot : 2, no. 137
 Dexter Street
 Westbury

PLANNING AUTHORITY 2

dwg no.	6885	version -	02
sheet:	16	of	27
date:	June 2021		
scale	1:100 @ A3		
bal	n/a		
print date	12 AUG 2021		
drawn:	JVZ		



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 Page 213

FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

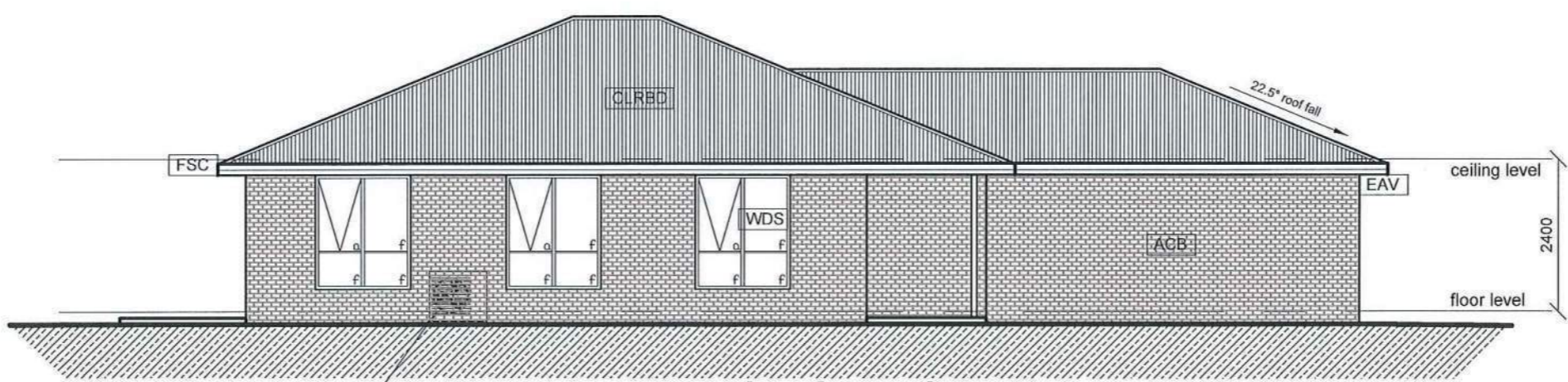
ACB
selected austral brick fired clay face bricks

WDS
windows and doors



west elevation

2200 x 4800mm panel lift door selected automatic garage door to comply with AS4505. beam over to engineers details centered on wall from front



north elevation

heat pump unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 17 of 27	print date
	2.		date: June 2021	2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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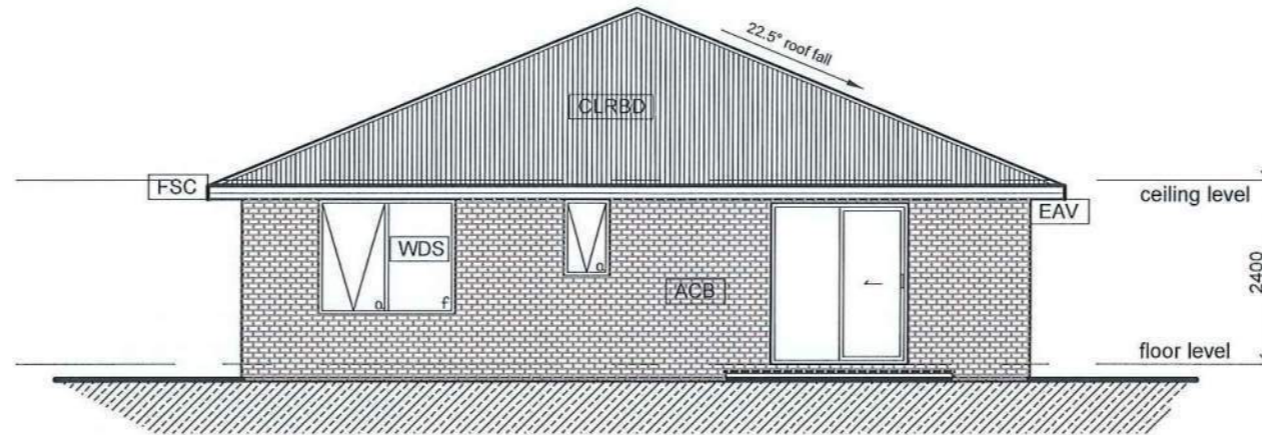
FSC
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EAV
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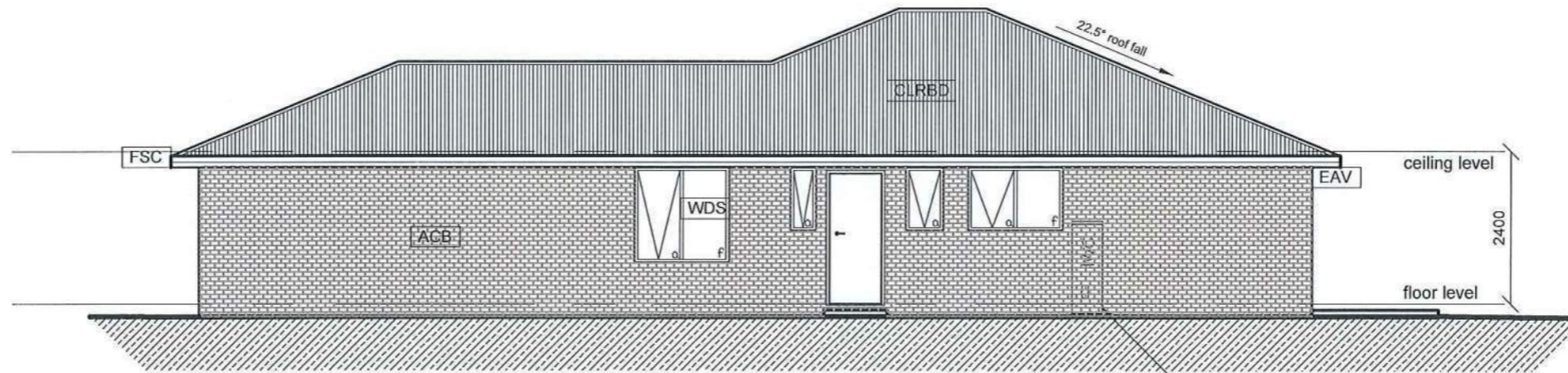
CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



east elevation



south elevation

hot water unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 18 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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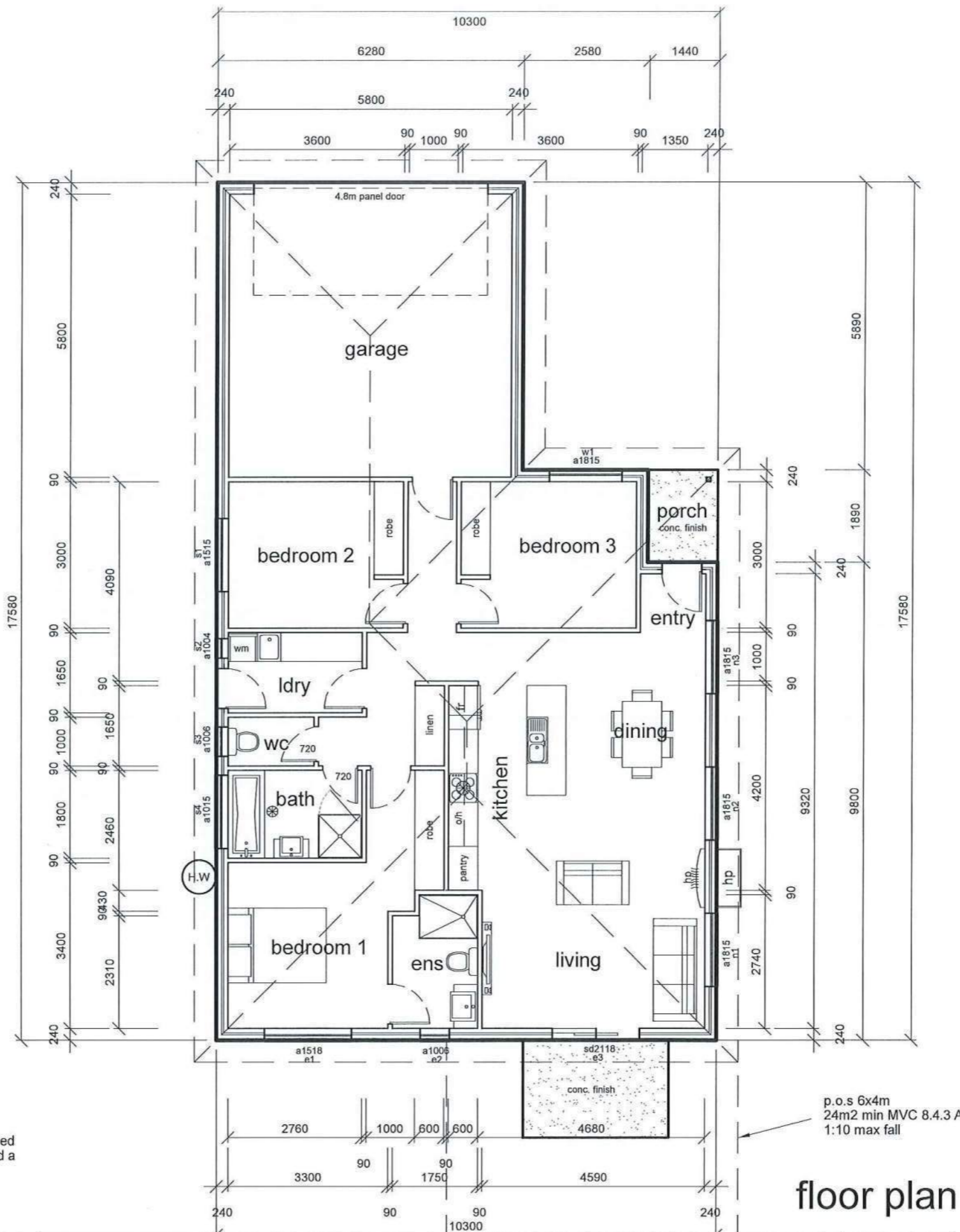
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floor area - 154.67m²
 porch area - 2.72m²

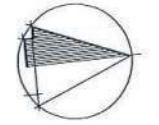
NOTES

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floor plan



unit 5

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amendment
1.
2.
3.

proposed unit development
 lot : 2, no. 137
 Dexter Street
 Westbury

dwg no.	6885	version -	02
sheet:	19	of	27
date:	June 2021	1 2 AUG 2021	
scale	1:100 @ A3		
bal	n/a	drawn: JVZ	



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FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



west elevation

2200 x 4800mm panel lift door
selected automatic garage door
to comply with AS4505. beam over to
engineers details centered on wall
from front



north elevation

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 20 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	drawn: JVZ
			bal n/a	



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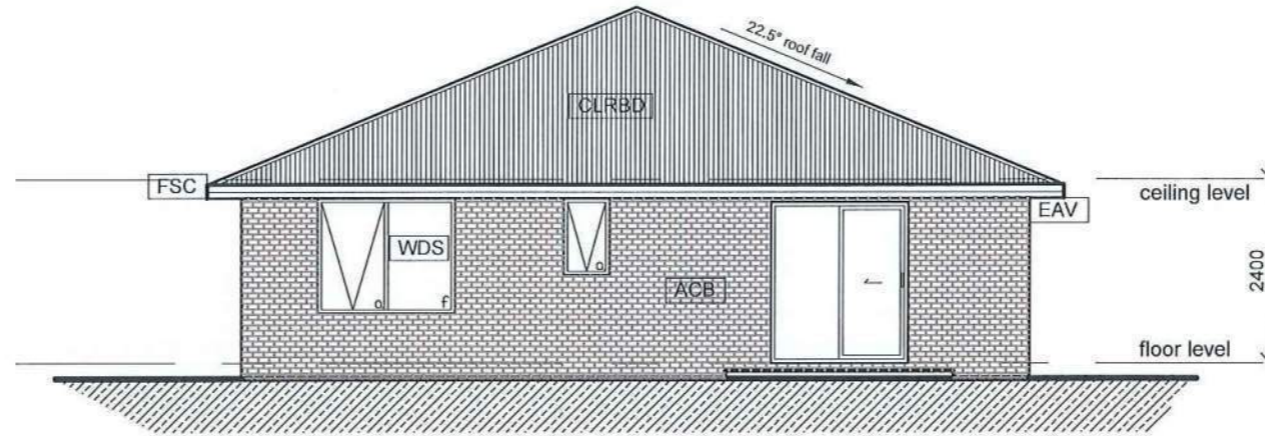
FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

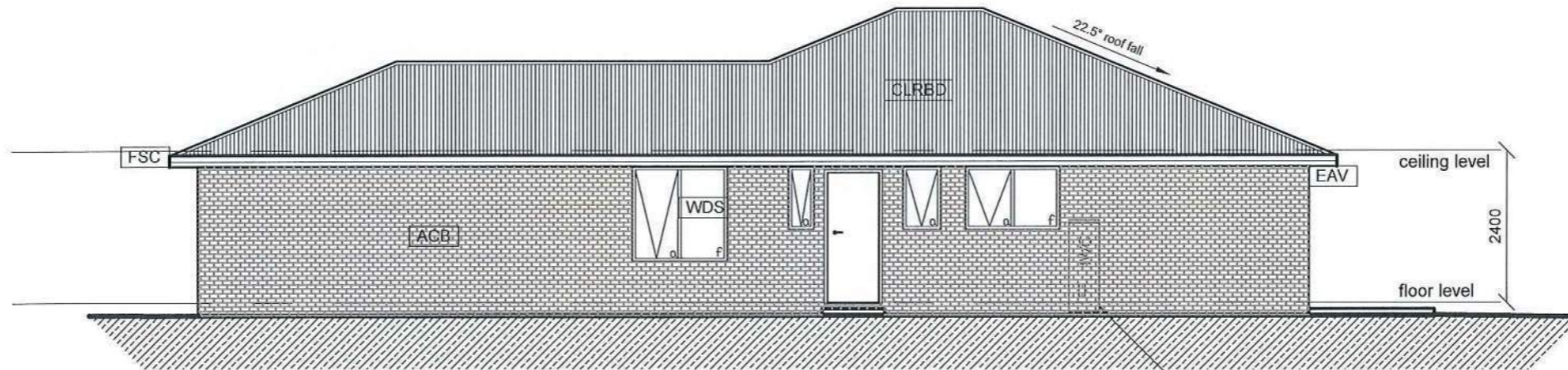
CLRBD
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WDS
windows and doors



east elevation



south elevation

hot water unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 21 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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floor area 131.19m² (14.12sq)
alfresco area 8.42m²
porch area 5.00m²

NOTES

confirm all dimensions prior to construction.
do not scale - if in doubt ask (admin@urbantas.com.au)
ensure all stormwater is directed away from foundations
all construction to be in accordance with NCC volume2 2019 and relevant AUS standards

install hard wired smoke detectors near all sleeping areas and on each storey to NCC volume2 2019 3.7.5.2
all smoke alarms must be interconnected

location of hot water cylinder (H.W)

heat pump unit - indoor (hp)

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b/h - bulk head over
o/h - over head cupboards

floor finishes
- carpet finish over quality underlay to AS/NZ 2455

- tiling is to be carried out in accordance with AS3958. where required waterproofing to NCC volume2 3.8.1

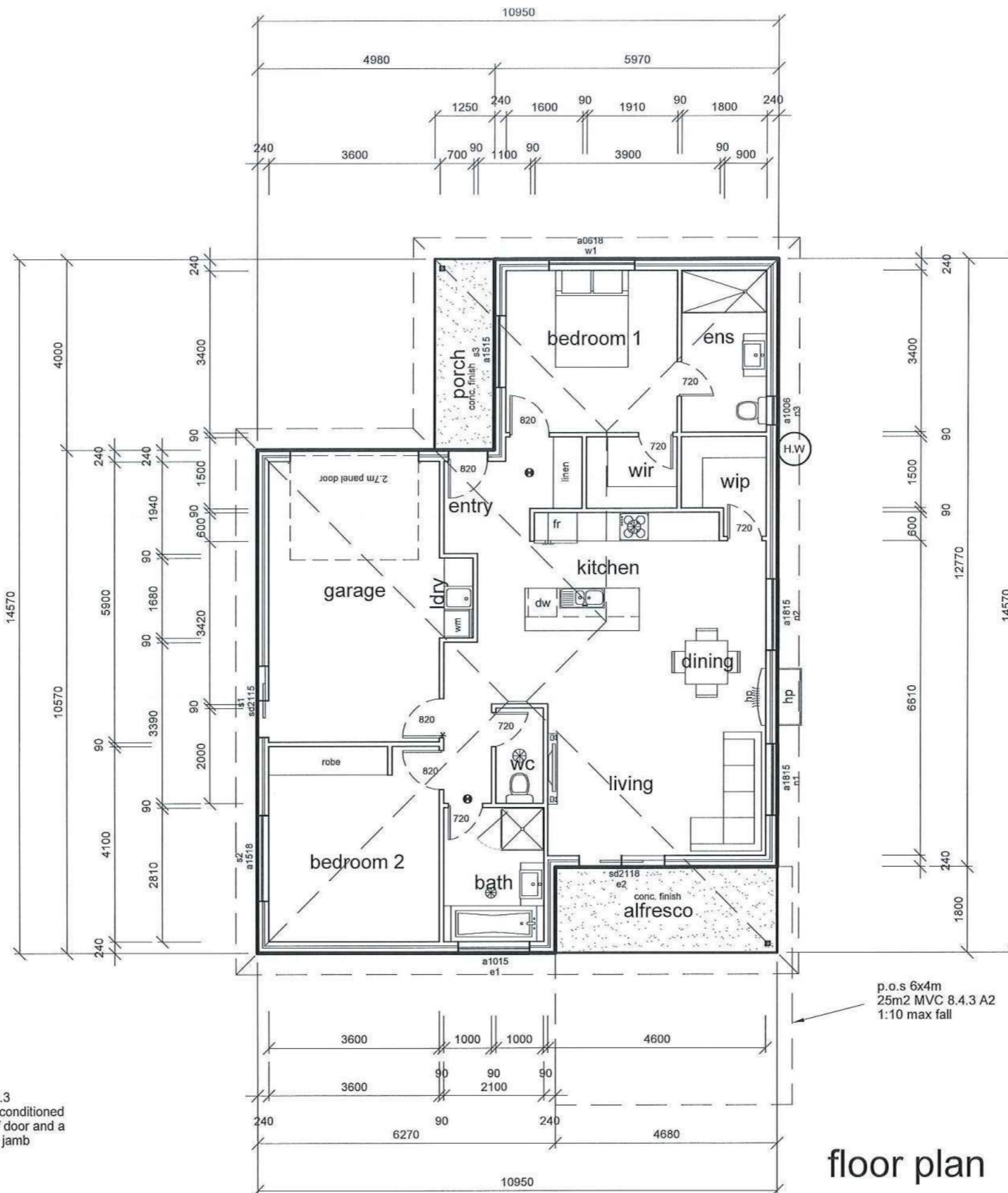
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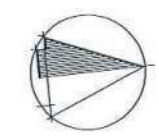
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floor plan



unit 6

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amendment	
1.	
2.	
3.	

proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	22	of	27
date:	June 2021	print date	12 AUG 2021
scale	1:100 @ A3		
bal	n/a	drawn:	JVZ



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FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



west elevation

2200 x 2700mm panel lift door selected automatic garage door to comply with AS4505. beam over to engineers details centered on wall from front



south elevation

ngl ——— natural ground level
fgl ——— finished ground level

elevations

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	1.		sheet: 23 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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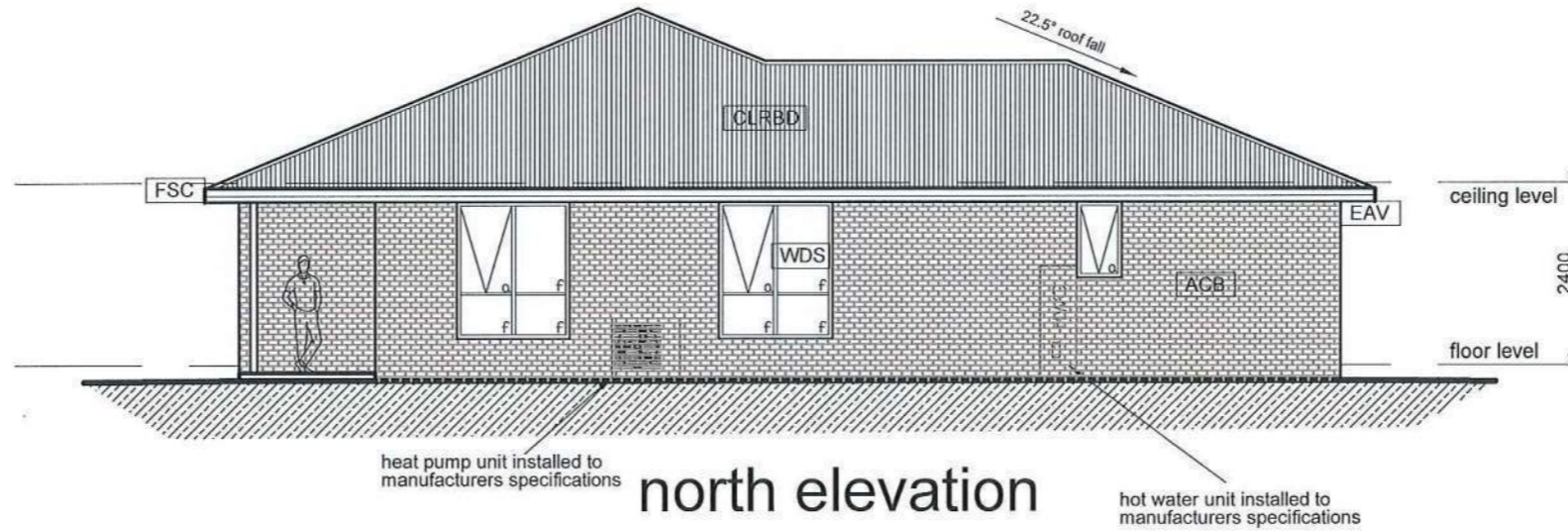
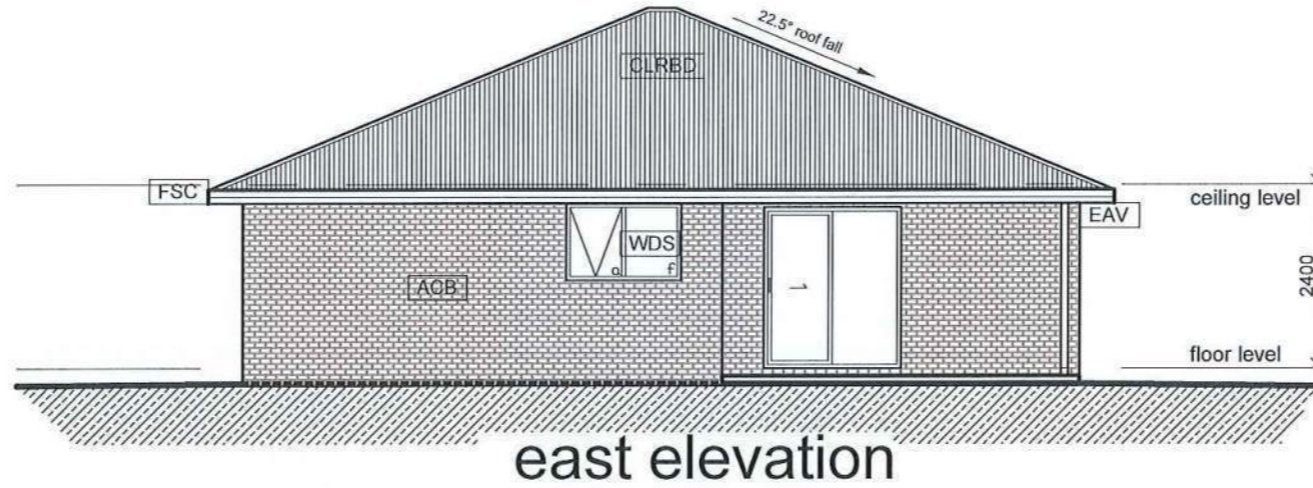
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WDS
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ngl ——— natural ground level
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elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 24 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
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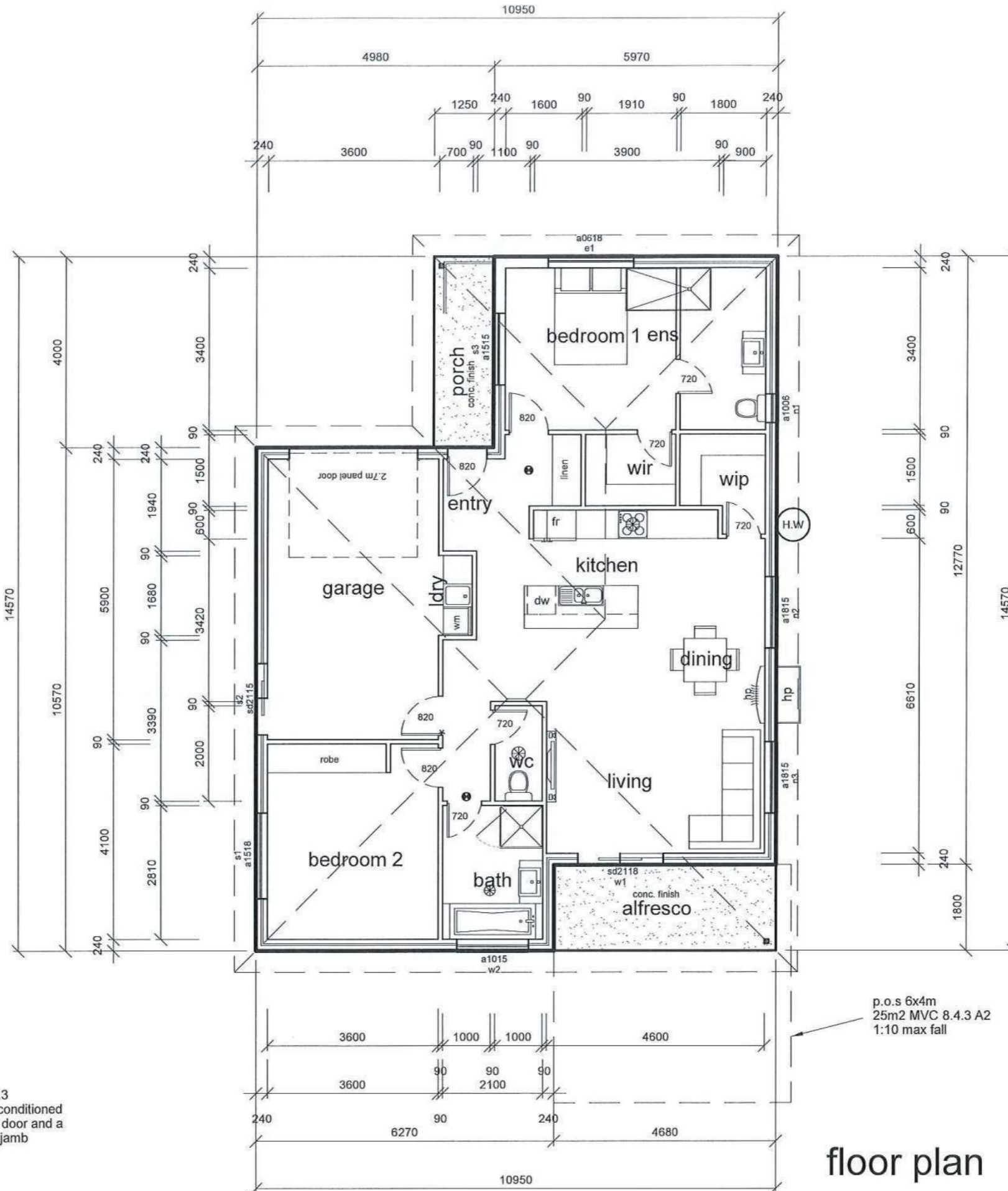
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floor area 131.19m² (14.12sq)
alfresco area 8.42m²
porch area 5.00m²

NOTES

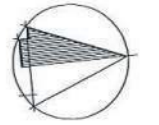
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p.o.s 6x4m
25m² MVC 8.4.3 A2
1:10 max fall

floor plan



unit 7

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amendment	
1.	
2.	
3.	

proposed unit development
lot : 2, no. 137
Dexter Street
Westbury

dwg no.	6885	version -	02
sheet:	25	of	27
date:	June 2021		
scale	1:100 @ A3		
bal	n/a		
print date	12 AUG 2021		
drawn:	JVZ		



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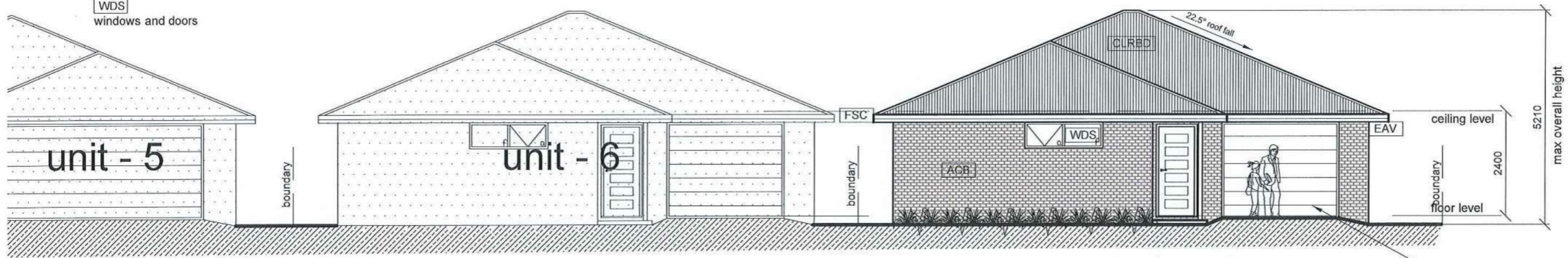
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west elevation

2200 x 2700mm panel lift door selected automatic garage door to comply with AS4505. beam over to engineers details centered on wall from front



south elevation

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elevations

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	1.	lot : 2, no. 137 Dexter Street Westbury	sheet: 26 of 27	print date
	2.		date: June 2021	1 2 AUG 2021
	3.		scale 1:100 @ A3	
			bal n/a	drawn: JVZ

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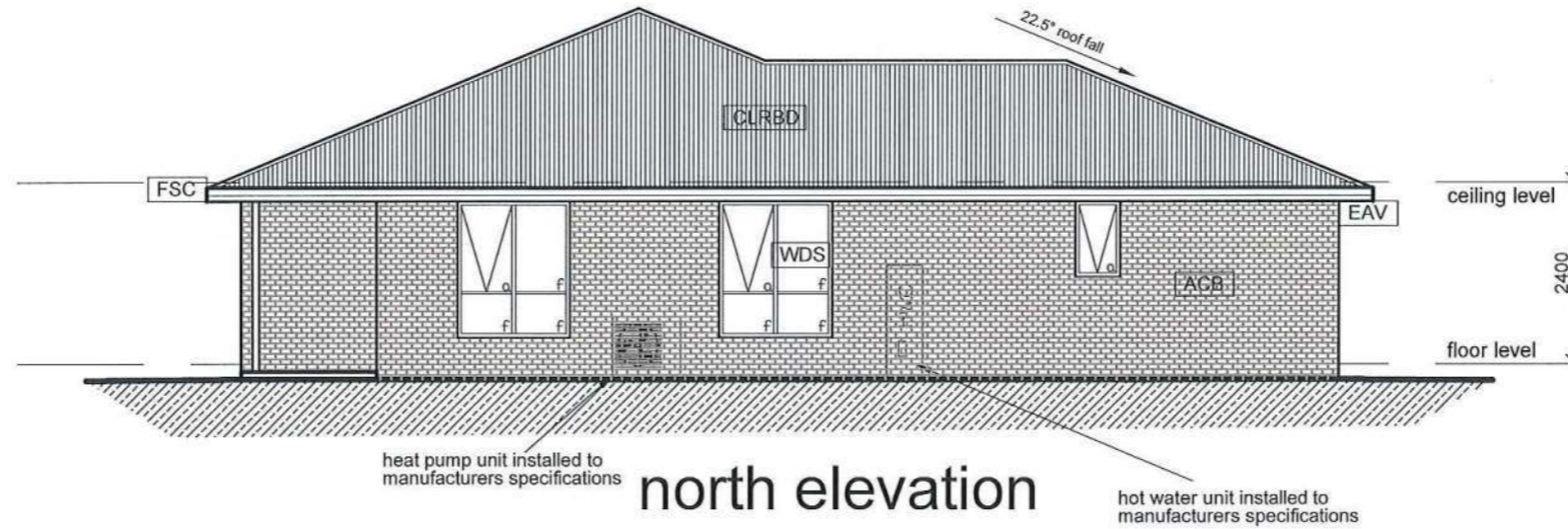
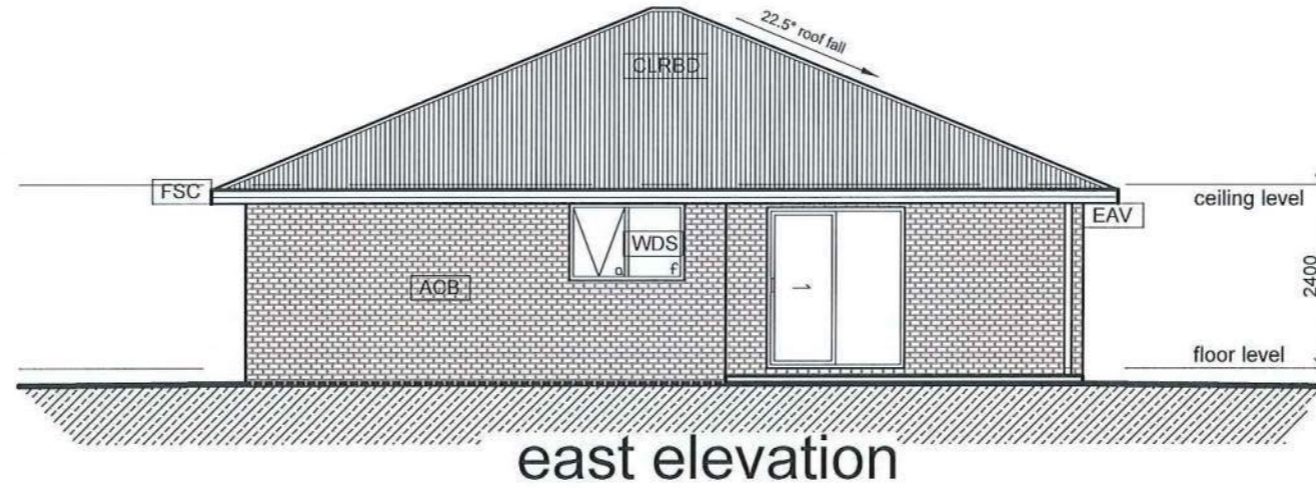
FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors



ngl ——— natural ground level
fgl ——— finished ground level

elevations

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CLIENT:
URBAN DESIGN SOLUTIONS

PROJECT:
UNIT DEVELOPMENT

ADDRESS:
137 DEXTER STREET, WESTBURY


PROJECT No:
224002

STATUS:
CONTROLLED DOCUMENT

ISSUED FOR / DESCRIPTION:
DEVELOPMENT APPROVAL

DRAWINGS:

- COV - COVER SHEET
- C000 - CIVIL NOTES
- CP501 - CONCEPT SERVICES PLAN
- CP701 - SECTIONS & DETAILS

		STATUS: CONTROLLED DOCUMENT		DESIGN BY: JWS	 22-24 Paterson Street Launceston TAS 7250 rarein.com.au P. 03 6388 9200	CLIENT: URBAN DESIGN SOLUTIONS	TITLE: COVER SHEET
		DO NOT SCALE - IF IN DOUBT, ASK <small>THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS PREPARED. © RARE INNOVATION PTY LTD. ABN 51 619 598 257</small>		DESIGN CHK: RJ		PROJECT: UNIT DEVELOPMENT	SCALE: - SHEET SIZE: A1 DWGS IN SET: -
				DRAWN BY: JWS		ADDRESS: 137 DEXTER ST WESTBURY	PROJECT No: 224002 DWG No: COV REV: 0
0	DEVELOPMENT APPROVAL	JWS	12-08-21	DRAFT CHK: KL			
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:	APPROVED: R. JESSON	ACRED. No: CC5848I	DATE: 12-08-21	

GENERAL

1. NOTICE TO TENDERER

THE CONTRACTOR / TENDERER IS TO MAKE THEMSELVES AWARE OF THE LOCAL COUNCIL AND THE DEPARTMENT OF STATE GROWTH (D.S.G.) STANDARDS FOR CIVIL WORKS. CONSTRUCTION IS TO BE CARRIED OUT TO THESE STANDARDS. TENDERER IS TO ALLOW FOR THESE STANDARDS DURING PRICING. COPIES OF THE STANDARDS ARE AVAILABLE FOR INSPECTION UPON REQUEST FROM THE LOCAL COUNCIL OR D.S.G.'s WEB SITE.

2. NOTIFICATION

THE CONTRACTOR IS TO NOTIFY ALL RELEVANT STATUTORY AUTHORITIES PRIOR TO COMMENCING ANY WORK FOR THE POSSIBLE LOCATION OF ANY EXISTING SERVICES NOT SHOWN ON THESE PLANS, AND IS TO NOTIFY THE SUPERINTENDENT OF THE SAME. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.

3. DRAWINGS AND SPECIFICATIONS

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED FOR THE PURPOSE OF OBTAINING COUNCIL APPROVAL AND CALLING OF TENDERS. THEY ARE NOT TO BE USED FOR CONSTRUCTION. A CONSTRUCTION SET OF DRAWINGS STAMPED "CONSTRUCTION SET" WILL BE ISSUED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

4. COMMON TRENCHING

WHERE ANY COMMON TRENCHING IS REQUIRED, THE FOLLOWING CLEARANCE DISTANCES (BARREL TO BARREL) MUST BE MAINTAINED FROM EXISTING OR PROPOSED SERVICES:

HORIZONTALLY:

- 300mm ALONG A LENGTH GREATER THAN 2 METRES.
- 500mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.
- 150mm MINIMUM ALONG A LENGTH LESS THAN 2 METRES.

VERTICALLY:

- 150mm MINIMUM
- 300mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.

ELECTRICAL CABLES SHOULD BE LOCATED ON THE OPPOSITE SIDE OF THE STREET. WHERE THIS IS NOT POSSIBLE A 400mm MINIMUM DISTANCE MUST BE OBSERVED OF WHICH 300mm SHOULD BE IN NATURAL AND UNDISTURBED MATERIAL.

5. TASNETWORKS TRENCHING

THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING OF ALL TRENCHES FOR THE INSTALLATION OF TASNETWORKS CABLES. CONTRACTOR IS TO LAISE WITH THE TASNETWORKS FOR THE EXTENT OF CABLE TRENCHING, CONDUITS & PITS.

6. COMMUNICATION TRENCHING

THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING OF ALL TRENCHES FOR THE INSTALLATION OF COMMUNICATIONS CABLES. CONTRACTOR IS TO LAISE WITH COMMUNICATION AUTHORITY FOR THE EXTENT OF CABLE TRENCHING.

7. EXISTING SERVICES

LOCATE EXISTING SERVICES PRIOR TO COMMENCING DEMOLITION AND SITE WORKS. THE CONTRACTOR IS TO ARRANGE AND PAY FOR THE ON SITE MARKING AND CONFIRMATION OF DEPTH OF SERVICE LOCATIONS FOR ALL UNDERGROUND SERVICES INCLUDING COMMUNICATIONS, TASNETWORKS, TASNATER (WATER & SEWER) AND COUNCIL SERVICES (ie. STORMWATER) IN THE AREA OF NEW WORKS. LOCATION TO BE CONFIRMED USING CABLE LOCATORS AND HAND DIGGING METHODS. PRIOR TO ANY WORKS ON SITE, ANY CLASHES WITH DESIGNED SERVICES ON FOLLOWING DRAWINGS ARE TO BE REPORTED TO DESIGN ENGINEER FOR DIRECTION.

8. COUNCIL & AUTHORITIES APPROVALS

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE FOLLOWING APPROVALS:

- NIL

9. SIGNAGE

ALL SIGN WORKS AND INSTALLATION TO BE IN ACCORDANCE WITH CURRENT VERSION OF MUTCD & AUSTRADRS FOR SIGNAGE DETAILS.

10. SCOPE OF WORKS

THE SCOPE OF WORKS ARE SHOWN IN THESE DOCUMENTS AND THE SPECIFICATION. IT IS EXPECTED THE CONTRACTOR WILL RESOLVE ALL ISSUES UNCOVERED ON SITE THAT ARE NOT DETAILED IN CONJUNCTION WITH THE SUPERINTENDENT.

GENERAL CONT.

11. LINE TYPE LEGEND

	DN100 AGE PIPE OR MEGAFLOW DRAIN AS NOTED @ 3:100 FALL TO STORM WATER SYSTEM
	eSW DENOTES EXISTING STORM WATER MAIN (CONFIRM EXACT LOCATION)
	sSW DENOTES PROPOSED STORM WATER MAIN
	eS DENOTES EXISTING SEWER MAIN (CONFIRM EXACT LOCATION)
	S DENOTES PROPOSED SEWER MAIN
	eW DENOTES EXISTING WATER MAIN (CONFIRM EXACT LOCATION)
	W DENOTES PROPOSED WATER MAIN
	eGAS DENOTES EXISTING GAS MAIN (CONFIRM EXACT LOCATION)
	GAS DENOTES PROPOSED GAS MAIN
	eCOM DENOTES EXISTING UNDERGROUND TELECOM / FIBRE OPTIC LINE (CONFIRM EXACT LOCATION)
	cCOM DENOTES PROPOSED UNDERGROUND TELECOM / FIBRE OPTIC LINE (CONFIRM EXACT LOCATION)
	DEMOLITION

12. SITE WORKS SYMBOLS LEGEND

PEB	PEDESTRIAN RAMP
TYPE BK	BARRIER KERB
TYPE KC	KERB AND CHANNEL
TYPE KCS	KERB AND CHANNEL - SMALL
TYPE KCM	MOUNTABLE KERB AND CHANNEL
TYPE KCV	VEHICULAR CROSSING
	BOLLARD, REFER DETAIL
WS1	HUDSON CIVIL PRECAST CONCRETE WHEEL STOP (2000 LONG X 100 HIGH)

13. BUILDING SERVICES SYMBOLS LEGEND

	TELECOMMUNICATION PIT
--	-----------------------

14. SURVEY SYMBOLS LEGEND

e	EXISTING
• 10K	SPOT LEVEL WITH DESCRIPTION
44.320	
+ 44.320	EXISTING SPOT LEVEL

15. DRAINAGE SYMBOLS LEGEND

MHx-SW	STORMWATER MANHOLE
MHx-S	SEWER MANHOLE
GPx-SW	GRATED/GULLY PIT - STORM WATER
GDx-SW	GRATED DRAIN - STORM WATER
SEPx-SW	SIDE ENTRY PIT - STORM WATER
uPVC	UNPLASTICIZED POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE (OR FCR) CLASS 4 (Z)
DN	NOMINAL DIAMETER
CL	COVER LEVEL
IL	INVERT LEVEL
DP	DOWN PIPE
o ID	INSPECTION OPENING
o IDS	INSPECTION OPENING TO SURFACE
■	GRATED PIT

16. WATER RETICULATION SYMBOLS LEGEND

	DN100 METER
	METER
	CHECK METER
	FIRE PLUG
	ISOLATION VALVE
	CHECK VALVE
	STRAINER
	MONITORED VALVE
	BALANCE VALVE
	STOP VALVE
	DN100 LOCKABLE STOP VALVE
	DN100 REFLUX VALVE
	BACK FLOW PREVENTION DEVICE
	PRESSURE REDUCING VALVE
	HOSE BIB COCK
	FIRE HYDRANT
	DUAL HEAD FIRE HYDRANT
	FIRE HOSE REEL

EARTHWORKS

1. GENERAL

GENERAL EARTHWORKS, MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THIS SPECIFICATION AND THE CURRENT EDITION OF THE S.A.A. CODE FOR EARTHWORKS AS 3798 TOGETHER WITH ANY CODES, STANDARDS OR REGULATIONS REFERRED TO THEREIN.

2. INSPECTIONS

THE CONTRACTOR IS TO ENGAGE AN APPROVED GEOTECHNICAL ENGINEER TO CARRY OUT LEVEL 3 TESTING OF ALL EARTH WORKS TO AS 3798, INCLUDING

- SUBGRADE
 - FILLS
 - PAVEMENTS
 - BACKFILLING OF SERVICE TRENCHES
- CERTIFICATION OF THESE ELEMENTS IS TO BE PROVIDED PRIOR TO PRACTICAL COMPLETION

3. AREAS OF FILL

- A. REMOVE TOP SOIL AND ORGANIC MATERIAL
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
 - 98% STANDARD DRY DENSITY UNDER BUILDING
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE
- C. PLACE FILL AS SPECIFIED AND COMPACT WITHIN 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

4. AREAS OF CUT

- A. REMOVE TOP SOIL AND ORGANIC MATERIAL
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
 - 98% STANDARD DRY DENSITY UNDER BUILDINGS
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CAR PARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

SOIL & WATER MANAGEMENT

1. GENERAL

ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM NORTHERN RESOURCE MANAGEMENT (NRM).

2. SOIL EROSION CONTROL

- THE CONTRACTOR TO COMPLETE ALL WORKS IN ACCORDANCE WITH NRM GUIDELINES.
- CONTRACTOR TO ALLOW TO:
 - LIMIT DISTURBANCE WHEN EXACTING BY PRESERVING VEGETATED AREA AS MUCH AS POSSIBLE
 - DIVERT UP-SLOPE WATER WHERE PRACTICAL
 - INSTALL SEDIMENT FENCES DOWN SLOPE OF ALL DISTURBED LANDS TO FILTER LARGE PARTICLES PRIOR TO STORM WATER SYSTEM
 - WASH EQUIPMENT IN DESIGNATED AREA THAT DOES NOT DRAIN TO STORM WATER SYSTEM
 - PLACE STOCK PILES AWAY FROM ON-SITE DRAINAGE & UP-SLOPE FROM SEDIMENT FENCES
 - LEAVE & MAINTAIN VEGETATED FOOT PATH
 - STORE ALL HARD WASTE & LITTER IN A DESIGNATED AREA THAT WILL PREVENT IT FROM BEING BLOWN AWAY & WASHED INTO THE STORM WATER SYSTEM
 - RESTRICT VEHICLE MOVEMENT TO A STABILISED ACCESS

3. NRM GUIDELINES

- CONTRACTOR TO COMPLETE ALL WORKS IN ACCORDANCE WITH NRM SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITE USING THE FACT SHEETS:
- FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES
- FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES
- FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS
- FACT SHEET 4: DISPERSIVE SOILS - HIGH RISK OF TUNNEL EROSION
- FACT SHEET 5: MINIMISE SOIL DISTURBANCE
- FACT SHEET 6: PRESERVE VEGETATION
- FACT SHEET 7: DIVERT UP-SLOPE WATER
- FACT SHEET 8: EROSION CONTROL MATS & BLANKETS
- FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCKPILES
- FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION
- FACT SHEET 11: SCOUR PROTECTION - STORM WATER PIPE OUTFALLS & CHECK DAMS
- FACT SHEET 12: STABILISED SITE ACCESS
- FACT SHEET 13: WHEEL WASH
- FACT SHEET 14: SEDIMENT FENCES & FIBRE ROLLS
- FACT SHEET 15: PROTECTION OF STORM WATER PITS
- FACT SHEET 16: MANAGE CONCRETE, BRICK & TILE CUTTING
- FACT SHEET 17: SEDIMENT BASINS
- FACT SHEET 18: DUST CONTROL
- FACT SHEET 19: SITE RE-VEGETATION

ROAD WORKS

1. GENERAL

ALL WORKS ARE TO BE CARRIED OUT TO THE LOCAL COUNCIL AND D.S.G. STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR.

2. INSPECTIONS

THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT. 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION

- SUBGRADE PREPARATION
- SUB-BASE FOR ROADS, CARPARKS AND KERBS
- BASE COURSE
- FINAL TRIM PRIOR TO PLACING KERBS
- FINAL TRIM PRIOR TO SEALING

3. TESTING

THE CONTRACTOR IS TO BE RESPONSIBLE FOR ORGANISING AND PAYING ALL COSTS ASSOCIATED WITH TESTING IN ACCORDANCE WITH D.S.G. SPEC SECTION 173-EXAMINATION AND TESTING OF MATERIALS AND WORK (ROADWORKS).

4. HOTMIX

ALL HOTMIX IS TO BE BLACK IN COLOUR AND IS TO MEET AND BE PLACED IN ACCORDANCE WITH D.S.G. SPEC SECTION 407-HOT MIX ASPHALT.

5. KERBS

ALL KERBS ARE TO BE AS SHOWN ON THE DRAWINGS AND BE IN ACCORDANCE WITH IPWEA LGAT STANDARD DRAWINGS.

6. ROAD RESERVE WORKS

ALL WORKS IN (OR REQUIRING OCCUPATION) IN THE ROAD RESERVE MUST BE UNDERTAKEN BY CONTRACTOR REGISTERED WITH COUNCIL'S (REGISTERED CONTRACTORS).

7. FOOTPATHS

CONSTRUCT FOOTPATHS INCLUDING EXPANSION / CONTROL / WEAKENED PLANE JOINTS IN ACCORDANCE WITH IPWEA STD DWG TSD-R11-v1

8. LANDSCAPE / STREET FURNITURE

- BOLLARDS, REFER DETAILS / SUPERINTENDENTS SPEC.
- LANDSCAPING & STREET FURNITURE BY CONTRACTOR - U.N.O

STORMWATER

1. GENERAL

ALL WORKS ARE TO BE CARRIED OUT TO THE LOCAL COUNCIL AND DSG STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR. ALL STORM WATER PLUMBING & DRAINAGE TO COMPLY WITH A.S.3508.3:2003 STORM WATER DRAINAGE.

2. TESTING

ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.

3. MANHOLES

MANHOLES ARE TO BE 1050 I.D. U.N.O PRECAST CONCRETE INSTALLED TO LOCAL COUNCIL STANDARDS. ALL MANHOLES IN TRAFFICED AREAS ARE TO BE FITTED WITH HEAVY DUTY GATIC COVERS AND SURROUNDS. ALL MANHOLES ARE TO HAVE A 5 METRE LENGTH OF 75mm AG-PIPE CONNECTED TO THEM AND LAID IN THE UPSTREAM PIPE TRENCH IMMEDIATELY ADJACENT TO AND AT THE INVERT OF THE LOWEST PIPE WORK.

4. SIDE ENTRY PIT (SEP)

- PIT INVERT DEPTHS VARY, REFER SITE PLAN.
- BENCH OUT IN A NEAT AND TIDY MANNER TO ENGINEERS APPROVAL.
- GRATED PIT - GULLY HINGED OR OTHER TYPE APPROVED
- CONCRETE KERB LINTEL - STEEL KERB LINTEL AND 1200 LONG GALV BAR

5. TRENCHING AND BACKFILL

ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DRAWINGS AND THE LOCAL COUNCIL STANDARDS.

6. INSPECTIONS

THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT. 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION.

- PIPEWORK BEDDING
- INSTALLED PIPE PRIOR TO BACKFILLING
- BACKFILLING

7. AS CONSTRUCTED DRAWINGS

THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING 'AS CONSTRUCTED' DRAWINGS TO THE STANDARD REQUIRED BY THE LOCAL COUNCIL. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR. RARE CAN PROVIDE THIS SERVICE, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE AND SHOULD BE AWARE OF THIS WHEN PRICING.

8. TESTING

CONTRACTOR SHALL CAMERA TEST ALL PIPES AND SUBMIT FOOTAGE TO LOCAL COUNCIL FOR APPROVAL.

9. REDUNDANT PIPE WORK

FILL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC.1 - 0.5-2.0 MPa)

SEWERAGE

1. GENERAL

ALL SEWER WORKS TO BE IN ACCORDANCE WITH THE WSA SEWER CODE (WSA 02-2014-3.1 MRWA) AND AS AMENDED BY THE TASWATER SUPPLEMENT. TASWATER APPROVED PRODUCTS ARE CONTAINED ON THE CITY WEST WATER WEBSITE: HTTP://WWW.MRWA.COM.AU/PAGES/PRODUCTS.ASPX ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND TASWATER FIELD SERVICES OFFICER.

2. TESTING

ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.

3. SEWER MAIN CONNECTIONS

ALL NEW LIVE CONNECTIONS TO EXISTING TASWATER SEWER INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO SEWER MAINS / MANHOLES TO BE COMPLETED BY TASWATER (UNLESS PRIOR WRITTEN APPROVAL) AT OWNERS COST. INSTALL PROPERTY SEWER CONNECTIONS (STANDARD OR SLOPED) WITH SURFACE 1.0. NOMINALLY 1.0m WITH EACH NEW LOT IN ACCORDANCE WITH SECTION 5 OF WSA 02-2014-3.1.

4. MANHOLES

MANHOLES ARE TO BE 1050 I.D. PRECAST CONCRETE INSTALLED TO WSA STANDARDS. CONSTRUCT ALL MANHOLES (MH) AND MANHOLE COVERS IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED CODE - WSA 02-2014-3.1 MRWA VERSION 2.0 AND TASWATER'S SUPPLEMENT TO THIS CODE. ALL MANHOLES IN TRAFFICABLE AREAS ARE TO BE FITTED WITH HEAVY DUTY CLASS 9 GATIC COVERS AND SURROUNDS. ALL MANHOLES IN NON-TRAFFICABLE AREAS ARE TO BE FITTED WITH MEDIUM DUTY CLASS 8 GATIC COVERS AND SURROUNDS. BENCHING TO BE FULL DEPTH OF PIPE DIAMETER AS PER DETAILS IN WSA 02-2014-3.1 MRWA VERSION 2.0

5. TRENCHING AND BACKFILL

ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DRAWINGS AND 'TASWATER STANDARDS INCLUDING ELECTROMAGNETIC METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES.

CEMENT STABILISED EMBEDMENT:

FOR SEWER MAINS THE FOLLOWING CHANGES SHOULD BE APPLIED TO THE MRWA SEWERAGE STANDARDS DRAWINGS MRWA-S-202 AND MRWA-S-205 MRWA-S-202

THE REQUIREMENT IDENTIFIED IN THE THIRD DOT POINT FOR TYPE B IN THE NOTES REGARDING TABLE 202-A SHALL BE AMENDED TO READ "WHERE SEWER AT GRADE > 1 IN 10 MRWA-S-205 NOTE C REMAINS VALID "WHEN SOKKED MAINS ARE LAID AT > 1 IN 20 SLOPE IN AREAS THAT ARE LIKELY TO HAVE HIGH GROUND WATER, CEMENT STABILIZED EMBEDMENT SHALL BE USED AS PER MRWA-S-202"

6. INSPECTIONS

THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT (LIAS WITH TASWATER). 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION.

- PIPEWORK BEDDING
- INSTALLED PIPE PRIOR TO BACKFILLING
- BACKFILLING

7. AS CONSTRUCTED DRAWINGS

THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING 'AS INSTALLED' DRAWINGS TO THE STANDARD REQUIRED BY TASWATER. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR. RARE CAN PROVIDE THIS SERVICE, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE AND SHOULD BE AWARE OF THIS WHEN PRICING.

8. TESTING

CONTRACTOR SHALL CCTV ALL PIPES AND SUBMIT FOOTAGE TO TASWATER FOR APPROVAL.

9. REDUNDANT PIPE WORK

FILL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC.1 - 0.5-2.0 MPa)

WATER RETICULATION

1. GENERAL

ALL WATER SUPPLY CONSTRUCTION TO:

- WATER SUPPLY CODE OF AUSTRALIA (WSA 03-2011-3.1 VERSION MRWA EDITION V2.0) - PART 2: CONSTRUCTION
- WATER SERVICES ASSOCIATION OF AUSTRALIA - TASWATER SUPPLEMENT
- TASWATER'S STANDARD DRAWINGS TW-W-0002 SERIES
- WATER METERING POLICY/METERING GUIDELINES
- TASWATER'S STANDARD DRAWINGS TW-W-0003 - FOR PROPERTY SERVICE CONNECTIONS - CAGE FOR WATER METER ASSEMBLY
- BOUNDARY BACKFLOW CONTAINMENT REQUIREMENTS AND ASS500.1:2003.

ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL WATER AUTHORITY WORKS SUPERVISOR.

2. TESTING

ALL WATER RETICULATION WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.

3. FIRE HYDRANTS

FIRE HYDRANTS ARE TO BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS TO ALLOW TO PLACE STANDARD MARKERS AS REQUIRED BY THE LOCAL AUTHORITY.

4. THRUST AND ANCHOR BLOCKS

THRUST AND ANCHOR BLOCKS ARE TO BE PROVIDED AT BENDS, VALVES, HYDRANTS AND LINE ENDS IN ACCORDANCE WITH TASWATER STANDARDS.

5. TRENCHING AND BACKFILL

ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DRAWINGS AND TASWATER STANDARDS INCLUDING ELECTROMAGNETIC METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES.

CEMENT STABILISED EMBEDMENT:

FOR PIPES UP TO 10% GRADE TASWATER WILL ACCEPT THE PREVIOUS REVISION OF MRWA (REV 2), IE. PIPES UP TO 10% GRADE DO NOT REQUIRE CEMENT STABILISED EMBEDMENT UNLESS THE CONDITIONS OF NOTE H APPLY. "WHEN SOKKED MAINS ARE LAID AT >5% SLOPE IN AREAS THAT ARE LIKELY TO HAVE HIGH GROUND WATER, CEMENT STABILISED EMBEDMENT SHALL BE USED."

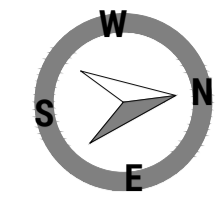
FOR PIPES AT GRADE GREATER THAN 10% MRWA-W-208 REV 3 REMAINS VALID.

THE LATEST VERSION OF MRWA-W-203 (REV 2) EMBEDMENT SHALL BE ADOPTED NOTING THAT THE REQUIREMENT IDENTIFIED IN THE THIRD DOT POINT FOR TYPE B IN THE NOTES REGARDING TABLE 203-A SHALL BE AMENDED TO READ "WHERE WATER MAIN GRADE > 10%".

FURTHER TO THIS IT SHOULD BE NOTED THAT MOST WATER MAINS ARE LIKELY TO REQUIRE A TYPE A EMBEDMENT SYSTEM. THE VARIOUS MATERIALS AVAILABLE FOR THIS SYSTEM ARE IDENTIFIED IN TABLE 203-B

6. INSPECTIONS

THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT. 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION.



LEGEND

	eSW	EXISTING STORM WATER MAIN
	SW	PROPOSED STORM WATER MAIN
	eS	EXISTING SEWER MAIN
	S	PROPOSED SEWER MAIN
	AG	PROPOSED AG DRAIN
		PROPOSED OPEN / SWALE / VEE DRAIN
	eW	EXISTING WATER MAIN
	W	PROPOSED WATER MAIN
	MH-S	SEWER MANHOLE
	MH-SW	STORMWATER MANHOLE
	SEP-SW	SIDE ENTRY PIT
	GPx-SW	GRATED PIT
	GDx-SW	GRATED DRAIN
	eFP	EXISTING FIRE PLUG
	eSV	EXISTING STOP VALVE
	eM	EXISTING WATER METER
	RW-1	190 BLOCK RETAINING WALL - REFER DETAIL

STORMWATER PIPE SCHEDULE

MARK	PIPE SIZE	TYPE	CLASS	GRADE
SW-1	100	uPVC	SN8	-
SW-2	150	uPVC	SN8	-
SW-3	225	BLACKMAX	SN8	-

STORMWATER PIT / MANHOLE SCHEDULE

MARK	SIZE	TYPE	ACCESSORIES
MH1-SW	Ø1050	PRECAST CONC. MANHOLE	CLASS D 'SW' MARKED GATIC LID
GP1-SW	450 SQ.	HEAVY DUTY BLACK PVC GP	CLASS D GALV. GRATE 50MIN SUMP
GP2-SW	600 SQ.	PRECAST CONC. GRATED PIT	CLASS D GALV. GRATE
GD1-SW	100	ACO K100 GRATED DRAIN	CLASS D GALV. GRATE

SEWER PIPE SCHEDULE

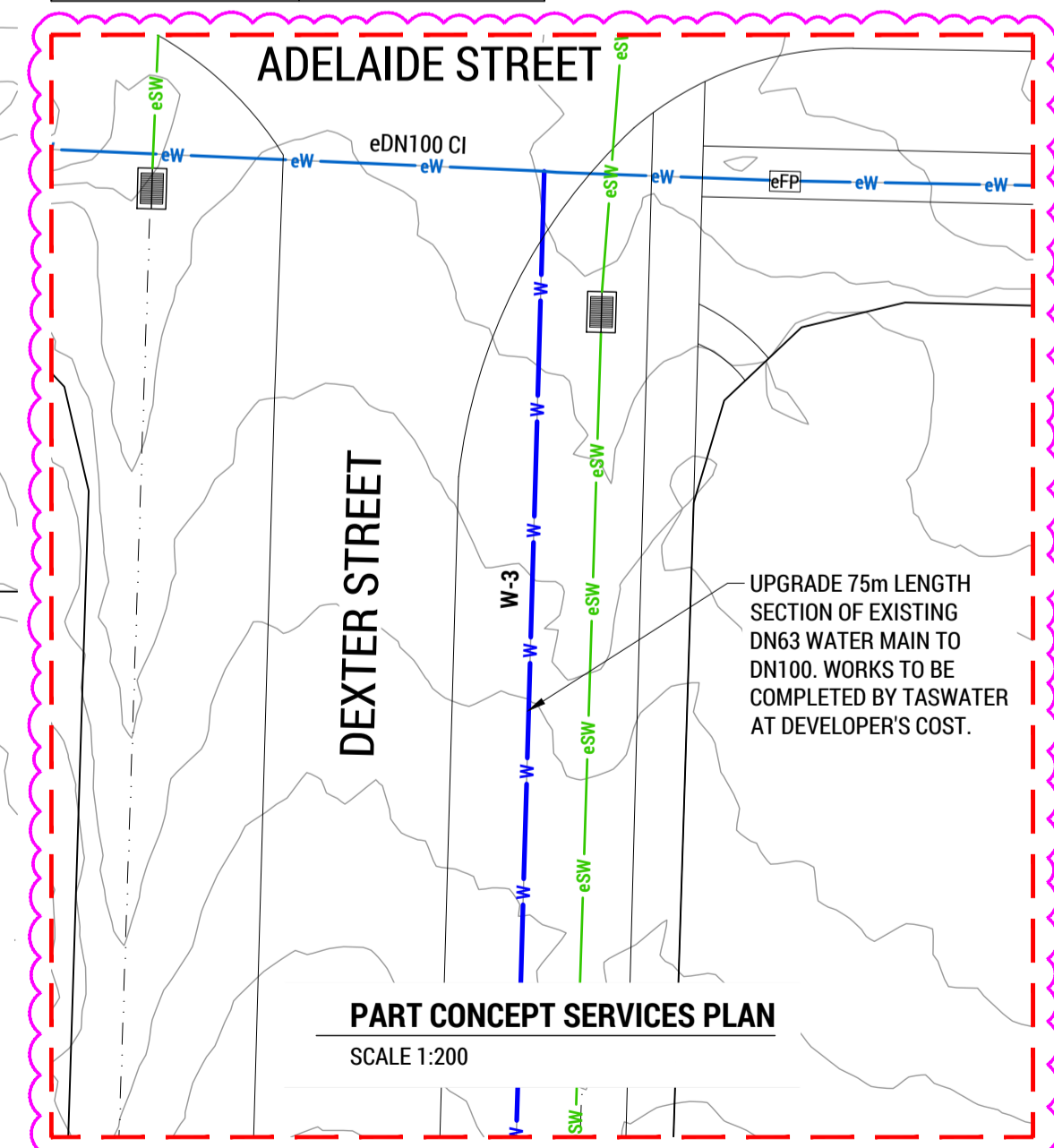
MARK	PIPE SIZE	TYPE	CLASS	GRADE
S-1	100	uPVC	SN6	1.67%

WATER MAIN SCHEDULE

MARK	PIPE SIZE	TYPE
W-1	DN25 (20ID)	POLY PE100 SDR11 PN16
W-2	DN40 (32ID)	POLY PE100 SDR11 PN16
W-3	DN100	PVC-O PN16

IMPERVIOUS SURFACES SCHEDULE

ROOF AREA	1,194 m ²
HARDSTAND (DRIVEWAYS/PATHS)	978 m ²
TOTAL SITE AREA	3,418 m ²
% IMPERVIOUS	63.5%



NO	ISSUED FOR / DESCRIPTION	BY	DATE
1	TASWATER RAI	JWS	08-09-21
0	DEVELOPMENT APPROVAL	JWS	12-08-21

STATUS: **CONTROLLED DOCUMENT**

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DESIGN CHK: RJ
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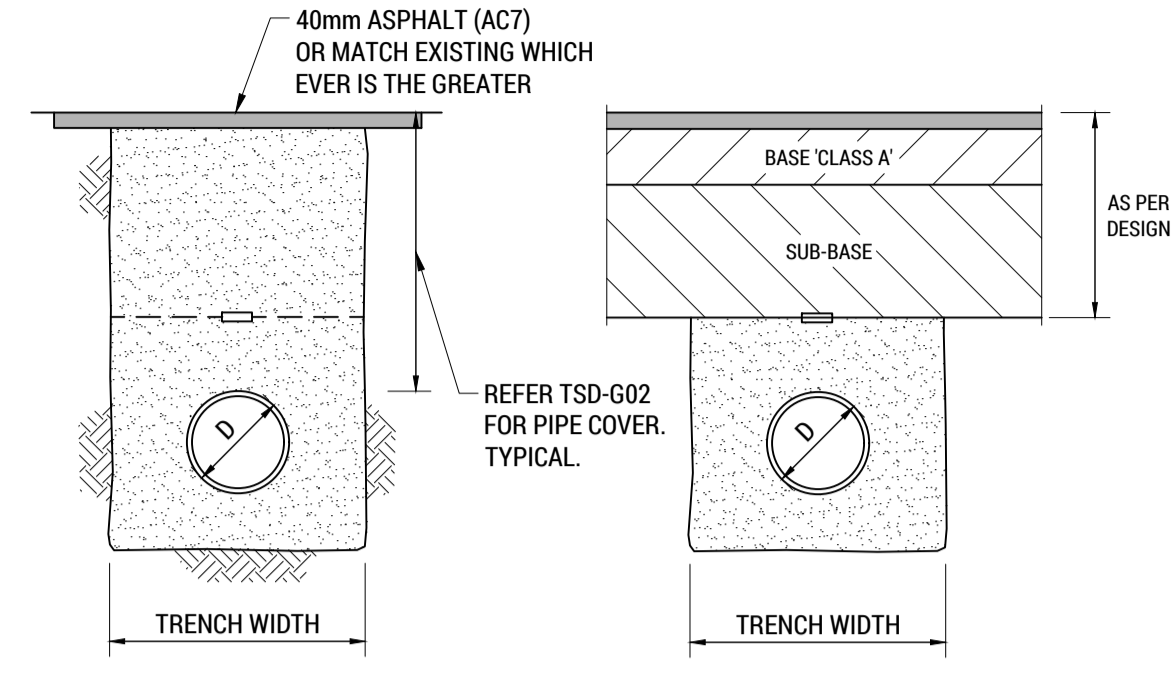
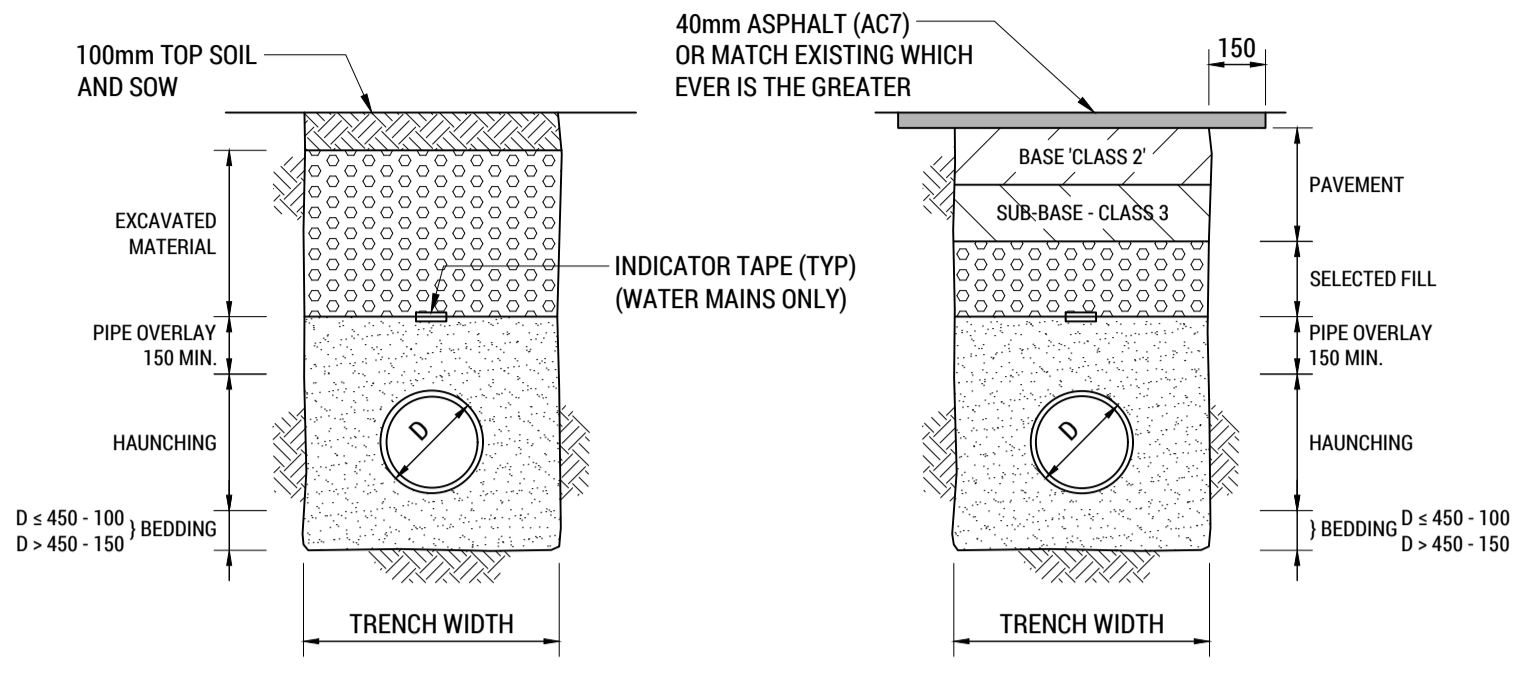
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PROJECT: UNIT DEVELOPMENT
ADDRESS: 137 DEXTER ST
WESTBURY

TITLE: CONCEPT SERVICES PLAN
SCALE: 1:200 SHEET SIZE: A1 DWGS IN SET: -
PROJECT No: 224002 DWG No: CP501 REV: 1



TRENCH WIDTH		
PIPE TYPE	NOM. DIA (D)	TRENCH WIDTH
CONCRETE	≤ 1500	D + 300
	> 1500	DESIGN REQ.
OTHER PIPES	100	300
	150	450
	225-300	600
	450	750
	450-1500	D + 600
> 1500	DESIGN REQ.	

MINIMUM TRENCH WIDTHS MAY BE VARIED ABOVE THE PIPE OVERLAY ZONE TO MEET WORKPLACE STANDARDS REQUIREMENTS. IN EXCAVATIONS OVER 1.5m MAY REQUIRE RISK ASSESSMENT.

COMPACTION OF BEDDING, HAUNCHING & OVERLAY REFER TO AS 1289:5.5

CONCRETE PIPES = MN. DENSITY INDEX = 60% (85% STD. COMPACTION)

uPVC PIPES = DENSITY INDEX = 65% (90% STD. COMPACTION)

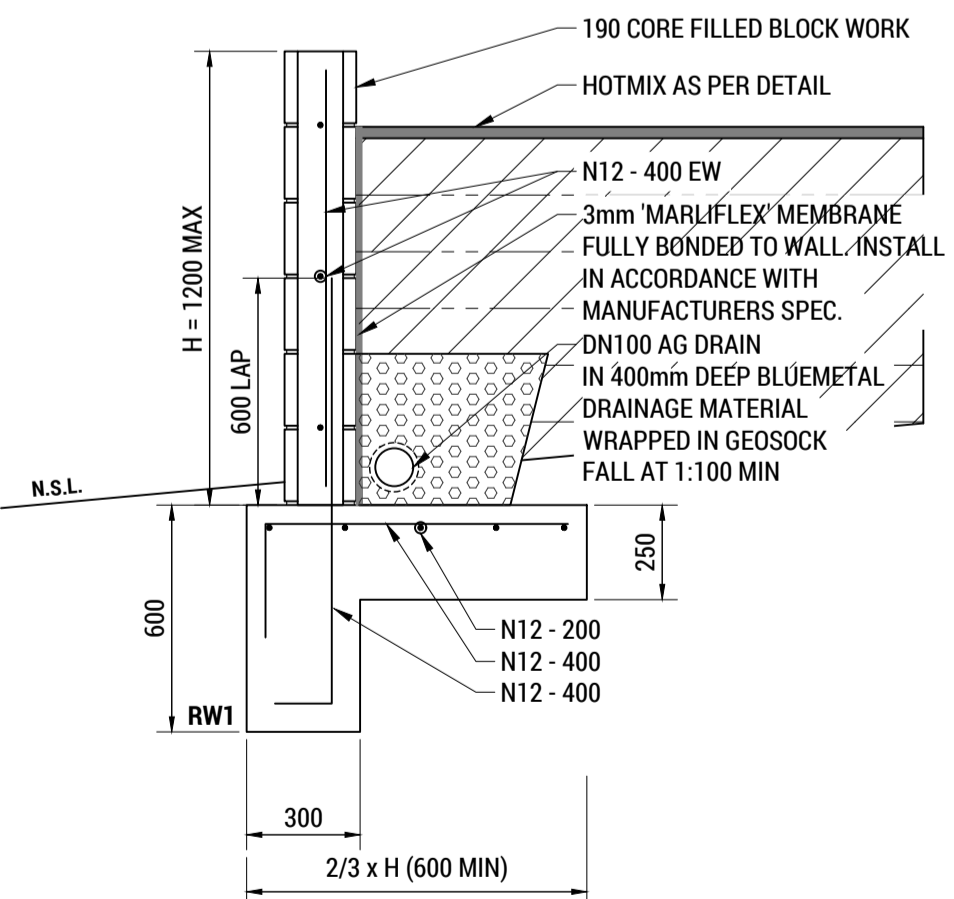
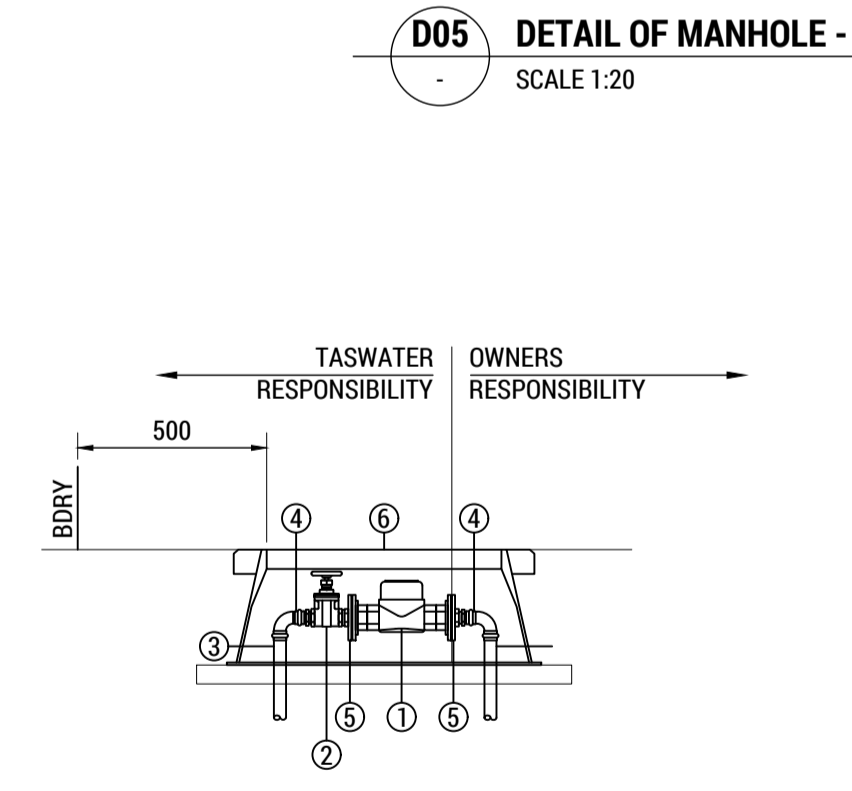
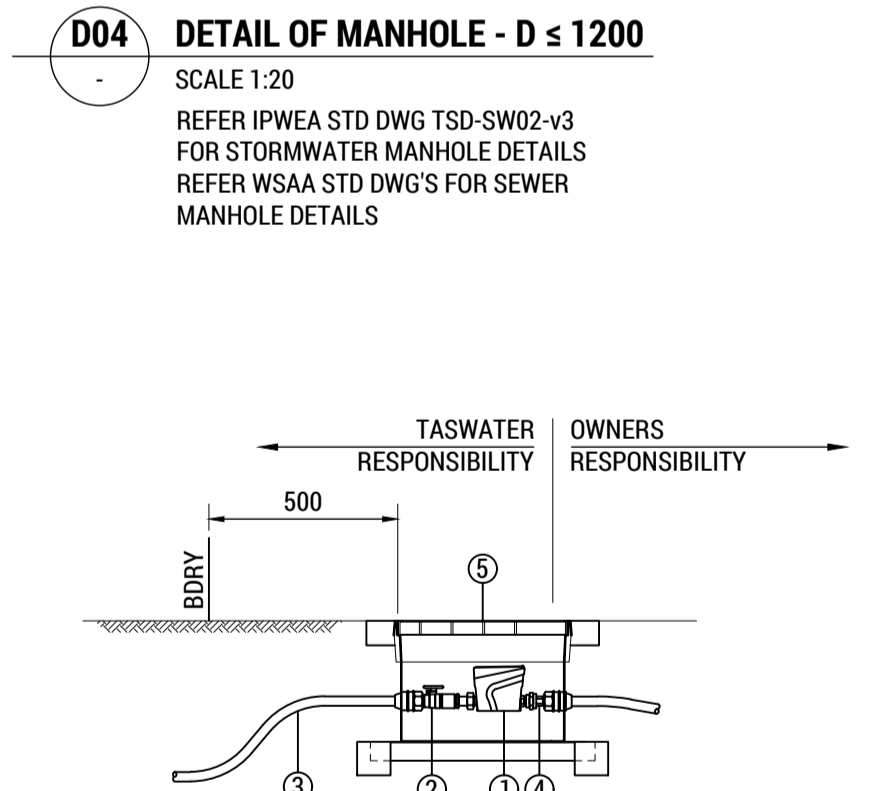
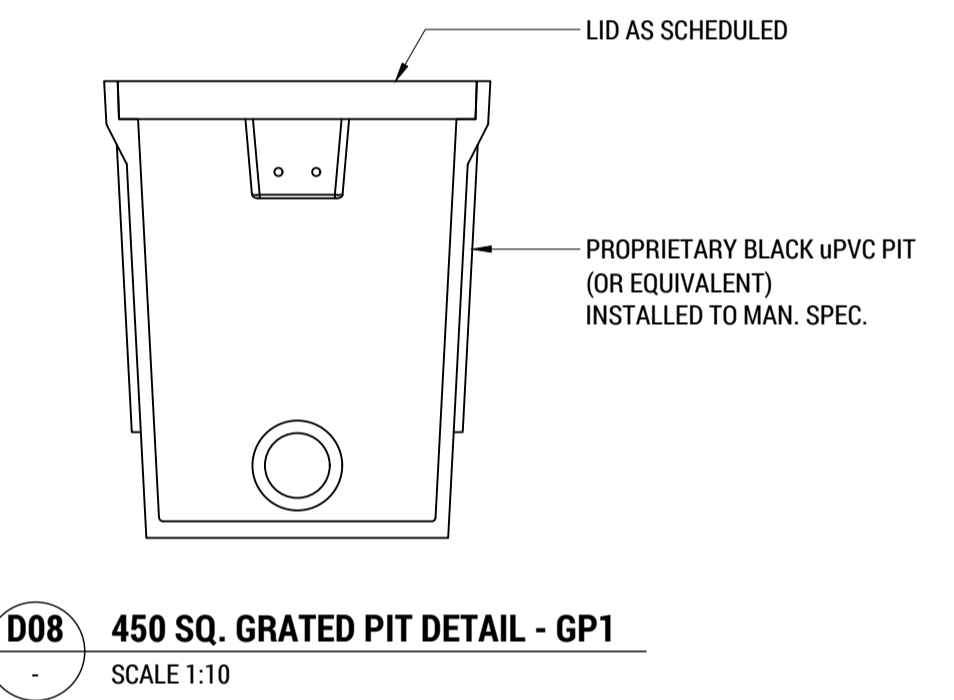
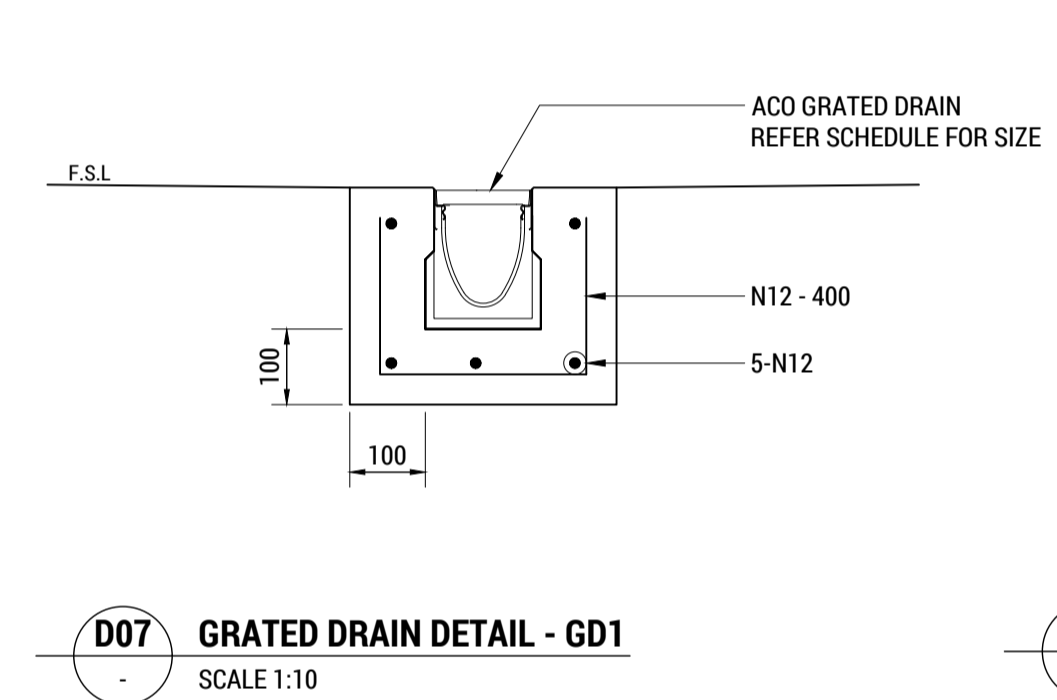
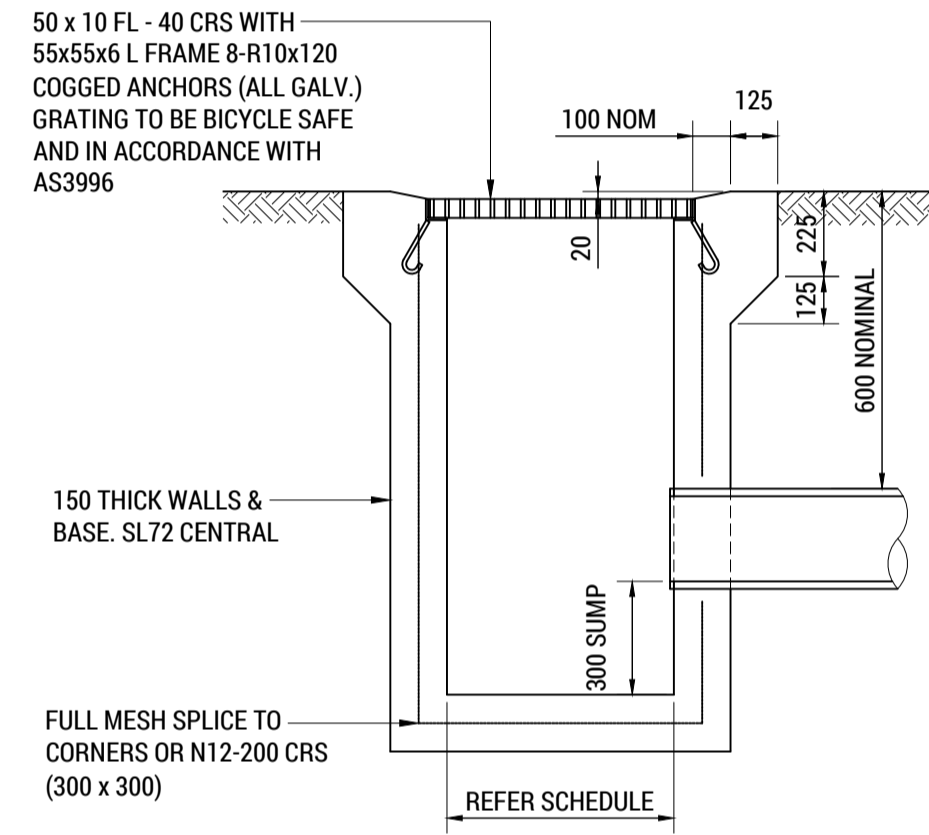
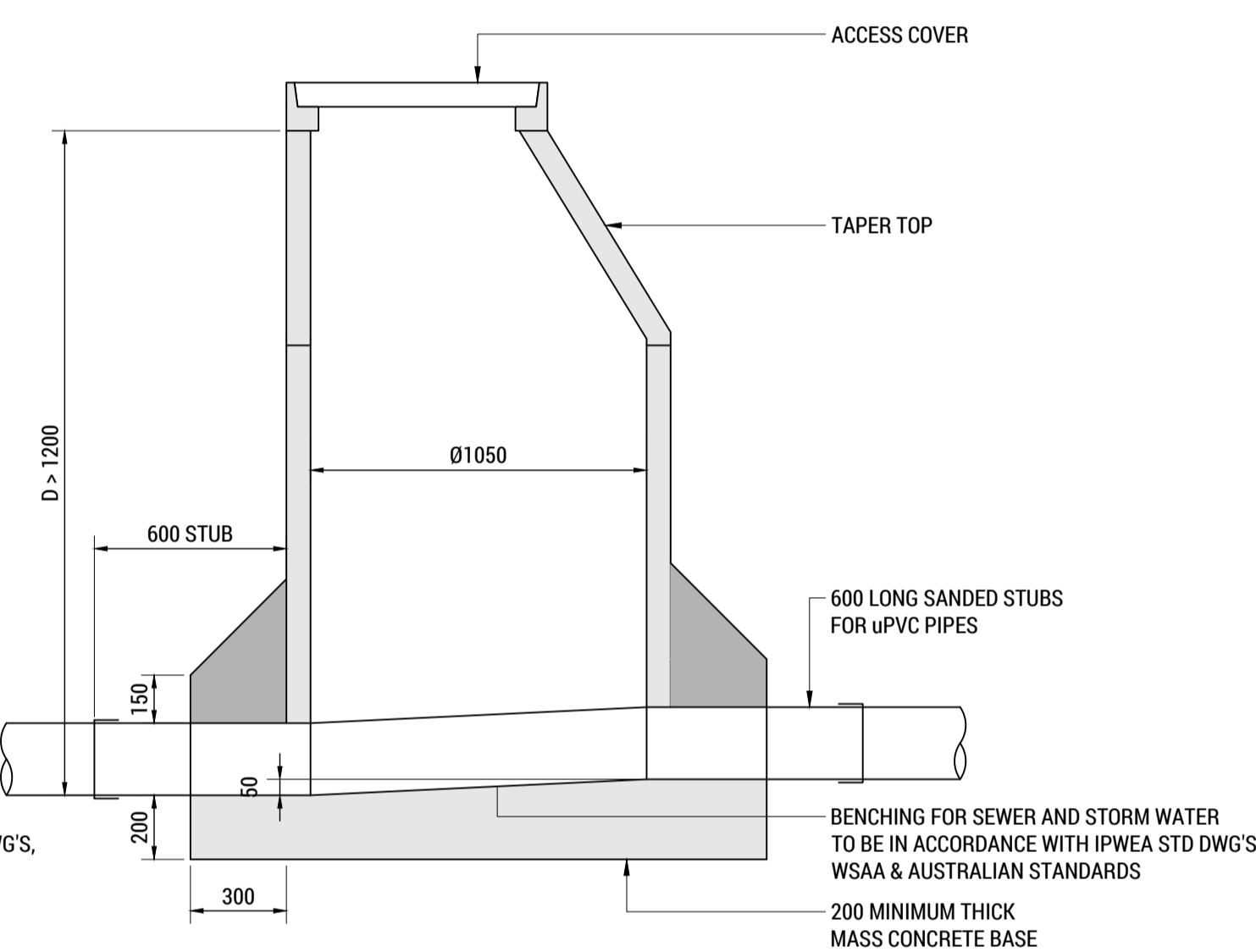
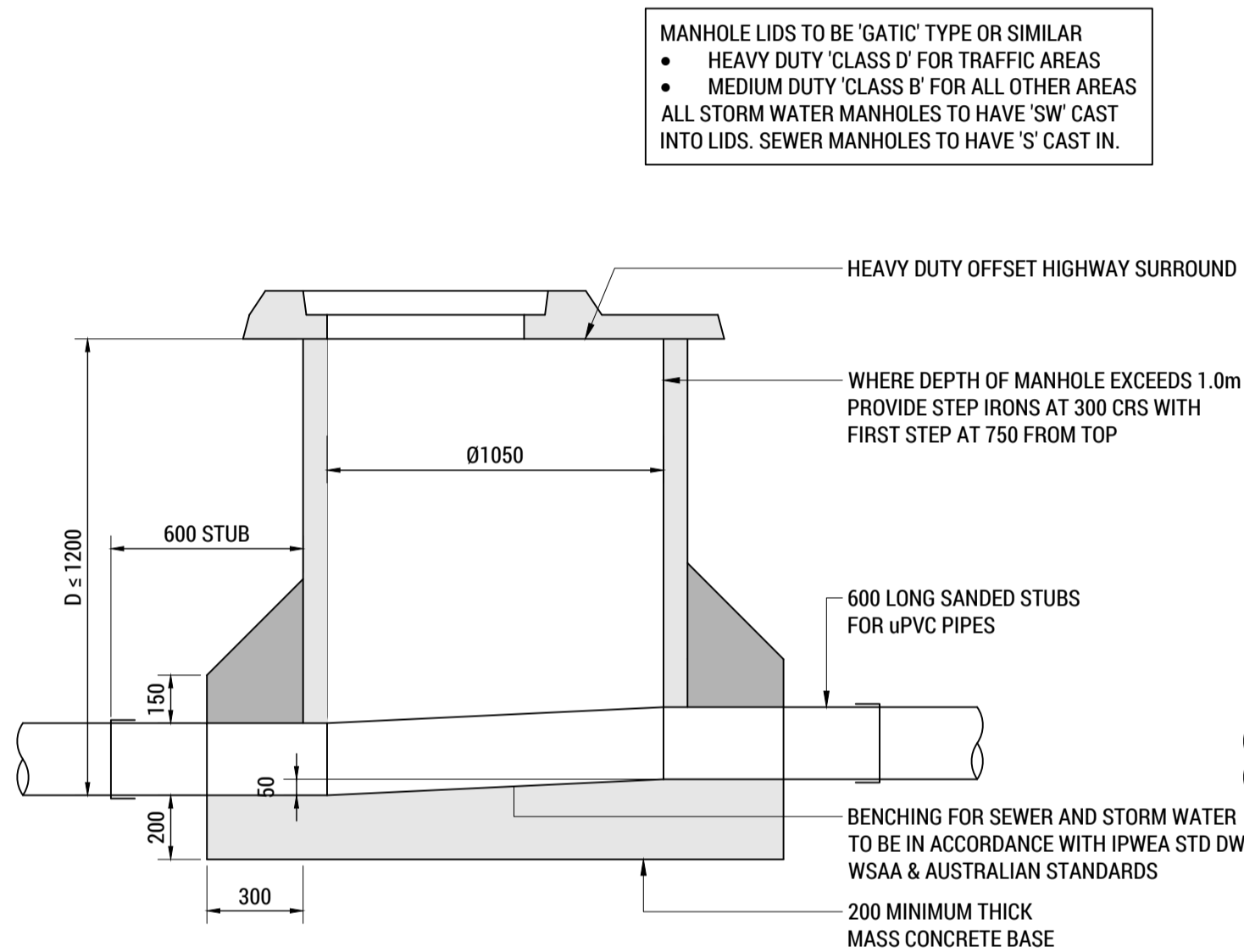
DIGL PIPES = DENSITY INDEX = 65% (90% STD. COMPACTION)

BEDDING, HAUNCHING AND OVERLAY MATERIAL SHALL CONTAIN NO DELETERIOUS MATERIAL OR CLAY LUMPS AND SHALL COMPLY WITH THE FOLLOWING GRADINGS:

FOR uPVC AND DUCTILE IRON PIPES SAND OR CRUSHED ROCK (STONE DUST)	
SIEVE APERTURE (mm)	% PASSING (BY MASS)
TO AS 1152	
6.7	100
2.36	70-100
0.6	20-90
0.3	8-50
0.15	0-20
0.075	0-10

FOR CONCRETE PIPES CRUSHED ROCK	
SIEVE APERTURE (mm)	% PASSING (BY MASS)
TO AS 1152	
19	100
2.36	50-100
0.6	20-90
0.3	10-60
0.15	0-25
0.075	0-10

ALL MATERIAL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH AS 3725 AND TO THE SATISFACTION OF THE SUPERINTENDENT.



EQUIPMENT SCHEDULE (PER UNIT)	
ITEM	DESCRIPTION
1	32mm 'SENSUS' WATER METER WITH DUAL CHECK VALVE - SUPPLIED BY TASWATER
2	20mm BALL VALVE - W/WRK LOCKABLE QUARTER TURN BRASS OZR. RESILIENT SEATED WITH EXTENDABLE NUT AND TAIL - SUPPLIED BY TASWATER
3	20mm PIPE AND FITTINGS (PN. 16 MINIMUM) - REFER SCHEDULE
4	20mm BRASS NUT & TAIL - SUPPLIED BY TASWATER
5	METER BOX - REFER TASWATER STD DWG TWS-W-0002 SH02 FOR METER BOXES IN NON-TRAFFICABLE / FOOTPATH AND PAVED AREAS (CLASS B) & TRAFFICABLE AREAS

EQUIPMENT SCHEDULE (PER UNIT)	
ITEM	DESCRIPTION
1	32mm 'SENSUS' IPERL WATER METER WITH DUAL CHECK VALVE - SUPPLIED BY TASWATER
2	32mm GATE VALVE - AVK OR SIMILAR - SUPPLIED BY TASWATER
3	32mm PIPE AND FITTINGS (PN. 16 MINIMUM) - REFER SCHEDULE
4	B PRESS FITTINGS OR SIMILAR
5	32mm BSP TO TABLE FLANGE ADAPTOR
6	METER BOX - REFER TASWATER STD DWG TWS-W-0002 SH02 FOR METER BOXES IN NON-TRAFFICABLE / FOOTPATH AND PAVED AREAS (CLASS B) & TRAFFICABLE AREAS

D09 TYPICAL 20mm PROPERTY CONNECTION DETAIL
SCALE 1:20

D09 TYPICAL 32mm PROPERTY CONNECTION DETAIL
SCALE 1:20

D10 RETAINING WALL 'RW1' DETAIL
SCALE 1:20

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REV: ISSUED FOR / DESCRIPTION:	BY: DATE:	APPROVED: R. JESSON	ACRED. No: CC58481	DATE: 12-08-21



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Drawing Transmittal



Project No. **224002**
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Project Division:	Civil
Project Leader:	Rod Jesson

Day:	12	08												
Month:	08	09												
Year:	21	21												

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C000	Civil Notes	0	0											
CP501	Concept Services Plan	0	1											
CP701	Sections & Details	0	0											





137 DEXTER STREET, WESTBURY

UNIT DEVELOPMENT

TRAFFIC IMPACT ASSESSMENT

AUGUST 2021





137 Dexter Street, Westbury Unit Development

TRAFFIC IMPACT ASSESSMENT

- Final
- August 2021

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Document history and status

Revision	Date issued	Reviewed by	Approved by	Date approved	Revision type
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1. Introduction

1.1 Background

This TIA reviews the proposed 7 lot stratum subdivision of 137 Dexter Street, Westbury with 3*3-bedroom dwellings and 4*2-bedroom dwellings. The review considers the adjacent road network, road safety, parking requirements and impact of traffic due to the proposal.

This Traffic Impact Assessment (TIA) should be submitted with the development application for the proposal and has been prepared based on Department of State Growth guidelines and provides details as follows:

- Anticipated additional traffic and pedestrian movements
- The significance of the impact of these movements on the existing road network
- Any changes required to accommodate the additional traffic

1.2 Objectives

A traffic impact assessment is a means for assisting in the planning and design of sustainable development proposals that consider:

- Safety and capacity
- Equity and social justice
- Economic efficiency and the environment and
- Future development with traffic projections for 10 years

1.3 Scope of Traffic Impact Assessment (TIA)

This TIA considers in detail the impact of the proposal on Dexter Street between the William and Adelaide Street intersections.

1.4 References

- AS 1742.1 – 2014 – General introduction and index of signs
- AS /NZS 2890.1- 2004 – Off-street carparking
- RTA Guide to Traffic Generating Developments – 2002
- ITE Parking Generation Rates - 4th Edition 2010
- Tasmanian Planning Scheme 2021 - Meander Valley
- Austroads Guidelines
 - Road Design Part 4A: Unsignalised & Signalised Intersections 2021
 - Traffic Management Part 6: Intersections, Interchanges & Crossings 2020.



1.5 Statement of Qualifications and Experience

This TIA has been prepared by Richard Burk, an experienced and qualified traffic engineer in accordance with the requirements of the Department of State Growth's guidelines and Council's requirements.

Richard Burk is an experienced and qualified traffic engineer with:

- 34 years professional experience in road and traffic engineering industry
 - Director Traffic and Civil Service Pty Ltd since May 2017.
 - Manager Traffic Engineering at the Department of State Growth until May 2017.
 - Previous National committee membership with Austroads Traffic Management Working Group and State Road Authorities Pavement Marking Working Group
- Certified Professional Engineer with Engineers Australia
- Master of Traffic, Monash University, 2004
- Post Graduate Diploma in Management, Deakin University, 1995
- Bachelor of Civil Engineering, University of Tasmania, 1987

A handwritten signature in blue ink, appearing to read 'R Burk', is placed above the printed name of the signatory.

Richard Burk

BE (Civil) M Traffic Dip Man. MIE Aust CPEng

Director Traffic and Civil Services Pty Ltd



1.6 Glossary of Terms

AADT	Annual Average Daily Traffic - The total number of vehicles travelling in both directions passing a point in a year divided by the number of days in a year.
Acceleration Lane	An auxiliary lane used to allow vehicles to increase speed without interfering with the main traffic stream. It is often used on the departure side of intersections.
Access	The driveway by which vehicles and/or pedestrians enter and/or leave the property adjacent to a road.
ADT	Average Daily Traffic – The average 24-hour volume being the total number of vehicles travelling in both directions passing a point in a stated period divided by the stated number of days in that period.
Austroads	The Association of Australian and New Zealand road transport and traffic authorities and includes the Australian Local Government Association.
Delay	The additional travel time experienced by a vehicle or pedestrian with reference to a base travel time (e.g. the free flow travel time).
DSG	Department of State Growth – The Tasmanian Government Department which manages the State Road Network.
GFA	Gross Floor Area
Intersection Kerb	The place at which two or more roads meet or cross. A raised border of rigid material formed at the edge of a carriageway, pavement or bridge.
km/h	Kilometres per hour
Level of Service	An index of the operational performance of traffic on a given traffic lane, carriageway or road when accommodating various traffic volumes under different combinations of operating conditions. It is usually defined in terms of the convenience of travel and safety performance.
m	Metres
Median	A strip of road, not normally intended for use by traffic, which separates carriageways for traffic in opposite directions. Usually formed by painted lines, kerbed and paved areas grassed areas, etc.
Movement	A stream of vehicles that enters from the same approach and departs from the same exit (i.e. with the same origin and destination).
Phase	The part of a signal cycle during which one or more movements receive right-of-way subject to resolution of any vehicle or pedestrian conflicts by priority rules. A phase is identified by at least one movement gaining right-of-way at the start of it and at least one movement losing right-of-way at the end of it.



Sight Distance	The distance, measured along the road over which visibility occurs between a driver and an object or between two drivers at specific heights above the carriageway in their lane of travel.
Signal Phasing	Sequential arrangement of separately controlled groups of vehicle and pedestrian movements within a signal cycle to allow all vehicle and pedestrian movements to proceed.
SISD	Safe Intersection Sight Distance – The sight distance provides sufficient distance for a driver of a vehicle on the major road to observe a vehicle on a minor road approach moving into a collision situation and to decelerate to a stop before reaching the collision point.
Speed	Distance travelled per unit time.
85th Percentile	The speed at which 85% of car drivers will travel slower and 15% will travel faster. A control method that allows a variable sequence and variable duration of signal displays depending on vehicle and pedestrian traffic demands.
Traffic-actuated Control	A control method that allows a variable sequence and variable duration of signal displays depending on vehicle and pedestrian traffic demands.
Traffic Growth Factor	A factor used to estimate the percentage annual increase in traffic volume.
Trip	A one-way vehicular movement from one point to another excluding the return journey. Therefore, a vehicle entering and leaving a land use is counted as two trips. (RTA Guide to Traffic generating Developments).
Turning Movement	The number of vehicles observed to make a particular turning movement (left or right turn, or through movement) at an intersection over a specified period.
Turning Movement Count	A traffic count at an intersection during which all turning movements are recorded.
Vehicle Actuated Traffic Signals	Traffic signals in which the phasing varies in accordance with the detected presence of vehicles on the signal approaches.
vpd	vehicles per day – The number of vehicles travelling in both directions passing a point during a day from midnight to midnight.
vph	vehicles per hour – The number of vehicles travelling in both directions passing a point during an hour.

1.7 Site Specific Glossary of Terms

MVC	Meander Valley Council
SSA	Safe System Assessment
MVSR	Meander Valley Secondary Road



2. Site Description

The proposed development site at 137 Dexter Street is located on the Northern side of Dexter Street East of the William Street intersection, as shown in figure 1 and figure 2. The topography is flat and within an urban residential setting.

Figure 1 - Location of proposed development

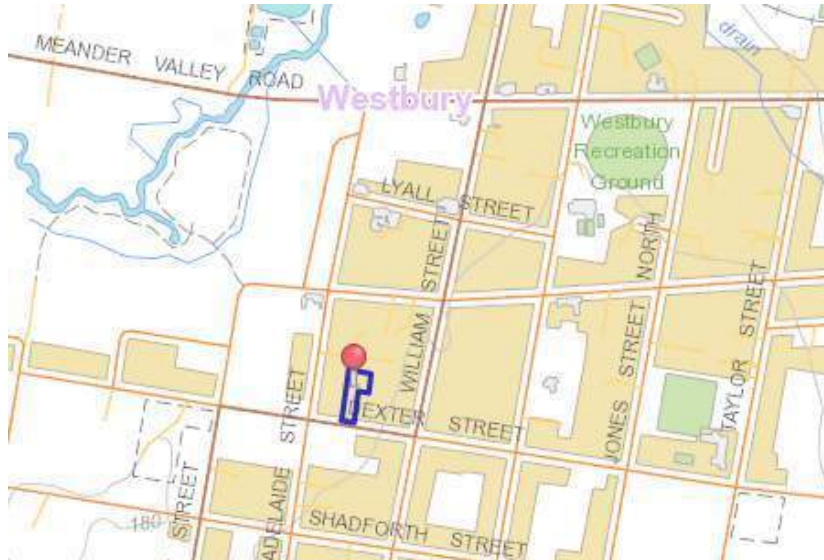


Figure 2 – Development site – 137 Dexter Street



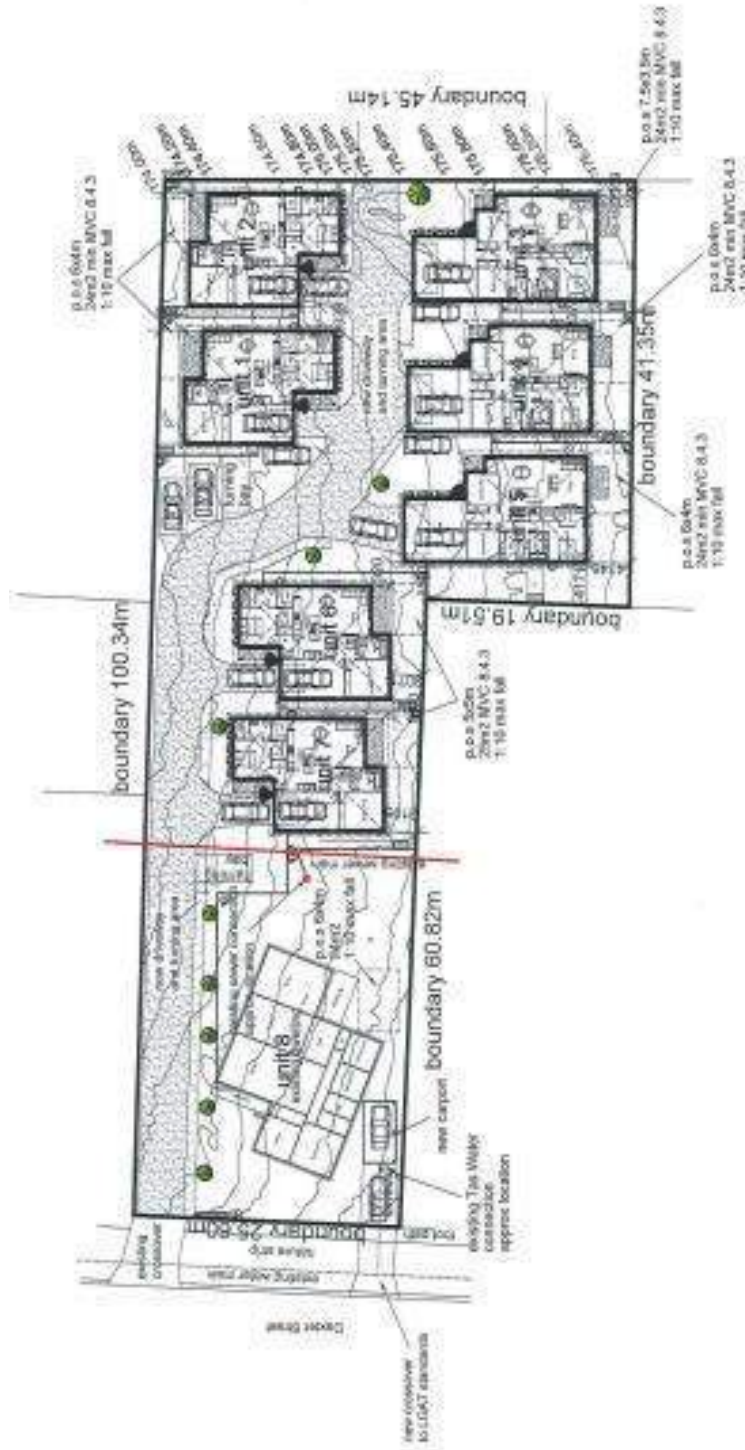


3. Proposal, Planning Scheme and Road Owner objectives

3.1 Description of Proposed Development

The proposal is to develop 137 Dexter Street with 7 residential units and retain the existing house, see figure 3. Floor plans are attached in Appendix A.

Figure 3 – Proposed site layout

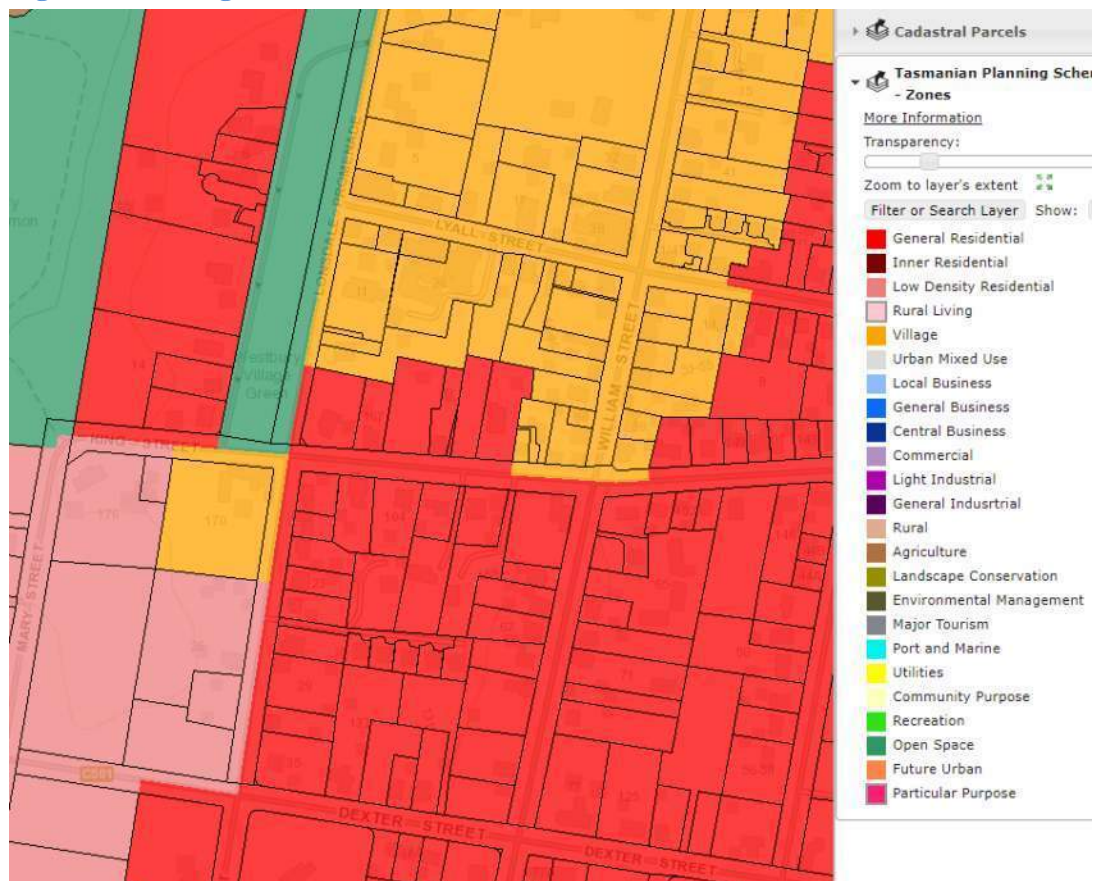




3.2 Council Planning Scheme

The proposed development involves land currently zoned in accordance with the Tasmanian Planning Scheme 2021 – Meander Valley, see Figure 4.

Figure 4 – Zoning for 137 Dexter Street is General Residential



3.3 Local Road Network Objectives

The Meander Valley Community Strategic Plan 2014-2024 is a ten-year plan that outlines the future strategic directions for the Meander Valley Council including future direction for planned infrastructure services. Strategic infrastructure and transport network outcomes contained in the plan include:

- The future of Meander Valley infrastructure assets is assured through affordable planned maintenance and renewal strategies.
- The Meander Valley transport network meets the present and future needs of the community and business.



4. Existing Conditions

4.1 Transport Network

The adjacent road network consists of council roads including William, Dexter and Adelaide Streets as well as Meander Valley Secondary Road (MVSR) which is a state road.

4.1.1 Meander Valley Secondary Road

MVSR is a Category 5 – Other Road in the State Road Hierarchy and part of Tasmania’s 26m B Double network East of William Street. There is a posted speed limit of 50km/h between Jones Street North and William Street. The road is wide, in good condition, well delineated and has street lighting. Footpaths and on street parking are available both sides of the road.

4.1.2 William Street

William Street to the west of the proposed development is a two-lane two-way council collector road that connects Dexter Street to MVSR and the Bass Highway. The speed limit is 50km/h and the seal width is 7.5m at the Dexter Street intersection. There is footpath on the eastern side of the road.

4.1.3 Dexter Street

Dexter Street is a local access road with a posted 50km/h speed limit, see figure 5. The road has a 6.5m wide seal and there is a shallow roadside drain on the Northern side. The road is in reasonable condition and delineation is provided with some guideposts and streetlighting. There is a footpath on the Northern side of the road.

Figure 5 – Dexter Street speed limit 50km/h





4.1.4 137 Dexter Street

The existing access to 137 Dexter Street is sealed and fit for use as the driveway entrance to the proposed 7 units at the rear of the property. Figure 6 – 12 show the nature of the access.

Figure 6 – Elevation view of access to 137 Dexter Street



Figure 7 – Looking left along Dexter Street from proposed access



Sight distance left is 140m.

Figure 8 – Looking right along Dexter Street from proposed access



Sight distance right is 150m.



Figure 9 –Dexter Street Western approach to 137 Dexter Street access



Figure 10 – Dexter Street Western approach to 137 Dexter Street access



Figure 11 – Dexter Street Eastern approach to 137 Dexter Street access





Figure 12 – Dexter Street Eastern approach at 137 Dexter Street access



4.2 Traffic Activity

A traffic turning count survey was taken at the Dexter/ William Street intersection on Monday 20th July 2020, from 2:30 to 3:00 PM. See Appendix B for the raw data which has been used to estimate peak and daily traffic activity as follows:

- William Street (North of Dexter Street): 66vph and 700vpd
- Dexter Street (West of William Street): 15vph and 150vpd

4.3 Crash History

The Department of State Growth is supplied with reported crashes by Tasmania Police. The Department maintains a crash database from the crash reports which is used to monitor road safety, identify problem areas and develop improvement schemes. The 5-year reported crash history for Dexter Street records 1 Property Damage Only crash at the Dexter / Adelaide Street intersection. See figure 13 and 14 for crash data summary. The reported 5-year crash history provides no evidence of a crash propensity.

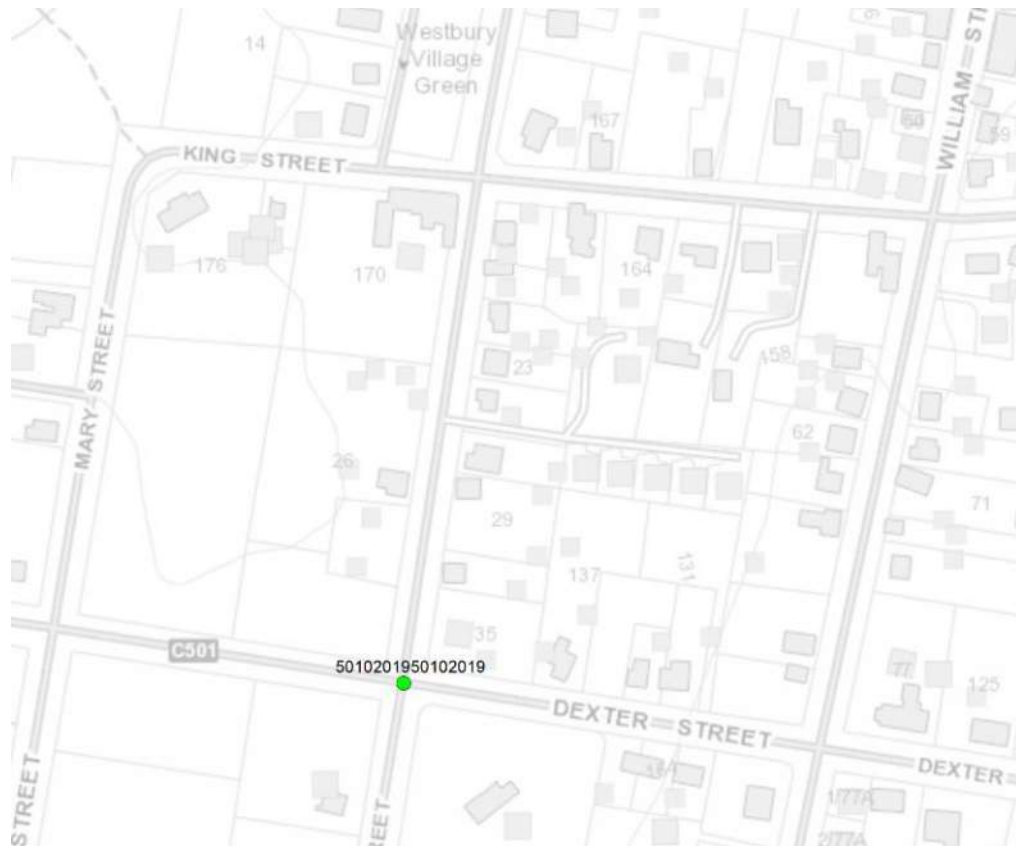
Figure 13 – Dexter Street (Adelaide - William St) 5 Year reported crash history

Crash ID	Description	Date	Time	Severity	Light	Location	Units
50102019	110 - Cross traffic	19-Jun-2019	17:25	PDO	Night	Adelaide / Dexter St. intersection	LV & LV

LV | Light Vehicle



Figure 14 – Dexter Street (Adelaide - William St) 5 Year reported crash locations



4.4 Services

There do not appear to be any services that would be disaffected by the proposed vehicular access to the development site. There is no need for additional street lighting or roadside furniture.

4.5 Road Safety Review

From inspection of Dexter Street (William Street to Adelaide Street) there does not appear to be any specific road safety deficiencies for road users in the vicinity of the proposal. The Dexter Street cross section is suitable for the proposed access.



4.6 Austroads Safe System Assessment

Dexter Street (William Street to Adelaide Street) has been assessed in accordance with the Austroads Safe System assessment framework. This framework involves consideration of exposure, likelihood and severity to yield a risk framework score. High risk crash types and vulnerable road user crash types are assessed for each site and aggregated to provide an overall crash risk. Crash risk is considered in terms of three components:

- Exposure (is low where low numbers of through and turning traffic) i.e. 1 out of 4
- Likelihood (is low where the infrastructure standard is high) i.e. 1 out of 4
- Severity (is low where the speed environment is low) i.e. 1 out of 4

The Austroads Safe System Assessment process enables the relative crash risk of an intersection or road link to be assessed. Vulnerable Road users are considered along with the most common crash types.

The crash risk score is an indication of how well the infrastructure satisfies the *safe system objective which is for a forgiving road system where crashes do not result in death or serious injury*.

From safe system assessment, Dexter Street link has been determined to be well aligned with the safe system objective with a crash risk score of 33/448, see figures 15 and 16.

Figure 15 – Austroads Safe System Assessment alignment between crash score and risk





Figure 16 – Dexter Street Safe System Assessment

Existing situation - Dexter Street (William - Adelaide St)

Safe System Assessment

Exposure	Run-off-road	Head-on	Intersection	Other	Pedestrian	Cyclist	Motorcyclist
Justification (AADT 150vpd)	Low traffic , no run off road crashes	Low traffic , no head on crashes	Low traffic volume on major road (700vpd) and on minor road (150vpd), 1 property damage only crash at Adelaide Street intersection.	Low traffic	Low pedestrian activity	Low cyclist activity	Low motorcyclist activity
Score / 4	1	1	1	1	2	1	1
Likelihood	6.4m wide sealed straight road, few roadside hazards, good sight distance	6.4m wide sealed straight road, few roadside hazards, good sight distance	Cross intersection with simple layout, line marked and signed.	6.4m wide sealed straight road, few roadside hazards, good sight distance	Footpath North side of road.	No bicycle lanes	Good surface condition
Justification							
Score / 4	1	2	3	1	1	1	1
Severity	low speed environment (50km/h)	low speed environment (50km/h)	low speed environment (50km/h)	low speed environment (50km/h)	Medium - high (50km/h)	Medium - high (50km/h)	Medium - high (50km/h)
Justification (50km/h speed limit)							
Score / 4	1	1	1	1	3	3	3
Total Score /64	1	2	3	1	6	3	3
Product							Total /448
							19




4.7 Sight Distance Review

Sight distance available and requirements are summarised in figure 17.

Figure 17 – Sight Distance Summary

Junction Major Rd - Minor Rd	Speed Limit (km/h)	Speed Environment (km/h)	Road frontage sight distance		
			Table E4.7.4 SISD (m)	Available	
				Left(m)	Right(m)
William - Dexter	50	50	80	150	200
Existing access to #137 Dexter	50	40	80	140	150
Proposed access to #137 Dexter	50	40	80	120	150

 Compliant

4.8 Access Standard

In keeping with the access standard in Dexter Street, see figures 6 and 9, access works should comply with LGAT Standard Drawing TSD-R03-v1 which is accessible online at.

https://www.lgat.tas.gov.au/_data/assets/pdf_file/0027/813735/Tasmanian-Municipal-Standards-Drawings-v3-December-20202.pdf

This is a rural standard access but in keeping with the road standard and adjacent property access standard along Dexter Street.

For the access to the proposed units at 137 Dexter Street widening of the existing sealed driveway width from 4.1m to 4.5m is required only.

For the access to the existing dwelling at 137 Dexter Street a new access is required with:

- 3.6m wide sealed access consistent with TSD-R03-v1
- stormwater management similar to the existing driveway to 137 Dexter Street i.e without a driveway culvert and endwalls.



5. Traffic Generation and Assignment

This section of the report describes how traffic generated by the proposal is distributed within the adjacent road network now and in ten years (2030).

5.1 Traffic Growth

The rate of background traffic growth on Dexter Street for projection purposes is assumed to be 0.5 % to allow for future infill development:

- AADT (2021) 150 vpd
- AADT (2031) 160vpd

5.2 Trip Generation

The applicable traffic generation rates for the proposal are as follows for medium density residential buildings:

- Up to 2 bedrooms: 4-5vpd and 0.4 - 0.5vph
- 2 or more bedrooms: 5-6.5vpd and 0.5-0.65vph
- 3-bedroom dwelling: 9vpd and 0.85vph

The proposal has 4*2-bedroom , 3*3-bedroom units and a 3-bedroom dwelling. Accordingly, once fully developed by 2031 the proposal is estimated to generate:

- 45vpd & 4vph

This is consistent with Traffic Generation Rates for Key Land Uses sourced from the RTA Guide to Traffic Generating Developments under section 1.4 References.

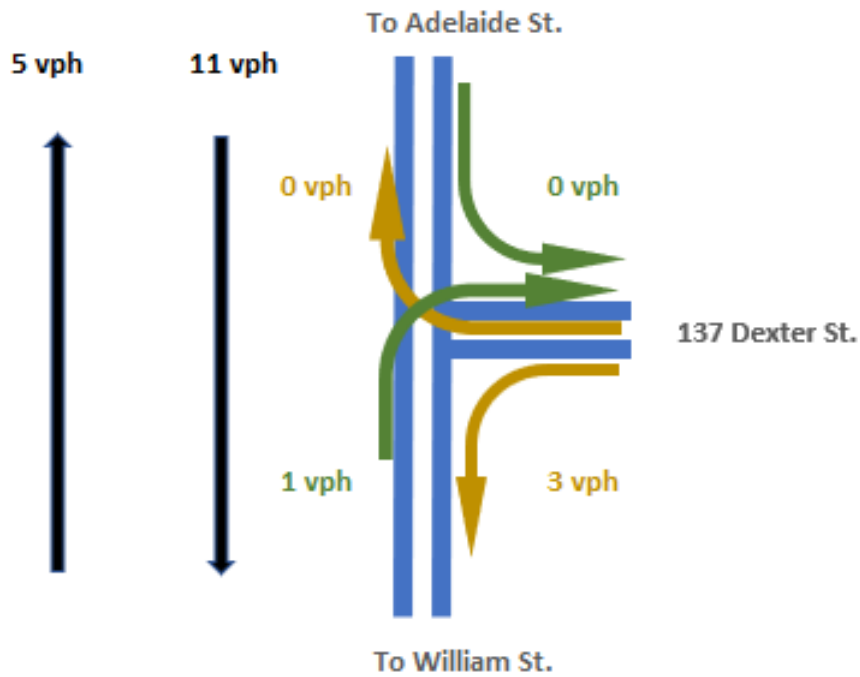
5.3 Trip Assignment

Figure 18 shows the traffic assignment for 2031 at 137 Dexter Street.

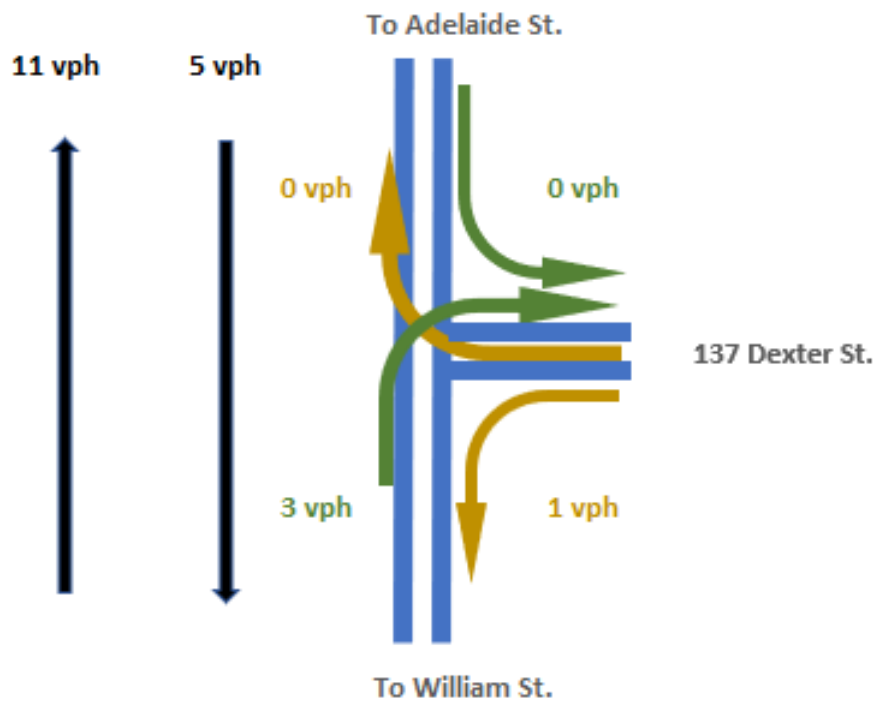


Figure 18 – Projected AM & PM traffic movements on Dexter Street for 2030

AM Peak - 2031 with development



PM Peak - 2031 with development





6. Impact on Road Network

6.1 Traffic impact on Dexter Street

Current traffic flow on Dexter Street is 16vph (2021). The proposal will contribute 4vph to traffic flow on Dexter Street so by 2031 traffic activity is estimated at 20vph.

These traffic activity levels are very low and less than 10% of capacity so there are no capacity issues with this proposal.

6.2 Proposed access and internal traffic management

The proposed access and driveway provide suitably for 2-way traffic, garbage truck access and delivery vehicles, see design plans in Appendix A.

6.3 Other impacts

6.3.1 Environmental

No environmental impacts were identified in relation to:

- Noise, Vibration and Visual Impact
- Community Severance and Pedestrian Amenity
- Hazardous Loads
- Air Pollution, Dust and Dirt and Ecological Impacts
- Heritage and Conservation values

6.3.2 Street Lighting and Furniture

The proposal does not require additional street lighting in Dexter Street or justify further roadside furniture such as bus shelters, seats, direction signs, cycle racks, landscaping, street trees or fencing.



7. Tas. Plan. Scheme - Meander Valley 2021

7.1.1 Road and Railway Assets Code C3

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

Acceptable solution

A1.4: Vehicular traffic to and from the site, using and existing vehicle crossing or private level crossing will not increase by more than:

(a) The amounts in Table C3.1

(b) Allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road; and

A1.4 is satisfied from Table C3.1 as proposal involves 36 vehicle movements per day for vehicles up to 5.5m in length.

A1.5: Vehicular traffic must be able to enter and leave a major road in a forward direction.

A1.5 is satisfied.

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Not applicable as the proposal does not involve construction within a road or railway attenuation area.

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

Not applicable as no subdivision is proposed.



7.1.2 Parking and Sustainable Transport Code C2

C2.5.1 Car parking numbers

Acceptable Solution A1

The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:

- (a) The site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash in lieu) must be in accordance with that plan,*
- (b) The site is contained within a parking precinct plan and subject to Clause C2.7,*
- (c) The site is subject to Clause C2.5.5; or*
- (d) It relates to an intensification of an existing use or development or a change of use where:*
 - i. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional onsite car parking is required; or*
 - ii. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:*

The proposal is in accordance with (d)(ii). From Table C2.1 Residential use :

- 2 spaces / dwelling for 2 or more-bedroom dwelling in General Residential Zone
- 1 visitor parking space / 3 dwellings in General Residential Zone

Proposal is for 2 spaces per dwelling and 2 visitor parking spaces. **A1 is satisfied.**

C2.5.2 Bicycle parking numbers

No requirement.

C2.5.3 Motorcycle parking numbers

Acceptable Solution A1

The number of on-site motorcycle parking spaces for all uses must:

- (a) Be no less than the number specified in Table C2.4. and*
- (b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle spaces is maintained.*

Table C2.5.3 has no requirement where the number of car parking spaces required is 0-20.



C2.5.4 Loading Bays

Acceptable Solution A1

A loading bay must be provided for uses with a floor area of more than 1000m² in a single occupancy.

Dwelling floor areas are less than 1000m². **A1 is not applicable.**

C2.6.1 Construction of parking areas

Acceptable Solution A1

All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all-weather pavement,*
- (b) be drained to the public stormwater system, or contain stormwater on the site; and*
- (c) excluding all uses in the Rural Zone, Agricultural Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Public Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.*

Sealed parking spaces and driveway is proposed, see Appendix A, **A1 is satisfied.**

C2.6.2 Design and layout of parking areas

Acceptable Solution A1.1

Parking, accessways, manoeuvring and circulation spaces must All parking, access ways, manoeuvring and circulation spaces must either:

- (a) comply with the following:*
 - i. have a gradient in accordance with Australian Standard AS 2890 Parking facilities, Parts 1-6. Satisfied.*
 - ii. Provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces. Satisfied*
 - iii. Have an access width not less than the requirements in Table C2.2.*

Proposal provides an access width of 4.5m which satisfies Table C2.2 where 6 to 20 parking spaces are proposed.
 - iv. Have car parking space dimensions which satisfy the requirements in Table C2.3.*

90degree parking spaces are proposed 2.6m wide* 5.4m long which match Table C2.3.



- v. *Have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces. Manoeuvre space exceeding 6.4m is available satisfying Table C2.3.*
- vi. *Have a vertical clearance of not less than 2.1 metres above the parking surface level, Satisfied.*
- vii. *Excluding a single dwelling, be delineated by line marking or other clear physical means. Satisfied.*
 - (b) *Comply with Australian Standard AS 2890 Parking facilities, Parts 1-6. Satisfied.*

A1.1 is satisfied.

Acceptable Solution A1.2

Parking spaces provided for use by persons with a disability must satisfy the following:

- (a) *Be located as close as practical to the main entry point to the building. Satisfied.*
- (b) *be incorporated into the overall car park design. Satisfied.*

- (c) *be designed and constructed in accordance with Australian/ New Zealand Standard AS/NZS 2890.6-2009 Parking facilities - Off-street parking for people with disabilities.*

Not Applicable.

C2.6.3 Number of accesses for vehicles

Acceptable Solution A1

The number of accesses provided for each frontage must:

- (a) *be no more than 1; or*
- (b) *no more than the existing number of accesses whichever is greater.*

1 access exists and 2 accesses are proposed. **A1 is not satisfied.**

Performance Criteria P1

The number of accesses for each frontage must be minimised, having regard to :

- (a) *any loss of on-street parking ; and*
- (b) *pedestrian safety and amenity*
- (c) *traffic safety*
- (d) *residential amenity on adjoining land; and*
- (e) *the impact on streetscape.*



The proposal does not disaffect on street parking, pedestrian safety and amenity, traffic safety, residential amenity or the streetscape. From Austroad Safe System Assessment Dexter Street in the vicinity of the development has a very low crash risk, see Figure 16. The proposed driveway arrangement is assessed as safe. **P1 is satisfied.**

C2.6.5 Pedestrian access

Acceptable Solution A1.1

Applies to uses that require 10 or more car parking space must:

(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:

- i. a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or*
- ii. protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and*

(b) be signed and line marked at points where pedestrians cross access ways or parking aisles.

The proposal requires 18 car parking spaces a 1m wide footpath is proposed.

A1.1 is satisfied.

Acceptable Solution A1.2

In parking areas containing accessible car parking spaces for uses by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.

A1.2 is not applicable.

C2.6.6 Loading bays

Acceptable Solution A1

The area and dimensions of loading bays and access way areas must be designed in accordance with Australian Standard AS 2890.2-2002, Parking facilities, Part 2: Off-street commercial vehicle facilities, for the type of vehicles likely to use the site.

A1 is not applicable.



8. Recommendations and Conclusions

This traffic impact assessment has been prepared to consider the proposed 7 residential unit development at 137 Dexter Street, Westbury.

Dexter Street estimated AADT is 150vpd (2021) and projected to increase to 195vpd by 2031 in the vicinity of the proposed access. It is estimated the proposal will contribute 45vpd and 4vph at peak times once fully developed. Due to the low traffic activity level the increase in traffic will be easily accepted by Dexter Street.

The assessment has reviewed the existing road conditions, crash history and road safety including an Austroads Safe System assessment.

No traffic safety issues were apparent in the vicinity of the proposal and the five -year reported crash history reports provides no evidence of a crash propensity in the vicinity of the proposal. Safe System Assessment of Dexter Street indicates the existing situation near the access has a very low crash risk.

Evidence is provided to demonstrate that the proposal satisfies the Road and Railway Assets Code C3 and Car Parking and Sustainable Transport Code C2 requirements of the Tasmanian Planning Scheme – Meander Valley 2021.

Recommendations:

- *For the proposed units at 137 Dexter Street widening of the existing 4.1m wide seal to 4.5m wide is required.*
- *For the existing dwelling at 137 Dexter Street a new access is required with:*
 - *3.6m wide seal consistent with TSD-R03-v1*
 - *stormwater management similar to the existing driveway to 137 Dexter Street i.e without a driveway culvert and endwalls.*

Overall, it has been concluded that the proposed development will not create any traffic issues and traffic will continue to operate safely and efficiently along Dexter Street.

Based on the findings of this report and subject to the recommendation above, the proposed development is supported on traffic grounds.



Appendices



Appendix A – Proposal Design Plans

proposed unit development
PRESTON
lot: 2, no. 137
Dexter Street
Westbury

planning

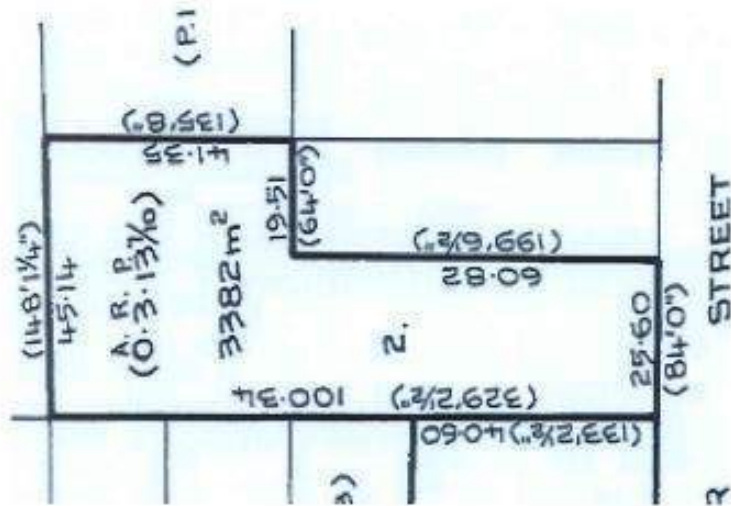
job no.	6335
certificate of title - CP 316027	7178961
property ID	7178961
land area	5332.05m ²
existing dwelling area	194.27m ² (partial)
new dwellings area	1008.07m ²
impermeable area	854.33m ²
silt cover	62.65% (approx)

sheet no.	01 of 25	cover sheet	1:100 @ A3
	02 of 25	outlet exhaust	483
	03 of 25	overall site plan	1:500 @ A3
	04 of 25	detailed plan	1:500 @ A3
	05 of 25	floor plan unit 1	1:100 @ A3
	06 of 25	elevation unit 1	1:100 @ A3
	07 of 25	elevation unit 1	1:100 @ A3
	08 of 25	floor plan unit 2	1:100 @ A3
	09 of 25	elevation unit 2	1:100 @ A3
	10 of 25	elevation unit 2	1:100 @ A3
	11 of 25	floor plan unit 3	1:100 @ A3
	12 of 25	elevation unit 3	1:100 @ A3
	13 of 25	elevation unit 3	1:100 @ A3

sheet no.	14 of 25	floor plan unit 4	1:100 @ A3
	15 of 25	elevation unit 4	1:100 @ A3
	16 of 25	elevation unit 4	1:100 @ A3
	17 of 25	floor plan unit 5	1:100 @ A3
	18 of 25	elevation unit 5	1:100 @ A3
	19 of 25	elevation unit 5	1:100 @ A3
	20 of 25	floor plan unit 6	1:100 @ A3
	21 of 25	elevation unit 6	1:100 @ A3
	22 of 25	elevation unit 6	1:100 @ A3
	23 of 25	floor plan unit 7	1:100 @ A3
	24 of 25	elevation unit 7	1:100 @ A3
	25 of 25	elevation unit 7	1:100 @ A3

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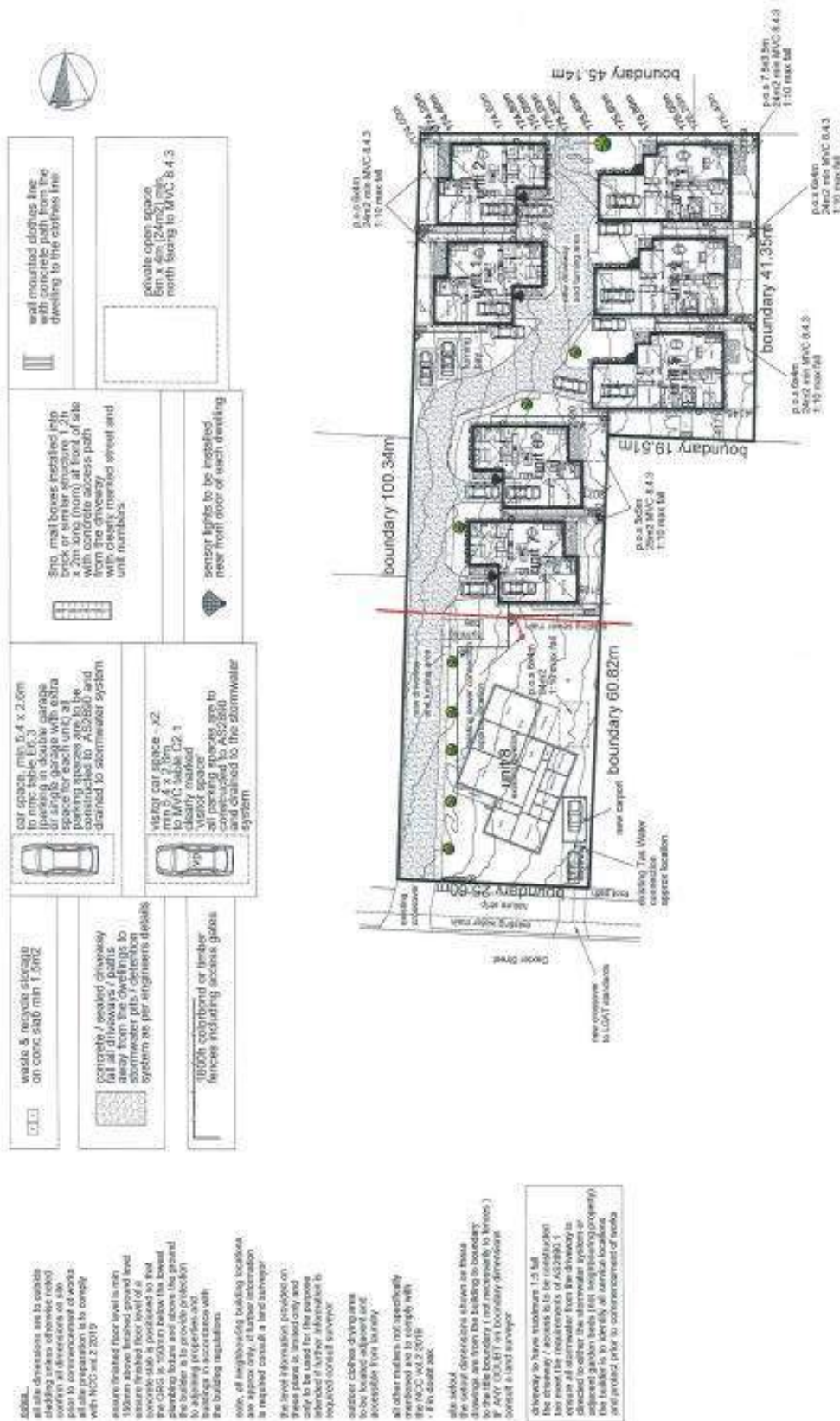
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06/06/2021	JM	2	06/06/2021
04/06/2021	JM	3	04/06/2021
03/06/2021	JM	4	03/06/2021

proposed units
for: PRESTON
lot: 2, no. 137
Dexter Street
Westbury

Survey done by TCS Traffic & Civil Services Pty Ltd. All measurements are in meters unless otherwise stated. This document is the property of TCS Traffic & Civil Services Pty Ltd. It is to be used for the purpose for which it was prepared and is not to be used for any other purpose without the consent of TCS Traffic & Civil Services Pty Ltd.

NO.	DESCRIPTION
1	PROPOSED UNITS
2	PROPOSED DRIVEWAY
3	PROPOSED DRIVEWAY
4	PROPOSED DRIVEWAY



site plan

Proj. No.	0485	Version	01
Name	01	Date	28 June 2021
Scale	1:500 @ A3	Author	AW
Sheet	1/1	Drawn	AW

proposed units for PRESTON lot 2, no. 137 Dexter Street Westbury

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2	Site Plan	AW
3	Site Plan	AW
4	Site Plan	AW

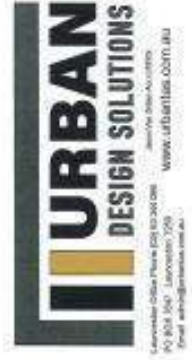


Legend



trees to be removed

buildings to be removed

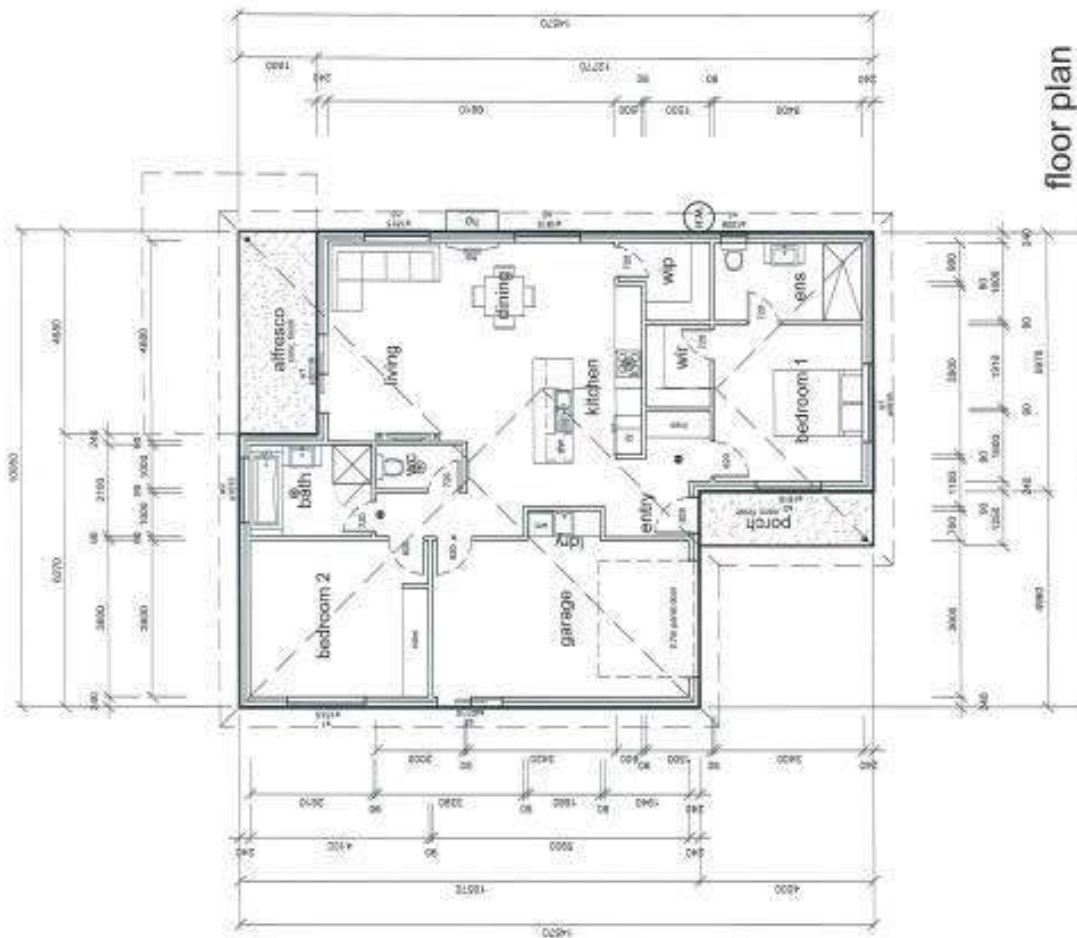


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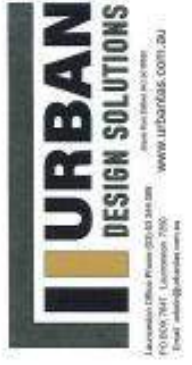
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2021	2	REVISED
2021	3	REVISED
2021	4	REVISED

proposed units
for: PRESTON
lot: 2, no. 137
Dexter Street
Westbury

1	ISSUED FOR PERMIT
2	REVISED
3	REVISED
4	REVISED



floor area 131.18m² (14.12sq)
 alfresco area 8.42m²
 porch area 5.00m²



floor plan

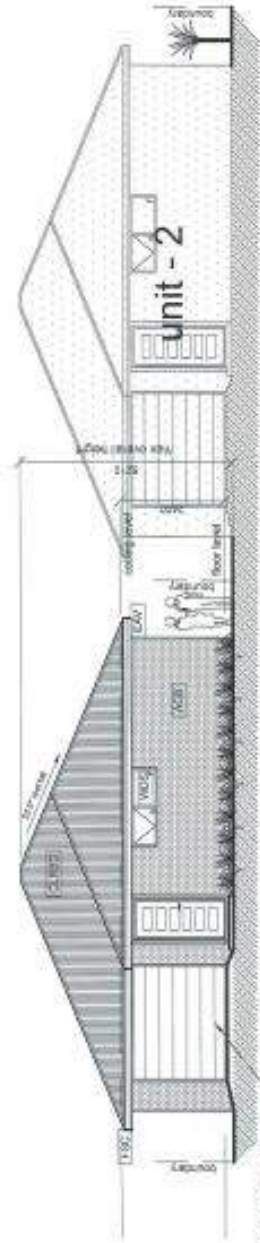
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date	05 Jul 25	print date	
date	June 2023		
scale	1:100 @ A3		
sheet	1 of 1		

proposed units
 for : PRESTON
 lot : 2, no. 137
 Dexter Street
 Westbury

- 1. site location
- 2. site plan
- 3. site plan
- 4. site plan



unit 1



east elevation



south elevation

- [F9C] colorbond pre-coated folded metal g/str and facial trim system
- [E1W] wave overhang 400mm all round
- [C1B10] Coloured 'sarnaplast' (min 2deg) roof
- [A15] selected austral brick finish clay face bricks
- [W13] windows see docx

200 x 200mm glass fibre reinforced polypropylene garage door to comply with AS4525, beam over to engineer details centred on wall from front

RF - natural ground level
M - finished ground level

elevations

Drawn by	Scale	Project No.	Client
1:100 @ A3	1:100 @ A3	1000000000	Urban Solutions

proposed units for: PRESTON lot - 2, no. 137 Dexter Street Westbury

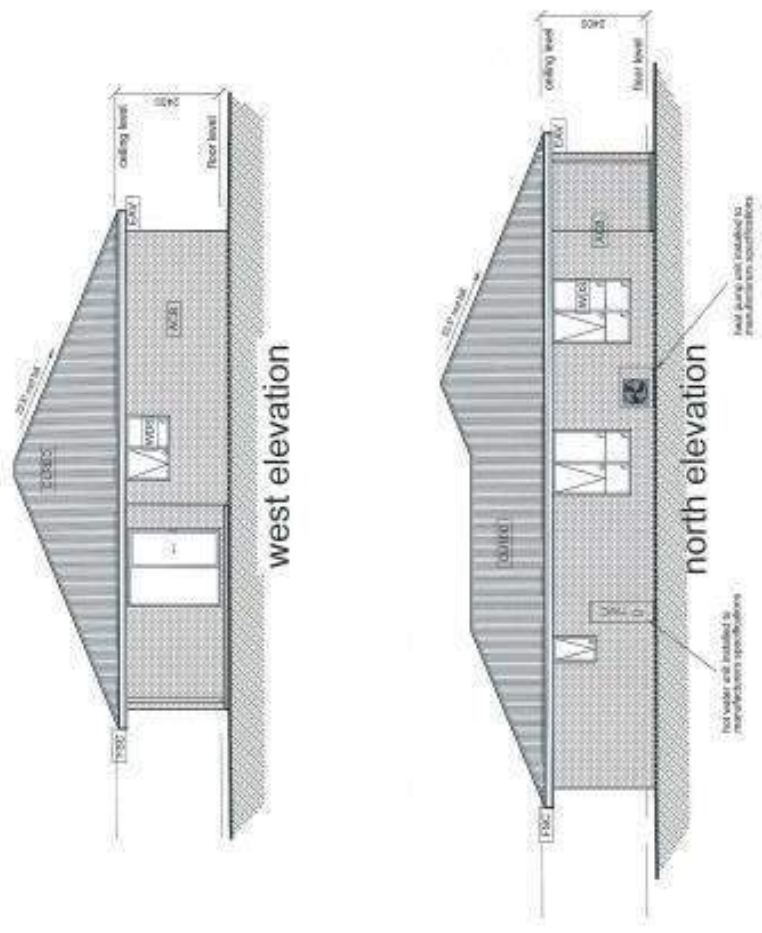
Rev	Description
1	Issue for comment
2	Issue for comment
3	Issue for comment
4	Issue for comment

Urban Solutions
Leicester Court Place 211-231 100
PO Box 1007 - Westbury 3208
www.urbansolutions.com.au



unit 1

- [TIPS] outdoor pre-coated folded metal gutter and fascia film system
- [LICK] wavy corrugating 450mm all round
- [GLASS] Customised 'omni-gate' (with black) roof
- [PICK] selected asphalt brick (red clay) roof bricks
- [WBS] windows and doors



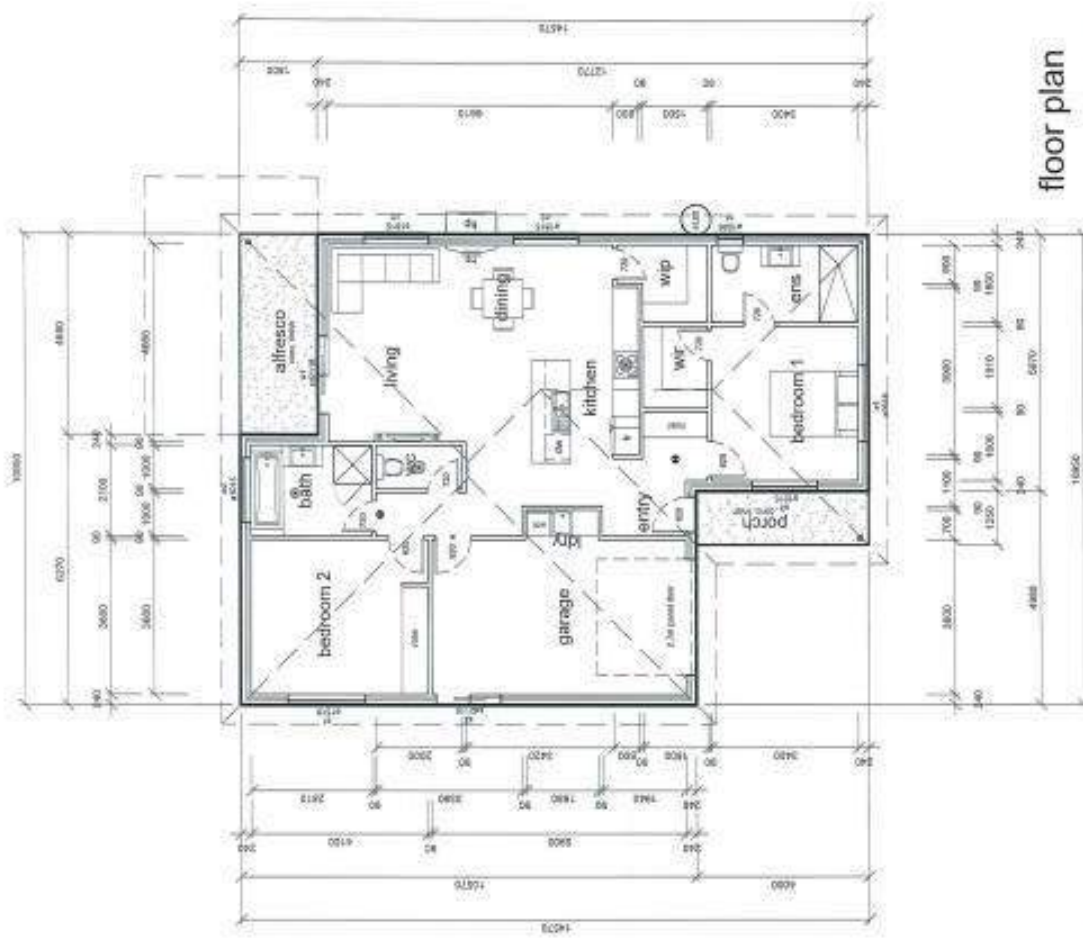
elevations

Proj No.	0405	Revision	02
Sheet	01 of 25	Print Date	
Date	June 2021		
Scale	1:100 @ A3		
Rev	1/53		

proposed units for PRESTON lot 2, no. 137 Dexter Street Westalbury

1.	Issue for client
2.	Issue for client
3.	Issue for client
4.	Issue for client





floor area 131.19m² (14.12sq)
 alfresco area 8.42m²
 porch area 5.00m²



floor plan

Proposed units for: PRESTON lot: 2, no. 137 Dexter Street Westbury		Project: 0485 Revision: 02 Date: 05/06/2021 Scale: 1:100 @ A3 Job No: 104
1. Site Plan 2. Floor Plan 3. Section 4. Elevation	1. Site Plan 2. Floor Plan 3. Section 4. Elevation	1. Site Plan 2. Floor Plan 3. Section 4. Elevation



unit 2

- [T35C] external pre-cast tiled metal gutter and fascia rain system
- [E10V] semi-circular 450mm x 40mm
- [C1010B] Colson's 'conjugator' (pre-cast) roof
- [R205] selected assial brick fired clay face bricks
- [W102] windows and doors



east elevation



south elevation

elevations

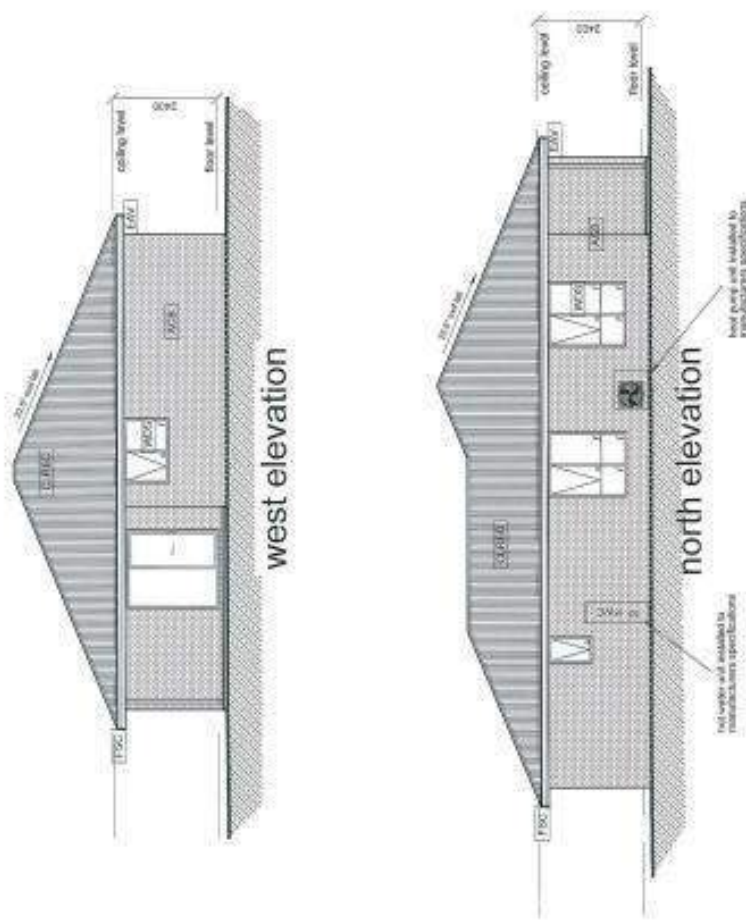
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unit 2

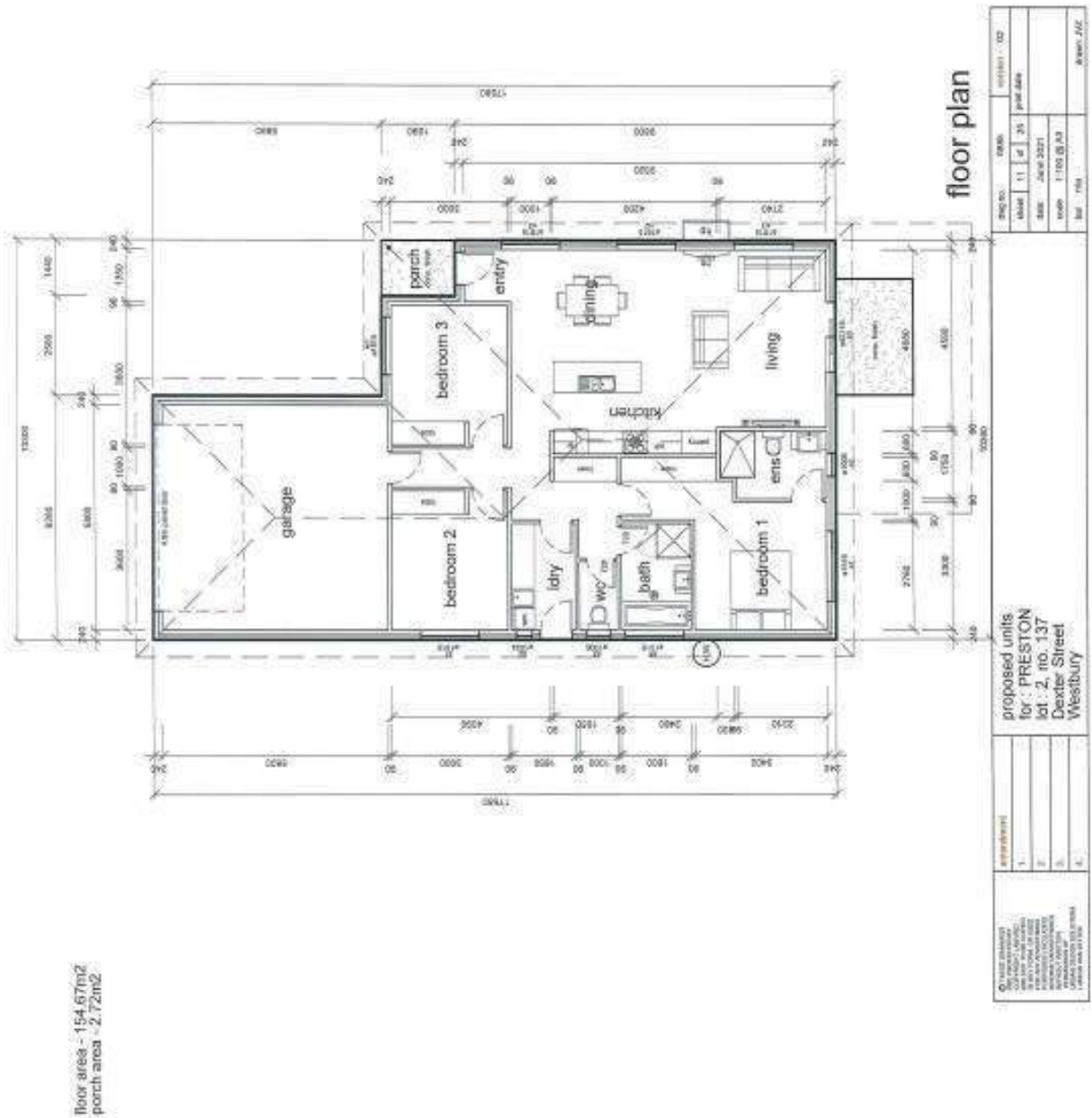
- FRSC** colorbond precast finished metal gable and brick trim system
- FRV** sawn oak frame columns all round
- CLRM2** colorbond 'sunlight' (with blue) roof
- ACB** finished washed brick level clay face bricks
- FRS2** windows and doors

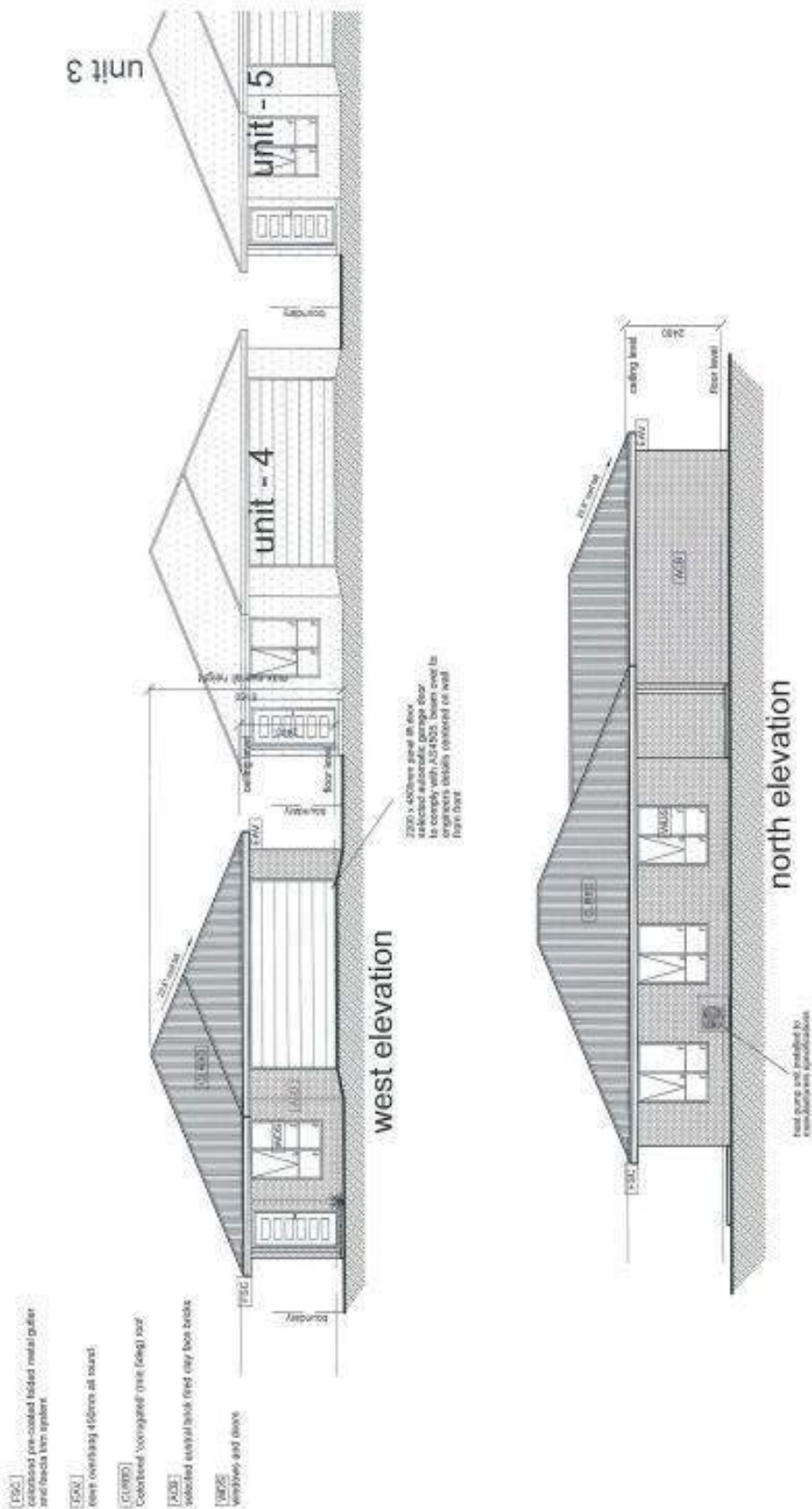


elevations

RFI - finish ground level
 RL - finished ground level

proposed units for: PRESTON lot 2, no. 137 Dexter Street Westbury		Proj no: 2020-02 sheet: 15 of 25 date: June 2021 scale: 1:100 @ A3 job: 100 drawn: JAC
1. colorbond precast finished metal gable and brick trim system 2. sawn oak frame columns all round 3. colorbond 'sunlight' (with blue) roof 4. finished washed brick level clay face bricks 5. windows and doors	1. finish ground level 2. finished ground level	URBAN DESIGN SOLUTIONS Level 2, 100-110, Main Street Westbury, WA 6155 Phone: 08 9437 1111 Email: info@urbansolutions.com.au www.urbansolutions.com.au





elevations

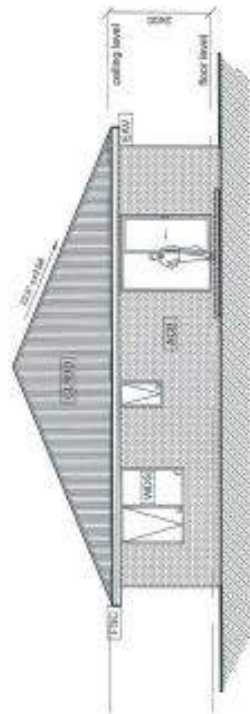
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2	4 Aug 2021			
3	1 Nov 2021			
4	1 Nov 2021			

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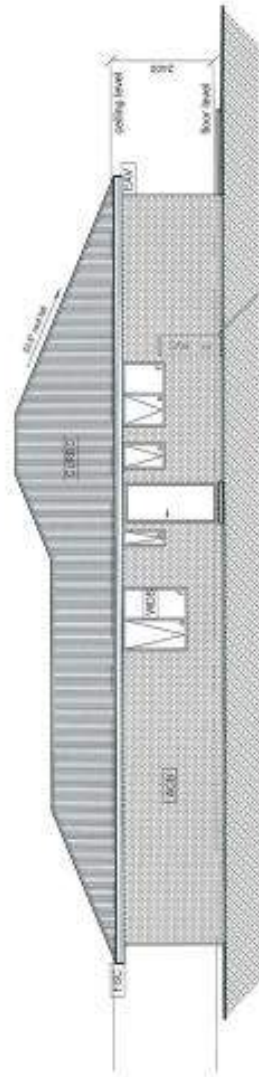


unit 3

- F75C** coloured pre-coated ribbed metal gutter and fascia with upbars
- E40V** wave overhang 450mm all round
- C11910** Coloured 'corrugated' (pin-ridge) roof
- A05** powder coated black lead clay floor bricks
- R033** windows and doors



east elevation

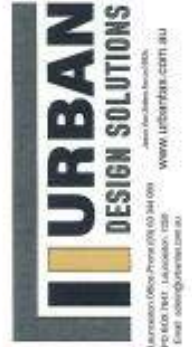


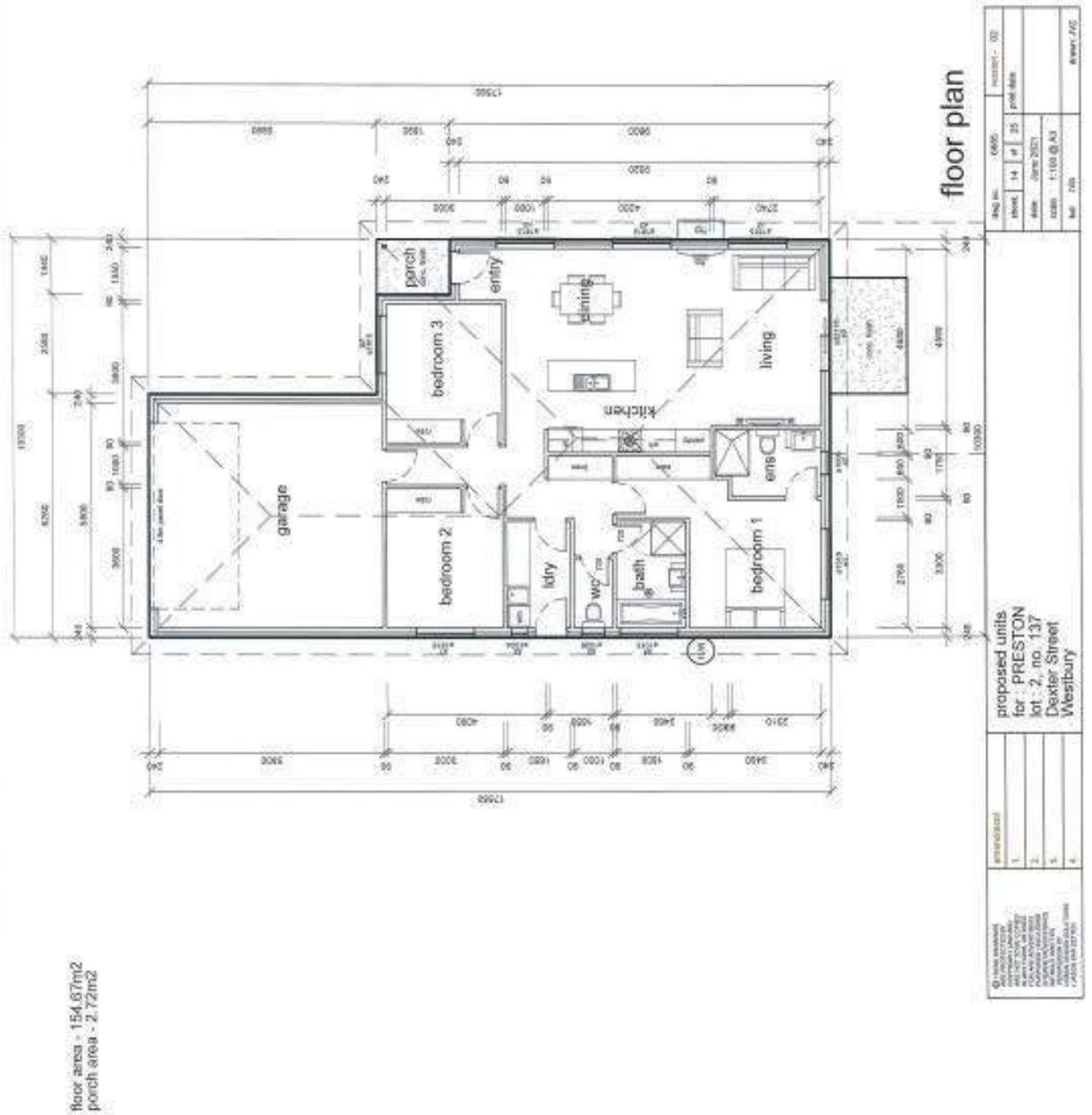
south elevation

elevations

Drawn by:	AMM	Checked by:	OE
Issue:	13 of 35	Print date:	
Date:	June 2021		
Scale:	1:100 @ A3		
Ref:	1/51	Sheet:	2/2

Proposed units for: PRESTON lot: 2, no. 137 Dexter Street Westbury	012 438 2000 08 438 2000 222 Pitt St, Perth WA 6000 Australia www.urbandesign.com.au
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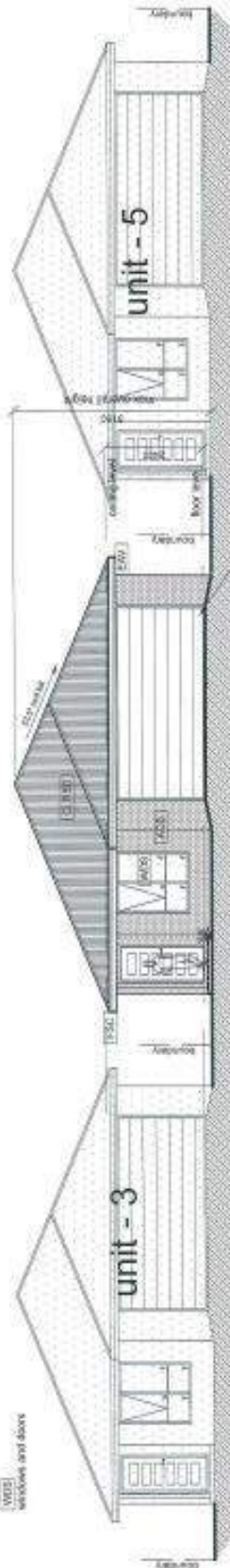




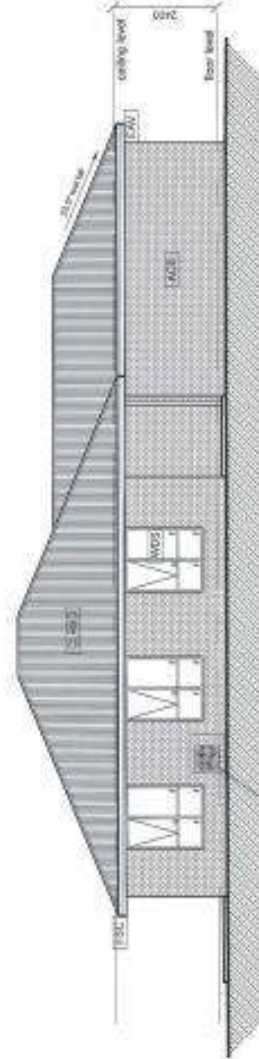


unit 4

- [F50] colored pre-cast tiled roof gully and fascia fins system
- [LW] wire cladding 450mm all round
- [G100] cladding (unpainted (rain slag) roof
- [ACB] selected airtight brick fired clay roof bricks
- [WDS] windows and doors



west elevation



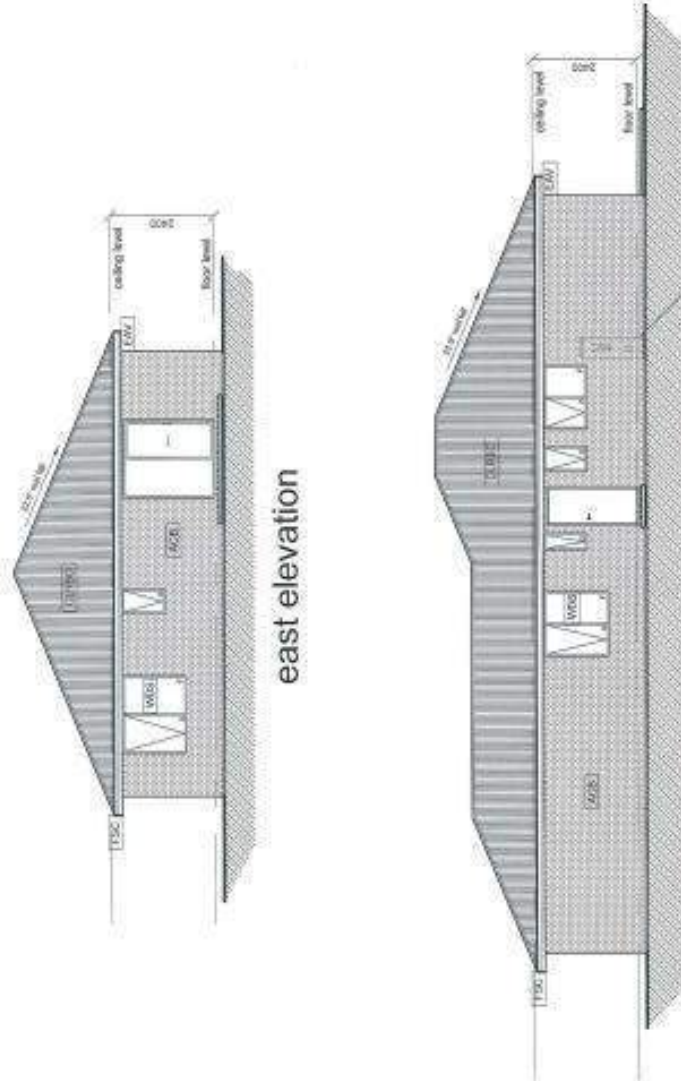
north elevation





unit 4

- [TISC] stainless pre-coated isolated metal gutter and fascia with splay
- [EBSI] base coating 450mm off road
- [D386] Coloured 'concrete' (grey beige) look
- [AIB] recycled natural brick, fired clay face bricks
- [WES] windows and doors



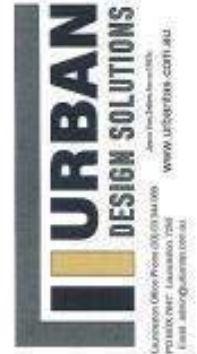
- - - natural ground level
 — finished ground level

elevations

Proj No	0455	Project	02
Sheet	15 of 25	Date	15/06/2021
Scale	1:100 @ A3	Author	15/06/2021
Ref	103	Rev	001

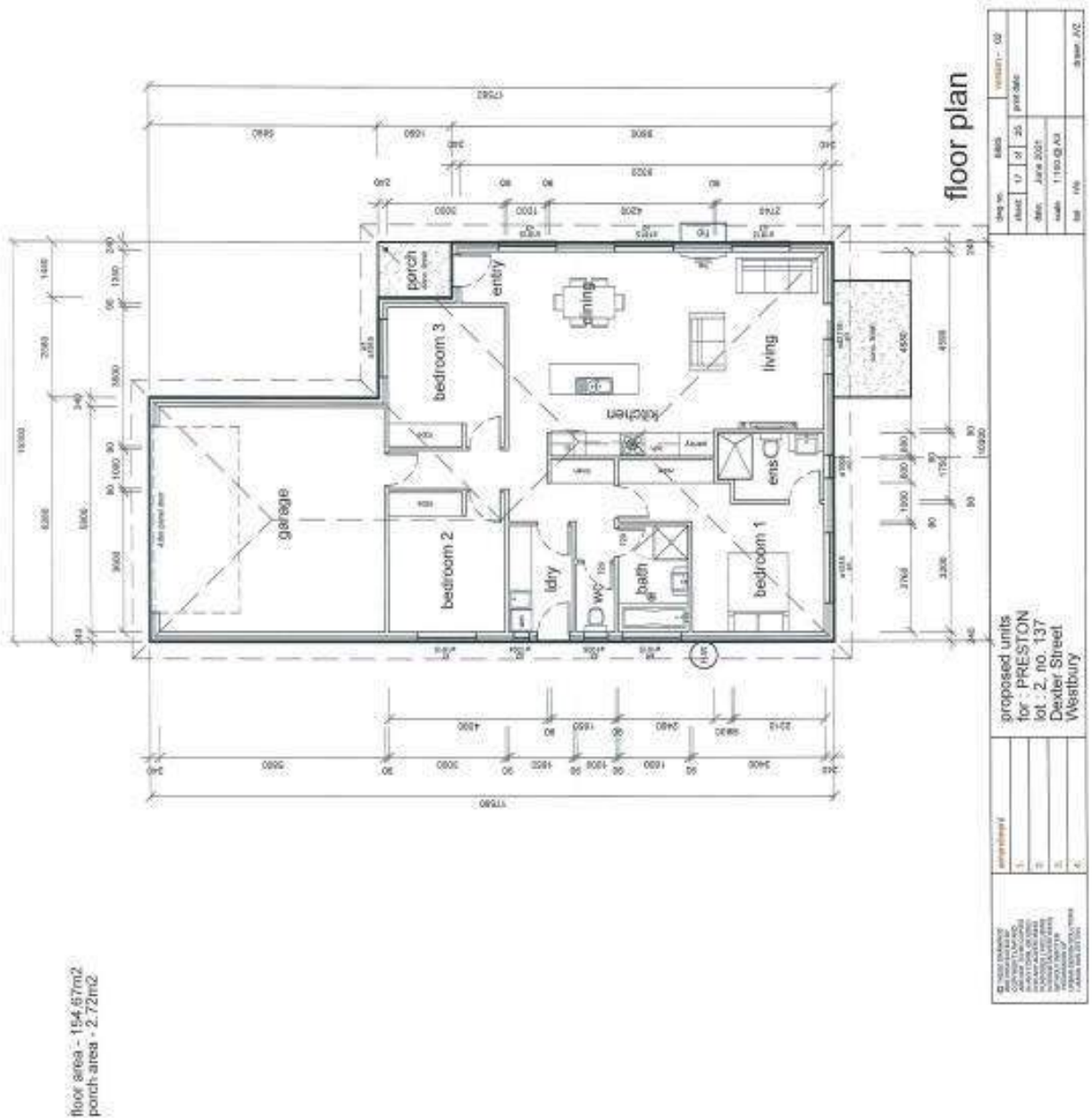
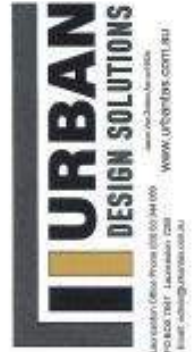
proposed units
 for: PRESTON
 lot 2, no. 137
 Dexter Street
 Westbury

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
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Unit 5



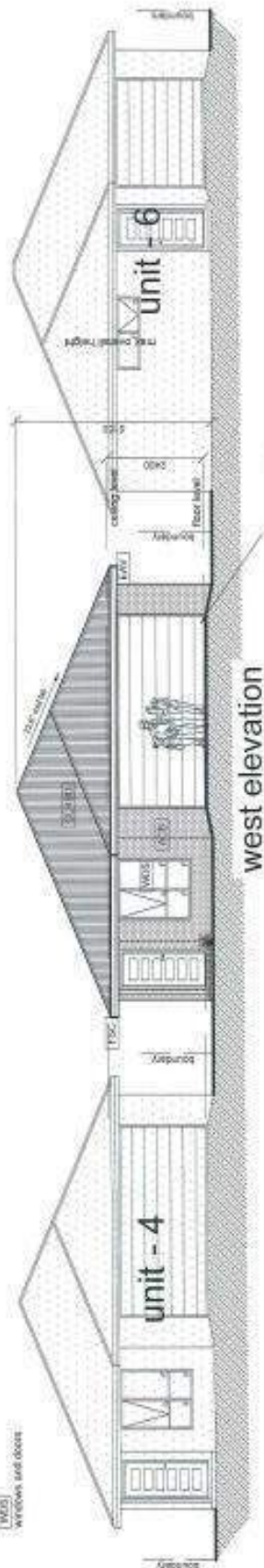
Proj No.	100	Rev.	02
Date	17/01/25	Drawn by	prf/sak
Client	June 2021	Scale	1:100 @ A3
Sheet	1	Total	100

proposed units for - PRESTON lot - 2, no. 137 Dexter Street Westbury	1. 2. 3. 4.
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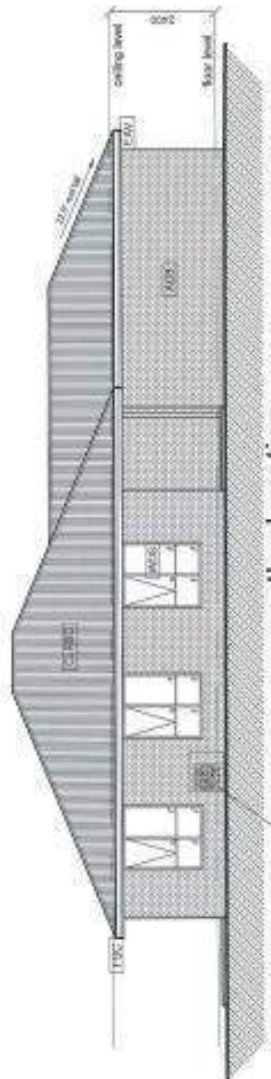


unit 5

- [FSC] colorbond pre-coated folded metal gable and fascia trim system
- [EAW] zinc overhang 400mm all round
- [G3R50] colorbond 'vynigard' 17mm Slang roof
- [ACB] smectal exterior brick fixed clay face bricks
- [RWC] windows and doors



west elevation



north elevation



elevations

Project	14101	revision	00
Sheet	14 of 25	print date	
date	June 2021		
scale	1:100 @ A3		
lot	137	street	AVE

proposed units
for : PRESTON
lot : 2, no. 137
Dexter Street
Westbury

DATE: 14/06/2021
DRAWN BY: J. WILSON
CHECKED BY: J. WILSON
PROJECT NO: 14101
LOT: 137
STREET: DEXTER STREET
SUBURB: WESTBURY

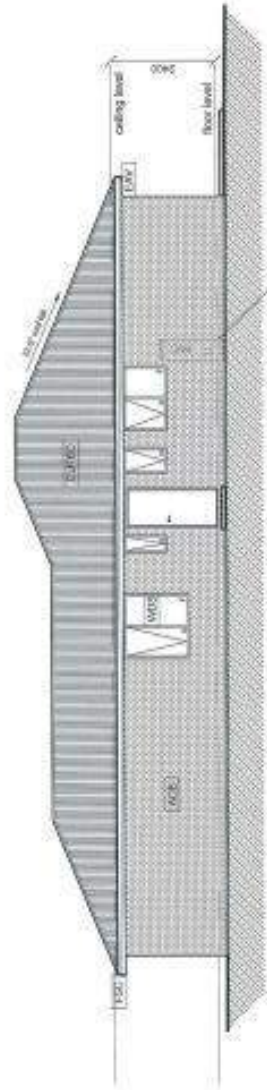


unit 5

- [FSC] solidboard pre-coated lidded metal gutter and fascia line system
- [LW] saw cutting 400mm all round
- [CORR] Crotonex Veraplast (one bag) coat
- [ACI] selected 400mm brick fired clay face bricks
- [WDS] windows and doors



east elevation

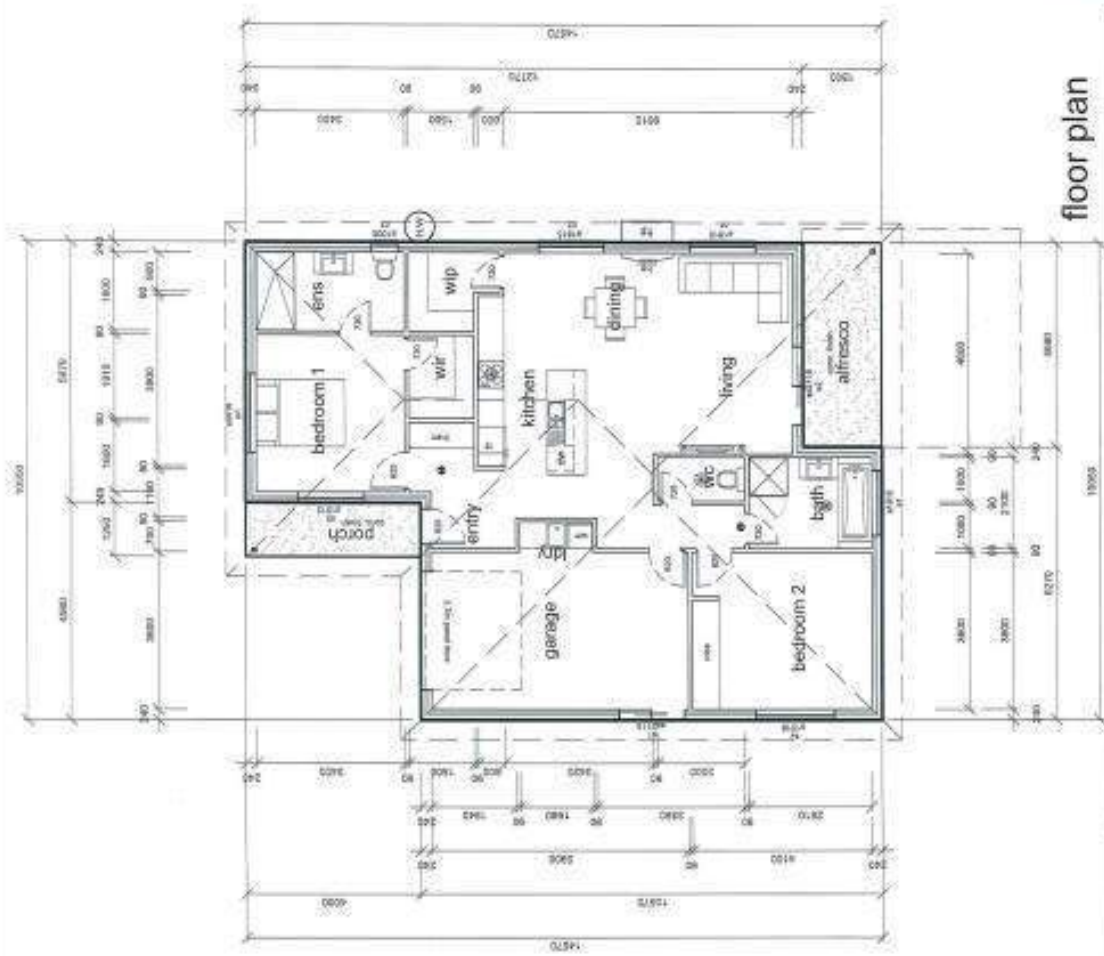


south elevation

elevations

proposed units for: PRESTON lot: 2, no. 137 Dexter Street Westbury	drawing no. 0005	revision: 02
	sheet: 15 of 20	print date:
	date: June 2021	scale: 1:100 @ A3
	job: 106	sheet: 2/22

Urban Design Solutions
 10/101, 1st Flr, 1st Crescent, 2021
 WWW.URBANDSOLUTIONS.COM.AU
 Email: info@urbansolutions.com.au



floor area 131.19m² (14.12sq)
 alfresco area 6.42m²
 porch area 5.00m²



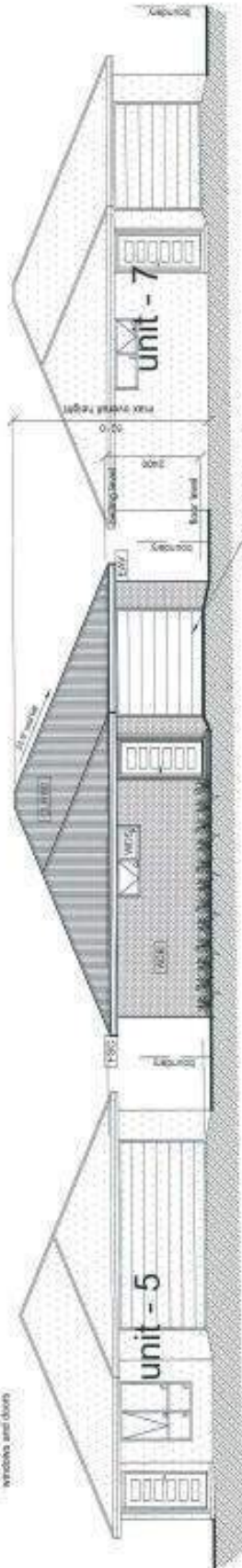
floor plan

proposed units for : PRESTON lot : 2, no. 137 Dexter Street Westbury		sheet 20 of 25 date June 2021 scale 1:150 @ A3 ref. 016	sheet 20 of 25 date June 2021 scale 1:150 @ A3 ref. 016
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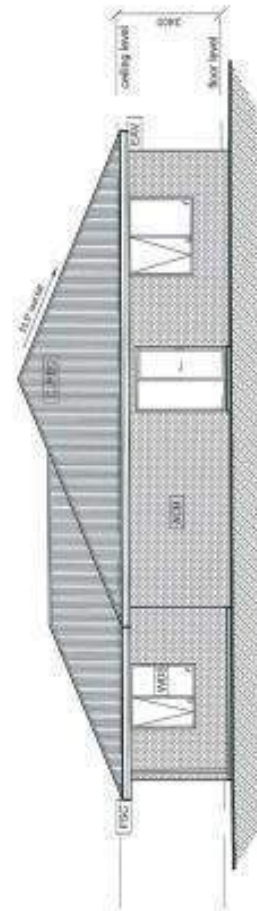


unit 6

- [F&C] coloured zinc coated folded metal gable and fascia trim system
- [E&T] zinc-primed aluminium all round
- [C&B&T] Coloured 'corrugated' vinyl floor mat
- [F&H] selected natural brick laid clay floor bricks
- [W&D] windows and doors



west elevation



south elevation



elevations

sheet no.	1 of 2	version	01
date	June 2021	drawn by	AW
scale	1:100 @ A3	checked by	AW
title	proposed units for - PRESTON lot - 2, no. 137 Dexter Street Westbury		

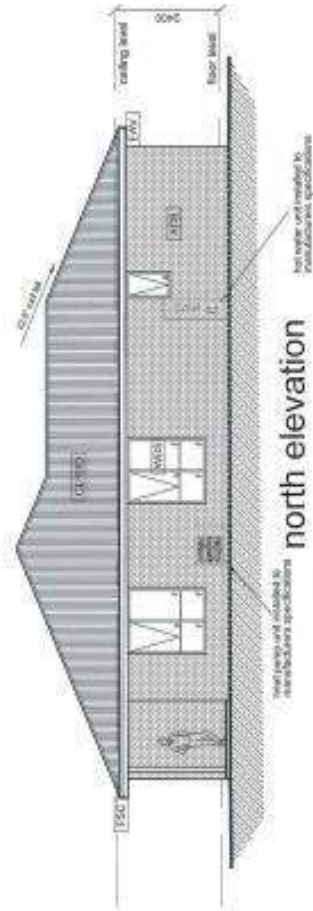
proposed units for - PRESTON lot - 2, no. 137 Dexter Street Westbury

1.	AW
2.	AW
3.	AW
4.	AW



unit 6

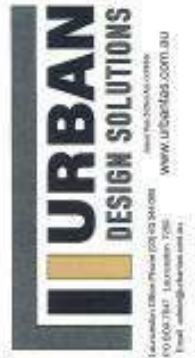
- FSC** colorbond zinc-coated mild steel gable and fence line system
- LW** steel overhang 400mm all round
- CS/ROF** Clonmoyl 'sun-gated' (iron blue) roof
- ACB** sepiolite austral brick faced clay face bricks
- WDS** windows and doors



——— natural ground level
 - - - - - finished ground level

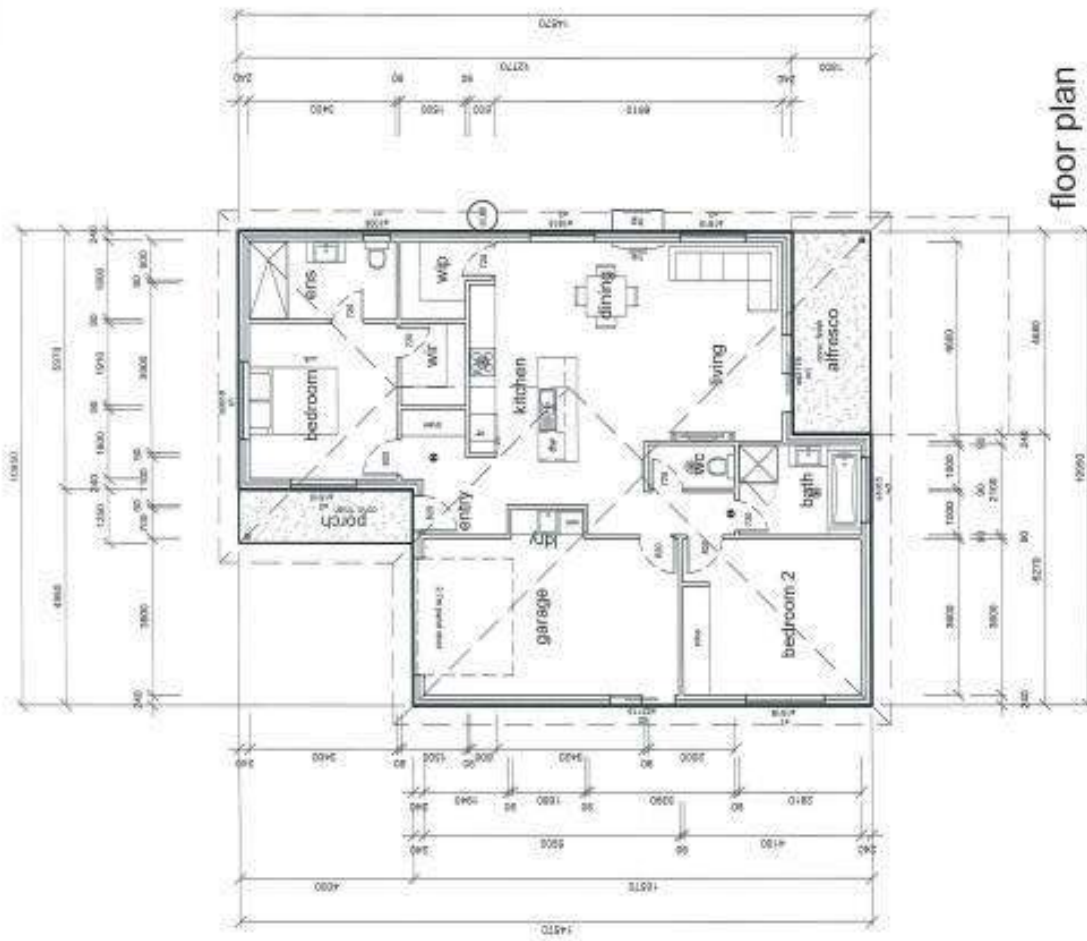
elevations

61 MEANDER VALLEY DRIVE WESTBURY VIC 3602 PH: 03 5367 1111 WWW.URBANSOLUTIONS.COM.AU	sheet no. 6105 sheet 22 of 26 date June 2021 issue 1:150 @ A3 by TJS date 04/10/21	project no. 6105 sheet no. 22 date June 2021 issue 1:150 @ A3 by TJS date 04/10/21
	proposed units for PRESTON lot 2, no. 137 Dexter Street Westbury	
	1. _____ 2. _____ 3. _____ 4. _____	
	APPROVED FOR CONSTRUCTION BY THE LOCAL GOVERNMENT DATE: _____	





unit 7



floor area 131.15m² (14.12sq)
 alfresco area 8.42m²
 porch area 5.00m²

floor plan

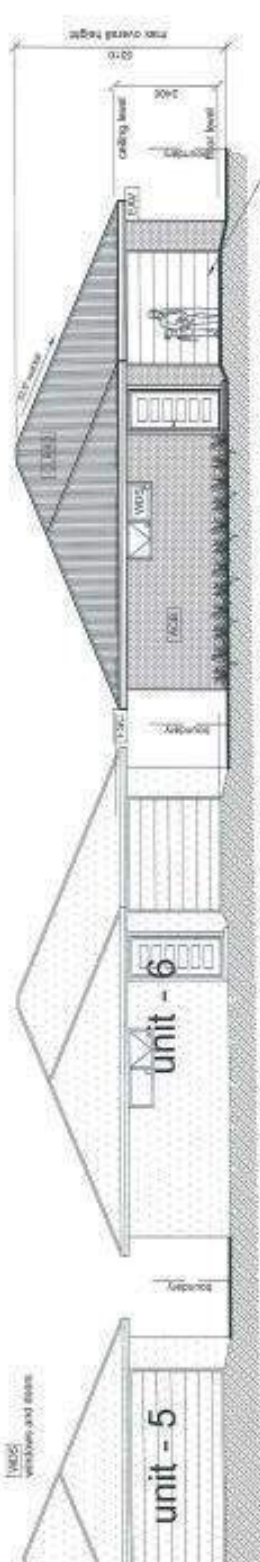


8. Design Services ARCHITECTURE LANDSCAPE ARCHITECTURE CIVIL ENGINEERING STRUCTURAL ENGINEERING TRAFFIC ENGINEERING PROJECT NO: 2018/010 11/11/2018		proposed units for PRESTON lot 2, no. 137 Dexter Street Westbury	Date: 14/06/2021 Sheet: 23 of 25 Title: Unit 7 Scale: 1:100 @ A3 Job No: 2018/010	Version: 02 Date: 14/06/2021
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unit 7

- [RECT] coloured precast ribbed metal gutter and fascia trim system
- [LAB] new overhang slopes all round
- [GLASS] Coloured 'orniglobe' (rain repel) roof
- [ADD] selected asphalt roof level clay tile bricks
- [WDC] windows and doors



west elevation

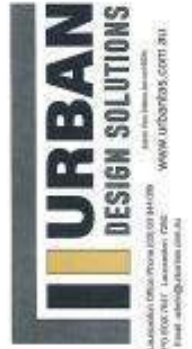


south elevation

ref — natural ground level
 — building ground level

elevations

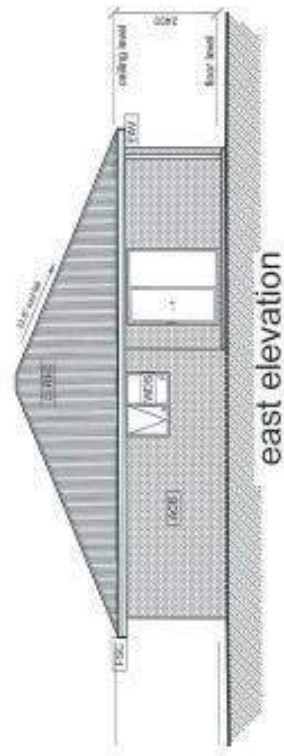
PROPOSED UNITS for: PRESTON lot: 2, no. 137 Dexter Street Westbury	REF NO: 100 DATE: 11/08/14 DRAWN: JAC	SHEET NO: 92
	DATE: 11/08/14 DRAWN: JAC	SHEET NO: 92
	DATE: 11/08/14 DRAWN: JAC	SHEET NO: 92
	DATE: 11/08/14 DRAWN: JAC	SHEET NO: 92



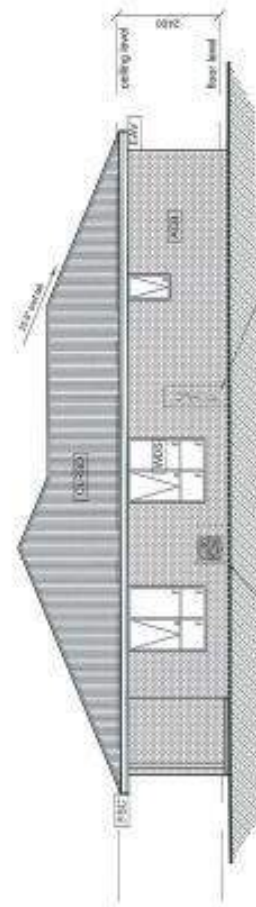


unit 7

- [FSC] exterior pre-coated white metal gutter and fascia finishing
- [FV] new overhanging eaves all round
- [CLRB] Colortone 'compaheer' (win. 54kg) roof
- [LCK] selected natural brick lined clay floor bricks
- [WDS] windows and doors



east elevation



north elevation



elevations

<p>proposed units for: PRESTON lot: 2, no. 137 Dexter Street Westbury</p>	<p>client: ABC</p> <p>date: 25/07/20</p> <p>scale: 1:100 @ A3</p> <p>ref: /A/</p> <p>sheet: 25 of 25</p> <p>date: June 2020</p> <p>scale: 1:100 @ A3</p> <p>ref: /A/</p> <p>sheet: 25 of 25</p>
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Appendix B – Count Data

Turn Count Summary

Location: William Street at Dexter Street, Westbury
GPS Coordinates: -41.5320587, 146.8315780
Date: 2020-07-20
Day of week: Monday
Weather:
Analyst: Josh Haines

Total vehicle traffic

Interval starts	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
14:31	1	0	1	0	0	0	0	0	0	0	1	0	3
14:35	0	5	1	0	1	0	0	1	0	1	1	1	11
14:40	0	1	0	1	0	0	0	1	0	0	0	0	3
14:45	0	1	1	0	0	1	0	1	0	1	0	0	5
14:50	0	2	0	0	0	0	0	1	0	4	0	0	7
14:55	2	2	1	0	0	1	0	0	0	0	0	0	6
15:00	0	0	0	0	0	0	0	2	0	1	0	0	3

Car traffic

Interval starts	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
14:31	1	0	1	0	0	0	0	0	0	0	1	0	3
14:35	0	5	1	0	1	0	0	1	0	1	1	1	11
14:40	0	1	0	1	0	0	0	1	0	0	0	0	3
14:45	0	1	1	0	0	1	0	1	0	1	0	0	5
14:50	0	2	0	0	0	0	0	1	0	4	0	0	7
14:55	2	2	1	0	0	1	0	0	0	0	0	0	6
15:00	0	0	0	0	0	0	0	2	0	1	0	0	3

Truck traffic

Interval starts	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
14:31	0	0	0	0	0	0	0	0	0	0	0	0	0
14:35	0	0	0	0	0	0	0	0	0	0	0	0	0
14:40	0	0	0	0	0	0	0	0	0	0	0	0	0
14:45	0	0	0	0	0	0	0	0	0	0	0	0	0
14:50	0	0	0	0	0	0	0	0	0	0	0	0	0
14:55	0	0	0	0	0	0	0	0	0	0	0	0	0
15:00	0	0	0	0	0	0	0	0	0	0	0	0	0



Intersection Count Summary

14:31 - 15:00

	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
Vehicle Total	3	11	4	1	1	2	0	6	0	7	2	1	38

Vehicle Summary

Vehicle	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
Car	3	11	4	1	1	2	0	6	0	7	2	1	38
Truck	0	0	0	0	0	0	0	0	0	0	0	0	0
Bicycle	0	0	0	0	0	0	0	0	0	0	0	0	0

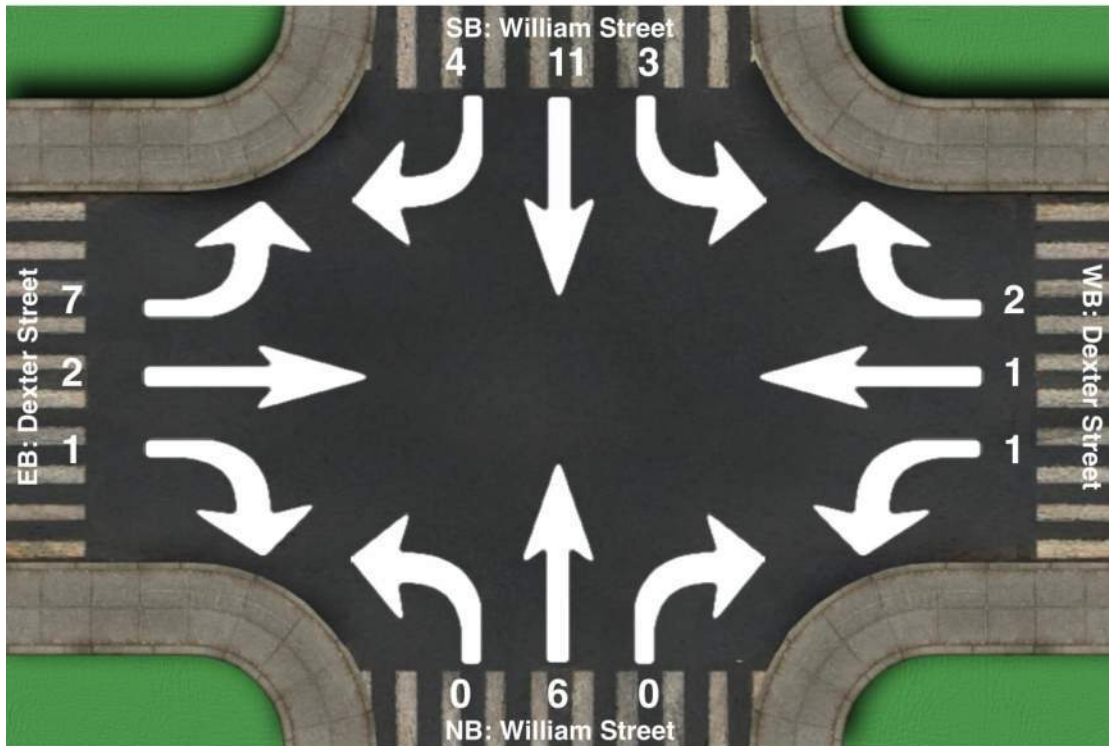
Pedestrians Summary

	NE			NW			SW			SE			Total
	Left	Right	Total	Left	Right	Total	Left	Right	Total	Left	Right	Total	
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0



Intersection Count Summary

Location: William Street at Dexter Street, Westbury
GPS Coordinates: -41.5320587, 146.8315780
Date: 2020-07-20
Day of week: Monday
Weather:
Analyst: Josh Haines



Intersection Count Summary

14:31 - 15:00

	SouthBound			Westbound			Northbound			Eastbound			Total
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
Vehicle Total	3	11	4	1	1	2	0	6	0	7	2	1	38

Submission to Planning Authority Notice

Council Planning Permit No.	PA\22\0043	Council notice date	20/08/2021
TasWater details			
TasWater Reference No.	TWDA 2021/01403-MVC	Date of response	22/09/2021
TasWater Contact	Phil Papps	Phone No.	0474 931 272
Response issued to			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
Development details			
Address	137 DEXTER ST , WESTBURY	Property ID (PID)	7178901
Description of development	Multiple Dwellings x 8		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
	rare	Site / Services Plan / CP501	1
			Date of Issue
			08/09/2021
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>ASSET CREATION & INFRASTRUCTURE WORKS</p> <ol style="list-style-type: none"> 4. The developer must arrange to design and construct an upgrade of TasWater's ID50mm water main (Asset A701260) to DN100 for a distance of no less than 75m from the junction with the DN100 water main (Asset A700989) in Adelaide St. The new water main must include the provision of a fire hydrant and a new property connection to service the proposed development. The developer will be responsible for the reconnection of any existing property connections currently connected to the redundant portion of the existing water main. <i>Advice: In accordance with TasWater's 'Developer Charges Policy' for developments located within Serviced Land where insufficient capacity is available within an existing system, the developer pays the costs of Extension, including connection, to that system and Expansion of the system to the level of capacity required to service the development.</i> 5. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. 6. Prior to applying for a Permit to Construct the new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for 			

- Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water to TasWater's satisfaction.
7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
 8. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
 9. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
 10. After testing/disinfection, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
 11. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
 12. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
 13. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
 14. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

56W CONSENT

15. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

DEVELOPMENT ASSESSMENT FEES

16. The applicant or landowner as the case may be, must pay a development assessment fee of \$363.57 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

The location of this infrastructure as shown on the GIS is indicative only.

- (a) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (b) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) Footings must be located no closer than 1.0m from the outside pipewall of TasWater's DN150 sewer main;
- (c) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (d) A note on the plan indicating how the pipe location and depth were ascertained.
- (e) The location of the property service connection and sewer inspection opening (IO).

Advice to Planning Authority (Council) and developer on fire coverage

TasWater advises that the location of existing fire hydrants may not meet Tasmania Fire service minimum hose lay requirements for the proposed development.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Date 12/10/21

Planning Department
Meander Valley Council

Via Email: planning@mvc.tas.gov.au

To the General Manager

RE: PA/22/0043 – MULTIPLE DWELLINGS (8 UNITS) – PLANNING REPRESENTATION

I am writing in relation to the above-mentioned development application, which is currently on public advertising until Tuesday 12 October 2021. The application proposes eight (8) dwellings with a number of discretionary matters considered under the Tasmanian Planning Scheme - Meander Valley.

While we do not object to the intent of the development, we do have concerns regarding a number of points. Our client currently owns the adjoining land to the west, at 29 Adelaide Street, Westbury. Number 29 Adelaide Street recently gained approval for a four (4) lot subdivision, which included two internal lots. These approved internal lots abut the area of land being developed for proposed units 1 & 2.

The servicing plans undertaken by Rare show that a 900mm retaining wall will be constructed along the entire length of the shared back boundary with number 29. In addition to the retaining wall, this part of the site is proposing significant fill, with proposed filling to a minimum of 174.8 RL. Based on existing ground level, this fill will result in an additional height of approximately 800mm – 1000mm to any development.

While the proposed dwellings are only single story, the pitch of the roof does result in an overall height of 5.2m from ground level. It does not appear that the elevations have taken into account the proposed fill when calculating building height. The scheme requires building height to be calculated from existing ground level. Fill is not exempt due to the priority vegetation overlay. We request that the elevation plans for units 1 and 2 are shown to include the required fill which is being undertaken. We don't believe the current elevations accurately reflect the height of development proposed.

The application relies on performance criteria for clause 8.4.2 P2. Of particular note is clause a) (iii) and (iv). It does not appear that any shadow diagrams have been provided by Council which demonstrate compliance with clauses relating to overshadowing. Given the amount of proposed fill, and the considerable height for a single dwelling, it is felt that shadow diagrams which demonstrate the degree of overshadowing should have been provided. We request that the applicant provide these as part of their application material.

Additionally, the extent of proposed fill, and subsequent impact on building height will result in a degree of visual bulk when viewed from an adjoining lot. It is noted that both unit 1 and unit 2 will be highly visible when viewed from 29 Adelaide Street.

LAUNCESTON

10 Goodman Crt, Invermay
PO Box 593, Mowbray TAS 7248
P 03 6332 3760

ST HELENS

48 Cecilia St, St Helens
PO Box 430, St Helens TAS 7216
P 03 6376 1972

HOBART

Rear Studio, 132 Davey St,
Hobart TAS 7000
P 03 6227 7968

DEVONPORT

2 Piping Lane,
East Devonport TAS 7310
P 03 6332 3760

Clause 8.4.6 of the scheme examines privacy for all dwellings. Units 1 and 2 appear to be approximately 2.2m off the western side boundary. While updated elevations would assist in understanding the application of this clause, we question whether privacy provisions will be triggered. The additional fill may result in areas over 1m above existing ground level directly overlooking into the property at 29 Adelaide Street. There does not appear to be any attempt to minimize overlooking, with private open space for both units 1 and 2 facing directly into the rear yard of number 29.

It appears based on the engineering design that LIDAR has been utilised as opposed to survey data. We note that our survey data for number 29 does show a low point through the centre of the site. Subsequently, we are requesting that a long section of the stormwater line along the western boundary be provided which we can review.

Given the reduced setback, visual impact and potential for overlooking, it would be requested that the developer be responsible for upgrading the rear boundary fence currently shared with number 29, to a minimum height of 1.8m should the development be approved. We feel this would assist in protecting any existing amenity that number 29 would enjoy, whilst also ensuring future dwelling development at number 29 will be not be unreasonably impacted as a result of development.

I am happy to discuss the contents of this letter.

Kind regards
Woolcott Surveys



James Stewart
Senior Town Planner

LAUNCESTON

10 Goodman Crt, Invermay
PO Box 593, Mowbray TAS 7248
P 03 6332 3760

ST HELENS

48 Cecilia St, St Helens
PO Box 430, St Helens TAS 7216
P 03 6376 1972

HOBART

Rear Studio, 132 Davey St,
Hobart TAS 7000
P 03 6227 7968

DEVONPORT

2 Piping Lane,
East Devonport TAS 7310
P 03 6332 3760

Rhonda Brown

PA/210043 Units

Index No. 13955	
Doc No.	
RCVD	-8 OCT 2021 MVC
Action Officer: NW	Dept: DPS
EO	OD

NOTIFICATION of APPLICATION for
PLANNING Approval :

Attention: Tullah Green

Dear Tullah;

In respect to the above I wish to advise you of my disappointment about the units going up in Dexter St; especially the number

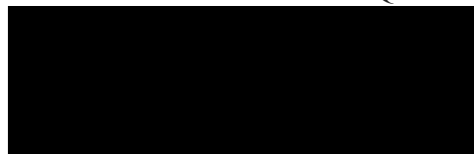
Westbury being an historical town makes the feeling all the worse. I find it hard to believe this would be allowed - is there not anyone in council who would try to keep the historical facts alive instead of dumping 9 units, @ least 19 adults, possible 19 cars, 7 bins, 14 the rest of no green space.

I am having trouble getting my head around this - however I guess the mighty \$ and the greed of some people we don't have much of a chance to change things.

Kind Regards

R Brown

8TH



Attention General Manager, John Jordon
PO Box 102
Westbury Tasmania 7303
mail@mvc.tas.gov.au

4 October 2021

Dear Mr Jordon,

Representation re Application for Planning Approval PA\22\0043

We are adjoining residents to the proposed development at 137 Dexter St, Westbury (PA\22\0043). We occupy a single-dwelling home on .215 hectares of land, surrounded by similar properties. Our concerns are that the level of this proposed development is inconsistent with its 'edge of village' location.

Here are some of our concerns:

- Traffic flow/parking (Re. C2.6.3)*
 - We believe the 30-minute count survey undertaken on the afternoon of 20th July 2020 (in the midst of COVID) paints an inadequate picture of the reality. Heavy trucks use this route to access Osmaston Rd. If visibility is reduced due to increased roadside car-parking (which we foresee) we believe the safety of all--pedestrian/bicycle traffic on the footpath [including school children and families], as well as unit residents and other road users, would be greatly impacted.
 - Further consideration of traffic impact must be made considering another development taking place next door at 133/135 Dexter St. (It will not remain vacant.)
 - We don't see an indication of how garbage bins will be accessed or how garbage trucks will enter/exit the property. Our concern is that they will be unable to turn and exit the property forwards. Alternatively, if bins are to be placed on the roadside, we envisage another traffic hazard in terms of visibility and road use.
- Current trees/vegetation on the property have been identified to be demolished with no indication of replacement.
 - Possible increased run-off/impact on drainage by completely replacing grassed areas and trees/shrubs with concrete
 - Impact on native animal species known to frequent this area of Westbury (e.g. Eastern-barred bandicoots) due to reduced vegetation
 - Negative environmental impact on residents of the development
- Nature strip vegetation
 - Council recently planted new street trees along Dexter St which we fear could be compromised by the infrastructure development (as witnessed two blocks east on Dexter St).

In conclusion, we see this planning application as overdevelopment of the property and request the Council re-examine the proposal.

Sincerely,
Rod and Martha McQueen

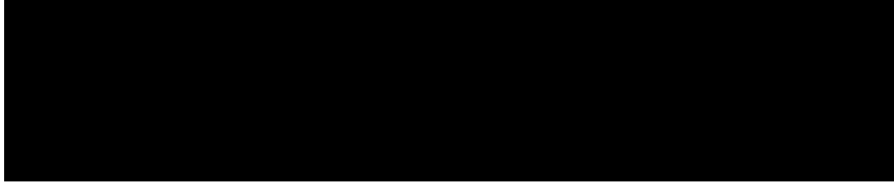
* The following is an indication of mistakes we found in the Traffic report.

- William St is to the east of the proposed development.
- Two lane?
- The speed limit is 40km/h between the Library and King St
- There are footpaths on both the eastern and western sides of the road

4.1.2 William Street William Street to the west of the proposed development is a two-lane two-way council collector road that connects Dexter Street to MVSR and the Bass Highway. The speed limit is 50km/h and the seal width is 7.5m at the Dexter Street intersection. There is a footpath on the eastern side of the road. 4.1.3 Dexter Street Dexter Street is a local access road with a posted 50km/h speed limit, see figure 5.

Cc: planning@mvc.tas.gov.au

Fiona Fletcher



October 4th 2021

General Manager
Meander Valley Council
PO Box 102
Westbury 7303

Dear Sir

Re: Urban Design Solutions - PA\22\0043

With regard to the development at 137 Dexter Street, Westbury (CT:31062/2):

1. I reside at Unit 1/25a Adelaide Street, Westbury which means that Unit 2 on the above proposal sits within a couple of metres (or less) of my boundary fence and covers nearly the whole length of said boundary. This seems to me to be unnecessarily close for a small country town. We do not live in a city environment and I cannot see the necessity of building so close to other properties.

2. The building of Unit 2 on the above plan entails the removal of a large and very lovely Blackwood tree. Again I cannot see the need for this to happen; not only does it house considerable native fauna and shelter numerous birds it is also the only tree within a large area. The aesthetics of the area will change with the removal of this tree and the whole area becomes brick and concrete with no space for growing any new trees.

3. The above plan is for the development of multiple dwellings, namely 7 units and the original house. Having so many dwellings on such a small area means there are practically no back yards for any of the units and there is not room to swing a cat between the units. This might be great planning for an inner city area but the Historic Village of Westbury is a lovely small country town and having developments like this puts it in the category of any other suburban area, decreasing the value of surrounding properties and changing the whole ethos of the town.

4. With regard to item 8.4.2, P3 (a) (ii) & (iii) in the proposal the compliance states that the property on the West of the site will not be subject to overshadowing as the properties on that site are located 32-34 metres from the site. I have reason to believe that the property at 29/31

Adelaide Street has recently been subdivided into four blocks which means when dwellings are built on these subdivisions the rear dwellings will be very close to the site boundary not 32-34 metres and because of the lay of the land could be overshadowed by units 1 and 2..

5. Pertaining to item 8.4.2, P3 (a) (iv) the visual impact from my dwelling at Unit 1/25a Adelaide Street will, owing to the lay of the land, be quite considerable. From the West side of my property, which already has a high brick wall as the boundary, my view looking north will now be brick and concrete instead of the view of a beautiful mature Blackwood tree. This is also an environmental impact as there are no visible plans for any landscaping, greening or screening in the proposal.

6. It might appear that I am being a bit hypocritical as I live in one of five units which according to the proposal are similar to the ones that are being proposed. However there are several differences between the two developments. The rear boundary of the five units at 25A Adelaide Street does not abut any other dwellings. There are at least 7.5 metres between each of the Units with an additional 3 metres at the rear of each dwelling. This gives each unit a significant POS large enough to enjoy and grow many plants and vegetables and also to have a rotary washing line. Each unit has a garden area in the front as well which enhances the aesthetics of the area. Each unit has two areas for visitor parking, as well as the garage, with ample space for turning.

In conclusion this proposal has paid scant attention to the environment, ecology or aesthetics of this area, or the ethos of the Historic Village of Westbury. Surely there should be a balance between the quality of life and the individual greed of developers.

Yours sincerely

Fiona Fletcher

From: [REDACTED]
Sent: Mon, 4 Oct 2021 14:33:40 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Unit Development PA/22/0043, 137 Dexter Street, Westbury (CT:31062/2)
Importance: Normal

The above Unit development impacts directly on Units 1, 2, and 3/25a Adelaide Street and indirectly on Units 4 and 5.

The very close proximity of Unit 3, 137 Dexter Street to my Unit 3/25a Adelaide is such, less than 2 metres, that I would expect to be able to hear the occupants change their mind!

Is it really necessary to cram 8 units onto a 3382m2 block? One can only lament the loss of yet another open space (not to mention the demise of a huge Blackwood tree) as more and more of the "Westbury Village" aesthetic is lost to subdivisions of small blocks and characterless buildings.

All the residents of 25a Adelaide Street are elderly and/or persons of ill health, and as such should be entitled to quiet enjoyment of their properties and that will certainly not be possible during the many months of building and reconstruction necessary as that will involve much machinery, vehicles, noise, dirt and dust.

It has been suggested perhaps we should be grateful we have the open spaces of the Village Green and the Town Common. Really?

Lynette Lenton
[REDACTED]

Sent from [Mail](#) for Windows

From: [REDACTED]
Sent: Sat, 9 Oct 2021 18:46:24 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: 137 Dexter PA\22\0043

To The General Manager,

We wish to express our strong disapproval of the proposed plan for what we consider an inappropriate and overly high density development of 7 new units behind the existing house at 137 Dexter Street. This proposed development if it were approved would be immediately adjacent to our property at 2/25a Adelaide Street, Westbury.

One important thing for us that stands out after serious reading of its Application for Planning Approval is in this section:

8.4.2 Setbacks and building envelope for all dwellings

P3 The siting and scale of a dwelling must:

***(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property....***

We find it unbelievable that such a clause could be so easily dismissed by the developers as irrelevant, when our entire back fence line's "amenity" regarding privacy, distant views, green space, and peaceful enjoyment will be totally impacted by a high density development in such close proximity to our fence line. In fact, the entire character of our property will be permanently impacted.

It is a nonsense to dismiss any concerns we might have, just by virtue of the fact that our 5 units already exist, as mentioned in the proposal. Our units are totally different to those in the proposed development, and were built with concern for scale, privacy and space, unlike the hideous density that will be caused by cramming 7 units in the paddock behind the existing house at 137 Dexter.

Also, another glaring omission is any mention of the impending planned destruction of a possibly century-old blackwood tree in the northwest corner. This not only forms a strong visual backdrop to many of the houses in this area, but also is home to countless varieties of birds.

Along with several other smaller trees this was just casually referred to in the "demolition plan" and again, obviously deemed irrelevant, and possibly simply dismissed as collateral damage.

Surely this requires closer inspection as to possible heritage and/or environmental values, which we note were also dismissed as irrelevant to this plan.

Finally, what of the plan's proposal for also placing a towering streetlight in the middle of the development, as the plans show? No impact seen there either, by the developers, it seems. We beg to differ.

To sum up, we wish to vehemently object to both the the scale and siting of this oversized development, the destruction of a large and valuable environmental local feature, and the addition of an imposing central streetlight.

Nancy Boulanger/Rodney Thompson
[REDACTED]

PLANNING AUTHORITY 3

Reference No. 215/2021

UNIT 1, 17 BORDIN STREET, PROSPECT VALE

Planning Application: PA\22\0062
Proposal: Multiple Dwellings (Extension to a dwelling)
Author: Heidi Goess
Consultant Town Planner

1) Proposal

Council has received an application for Multiple Dwellings (Extension to a dwelling) at Unit 1, 17 Bordin Street, Prospect Vale.

Applicant	Next 50 Architects
Property	Unit 1, 17 Bordin Street, Prospect Vale (CT:160322/1)
Zoning	General Residential Zone
Discretions	8.4.2 Setbacks and building envelope for all dwellings – P1 & P3
	8.4.6 Privacy for all dwellings – P3
Existing Land Use	Residential
Number of Representations	One (1)
Decision Due (extension granted)	10 November 2021
Planning Scheme:	Tasmanian Planning Scheme – Meander Valley (the Planning Scheme)

If approved, the application will result in the extension of Unit 1 at 17 Bordin Street, Prospect Vale within the General Residential Zone. The purpose of the proposal is to increase the gross floor area of the dwelling to allow the operation of a home occupation (hairdresser). The home occupation satisfies the exemption at clause 4.1.4 of the Planning Scheme and it is subservient and integral part of the Residential use.

The proposal plans and site photos are shown on the following pages.



Photo 1: Aerial photograph of the subject site, outlined in red.



Photo 2: Unit 1, 17 Bordin Street, looking from Lomond View Drive towards the main facade and entrance of the dwelling.



Photo 3: Unit 2, 17 Bordin Street, looking from Lomond View Drive towards the main facade and entrance of the dwelling.



Figure 1: Perspective of the proposed extension to Unit 1, looking from the corner of the intersection at Lomond View Drive and Bordin Street.

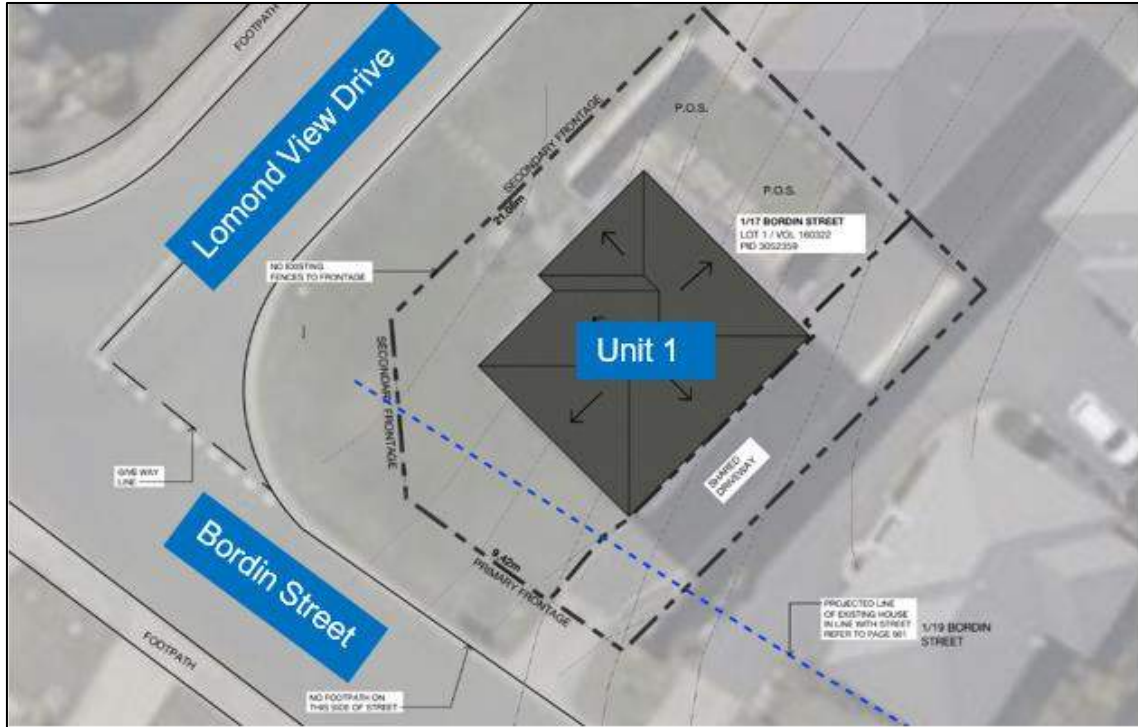


Figure 2: Existing roofed area of Unit 1.

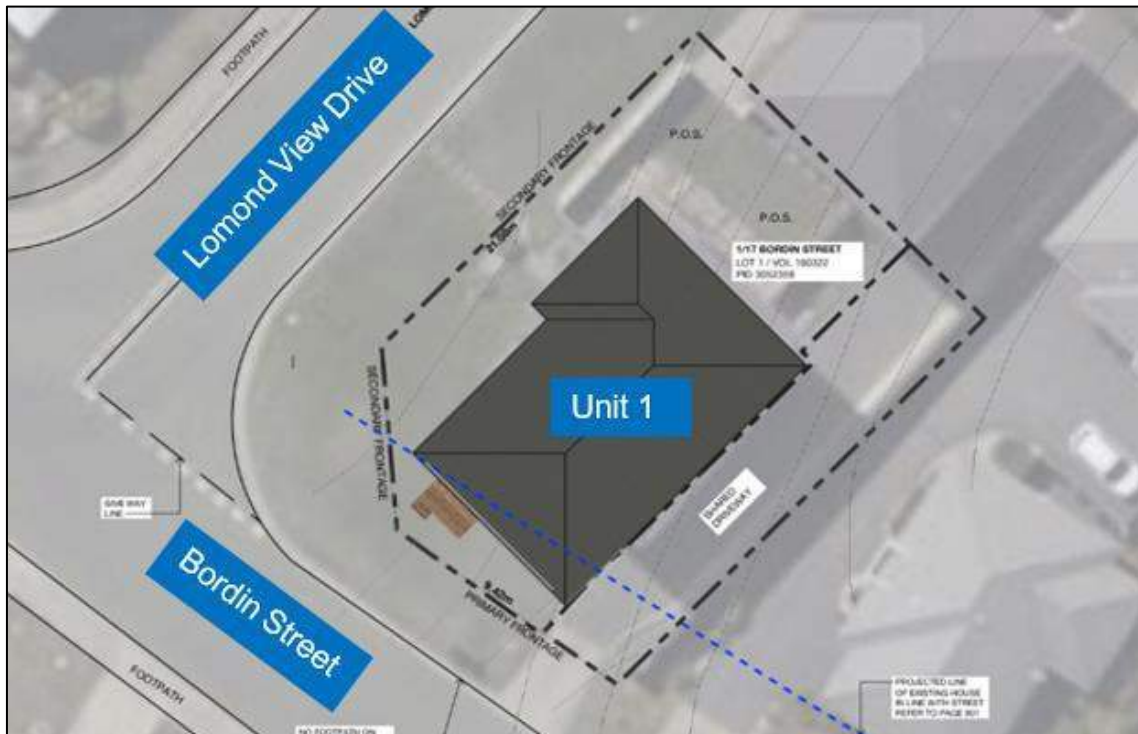


Figure 3: Proposed roofed area of Unit 1, showing that the building extends forward towards Bordin Street.



Figure 4: Comparison of the existing and proposed floor plans for Unit 1. The proposed extension is shaded in blue.

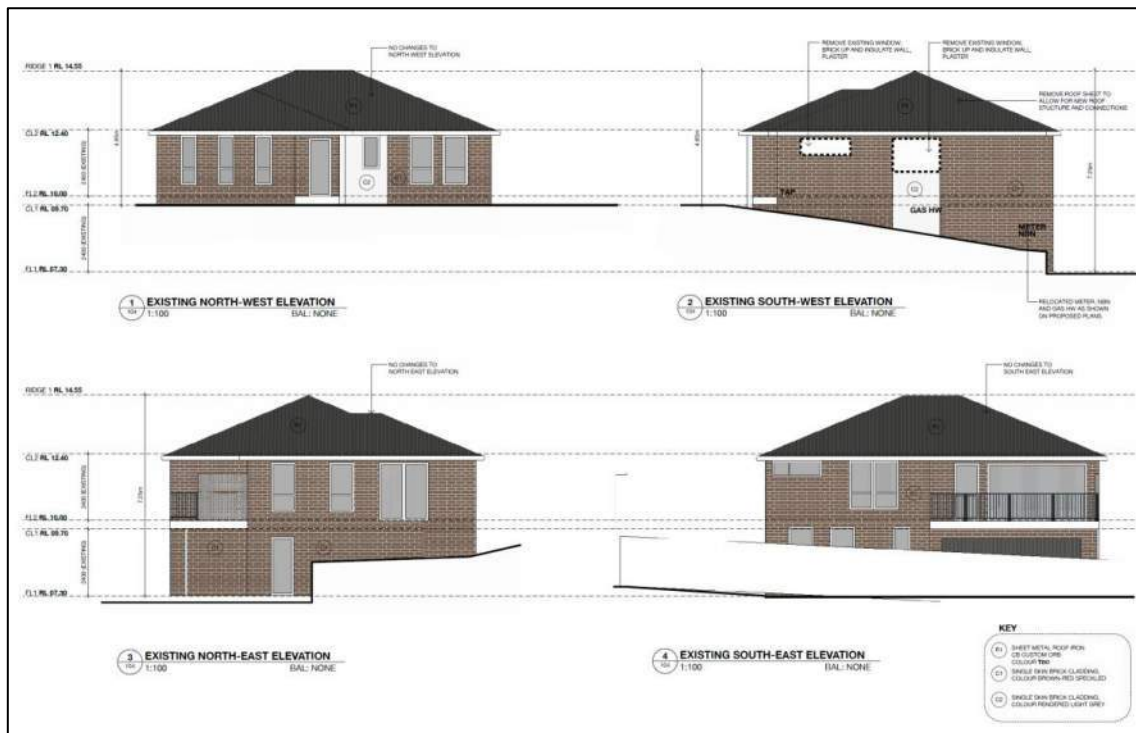


Figure 5: Existing dwelling elevations.



Figure 6: Proposed dwelling elevations.

2) Summary of Assessment

The subject site is at the south-western corner of Bordin Street and Lomond View Drive, has an area of $\pm 886\text{m}^2$, and is a strata development. There are two (2) dwellings contained on the subject site, Unit 1 and Unit 2. Access to Unit 1 and Unit 2 is via the crossover and shared driveway from Bordin Street.

The application proposes to construct an addition to the south-western side of Unit 1, extending the roof line and increasing the building footprint of the dwelling by 39m^2 .

The proposed extension aims to enable the operation of a "home occupation – hairdresser" as part of the Residential use. A "home occupation" is exempt at clause 4.1.3 in the Planning Scheme, providing that it can satisfy the requirements of the clause. The applicant has demonstrated that the requirements of clause 4.1.3 are satisfied, refer to Figure 7. The proposed use is subservient and integral part of the established Residential use.

4.1 Exempt Uses	
4.1.3 Home Occupation	
Exemption Standard	Response
<p>If:</p> <p>(a) not more than 40m² of gross floor area of the dwelling is used for non-residential purposes;</p> <p>(b) the person conducting the home occupation normally uses the dwelling as their principal place of residence;</p> <p>(c) it does not involve employment of persons other than a resident;</p> <p>(d) any load on a utility is no more than for a domestic use;</p> <p>(e) there is no activity that causes electrical interference to other land;</p> <p>(f) it does not involve display of goods for sale that are visible from any road or public open space adjoining the site;</p> <p>(g) it involves no more than 1 advertising sign (that must be non-illuminated) and not more than 0.2m² in area;</p> <p>(h) it does not involve refuelling, servicing, detailing or repair of vehicles not owned by the resident on the site;</p> <p>(i) no more than 1 commercial vehicle is on the site at any one time and no commercial vehicle on the site exceeds 2 tonnes; and</p> <p>(j) any vehicle used solely for non-residential purposes must be parked on the site.</p>	<p>The proposed space is:</p> <p>(a) 39.5m²</p> <p>(b) Owner-occupied</p> <p>(c) Sole trader</p> <p>(d) Hairdressing wash bay, dryer etc.</p> <p>(e) No electrical interference.</p> <p>(f) Small products for sale will not be visible from the road</p> <p>(g) Sign will be compliant</p> <p>(h) Does not involve any vehicle refueling, services or repair</p> <p>(i) There will be no commercial vehicles on site specific to this use</p> <p>(j) Vehicles park on site</p> <p>The proposed use of Home Occupancy is therefore exempt.</p>

Figure 7: Excerpt from the planning application demonstrating that clause 4.1.3 is satisfied.

Unit 1 is a single dwelling benched into the topography of the subject site and has a rectangular form with a dark coloured hipped gabled roof. The maximum building height of Unit 1 is 7.25m at its south-eastern and south-western sides.

The addition forms a linear extension of Unit 1 and does not breach the building line of Unit 1 and Unit 2 established along Lomond View Drive on the subject site. The addition, however, extends the dwelling by a horizontal distance of 4.2m towards Bordin Street, thereby reducing its frontage setbacks to 2m and 1.4m measured from the south-western and north-western corners of the proposed extension to the property boundary, respectively (refer to Figure 8).

The overall height of the existing dwelling will not be increased. A deck will be attached to the south-western building elevation, providing steps to a separate entrance to the dwelling containing the proposed home occupation. The deck will not have a finished floor level of more than 1m above the ground level (refer to Figure 6). A small sign with an area of 0.2m² will be next to the entry to the proposed home occupation. The sign is defined to be a "name plate" and is exempt in Table C1.4 Exempt Signs of the C1.0 Signs Code.

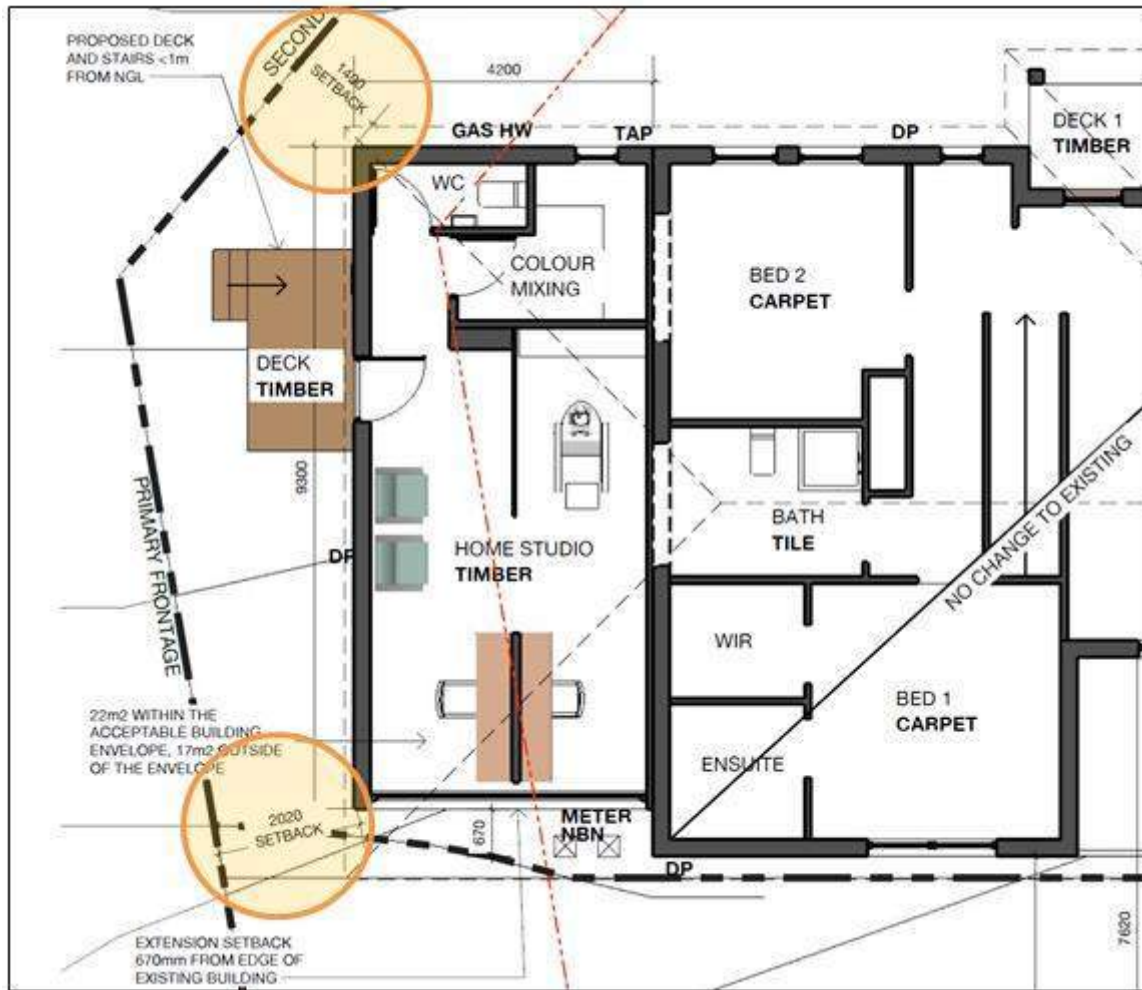


Figure 8: Proposed setback of the dwelling extension to Bordin Street (red dashed line showing required setback, orange shaded areas showing proposed setbacks).

Residential development along Bordin Street and Lomond View Drive is characterised by a mix of single and two (2) storey detached dwellings interspersed with multiple dwelling development. The built form of the dwellings in these streets is generally of a rectangular form with varied building setbacks from the frontages.

The streetscape character is open and there are generally no fences defining the property frontages in the streetscape. Although it should be noted that Unit 1 and Unit 2 have fencing along sections of their frontages to Lomond View Drive to allow screening of private open space at the side of each dwelling (refer to Figure 9).

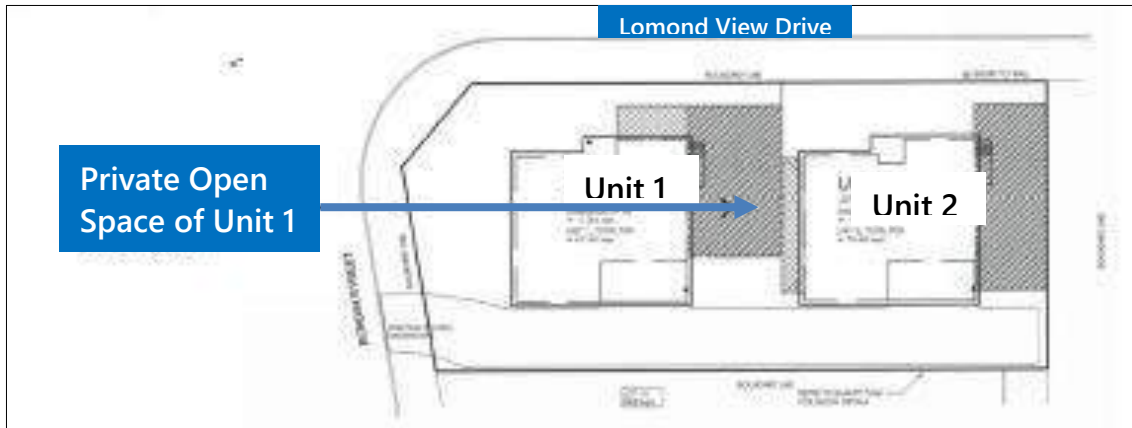


Figure 9: Private open space of Unit 1 and Unit 2.

With the exceptions of dwellings contained on internal or corner lots, the main façades are orientated to face the streetscape. In the case of the subject site, being a corner lot, Unit 1 and Unit 2 have their main facades orientated to address Lomond View Drive.

The standards of the Planning Scheme, which require assessment of the Performance Criteria and the application of Council’s discretion to approve or refuse the application are outlined above and detailed in the Scheme Assessment in Section 6.

Overview

- The proposal, if approved, will increase the building footprint by 39m² of Unit 1.
- The proposal does not propose to modify Unit 2.
- The proposal relies on Performance Criteria for setbacks and building envelope, the privacy of dwellings and therefore has a Discretionary status.
- One (1) representation was received during the advertising period. The representation objects to the reduced setback from Bordin Street and Lomond View Drive due to traffic safety concerns and detrimentally impacting the streetscape.
- The application is recommended for approval as it is demonstrated to comply with each applicable standard of the Planning Scheme.

3) Recommendation

It is recommended that the application for Use and Development for an extension to Multiple Dwelling, at Unit 1, 17 Bordin Street, PROSPECT VALE (CT: 160322/1), by Next 50 Architects, be APPROVED, generally in accordance with the endorsed plans:

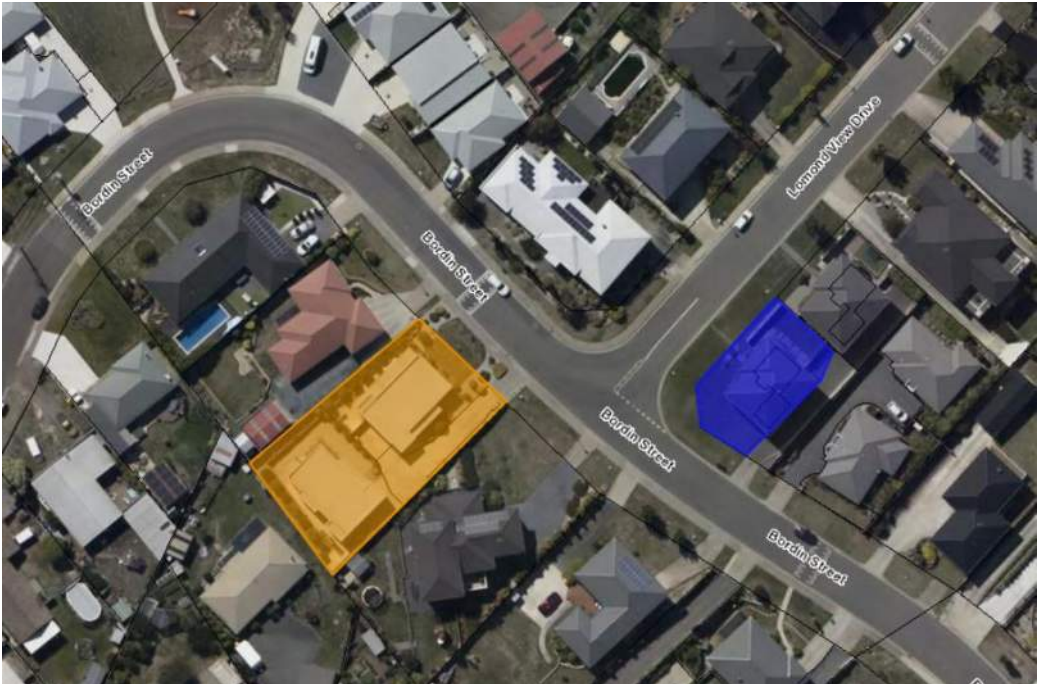
- 1. Next 50 Architects; Dated: 26 August 2021; Drawing No: 31121; Plan Number: 001, 100 to 104, 200, 201, 300, 900 and 901;**

Notes:

1. **In accordance with the *Strata Titles Act 1998*, an amendment to the Strata Plan must be registered with the Recorder of Titles to reflect the development. For further information please contact Land Titles Office.**
2. **Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Development and Regulatory Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
3. **This permit takes effect after:**
 - a) **The 14 day appeal period expires; or**
 - b) **Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.**
 - c) **Any other required approvals under this or any other Act are granted.**
4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.
5. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received.
6. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
7. If any Aboriginal relics are uncovered during works:
 - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction;
 - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania) Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au; and
 - c) The relevant approval processes will apply with state and federal government agencies.

4) Representations

The application was advertised for the statutory 14-day period from 26 September to 12 October 2021. During the advertising period one (1) representation was received. A summary of the concerns raised in the representation is provided below. While the summary attempts to capture the essence of the concerns, it should be read in conjunction with the full representation included in the attachments.

Representation 1
Overall concerns
<ol style="list-style-type: none">1. Representor writes as the property owner of Unit 1 and Unit 2, 12 Bordin Street. 
<p>Photo 4: The representor's property shown in orange. Unit 1 at 17 Bordin Street is shown in blue.</p>
<ol style="list-style-type: none">2. The representation is of the view that the proposal does not comply with the Planning Scheme for the following reasons:<ul style="list-style-type: none">• The proposal significantly encroaches on the required primary and secondary setbacks which is not in keeping with the streetscape; and• The proposal potentially will create a traffic safety issue.3. The proposed extension does not fit within the A1 Acceptable Solution for the primary frontage. The representor does not agree with applicant's response that the proposed setback is similar to the 3.5m setback of the neighbouring property at 1/19 Bordin Street. The proposed extension in fact has only a setback of 2.02m at the closest point to 1/19 Bordin Street. The reduced setback from the primary frontage goes too far.

4. The proposed extension does not meet the required setback for the secondary boundary on the truncated corner. The required setback is 3.0m the proposed extension is only setback 1.4m. This is again a significant encroachment and most prominent part of the site. The representor is of the view that the proposed extension is not compliant with P1.
5. The timber deck further encroaches on the primary and secondary setbacks.
6. Concerned that there could be three (3) or four (4) customers at any one (1) time and parked vehicles from customers on the road are likely to impact traffic safety. The representor gives an example that pulling out of Lomond View Drive may have a reduced line of sight due to parked vehicles.

Response

1. Noted.
2. The proposal has been assessed against the applicable use and development standards of the General Residential Zone. The Planning Scheme assessment in Section 6 in this report has assessed the proposal against the Performance Criteria concerning the setbacks and building envelope. It is determined that the proposal is compatible with the streetscape and that there will be no unreasonable loss of amenity resulting to adjoining properties.

The application does not require assessment against the C3.0 Road and Railway Assets Code for the following reasons:

- a) the proposal will not increase the amount of traffic movements utilising the existing crossover greater than the amount expected for a residential lot;
- b) the proposal does not require the construction of a new access, road or junction;
- c) the site is not located within a road or railway attenuation area.

Infrastructure Services have provided further advice in response to the representation and advised that no issue has been identified concerning sight lines from a vehicle at the intersection with Lomond View Drive looking left as a result of the reduced setback. Additional cars parked in Bordin Street could impact sight lines, however, the Tasmanian Road Rules stipulate how close motorists can park to an intersection. Police would be required to enforce anyone in breach of this rule.

3. Refer to response to point 2 above.

4. Refer to response to point 2 above.
5. Refer to response to point 2 above. Additionally, the timber deck is a small platform that will provide steps to the second entrance of the dwelling containing the "home occupation". The deck has a height of less than 1m above the ground level. While the deck results in a further reduction in the setback, it will not substantially modify sightlines of pedestrian and motorists travelling on either Bordin Street or Lomond View Drive.
6. Refer to response to point 2 above.

On review of this representation, there are no changes recommended to the proposal.

5) Consultation with State Government and other Authorities

The application was referred to TasWater. TasWater advises that "pursuant to the Water and Sewerage Industry Act 2008 (TAS) Section 56P(1) TasWater has assessed the application for the above mentioned permit and has determined that the proposed development does not require a submission from TasWater".

6) Scheme Assessment

Use Class: Residential

Performance Criteria

8.0 General Residential Zone	
8.4.3	Setbacks and building envelope for all dwellings
Objective	
<i>The siting and scale of dwellings:</i>	
<i>(a) provides reasonably consistent separation between dwellings and their frontage within a street;</i>	
<i>(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;</i>	
<i>(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and</i>	
<i>(d) provides reasonable access to sunlight for existing solar energy installations.</i>	
Performance Criteria P1	
<i>A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</i>	
Response	

The addition extends the dwelling horizontally by 4.2m towards Bordin Street, thereby reducing its frontage setbacks to 2m and 1.4m at the south-western and north-western corners (refer to Figure 10) of the proposed extension respectively. The proposal falls short of the required setbacks of 4.5m (primary frontage) and 3.0m (secondary frontage) and therefore the application relies on the Performance Criteria P1 for its approval.

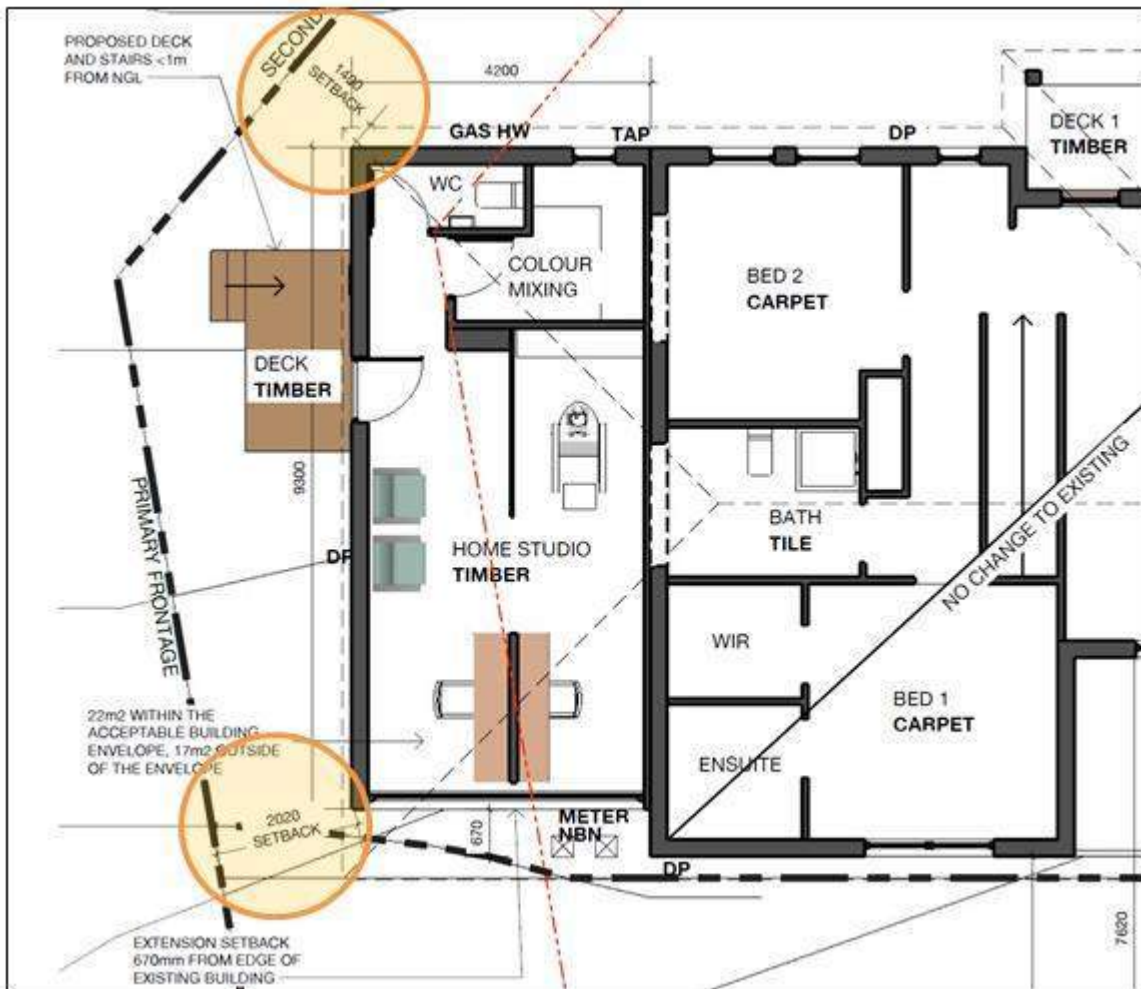


Figure 10: Required setbacks shown by the red dashed line in relation to the proposed dwelling extension.

The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area. The following definitions have been relied upon for assessment of the Performance Criteria.

The Tribunal considered the meaning of 'compatible' in *S Cai v Launceston City Council and TRC Multi Property Pty Ltd [2019] TASRMPAT 22* and determined that it "requires an outcome which is in harmony or broad correspondence with the surrounding area".



Photo 5: Aerial photograph, the yellow line showing an approximate distance of 100m of either side of the subject site shown.

The Planning Scheme provides the following definition for streetscape *"means the visual quality of a street depicted by road width, street planting, characteristics and features, public utilities constructed within the road reserve, the setback of buildings and structures from the property boundaries, the quality, scale, bulk and design of buildings and structures fronting the road reserve. For the purposes of determining streetscape for a particular site, the above matters are relevant when viewed from either side of the same street within 100m of each side boundary of the site, unless for a local heritage precinct or local historic landscape precinct listed in the relevant Local Provisions Schedule, where the extent of the streetscape may be determined by the relevant precinct provisions."*

In accordance with the above definition, Photo 5, shows a distance of 100m from the boundaries of the subject site which for the purposes of the assessment is the streetscape.

Bordin Street is the primary frontage of the subject site, as it is the shortest dimension measured parallel to Bordin Street. Lomond View Drive is the secondary frontage.

The streetscape of Bordin Street is defined by a 20m wide road reserve containing an 8m wide sealed carriageway with verges on both of its sides. Kerb and channel is established on both sides of the carriageway.



Photo 6: Established minimum setbacks of dwellings to the streetscape highlighted by the orange line.

The sealed carriageway of Bordin Street is slightly curved. The verge on the same side as the subject site has a width of approximately 5m which is continued for a large section of the streetscape (refer to Photo 5) with the verge narrowing around the north-western corner of Bordin Street and Lomond View Drive. The verge on the opposing side is of a similar width, and contains a sealed footpath.

Property	Setback	Property	Setback
8 Bordin Street	±5.8m	1 Lomond Drive	±3.0m
10 Bordin Street	±5.0m	19 Bordin Street	±3.5m
12 Bordin Street	±4.5m	21 Bordin Street	±4.0m
14 Bordin Street	±13m	23 Bordin Street	±7.0m
16 Bordin Street	±6m	27 Bordin Street	±17.5m
18 Bordin Street	±4.5m	29 Bordin Street	±5.3m
22 Bordin Street	±7.5		

Table 2: Minimum setback distances of dwellings on properties with a frontage to Bordin Street



Photo 7: Streetscape of Bordin Street looking south-east. Yellow line indicates the extent of the proposed dwelling extension (excluding the deck).

Apart from the occasional tree planted on the road verge, there are no street trees in the streetscape. Frontage fences are generally not observed in the streetscape on either side of Bordin Street. The setbacks of dwellings along Bordin Street are varied (refer to Table 2 and Photo 6 showing minimum setback distances of buildings to the frontages), with no consistent or defined setback distance across the property frontages along the streetscape of Bordin Street.



Photo 8: Streetscape of Bordin Street looking north-west beyond the subject site.

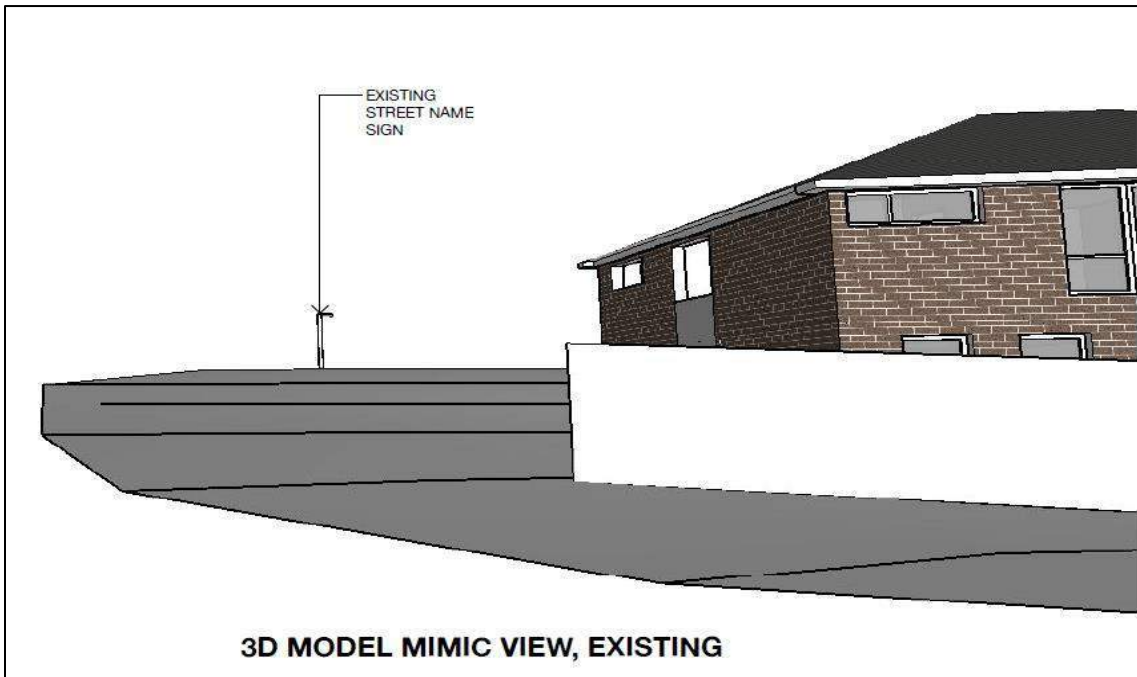


Figure 11: 3D Model of the existing view looking north-west towards the intersection of Lomond View Drive and Bordin Street.

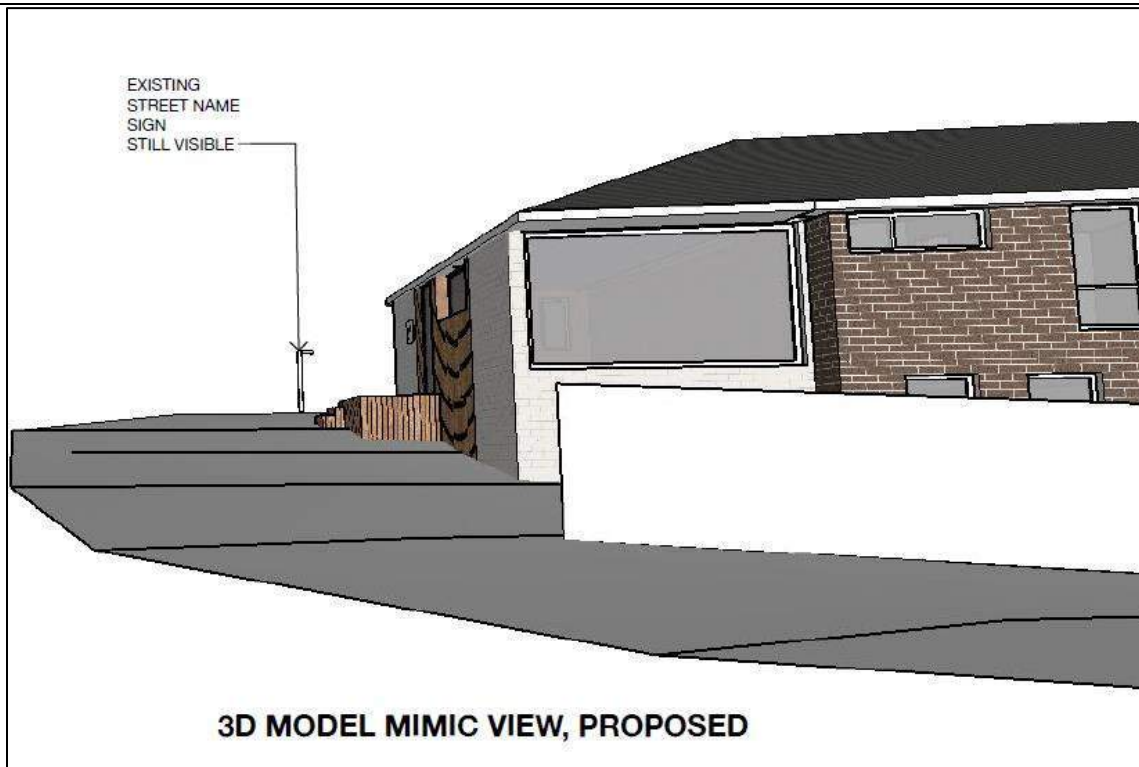


Figure 12: 3D Model of the proposed view looking north-west towards the intersection of Lomond View Drive and Bordin Street.

The irregular lot shapes of properties along Bordin Street means that several dwelling facades are slightly angled and not always parallel to the road carriageway or property boundaries. The combination of irregular lot shapes, dwelling orientation and the curved road carriageway of Bordin Street contributes to the appearance of the varied setbacks of dwellings in the streetscape as illustrated by Photos 7 and 8. The absence of frontage fences in the streetscape means the property frontages are not defined, creating a seamless visual transition between the road reserve and the setbacks of dwellings from property boundaries.

The streetscape has an open character allowing view lines to be observed by pedestrians and motorists when looking south-east down the length of the streetscape (refer to Photo 7). The open character is largely attributed to the wide verges on either side of the road and the absence of frontage fences. The same view lines, due to the rising topography, are not achieved for the entire length of Bordin Street looking in the opposite direction (refer to Photo 8).

The setbacks are influenced by the existing angulated building position and the property boundaries. The subject site, being a corner lot, has an irregular shape due to the corner truncation of the boundary.

While the dwelling extension reduces the setback to the Bordin Street frontage, the extension maintains a similar built form and it is not expected to impose on the open

visual character of the streetscape as illustrated by Photos 7 and 8, and Figures 11 and 12.

The proposed dwelling addition forms a relatively consistent building line with Unit 1 at 19 Bordin Street. The finished dwelling position of Unit 1 on the subject site also mirrors the similar building position and setbacks on the opposing side at 1 Lomond View Drive (refer to Figure 13). The dwelling extension will maintain building separation from the road carriageway of Bordin Street and Lomond View Drive (refer to Figures 11, 12 and 13) which retains an open streetscape retaining the continued strong view lines along Bordin Street. The proposed extension is compatible with the character of the streetscape.

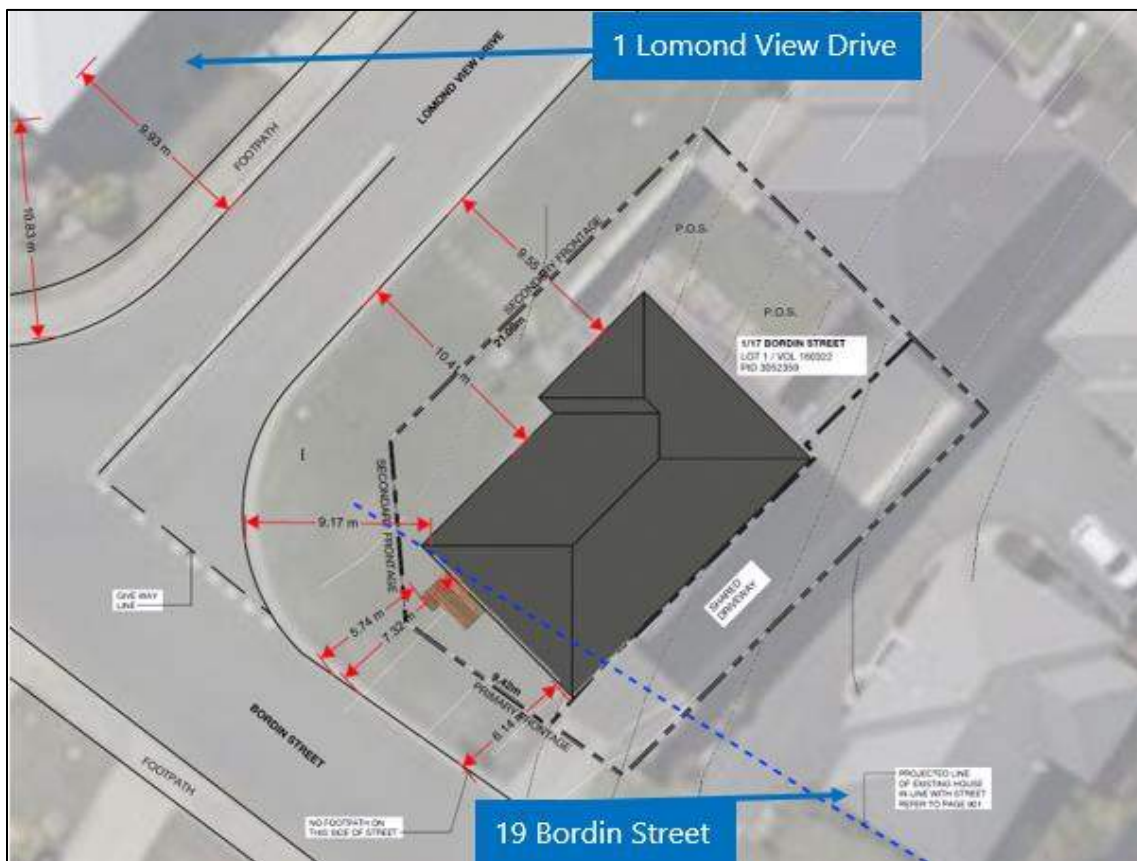


Figure 13: Setbacks to the road carriageway shown for the proposal at 17 Bordin Street and the dwelling at 1 Lomond View Drive.

The proposed deck will further reduce the setback to the primary and secondary frontages. The deck is not considered to be a minor protrusion as it is wider than 900mm and therefore the setback of the deck must be considered in the assessment.

The topography of the subject site across the property fronting Bordin Street and has a fall of 12 degrees from Lomond View Drive towards 19 Bordin Street (refer to Photo 9). Due to the topography, the purpose of the deck is to provide safe entrance to the "home occupation". The deck will not exceed a height of 1m and will not extend into the streetscape beyond the property boundary. The deck will not impose on the open character of the streetscape. The reduced setback resulting from the deck is considered

compatible with the streetscape.

The secondary frontage to the subject site is Lomond View Drive. The proposed extension to the dwelling will reduce the setback to 1.4m to the secondary frontage which is the corner truncation.



Photo 9: Existing south-western and south-eastern elevation of Unit 1. Unit 2 seen in the background. Looking from Bordin Street.

Lomond View Drive exhibits similar qualities to that of the Bordin Street streetscape as it is also a 20m wide road reserve and is defined by an 8m wide sealed carriageway with verge on both of its sides. The streetscape is also characterised by wide verges and the general absence of frontage fences defining the property boundaries (with the exception of the subject site).



Photo 10: Looking from Unit 2, Lomond Drive towards the Bordin Street.

The reduced setback has minimal impact as the building line of the dwelling extension will not be breached (refer to Photo 10). The proposed development is compatible with the streetscape of Lomond View Drive.

The proposed development is considered consistent with the Objective and Performance Criteria.

Performance Criteria P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
 - (iii) overshadowing of an adjoining vacant property; or*
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;**
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*

- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
- (i) an adjoining property; or
 - (ii) another dwelling on the same site.

Response

The proposal is outside of the building envelope in that the extension reduces the setback to less than 4.5m and 3.0m from Bordin Street and Lomond View Drive respectively. The application relies on the Performance Criteria P3 for its approval.

- (a) The clause requires consideration if the proposal will result in unreasonable loss of amenity and therefore there is a requirement to assess the existing amenity and if any loss arises as a result of the siting and scale of the proposal.

In undertaking an analysis of what would constitute an “unreasonable loss of amenity”, it is something what is immoderate or exorbitant. This approach is consistent with the Tribunal’s decision in *Dunn v Central Coast Council and PLA Design [2018] TASRMPAT 27*. The existing pattern of development in the surrounding area should be considered when assessing the existing amenity.

- (i) The adjoining properties to the subject site are:
- 2 Lomond View Drive, Prospect Vale; and
 - 19 Bordin Street, Prospect Vale (refer to Photo 11).



Photo 11: Adjoining properties to the subject site (shaded orange).

The property at 2 Lomond View Drive contains a single detached dwelling and is separated from Unit 1 by Unit 2 on the subject site. There is a separation distance of approximately 28m from the dwelling at 2 Lomond View Drive. The proposed addition will not impact on the dwelling at this property.

The property at 19 Bordin Street contains two (2) dwellings on the site. Unit 1 on the subject site has its internal driveway on its south-eastern side shared with the boundary of the adjoining property. Unit 1 of 19 Bordin Street also has its internal driveway on the north-western side. The combined width of the internal driveways provides an overall separation of 11.0m between the two dwellings. Unreasonable loss of amenity resulting in the reduction in sunlight to a habitable room is not expected.

- (ii) The private open spaces of the adjoining properties (refer to Photo 11) are behind the existing dwellings, away from the proposed additions of Unit 1 on the subject site. The proposal will not unreasonably impact on the established private open spaces of the adjoining properties.
 - (iii) None of the adjoining properties are vacant and therefore this is not applicable.
 - (iv) The building addition to the south-eastern elevation will continue the rectangular form of the dwelling and retain the existing gabled hip roof. The proportions, bulk and scale will be similar to that already established. While the addition increases the dwelling by a width of 4.2m, building height of Unit 1 will not be increased. The visual impacts of the development when viewed from surrounding properties is not considered unreasonable.
- (b) The separation distances are established with the adjoining properties. The separation distance between Unit 1 and the property at 19 Bordin Street will be maintained. The separation distance between the dwelling at 2 Lomond View Drive will also not be altered.
- (c) There are no solar installations observed on the subject site or on the adjoining properties.

The proposed development is considered consistent with the Objective and Performance Criteria.

8.4.6 Privacy for all dwellings

Objective

To provide a reasonable opportunity for privacy for dwellings.

Performance Criteria P3

A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.

Response

The proposed window (NW03) will be within 2.5m of the internal driveway. The proposal relies on the assessment against the Performance Criteria P3.

The proposed window (NW03) will be contained in the south-eastern façade. Window NW.03 will have a minimum setback of 0.5m and a maximum setback of 1.1m from the shared driveway. The window will have a sill height 2.4m above the shared driveway.

The window is located above the shared driveway. Due to the elevated position of the window, the habitable rooms will not be impacted unreasonably by vehicle noise or experience vehicle light intrusion.

The proposed development is considered consistent with the Objective and Performance Criteria.

Applicable Standards

A brief assessment against all applicable Acceptable Solutions of the applicable zone and codes is provided below.

8.0 General Residential Zone		
Scheme Standard	Comment	Assessment
8.3 Use Standards		
8.3.1 Discretionary Uses		
A1 - 4	The use class Residential (not a single dwelling) is listed as Permitted in '8.2 Use Table'.	Not Applicable
8.3.2 Visitor Accommodation		
A1	The application does not propose Visitor Accommodation use.	Not Applicable
8.4 Development Standards for dwellings		
8.4.1 Residential density for multiple dwellings		
A1	The site area of the dwelling is not modified. The application proposes to extend the building of Unit 1. There is no intention to modify the site area for each dwelling. The site area of Unit 1 is 443m ² .	Not Applicable

8.4.2 Setbacks and building envelope for all dwellings

<p>A1</p>	<p>The site has two (2) frontages, Bordin Street and Lomond View Drive. The primary frontage is Bordin Street as it has the shortest distance of the two (2) frontages. Lomond View Drive is the secondary frontage.</p> <p>The setbacks from the frontage are as follows -</p> <table border="1" data-bbox="459 622 1045 840"> <thead> <tr> <th rowspan="2">Frontage</th> <th colspan="2">Setback</th> </tr> <tr> <th>Required</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Bordin Street</td> <td>4.5m</td> <td>2.02m</td> </tr> <tr> <td>Lomond View Drive</td> <td>3m</td> <td>1.4m</td> </tr> </tbody> </table> <p>Please note that the setback from the Lomond View frontage is the distance between the boundary and the deck. The deck is not a minor protrusion on the basis that it extends more than 0.9m into the frontage setback and is therefore considered in the assessment.</p> <p>The proposal does not comply with subclause (a) as the dwelling addition does not achieve a setback of 4.5m from Bordin Street.</p> <p>The proposal does not comply with subclause (b) as the dwelling addition does not achieve a setback of 3m from Lomond View Drive (from the corner truncation).</p> <p>Subclause (c) is not applicable to the proposal as the adjoining properties are not vacant.</p> <p>Subclause (d) is not applicable as a non-residential use is not proposed.</p>	Frontage	Setback		Required	Proposed	Bordin Street	4.5m	2.02m	Lomond View Drive	3m	1.4m	<p>Relies on Performance Criteria</p>
Frontage	Setback												
	Required	Proposed											
Bordin Street	4.5m	2.02m											
Lomond View Drive	3m	1.4m											
<p>A2</p>	<p>The proposal does not involve a carport</p>	<p>Not Applicable</p>											

	or garage.	
A3	The proposed dwelling extension will not be contained within the building envelope described by Figure 8.1 on the basis that its location does not satisfy the frontage setback requirements for Acceptable Solution 8.4.2 A2 or Figure 8.1.	Relies on Performance Criteria
8.4.3 Site coverage and private open space for all dwellings		
A1	<p>The site has an area of 886m² and the proposal will result in a roofed area of 345m². The site coverage will be 38.9%.</p> <p>The proposal complies with sub-clause (a). The subject dwelling will retain 192.8m² of private open space and the private open space of the other dwelling on the same site will not be altered.</p> <p>The proposal complies with sub-clause (b) as each unit has a total area of private open space more than 60m².</p>	Complies
A2	The subject dwelling will retain a 60m ² area of dedicated private open space. This area is located to the north-east of the dwelling and will not be altered by the proposed extension. The dedicated area of private open space of the other dwelling on the same site will not be altered.	Complies
8.4.4 Sunlight to private open space of multiple dwellings		
A1	The location of the existing private open space relative to the other dwelling on the same site will not change.	Not Applicable
8.4.5 Width of openings for garages and carports for all dwellings		
A1	The proposal does not involve a garage or carport.	Complies
8.4.6 Privacy for all dwellings		
A1	The proposal does not involve a garage or carport. The proposed timber deck will have a finished floor level less than 1m above existing ground level.	Not Applicable

A2	Window NW.03 will face the south-eastern (side) boundary. It will have a finished floor level greater and 1m above existing ground level. The window will be setback 5.5m from the boundary. The proposed extension will be located 20m from the other dwelling on the same site.	Complies
A3	Window NW.03 will have a minimum setback of 0.5m and a maximum setback of 1.1m from the shared driveway. The window will have a sill height 2.4m above the shared driveway.	Relies on Performance Criteria
8.4.7 Frontage fences for all dwellings		
A1	No frontage fences proposed	. Not Applicable
8.4.8 Waste storage for multiple dwellings		
A1	Existing waste storage areas will be retained for both dwellings.	Not Applicable

Codes

C2 Parking and Sustainable Transport Code		
Scheme Standard	Comment	Assessment
C2.2 Application of this Code		
	The code applies to all use and development. On the other hand, the proposal involves an extension to a dwelling which does not increase the demand for onsite car parking under the terms of Table C2.1 (bedroom numbers). Accordingly, the proposal is not required to provide any additional onsite carparking. The standards within the code therefore deal with matters that will not be affected by the proposal and they are not applicable standards in accordance with clause 5.6.2(b).	Code applies

Internal Referrals

Infrastructure Department

There are no conditions or notes recommended. Nil risk to Council infrastructure.

Conclusion

It is considered that the application for an extension to Multiple Dwelling, on land at Unit 1, 17 Bordin Street, Prospect Vale is acceptable in the General Residential Zone and is recommended for approval.

DECISION:

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No Met with Laura Small
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="UNIT 1 / 17 BORDIN STREET"/>	Certificate of Title:	<input type="text" value="160322"/>
Suburb:	<input type="text" value="PROSPECT VALE"/>	<input type="text" value="7250"/>	Lot No: <input type="text" value="1"/>
Land area:	<input type="text" value="444m2"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="DWELLING"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|---|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input checked="" type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

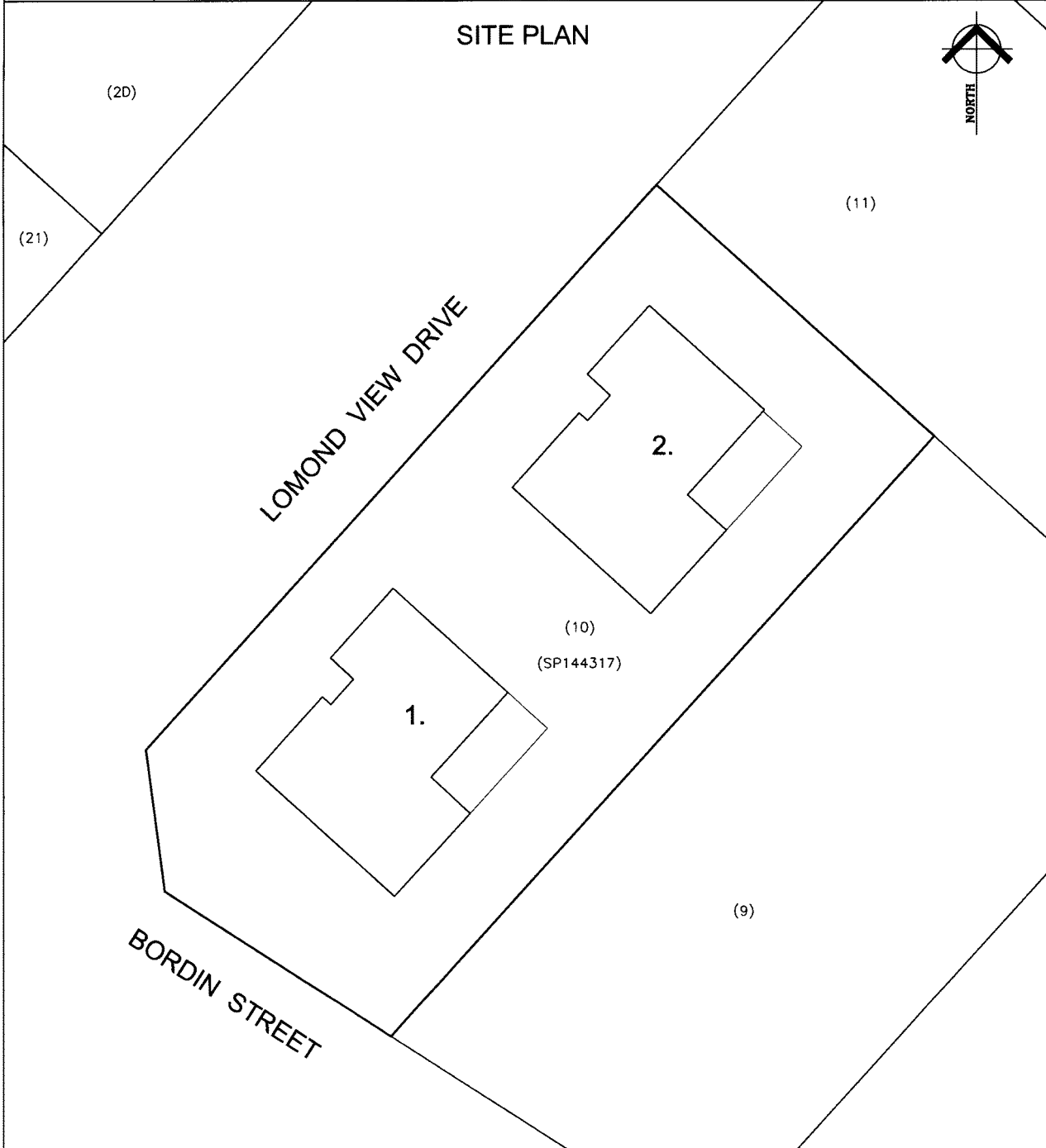
Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m² New building height: m

Materials: External walls: Colour:

Roof cladding: Colour:

TOWN OF PROSPECT VALE FOLIO REFERENCE 144317/1D SITE COMPRISES THE WHOLE OF LOT 10 ON PLAN No SP144317		STRATA PLAN SHEET 1 OF 4 SHEETS		Registered Number 160322
MAPSHEET MUNICIPAL CODE No 121		LAST UPI No GGJ31	SCALE 1:200	LENGTHS IN METRES
NAME OF STRATA SCHEME 17 BORDIN STREET PROSPECT VALE			STRATA TITLES ACT 1998 REGISTERED - 1 SEP 2010 <i>Alice Kawa</i> Recorder of Titles	



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1 (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1	<i>[Signature]</i> Council Delegate	13.8.10 Date	<i>[Signature]</i> Registered Land Surveyor	30.10.10 Date
	STAGED/COMMUNITY DEVELOPMENT SCHEME No (IF APPLICABLE)			
LODGED BY RAE & PARTNERS				

STRATA PLAN

SHEET 2 OF 4 SHEETS

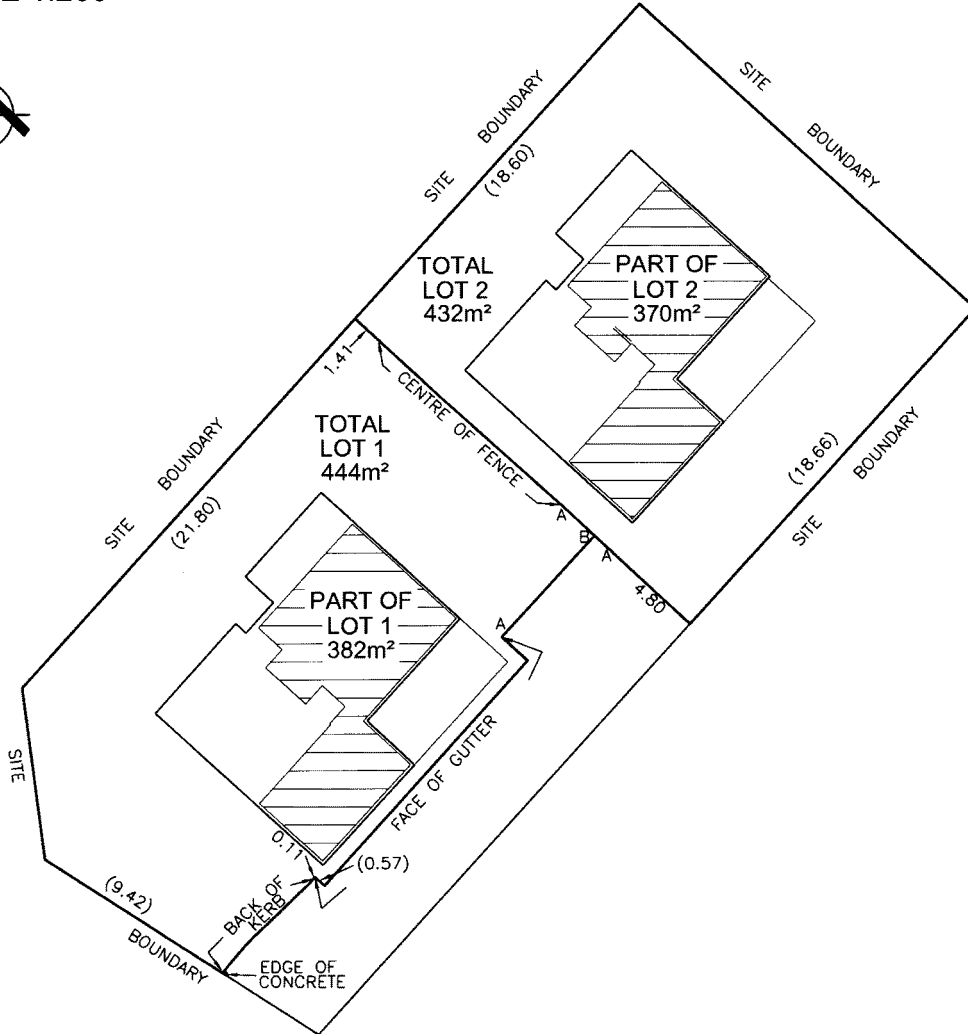
STRATA TITLES ACT 1998

Registered Number

[Signature] 13.8.10
Council Delegate Date

160322

GROUND FLOOR
SCALE 1:200



THE HORIZONTAL BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:
 SITE BOUNDARIES
 CENTRE OF FENCE
 FACE OF GUTTER
 EDGE OF CONCRETE
 CENTRE OF GARDEN EDGING LABELLED AB
 MEASUREMENT WHERE BOUNDARY IS OPEN
 BACK OF KERB

MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY

THE VERTICAL BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 15.00 METRES ABOVE GROUND LEVEL EXCEPT FOR:
 THE HATCHED PORTIONS WHICH EXTEND FROM THE CENTRE OF THE FLOOR BELOW TO 15.00 METERS ABOVE GROUND LEVEL

[Signature] 30.07.10
Registered Land Surveyor Date

STRATA PLAN

SHEET 3 OF 4 SHEETS

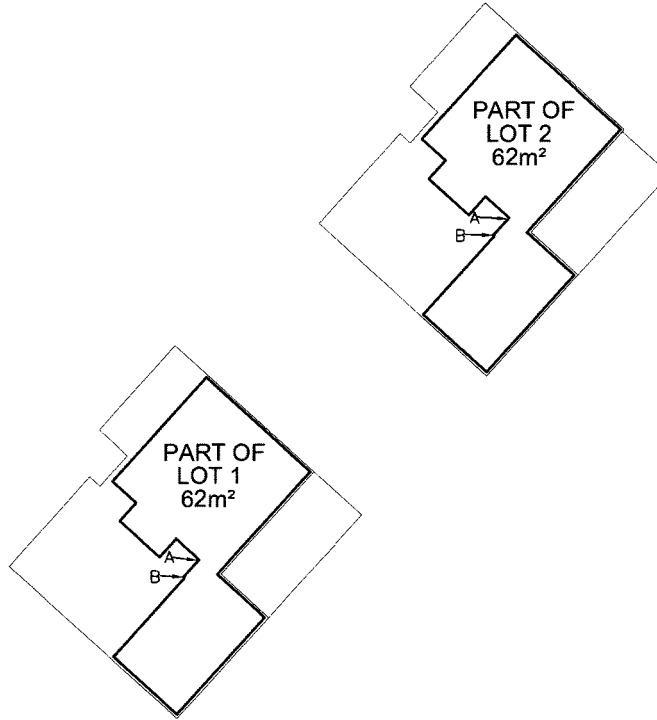
STRATA TITLES ACT 1998

Registered Number

[Signature]
 Council Delegate Date

160322

LOWER GROUND
SCALE 1:200



THE HORIZONTAL BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:
 MEASUREMENT WHERE BOUNDARIES ARE OPEN
 INTERNAL FACE OF WALL UNLESS OTHERWISE STATED
 THE FACE OF STAIR LABELLED AB

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO THE
 CENTRE OF THE FLOOR ABOVE.

[Signature] 30.07.10
 Registered Land Surveyor Date

SEARCH OF TORRENS TITLE

VOLUME 160322	FOLIO 1
EDITION 5	DATE OF ISSUE 03-Nov-2020

SEARCH DATE : 18-Aug-2021

SEARCH TIME : 05.39 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE
 Lot 1 on Strata Plan 160322 and a general unit entitlement operating for all purposes of the Strata Scheme being a 1 undivided 1/2 interest
 Derived from Strata Plan 160322
 Derivation : Part of Lot 971, 321A-3R-25P Gtd to H Burrows

SCHEDULE 1

M840529 TRANSFER to THAYNAN CORREA SARTORIO and JESSICA ANNE WHITE Registered 03-Nov-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property
 Folio of the Register volume 160322 folio 0
 SP144317 EASEMENTS in Schedule of Easements
 SP144317 COVENANTS in Schedule of Easements
 SP144317 FENCING COVENANT in Schedule of Easements
 A131877 FENCING CONDITION in Transfer
 E235973 MORTGAGE to National Australia Bank Limited
 Registered 03-Nov-2020 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 160322	FOLIO 0
EDITION 1	DATE OF ISSUE 01-Sep-2010

SEARCH DATE : 18-Aug-2021

SEARCH TIME : 05.39 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE
 The Common Property for Strata Scheme 160322
 Derivation : Part of Lot 971, 321A-3R-25P Gtd to H Burrows
 Prior CT 144317/10

SCHEDULE 1

STRATA CORPORATION NUMBER 160322, 17 BORDIN STREET PROSPECT VALE

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP144317 EASEMENTS in Schedule of Easements
 SP144317 COVENANTS in Schedule of Easements
 SP144317 FENCING COVENANT in Schedule of Easements
 A131877 FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Planning Report – 1/17 Bordin Street, Prospect Vale

To: Meander Valley Council
Date: 26th August 2021

Dear Meander Valley Council,

This document is to accompany the application for development for alterations and additions to Unit 1/17 Bordin Street which is in the general residential zone with the landslip (medium) risk overlay. The following written summary addresses these codes.

The scope of works is to provide a new addition of 39m² to the ground level of the existing house that can be used as a 'home occupancy' for the owner who is a qualified hairdresser currently running her sole trader business by renting out a space in other studios.

The property, Unit 1/17 Bordin street is situated on a south-west corner of Bordin and Lomond View Drive. The surrounding neighborhood properties have been built within a short timeframe, and have a distinct style of 1 to 2 story exposed or rendered brick, rectangular forms with dark coloured hipped gabled roofs. The proposed extension takes cue to sit within this neighborhood style, with either rendered brick or coloured brick, as it is no longer possible to match the same colour of the existing house brick. The gable roof of the existing house will extend to incorporate the extension visually into the existing house. As per the provided by the documentation and neighbourhood study, the proposed extension will not impact safety in terms of sightlines or navigation (reading street signs), nor look out of place within the streetscape.

The proposed works have been tested against the applicable general residential code within the Meander Valley Statewide Planning Scheme. Please find following a summary and detailed assessment.

Kind regards,



Bee Newman
Director, Next 50 Architects

SUMMARY ASSESSMENT

8.0 GENERAL RESIDENTIAL ZONE

CLAUSE	ACCEPTABLE SOLUTIONS	PERFORMANCE CRITERIA
8.4.1 Residential Density for Multiple Dwellings	A1-N/A	
8.4.2 Setbacks and building envelope for all dwellings	A2	P1 P3
8.4.3 Site coverage and private open space for all dwellings	A1 A2	
8.4.4 Sunlight to private open space of multiple dwellings	A1-N/A	
8.4.5 Width of openings for garages and carports for all dwellings	A1	
8.4.6 Privacy for all dwellings	A1 A2 A3	
8.4.7 Frontage fences for all dwellings	A1-N/A	
8.4.8 Waste storage for multiple dwellings	A1-N/A	

4.1 Exempt Uses

4.1.3 Home Occupation

Exemption Standard	Response
<p>If:</p> <p>(a) not more than 40m² of gross floor area of the dwelling is used for non-residential purposes;</p> <p>(b) the person conducting the home occupation normally uses the dwelling as their principal place of residence;</p> <p>(c) it does not involve employment of persons other than a resident;</p> <p>(d) any load on a utility is no more than for a domestic use;</p> <p>(e) there is no activity that causes electrical interference to other land;</p> <p>(f) it does not involve display of goods for sale that are visible from any road or public open space adjoining the site;</p> <p>(g) it involves no more than 1 advertising sign (that must be non-illuminated) and not more than 0.2m² in area;</p> <p>(h) it does not involve refuelling, servicing, detailing or repair of vehicles not owned by the resident on the site;</p> <p>(i) no more than 1 commercial vehicle is on the site at any one time and no commercial vehicle on the site exceeds 2 tonnes; and</p> <p>(j) any vehicle used solely for non-residential purposes must be parked on the site.</p>	<p>The proposed space is:</p> <p>(a) 39.5m²</p> <p>(b) Owner-occupied</p> <p>(c) Sole trader</p> <p>(d) Hairdressing wash bay, dryer etc.</p> <p>(e) No electrical interference</p> <p>(f) Small products for sale will not be visible from the road</p> <p>(g) Sign will be compliant</p> <p>(h) Does not involve any vehicle refueling, services or repair</p> <p>(i) There will be no commercial vehicles on site specific to this use</p> <p>(j) Vehicles park on site</p> <p>The proposed use of Home Occupation is therefore exempt.</p>

DETAILED ASSESSMENT – 8. GENERAL RESIDENTIAL ZONE

8.4.1 Residential Density for Multiple Dwellings

To provide for suburban densities for multiple dwellings that:

- (a) make efficient use of suburban land for housing; and
- (b) optimise the use of infrastructure and community services.

Development Standard	Assessment
A1 Details not shown.	Not Applicable, as the proposed works are not a multiple dwelling.

8.4.2 Setbacks and building envelope for all dwellings

The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- (d) provides reasonable access to sunlight for existing solar energy installations.

Development Standard	Assessment
A1 <i>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</i> <ul style="list-style-type: none"> (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level. P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.	The proposed extension does not fit within the A1 acceptable solution for the primary frontage, although it is compliant with A1 for secondary frontage. Information has been provided on the drawings to indicate the A1 acceptable solution, and how the proposed extension protrudes further. The neighbouring property 1/19 Bordin Street appears to have a frontage setback that is less (approx. 3.5m) than the required 4.5m. As there is no front fence, it is difficult to confirm the measurement on site. The extension is proposed to be located on the south-west corner of the existing house site, which due to its slope, corner angle, lack of sunlight and open frontage, is not currently a safe usable area. The proposed setback for the extension takes into consideration being compatible with the streetscape, as further noted in the documentation and neighbourhood study (900 to 901), which explains how the extension responds to aesthetic, bulk, siting, and safety. The proposed extension is therefore compliant with P1.

<p>A2</p> <p>A garage or carport must have a setback from a frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10 m from the frontage.</p>	<p>There are no proposed changes to the existing garage, the proposal therefore compliant with A2.</p>
<p>P3</p> <p>The siting and scale of a dwelling must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; or</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</p> <p>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</p> <p>(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</p> <p>(i) an adjoining property; or</p> <p>(ii) another dwelling on the same site.</p>	<p>The proposed extension is setback greater than existing house, which is separated to the neighboring property (1/19 Bordin) by a shared driveway. Due to the position of the extension being on the south-west on the block and the topography of the neighborhood, the house will not cause undue shadowing to surrounding properties.</p> <p>The proposed works are therefore compliant with P3.</p>

8.4.3 Site Coverage and Private Open Space for All Dwellings

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents; and*
- (b) opportunities for the planting of gardens and landscaping; and*
- (c) private open space that has access to sunlight*

Development Standard	Assessment
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<p>A1</p> <p>Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p>	<p>The existing dwelling and proposed extension have a total site coverage which is not more than 50% (a) and maintains area free from impervious surfaces of over 25% (c) and is therefore compliant with A1.</p>
<p>A2</p> <p>A dwelling must have private open space that:</p> <p>(a) is in one location and is not less than:</p> <p style="padding-left: 40px;">(i) 24m² or</p> <p style="padding-left: 40px;">(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(b) has a minimum horizontal dimension of not less than:</p> <p style="padding-left: 40px;">(i) 4m; or</p> <p style="padding-left: 40px;">(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</p> <p>(d) has a gradient not steeper than 1 in 10.</p>	<p>The existing dwelling has private open space that is compliant with A2. As per the original planning application submitted for the initial house, the private open space is located to the north of the block, and the extension does not detract from useable private open space for the owners.</p> <p>The proposed alterations are therefore compliant with A2.</p>

8.4.4 Sunlight to private open space of multiple dwellings

That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

Development Standard	Assessment
<p>A1</p> <p>Details not shown.</p>	<p>Not Applicable, as the proposed works are not a multiple dwelling.</p>

8.4.5 Width of Openings for Garages and Carports for all dwellings

To reduce the potential for garage or carport openings to dominate the primary frontage.

Development Standard	Assessment

<p>A1</p> <p>A garage or carport within 12m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>There are no proposed changes to the existing garage, the works are therefore compliant with A1,</p>
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8.4.6 Privacy for all dwellings

To provide a reasonable opportunity for privacy for dwellings.

Development Standard	Assessment
<p>A1</p> <p>A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1 m above natural ground level must have a permanently fixed screen to a height of at least 1.7 m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3 m from the side boundary; and</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4 m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6 m:</p> <p style="padding-left: 40px;">(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p style="padding-left: 40px;">(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	<p>The proposed garage does not have a floor level more than 1m above ground and is therefore compliant with A1.</p>
<p>A2</p> <p>A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p style="padding-left: 40px;">(i) is to have a setback of at least 3 m from a side boundary;</p> <p style="padding-left: 40px;">(ii) is to have a setback of at least 4 m from a rear boundary;</p> <p>(b) The window or glazed door:</p> <p style="padding-left: 40px;">(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</p> <p style="padding-left: 40px;">(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing</p>	<p>The proposed glazing on the southern side of the extension will have a height above 1m from natural ground. It will be setback (a)(i) setback 3m from the side boundary, with a shared driveway running between. This is in keeping with the existing windows on the house, which also run full height on the southern side.</p> <p>The proposed extension is therefore compliant with A2.</p>

<p>extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.</p>	
<p>A3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <p>(a) 2.5m; or</p> <p>(b) 1m if:</p> <p>(i) it is separated by a screen of not less than 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</p>	<p>Not Applicable, as the proposed works are not a multiple dwelling.</p>

8.4.7 Frontage Fences

To control the height and transparency of frontage fences to:

- (a) *provide adequate privacy and security for residents; and*
- (b) *allow the potential for mutual passive surveillance between the road and the dwelling; and*
- (c) *provide reasonably consistent height and transparency.*

Development Standard	Assessment
<p>A1 / P1</p> <p>Details not shown.</p>	<p>Not Applicable, as there are no proposed fences.</p>

8.4.8 Waste Storage for Multiple Dwellings

To provide for the storage of waste and recycling bins for multiple dwellings.

Development Standard	Assessment
<p>A1</p> <p>Details not shown.</p>	<p>Not Applicable, as there the proposed works are not a multiple dwelling.</p>

PLANNING DOCUMENTATION
FOR

STUDIO, BORDIN

LOT 1 / VOL 160322

PID 3052359

WIND SPEED: N2

SOIL CLASSIFICATION: **H**

CLIMATE ZONE: 7

BAL: **NONE**

COUNCIL: MEANDER VALLEY COUNCIL

ZONE: TPS - 8 GENERAL RESIDENTIAL ZONE

OVERLAY: MEDIUM HAZARD LANDSLIP BAND

001 CONTENTS

100 SITE CONTEXT

101 SITE PLAN EXISTING / DEMOLITION

102 SITE PLAN PROPOSED

103 FLOOR PLANS EXISTING

104 ELEVATIONS EXISTING

200 FLOOR PLANS PROPOSED

201 ROOF PLAN PROPOSED

300 ELEVATIONS PROPOSED

900 NEIGHBOURHOOD STUDY

901 NEIGHBOURHOOD STUDY



DRAWINGS TO BE READ IN CONJUNCTION WITH:

PLANNING REPORT

NEXT 50 ARCHITECTS

AUG-2021

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ABN: 97 606 476 804

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Meander Valley Council Ordinary Meeting Agenda - November 2021

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PLANNING AUTHORITY 3

PROJECT
HOME STUDIO

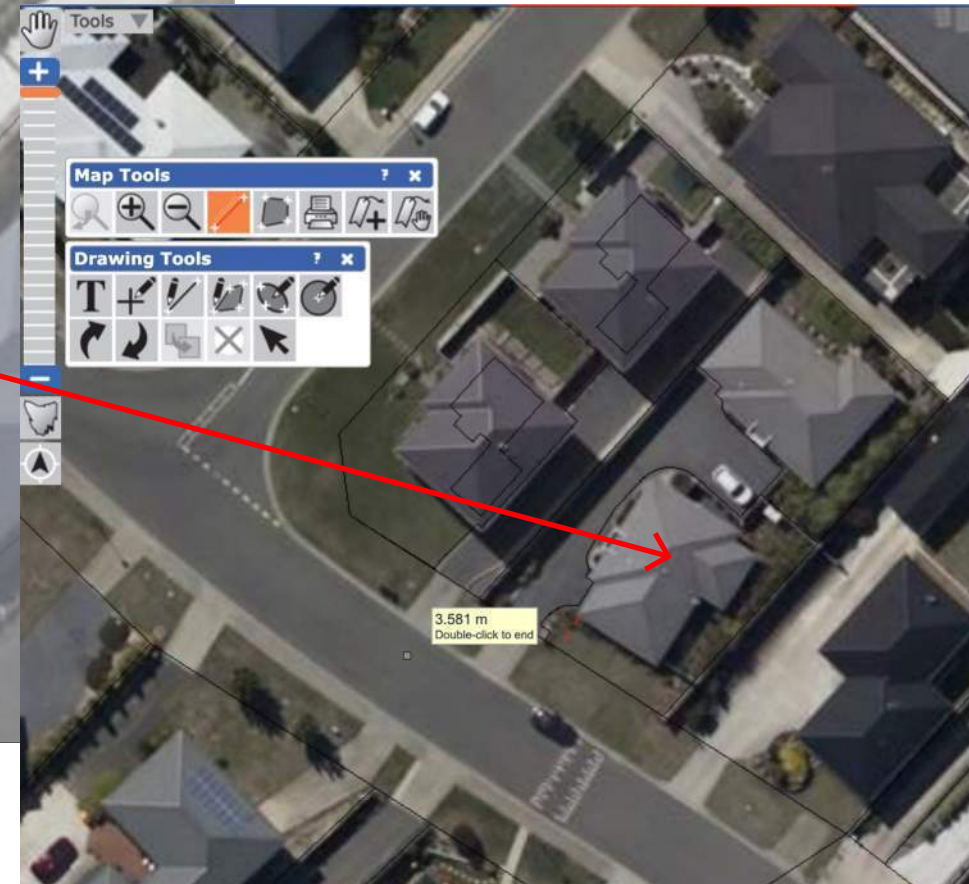
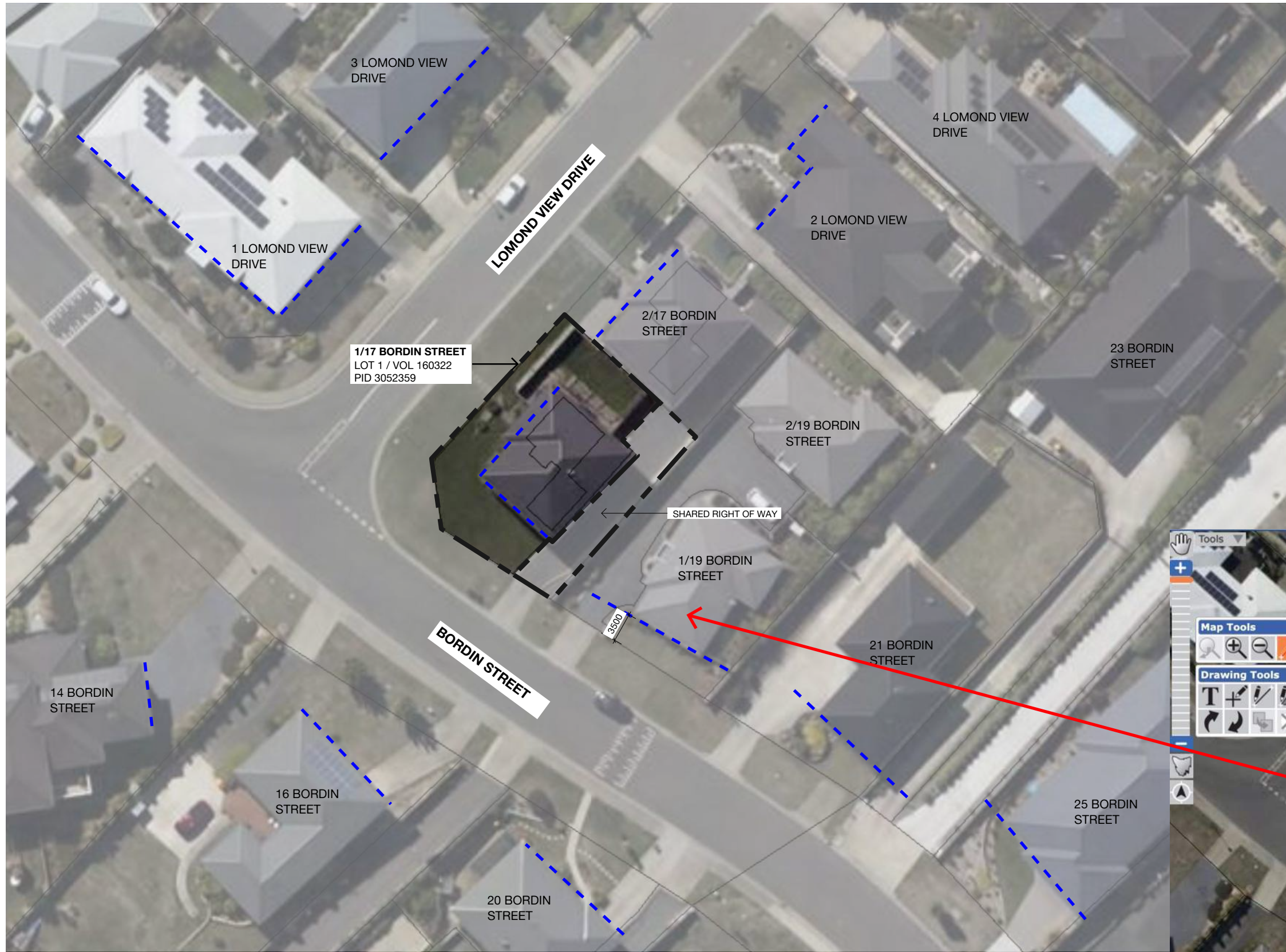
JESSICA AND TY
1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250
country of the Ieterremairrener people of the stoney creek nation, lutruwita

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CONTENTS

Page 344 DRAWING NO.
31121_001



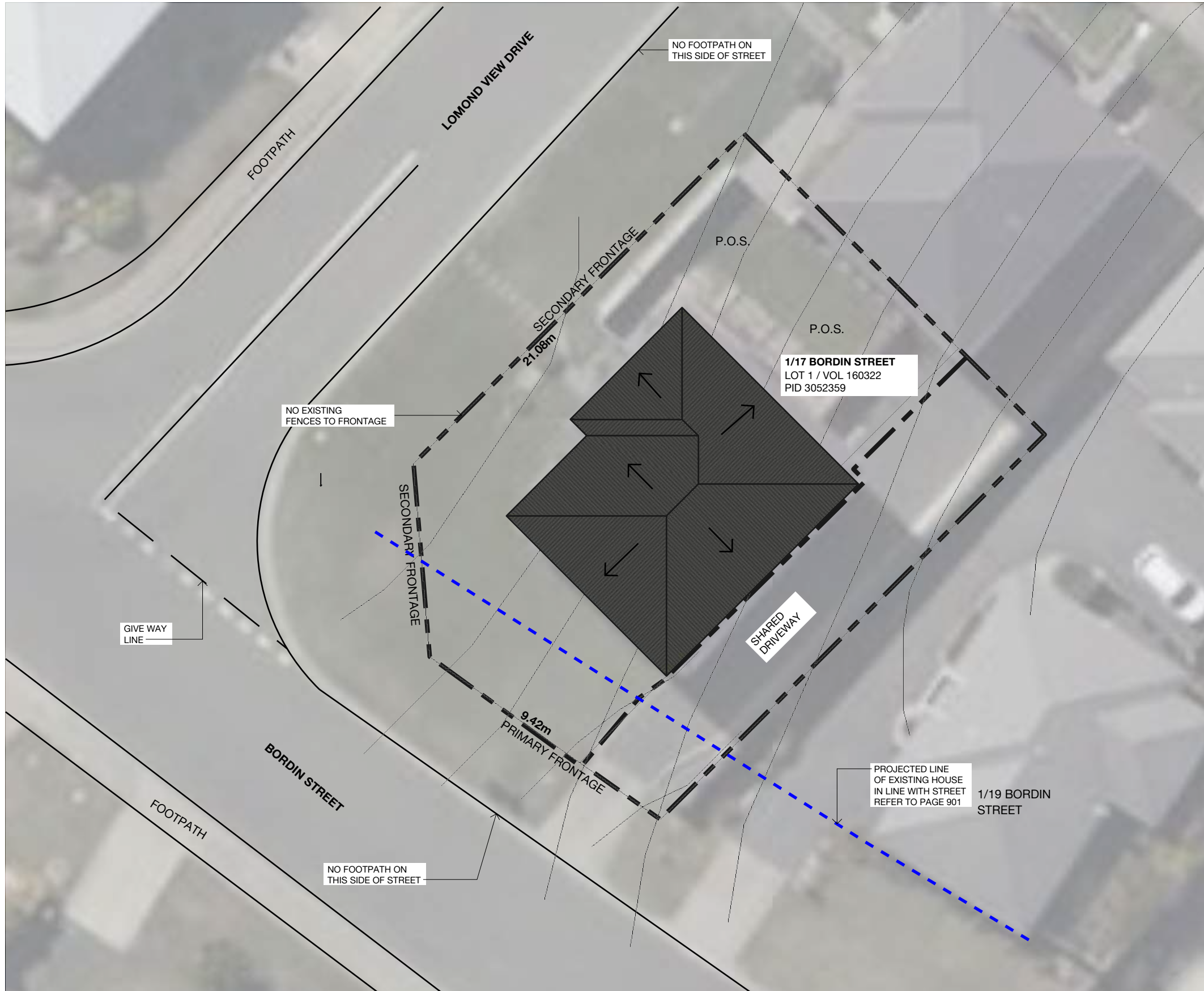
**UNIT 1/19 SETBACK APPROX. 3500mm
(ACCEPTABLE PLANNING ENVELOPE 4500mm)**

1 SITE CONTEXT
100 1:500

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PLANNING AUTHORITY 3

<p>PO BOX 116, NORTH HOBBART, TAS. 7002 WWW.NEXT50ARCHITECTS.COM.AU BSP(TAS), 756231031 CC4672E ABN: 97 606 476 804</p> <p>BEE 0427 679 517 STU 0404 709 832 INFO@NEXT50ARCHITECTS.COM.AU</p>	<p>PROJECT HOME STUDIO JESSICA AND TY 1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250 <i>country of the Ietterremairrener people of the stoney creek nation, lutruwita</i></p>	<p>SCALE 1:500 @ A3 DATE 26/08/2021 DRAWN BAN ISSUE PLANNING REV -</p>	<p>DRAWING SITE CONTEXT</p> <p>TRUE 15.09°</p>	<p>DRAWING NO. 31121_100</p>
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1 SITE PLAN EXISTING / DEMOLITION
101 1:200

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PLANNING AUTHORITY 3

PROJECT
HOME STUDIO
JESSICA AND TY
1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250
country of the Ieterremairrener people of the stoney creek nation, lutruwita

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SITE PLAN EXISTING / DEMOLITION
DRAWING NO.
31121_101



GENERAL NOTES:
 STORMWATER: ALL STORMWATER PIPES FROM HOUSE DRAINAGE TO STORMWATER PITS TO BE DN100 SN6. ALL OTHER PIPES TO BE DN150 SN4 MIN (EXCEPT WHERE SHOWN). PROVIDE 300MM MINIMUM COVER UNDER VEGETATED AREA (NON TRAFFIC) AND 150MM MIN. UNDER REINFORCED CONCRETE. ALL GRATED PITS TO BE CLASS C. ALL STORM WATER PIPES TO BE GRADED AND INSTALLED TO AS3500.3 MIN. 1%.

SEWER: ALL SEWER LINES SHOWN TO BE DN100 SN6 UPVC @ 1.65% MINIMUM GRADE AND INSTALLED TO AS3500.2.

GENERAL SOIL AND WATER MANAGEMENT CONTROL MEASURES: (APPLY AS APPLICABLE TO THE CONDITIONS OF THIS SITE AT THE VARIOUS PHASES OF CONSTRUCTION)

- 1.) MINIMISE SOIL DISTURBANCE (PHASE LARGE EXCAVATIONS INTO SUB PHASES)
- 2.) DIVERSION DRAINS TO PREVENT EROSION AND COLLECTION OF EXCESSIVE STORM WATER IN EXCAVATION CUTS ETC
- 3.) SEDIMENT FENCES - INSTALL WHERE DOWNSLOPE EROSION MEASURES ARE REQUIRED AND TO PROTECT STOCKPILES
- 4.) PROTECT STOCKPILES, HAY BAILS OR EROSION FENCES.
- 5.) UNDERTAKE SEDIMENT GENERATING ACTIVITIES IN A DESIGNATED AREA (AWAY FROM SLOPED SURFACES THAT COULD RUN-OFF IN AN UNCONTROLLED MANNER.
- 6.) INSTALL ROOF DRAINAGE EARLY. ASAP AFTER INSTALLATION OF ROOFING IRON, OR PREFERABLY BEFORE.
- 7.) STABILISE THE SITE ACCESS, PROVIDE VEHICLE WASH-OFF AREAS IF REQUIRED, AND DIVERSION DRAINAGE, STABLE SURFACE MATERIAL ETC

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 - 2014-3.1 MRWA VERSION 2 AND TAS WATER'S SUPPLEMENTS TO THESE CODES.

1 SITE PLAN PROPOSED
 102 1:200

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 Meander Valley Council Ordinary Meeting Agenda - November 2021

PLANNING AUTHORITY 3

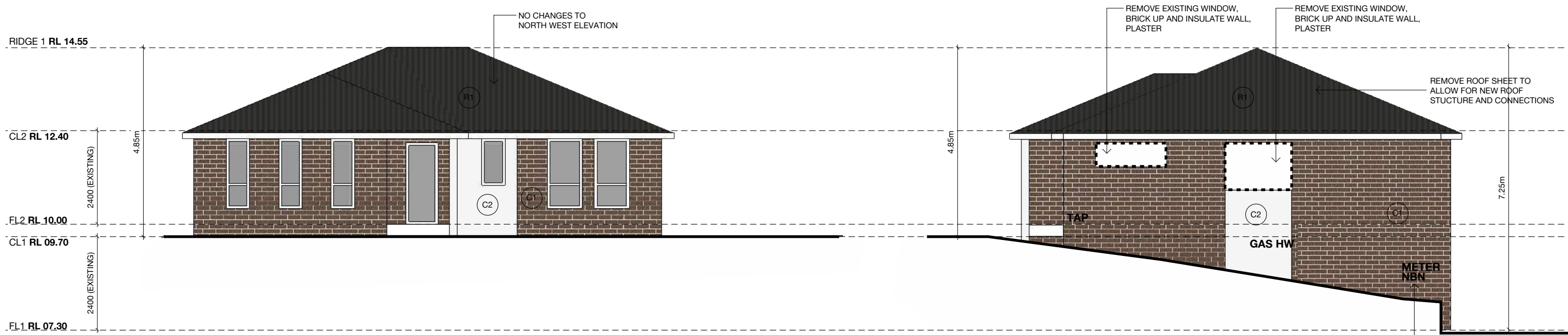
PROJECT
HOME STUDIO
 JESSICA AND TY
 1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250
country of the Ieterremairrener people of the stoney creek nation, lutruwita

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ISSUE	PLANNING
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DRAWING
SITE PLAN PROPOSED

TRUE 15.09°

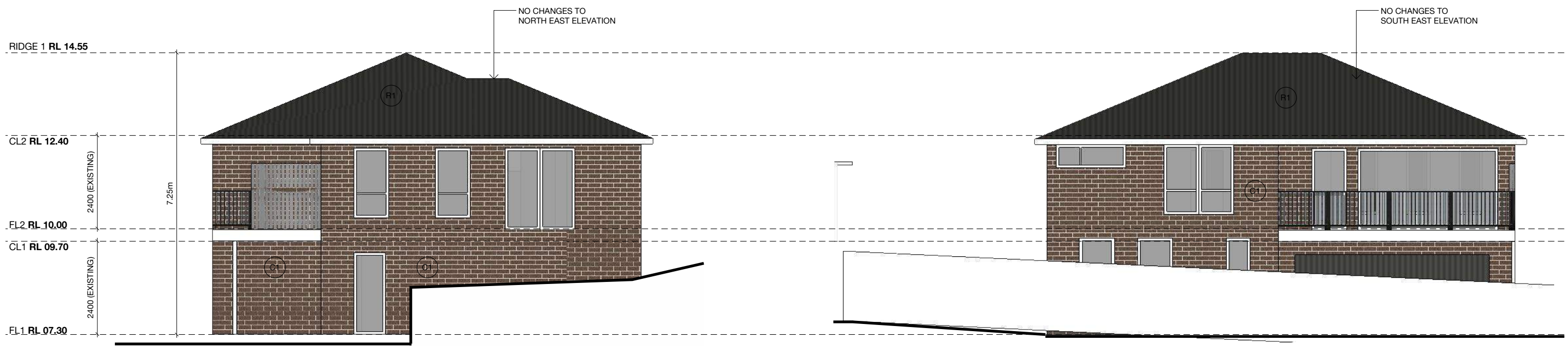
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1 EXISTING NORTH-WEST ELEVATION
104 1:100 BAL: NONE

2 EXISTING SOUTH-WEST ELEVATION
104 1:100 BAL: NONE

RELOCATED METER, NBN AND GAS HW AS SHOWN ON PROPOSED PLANS



3 EXISTING NORTH-EAST ELEVATION
104 1:100 BAL: NONE

4 EXISTING SOUTH-EAST ELEVATION
104 1:100 BAL: NONE

KEY

- (R1) SHEET METAL ROOF IRON
CB CUSTOM ORB
COLOUR TBC
- (C1) SINGLE SKIN BRICK CLADDING,
COLOUR BROWN-RED SPECKLED
- (C2) SINGLE SKIN BRICK CLADDING,
COLOUR RENDERED LIGHT GREY

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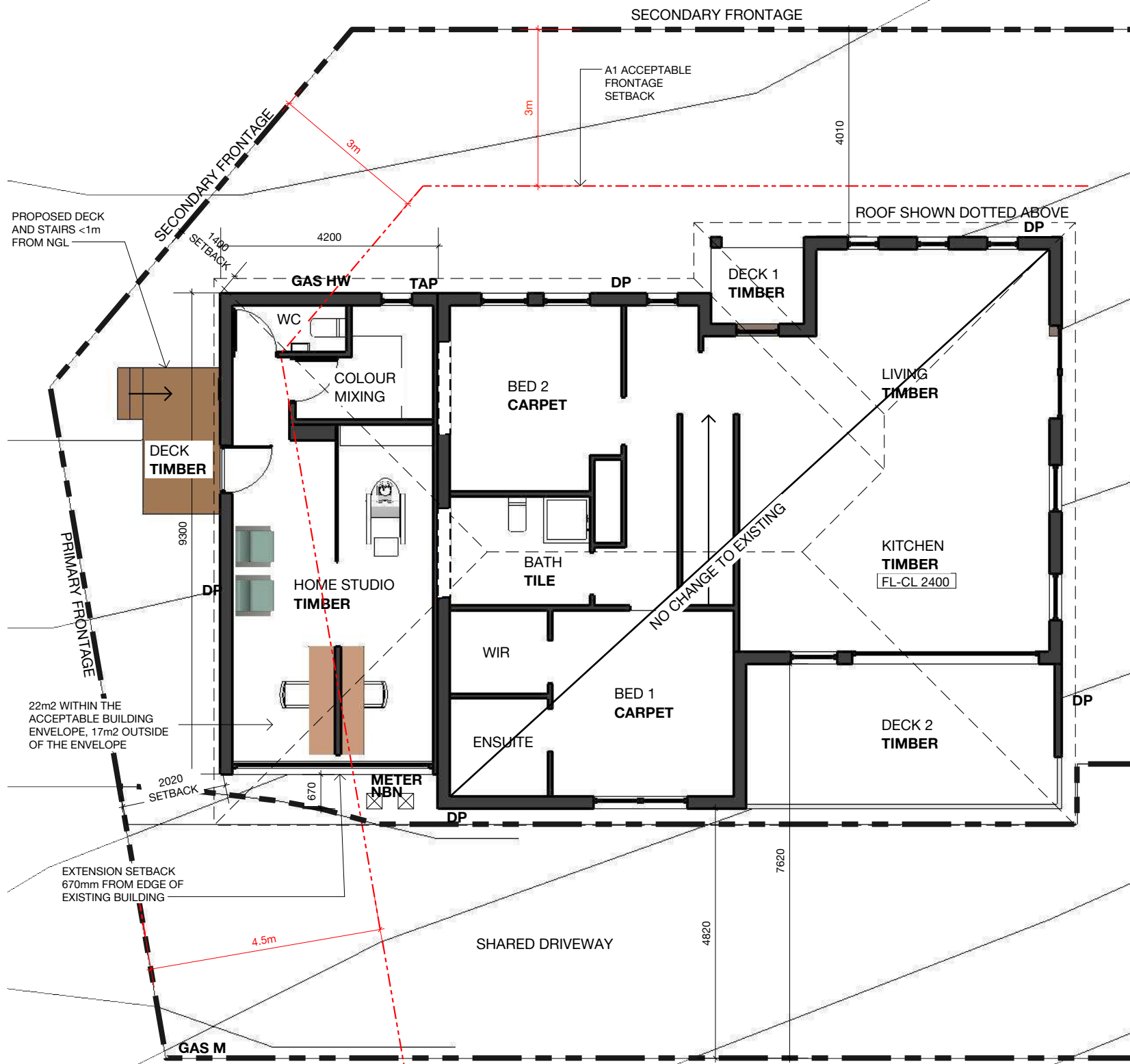
PROJECT
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ELEVATIONS
EXISTING

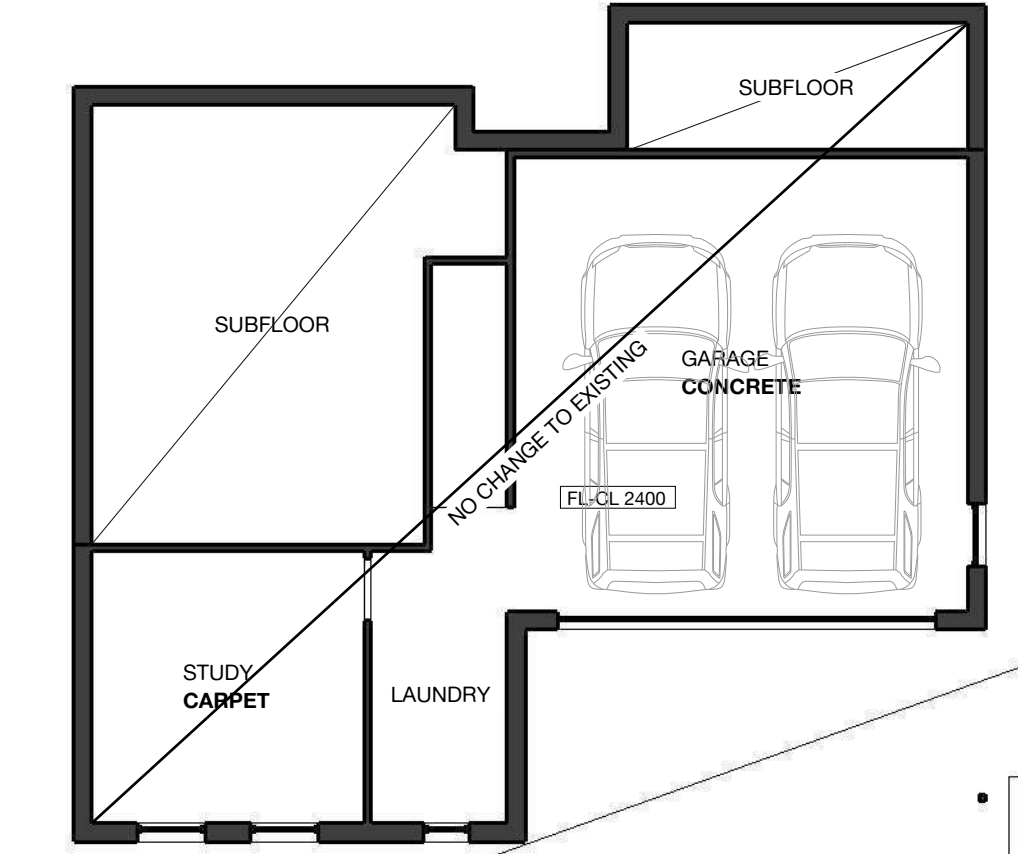
Page 349 DRAWING NO. 31121_104

PLANNING AUTHORITY 3

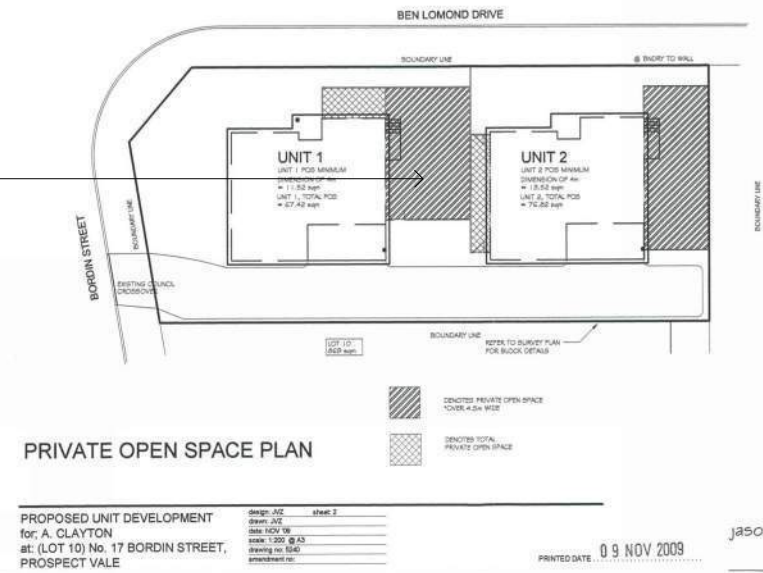


TOTAL LAND	444m2
EX. HOUSE (ROOF COV.)	142m2
SITE COVERAGE	31%
PROP EXTENSION (UFA)	39m2
PROP EXTENSION (ROOF)	42m2
TOTAL COVERAGE AREA	184m2
PROP COVERAGE	41%

1 FLOOR PLAN PROPOSED GROUND
200 1:100



2 FLOOR PLAN PROPOSED LOWER
200 1:100



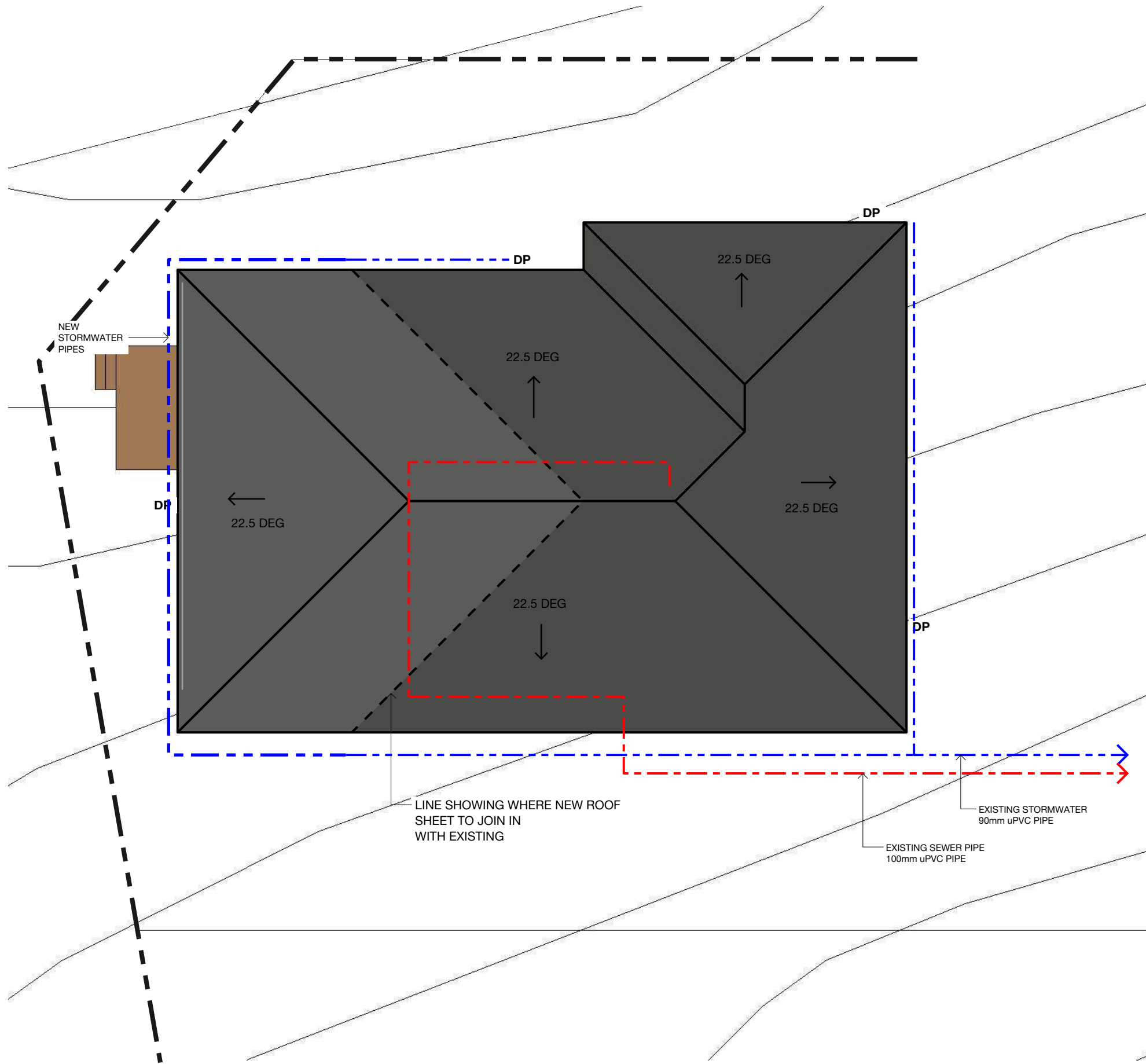
PROPOSED UNIT DEVELOPMENT
for: A. CLAYTON
at: (LOT 10) No. 17 BORDIN STREET,
PROSPECT VALE

Scale: 1:200 @ A3
Drawing no: 1847

PRINTED DATE: 09 NOV 2009

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PLANNING AUTHORITY 3



1 ROOF PLAN PROPOSED
201 1:100

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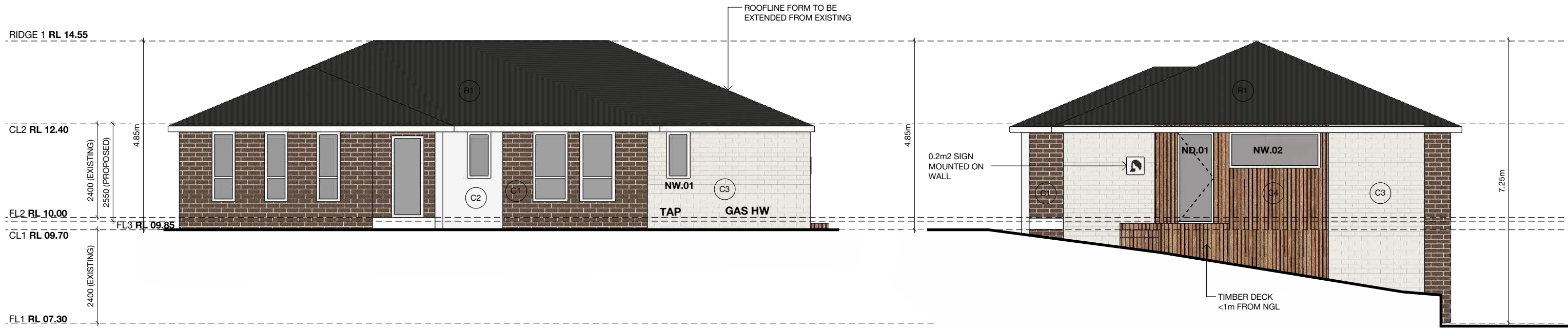
PLANNING AUTHORITY 3

PROJECT
HOME STUDIO
JESSICA AND TY
1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250
country of the leterrermairrener people of the stoney creek nation, lutruwita

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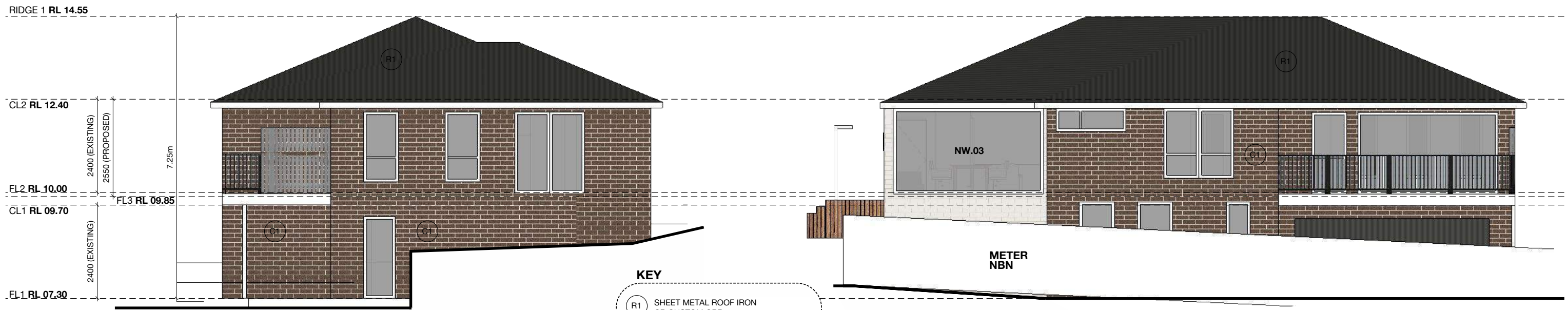
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ROOF PLAN PROPOSED

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31121_201



1 PROPOSED NORTH-WEST ELEVATION
 300 1:100 BAL: NONE

2 PROPOSED SOUTH-WEST ELEVATION
 300 1:100 BAL: NONE



3 PROPOSED NORTH-EAST ELEVATION
 300 1:100 BAL: NONE

4 PROPOSED SOUTH-EAST ELEVATION
 300 1:100 BAL: NONE

- KEY**
- (R1) SHEET METAL ROOF IRON
CB CUSTOM ORB
COLOUR **TBC**
 - (C1) SINGLE SKIN BRICK CLADDING,
COLOUR BROWN-RED SPECKLED
 - (C2) SINGLE SKIN BRICK CLADDING,
COLOUR RENDERED LIGHT GREY
 - (C3) SINGLE SKIN BRICK CLADDING,
COLOUR RENDERED LIGHT GREY OR
COLOUR NEUTRAL CREAM/GREY
 - (C4) OILED TIMBER VERTICAL CLADDING

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PROJECT
HOME STUDIO
 JESSICA AND TY
 1/17 BORDIN STREET, PROSPECT VALE, TASMANIA, 7250
country of the Ieterremairrener people of the stoney creek nation, lutruwita

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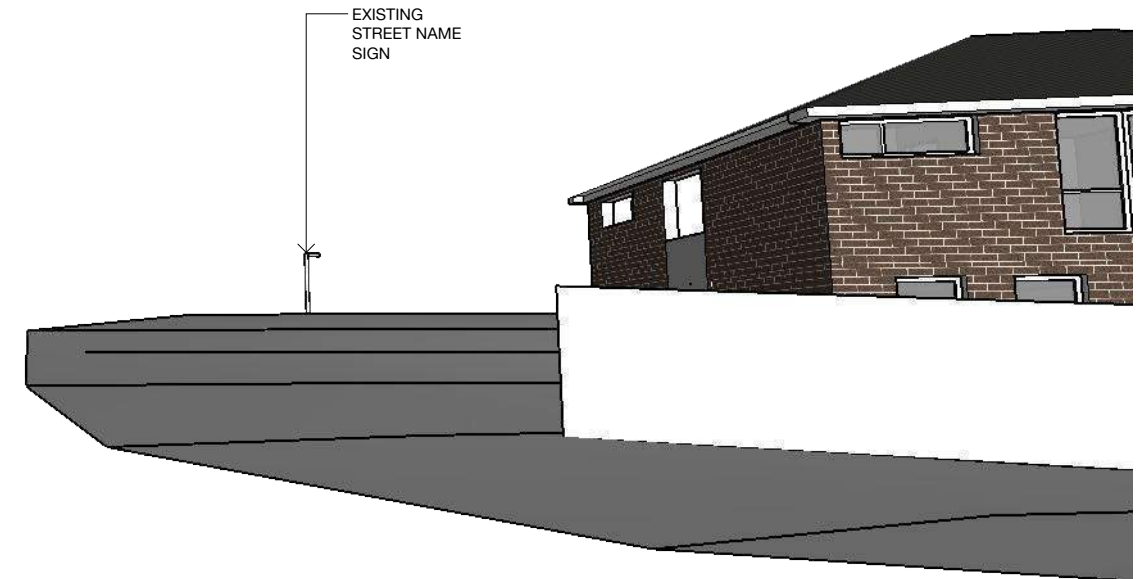
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**ELEVATIONS
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PLANNING AUTHORITY 3

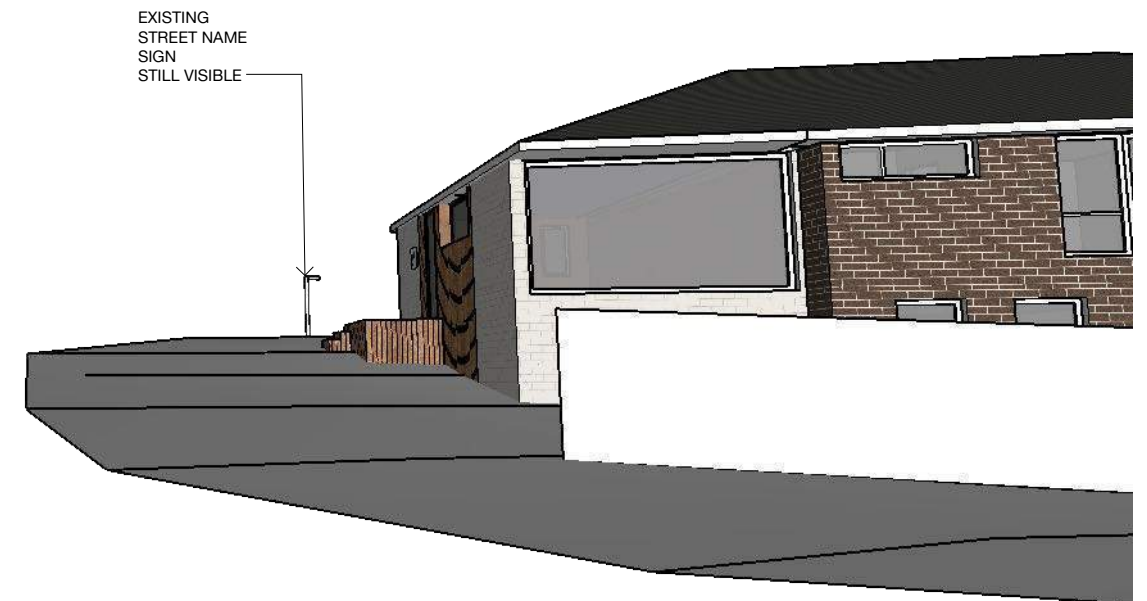
GENERAL NOTE: Dimensions shown on drawings are indicative only. Dimensions take precedence over written specification. All work must be in accordance with NCC all relevant Australian Standards, drawing is copyright and the property of NEXT 50 Architects.



VIEW DRIVING UP BORDIN STREET



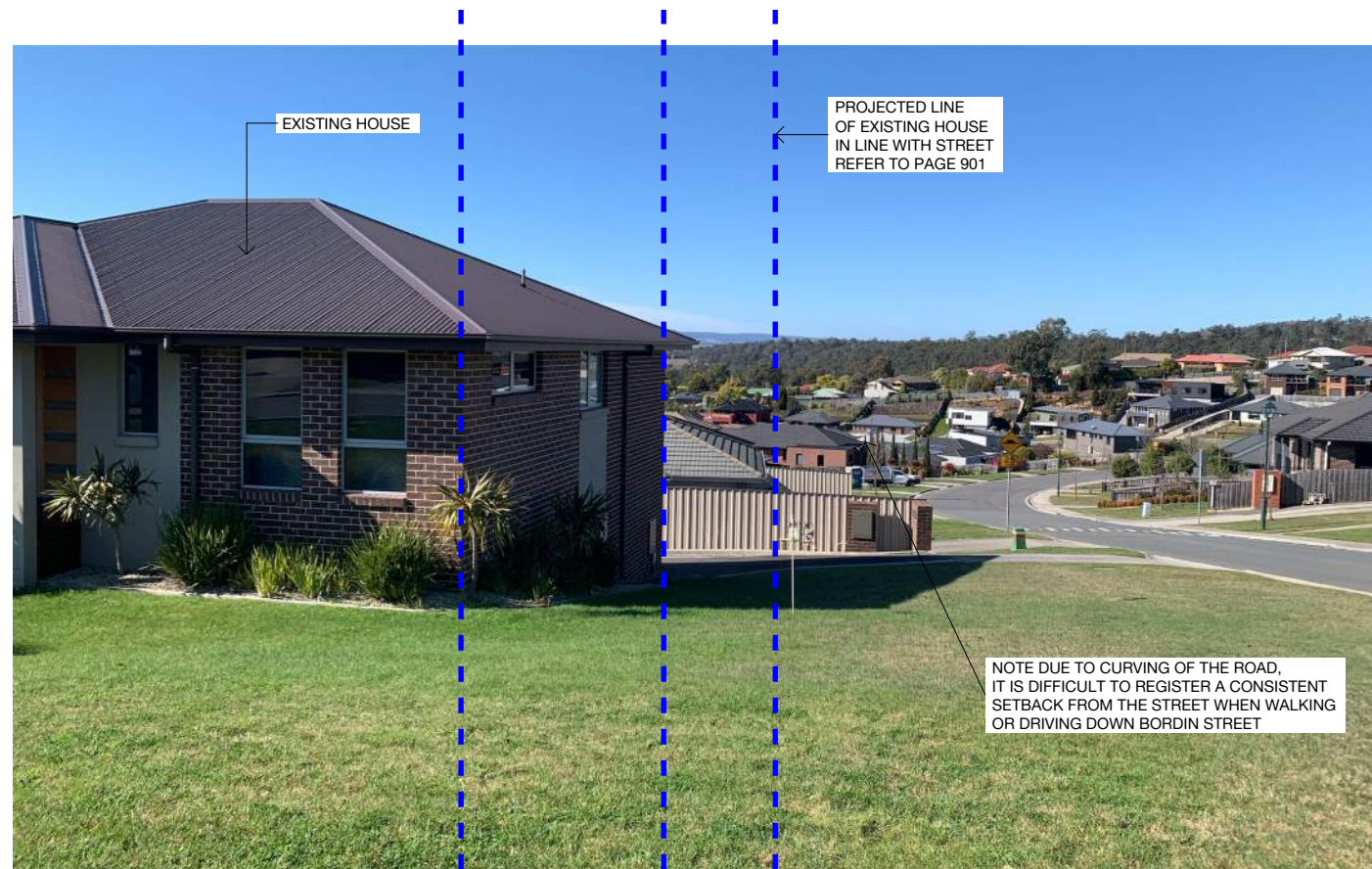
3D MODEL MIMIC VIEW, EXISTING



3D MODEL MIMIC VIEW, PROPOSED



APPROACHING BORDIN STREET FROM LOMOND VIEW DRIVE



LOOKING DOWN TO 1/19 BORDIN STREET (IN LINE WITH ROOF)



VIEW DOWN BORDIN STREET (AWAY FROM HOUSE)

From: [REDACTED]
Sent: Tue, 12 Oct 2021 10:32:28 +1100
To: "Planning @ Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: PA\22\0062 1/17 Bordin Street, Prospect Vale (CT:160322/1) - Development Representation
Attachments: 1 17 Bordin Street MVC Development Representation.pdf

Dear John Jordan (General Manager) and relevant planning officer,

Please find attached our development representation against the proposed Extension at 1/17 Bordin Street, Prospect Vale.

I am happy to discuss in more detail if required.

Regards

Craig Edmunds

Craig Edmunds



Mr John Jordan
General Manger
Meander Valley Council

By Email; planning@mvc.tas.gov.au

Development Application PA/22/0062 - 1/17 Bordin Street, Prospect Vale (CT: 160322/1)
Proposed extension to multiple dwelling – setback, building envelope, privacy)

I write as the property owner of units 1 & 2/12 Bordin Street, Prospect Vale, and on behalf of my elderly parents who live at 1/12 Bordin Street.

We wish to lodge a representation against the development application for the proposed extension at 1/17 Bordin Street on the basis that it does not comply with the Meander Valley Statewide Planning Scheme. Specifically, it significantly encroaches on required primary and secondary setbacks and in doing so, is not in keeping with the streetscape, will look totally out of place and potentially create traffic safety issues.

The proposed extension does not fit within the A1 acceptable solution for primary frontage. The development application suggests that while not meeting the required 4.5m primary setback, it is similar to the 3.5m setback of the neighbouring property at 1/19 Bordin Street. The proposed extension in fact has only a setback of 2.02m at the closest point to 1/19 Bordin Street. To encroach on the primary frontage by nearly 2.5m is a stretch too far.

The proposed extension also does not meet the required setback for the secondary boundary on the truncated corner. The required setback is 3.0m and the proposed extension is only 1.4m. This is again a significant encroachment and at this point, on the most prominent part of the site.

The planning application states, “The proposed extension is therefore compliant with P1”. I do not believe this is correct.

I further note the following items which I believe are or potentially problematic:

- The timber deck further encroaches on the primary and secondary setbacks.
- Given the size of the Home Studio there could be potentially 3 or 4 customers at any one time. Therefore, this could result in 3 or 4 cars parked on either of the two street frontages directly outside the property. Naturally people will park closest to their destination. Given this property is on a T Section Corner, parked cars are likely to impact traffic safety. For example, cars giving way and pulling out of Lomond View Drive may have line of sight impacted by parked cars.

The size and design of the proposed extension, significantly encroaching onto primary and secondary frontages on the most prominent corner of the site and a street corner, will negatively impact on the streetscape and look out of place.

Yours sincerely

A handwritten signature in black ink that reads "Craig Edmunds".

GOVERNANCE 1

Reference No. 216/2021

ANNUAL PLAN – SEPTEMBER QUARTERLY REPORT

AUTHOR: Jacqui Parker
Manager, Governance and Performance

1) Recommendation

It is recommended that Council receives and notes the Annual Plan report for the September 2021 quarter, as attached.

2) Officer's Report

Council's 2021-22 Annual Plan contains 63 operational activities which are executed across each of our business areas, in line with the organisation's strategic objectives.

Working to the targets set by the Annual Plan ensures Council continually progresses, improves and achieves its stated strategic objectives.

Each activity listed in the Annual Plan is carefully planned out over the course of the financial year, forming the basis of a transparent and accountable performance assessment and reporting mechanism.

To summarise the attached September 2021 report regarding Council's performance for the first quarter of this financial year against its Annual Plan targets:

9 activities were *achieved*

Activities *achieved* are those with an inherent and identifiable quarterly goal, which has been attained to the high quality standards that are expected.

28 activities are *progressing*

Activities that are *progressing* are those with substantial work underway, where it can be demonstrated that Council is on track to achieve its projected Annual Plan target within the financial year. Details of Council's specific progress against each individual activity is noted within the attachment.

19 activities are pending

Activities that are *pending* involve tasks that either cannot be commenced in the current quarter (due to their inherent nature or timing) or tasks which have been the subject of an intervening delay that cannot be resolved by Council (generally, this refers to external factors beyond Council's span of control).

3) Council Strategy and Policy

Furthers the objectives of the Council's Community Strategic Plan 2014 to 2024:

- Future direction (5) - Innovative leadership and community governance

4) Legislation

Local Government Act 1993 (ss. 71-72, which outline Council's responsibility to prepare an Annual Plan and report on its performance against the Plan once per annum. Council exceeds its statutory obligation by reporting directly to the community each quarter.)

5) Risk Management

Not applicable

6) Government and Agency Consultation

Not applicable.

7) Community Consultation

Not applicable.

8) Financial Consideration

Not applicable.

9) Alternative Recommendations

Not applicable.

10) Voting Requirements

Simple Majority

DECISION:



Meander Valley Council
Working Together

Annual Plan 2021-22

September Quarter



1. A sustainable natural and built environment

Operational Activity		Department Lead
1.1, 1.2	Implement the new Tasmanian Planning Scheme - State Planning Provisions and the Meander Valley Local Provisions Schedule. Sep 2021: Achieved: <ul style="list-style-type: none"> All planning applications now assessed under Tasmanian Planning Scheme – Meander Valley. 	Development & Regulatory Services
1.1, 1.2, 1.3	Progress regional land use planning in conjunction with neighbouring councils. Sep 2021: Progressing: <ul style="list-style-type: none"> Council continues to work with other northern councils in the regional land use planning forum to achieve coordinated amendments. A <i>Northern Tasmania Residential Demand & Supply Study</i> tender was developed and released for tender this quarter. This will provide an evidence-based assessment of demand for housing in the Northern region and support RLUS amendments. 	Development & Regulatory Services
1.1, 1.2, 1.3	Support the review of the Prospect Vale - Blackstone Heights Structure Plan. Sep 2021: Progressing: <ul style="list-style-type: none"> In progress with a focus on managing Harrison and Country Club amendments and the review of the Structure Plan in relation to landscape management. Resulting documentation has been provided to the Tasmanian Planning Commission. The Coordinator-General's Office has contacted Council to consider a potential relationship with the Launceston City Deal and regional recreational opportunities. Discussions are ongoing and may shape the final form of Council's recreation strategy for the area. 	
1.1, 1.2, 1.3	Process planning applications in accordance with delegated authority and statutory timeframes. Sep 2021: Achieved: <ul style="list-style-type: none"> 97 planning applications were received in the September quarter. 100% of planning applications were determined in accordance with delegated authority and within statutory timeframes or within agreed extension of time. 	
1.5	Ensure environmental health monitoring is compliant and incidents effectively managed. Sep 2021: Pending: <ul style="list-style-type: none"> Recreational water sampling to commence March quarter. No significant incidents in Q1. 	
1.4,1.5	Progress the Meander Valley Council Waste Management Strategy. Sep 2021: Progressing: <ul style="list-style-type: none"> Kerbside Collection services tendered with recommendations due to Council Q2. Progressing works and approvals for Cluan and Deloraine waste management facilities in line with Council approved directions. 	Infrastructure

1.4, 1.5	<p>Manage the Westbury Town Common in line with the Management Plan.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> Routine mowing and maintenance operations undertaken. 	Works
1.3,1.4, 1.6	<p>Participate in the Tamar Estuary and Esk Rivers Program (NRM North)</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> Attendance at quarterly TEER Lake Trevallyn Working Group meeting and TEER STC meetings 	Community, Wellbeing & Lifestyle and Development & Regulatory Services
1.1, 1.2, 1.3	<p>Collaborate through regional and state initiatives to understand and respond to the local impacts of climate change.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Council, along with other northern councils, provided financial support to UTAS to undertake region specific climate impact assessments. This work is progressing. Presentation at workshops addressed UTAS work and also proposed fire management practices. 	

2. A thriving local economy

Operational Activity		Department Lead
2.1, 2.2	Work with State Development to renew and release regional prospectus. Sep 2021: Progressing: <ul style="list-style-type: none"> Draft submitted to the Office of the Coordinator General. Response expected Q2. 	Community, Wellbeing & Lifestyle
2.1, 2.3, 2.4, 2.5	Deliver a new economic development and business support strategy. Sep 2021: Pending: <ul style="list-style-type: none"> Strategy scheduled to be developed Q3/4. 	
2.1, 2.4, 2.5	Deliver business information forums covering key economic indicators and major issues. Sep 2021: Progressing: <ul style="list-style-type: none"> Meander Valley specific data from Economy ID commissioned and provided. In Q3 and Q4 roll out of information sessions to business will occur. 	
2.1, 2.2, 2.3, 2.4, 2.5	Develop an incentives program to support business relocation and growth in Meander Valley. Sep 2021: Pending: <ul style="list-style-type: none"> To be delivered Q4 once economic climate post COVID settles. 	
2.1, 2.3, 2.4, 2.5	Lobby for increased and accelerated regional infrastructure investment to sustain growth. Sep 2021: Progressing: <ul style="list-style-type: none"> Priority project is completed and is ready for submission to NTDC. 	Community, Wellbeing & Lifestyle and Governance
2.4	Deliver year one milestones for the short walks project. Sep 2021: Progressing: <ul style="list-style-type: none"> Finalisation of deed of grant, consultation committee formed, preliminary project planning initiated. 	Community, Wellbeing & Lifestyle
2.1, 2.2	Develop and cost a branding and marketing strategy to support promotion of Meander Valley as a lifestyle, tourism and investment destination. Sep 2021: Pending: <ul style="list-style-type: none"> Co-dependency with Short Walks agenda, schedule for Q4. 	
2.1, 2.2, 2.3, 2.4, 2.5	Progress feasibility assessment and financial model to achieve bioenergy / bio waste facility in Meander Valley. Sep 2021: Progressing: <ul style="list-style-type: none"> Draft prospectus prepared to support consultation with key stakeholders. 	Infrastructure

3. Vibrant and engaged communities

Operational Activity		Department Lead
3.1, 3.2, 3.3, 3.4,3.5, 4.1	<p>Complete consultation and drafting of the Community Strategic Plan.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Initial planning underway. Consultation scheduled for Q3 subject to COVID-19 re-opening impacts. 	Community, Wellbeing & Lifestyle
3.1, 3.2, 3.3, 3.4,3.5, 4.1	<p>Review and update Council's Community Program.</p> <p>Sep 2021. Progressing:</p> <ul style="list-style-type: none"> Review work is in progress and will in part be influenced by COVID-19. 	
3.1, 3.2, 3.4 4.1	<p>Deliver the grants and sponsorship program to enable community initiatives.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Round 2: Council approved 11 Community grants, 2 Reimbursements, 1 Establishment Grant and a range of Sponsorships for a total Round 2 expenditure of \$27,806. 	
3.4, 4.1	<p>Deliver online and print versions of the Valley News.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> Valley News mid-year edition delivered with all rate notices and provided in digital format to online subscribers. 	Governance
3.1, 3.2, 3.4 4.1	<p>Deliver Council events program including the Australia Day awards and quarterly citizenship ceremonies.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Citizenship ceremony held on 13 July 2021. The next citizenship ceremony is scheduled for 23 November. Nominations for Australia Day and Volunteer awards will open Q2 (30 October 2021). 	Community, Wellbeing & Lifestyle
3.4, 4.1	<p>Develop a volunteer framework to promote and support volunteering in the community.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Will be progressed on completion of the review and updating of the Community Strategic Plan and community program in Q3&4. 	
3.1,3.2,3.4	<p>Implement measures to acknowledge Indigenous Australians.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Indigenous Recognition Policy drafted for presentation to Council in October 2021 with recommendation that the policy be tabled for consultation. 	Governance

3.1, 3.5	<p>Collaborate to support young people in the community.</p> <p>Sept 2021: Progressing:</p> <ul style="list-style-type: none"> • Five young people, two Council staff and two youth service employees from across the Meander Valley LGA attended the Statewide Youth Advisory Council Summit hosted by West Tamar Council in Riverside on 8 October. • Council supported PCYC's Meander Valley Project You(th) to host Youth Adventure Club activities at Liffey Falls during the September/October school holidays. 	Community, Wellbeing & Lifestyle
3.3, 3.4	<p>Collaborate with not for profit and volunteer groups to support wellbeing and life-long learning across the community.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • To be progressed in Q4 post review of Community Strategic Plan. 	

4. A healthy and safe community

Operational Activity		Department Lead
4.1	<p>Progress delivery of new community facilities including Bracknell Memorial Hall, Deloraine Squash Courts and Deloraine AFL lighting Upgrade.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • Planning approvals in progress for Bracknell and Squash projects. • Procurement in progress for lighting upgrade. 	Infrastructure
4.1,4.2	<p>Deliver planned and reactive maintenance of community facilities to ensure safe, well used facilities.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> • Electrical and fire equipment testing completed. 	
4.4	<p>Review and test the municipal emergency management and social recovery functions of Council in line with legislation.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • Training exercise with Red Cross in Q4. 	
4.4	<p>Support the operation of the Meander Valley SES unit through ongoing management of the Memorandum of Understanding (MoU).</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • Annual report submitted by Deloraine SES unit. Waiting comments from SES on amended MoU. 	
4.1, 1.5	<p>Manage public health risk through monitoring and sampling of recreational water.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • One public health risk activity inspected, 20 pool/spa samples taken, 18 private water suppliers sampled and 1 water carter inspection. 	Development & Regulatory Services
4.1, 4.3	<p>Promote safe food practices; ensure inspection and registration of food premises in accordance with the Food Act 2003.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • 90 Food premises inspected and 7 new food businesses registered. 	
4.1, 4.3	<p>Coordinate the school based immunisation as part of the National Immunisation Program.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • Not applicable for Q1 pending program schedule. 	
4.3	<p>Complete a review of dog management policy and practice.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • Review to commence in Q3. 	

4.3	<p>Complete annual fire abatement inspections and investigate complaints.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • Inspections commence with fire season, Q2 and Q3. 	
4.3	<p>Investigate incidents and complaints regarding animal control.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> • 9 Customer service requests for dogs at large, and 2 for livestock at large reported and investigated, 10 dog attacks investigated and 16 barking complaints investigated. 	
4.1, 6.4	<p>Renew operating contract for the Deloraine Swimming Pool and enable continuing community management of the Caveside Pool.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> • Management contract tendered for Deloraine pool. • Caveside pool safety requirements reviewed and new safety signage delivered. 	Infrastructure
6.4	<p>Review and update booking processes and user guides for indoor facilities.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • Review of booking processes completed. Options for system improvements under assessment. 	

5. Innovative leadership and community governance

Operational Activity		Department Lead
5.1, 5.6	Negotiate and renew Council's Enterprise Agreement. Sep 2021: Progressing: <ul style="list-style-type: none"> Legal advice on process obtained. Staff consultative process commencing in Q2. 	Governance
5.1, 5.6	Deliver Annual Plan, Annual Report and Annual General Meeting. Sep 2021: Progressing: <ul style="list-style-type: none"> Annual Plan delivered. Annual Report scheduled for release in November 2021. Annual General Meeting scheduled for 14 December 2021. 	
5.1, 5.2, 5.6	Develop 2022-23 budget including a review of long-term financial review and forward estimates to align with renewal of the Community Strategic Plan. Sep 2021: Pending: <ul style="list-style-type: none"> No required action in Q1. 	Corporate Services
5.4, 5.6	Complete a workplace culture "health check" and review measures to promote and maintain a healthy and positive workplace. Sep 2021: Progressing: <ul style="list-style-type: none"> Proposal of culture evaluation options provided to Executive Management Team for consideration and feedback. Personality profiling assessment undertaken with inside workforce. Training program commenced with new supervisors. 	
5.1, 5.3, 5.6	Renew the Customer Service Charter and a roadmap to refine systems, reporting and processes to enhance customer outcomes. Sep 2021: Pending: <ul style="list-style-type: none"> No action Q1; work will commence Quarter 2-3. 	Governance
5.1, 5.2	Develop a digital transformation and modernisation of services roadmap. Sep 2021: Progressing: <ul style="list-style-type: none"> Research and presentations received from key software developers as precursor to tendering for new ERP system. Staff 'modernisation' group consolidated into clear consultation agenda. 	
5.3, 5.5	Develop a communication strategy and implement measures to enhance community information and engagement. Sep 2021: Pending: <ul style="list-style-type: none"> Internal consultation commenced. Additional staffing in communications and community teams is positioned to support the progression of this strategy over the next quarter. 	Governance and Community, Wellbeing & Lifestyle
5.4	Refresh and promote "Good Governance" program for staff and councillors. Sep 2021: Progressing: <ul style="list-style-type: none"> Councillor induction program reviewed and updated. Staff and Councillors undertook service ethics and integrity training. 	Governance
5.1, 5.2, 5.6	Renew workplace health and safety systems and implement measures to monitor compliance and achieve a 'zero harm' culture. Sep 2021: Progressing: <ul style="list-style-type: none"> Draft WHS manual in development. New compliance templates (Safe Work Methods Statements, Project Plans and Take 5) pilot currently underway. 	Corporate Services

5.1, 5.2, 5.6	<p>Renew the risk management framework and review risks and mitigations.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Pending finalisation of WHS manual and recruitment, anticipated in Q3, Q4. 	Governance
5.1, 5.2, 5.6	<p>Progress planning and procurement to upgrade Council's Enterprise Resource Planning (ERP) Systems.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Drafting of specification, tender documentation and project plan commenced. 	Corporate Services
5.1, 5.2, 5.6	<p>Plan and progressively upgrade operating systems to support contemporary software and service delivery solutions.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Replacement UPS (uninterruptable power supply) software installed and being configured. 	Corporate Services
5.4, 5.5, 5.6	<p>Introduce contemporary software solutions to better support Council Meetings, record keeping and public information.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> New software package identified and costed, following sector and market research. Favourable white paper on compatibility received. Business case and implementation plan to be completed in Q2. 	Governance

6. Planned infrastructure services

Operational Activity		Department Lead
6.1, 6.4	<p>Complete proactive inspections of footpaths, parks and recreation assets and rail interfaces.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Scheduled asset category inspections completed (2 of 15). 5 category inspections due in second quarter. 	Infrastructure
5.2, 6.1, 6.3, 6.6	<p>Update asset information and road asset re-valuation data.</p> <p>Sep 2021: Achieved:</p> <ul style="list-style-type: none"> Capitalisation of 2020-21 assets completed. 	
5.2, 6.1, 6.3, 6.4, 6.6	<p>Review Strategic Asset Management and Asset Management Plans.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Amendments to management plans to be completed in Q4. 	
6.1, 6.3, 6.4, 6.5, 6.6	<p>Deliver capital work projects in line with the 2021-22 programs.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Delivered 6 projects to completion. 10 projects currently under construction. 108 projects in total currently in the capital works program. 	Infrastructure and Works
6.1, 6.3, 6.4, 6.5, 6.6	<p>Plan the 2022-23 Capital Works and Forward Works programs.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Proposed project list to be updated in second quarter. 	
6.2, 6.3	<p>Deliver the Hadspen Meander Valley Road intersection upgrades design and procurement documentation.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Community information session held 28 September. Design in progress. 	Infrastructure
6.1, 6.3	<p>Deliver the bridge inspection and maintenance program.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Maintenance inspections scheduled in second quarter for Meander River bridges on Westwood Road. 	
6.6	<p>Renew the kerbside collection contract for waste, recyclables and organics.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Tender conducted and assessment commenced with recommendation to be presented to Council in November. 	
1.4, 1.5, 6.1, 6.6	<p>Commission additional landfill cell capacity at Cluan.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> Verification survey for cell construction in progress. 	
1.3, 1.4, 1.5	<p>Obtain environmental approvals and decommission the existing landfill cell at Deloraine.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> Pending opening of new cell expansion at Cluan landfill. 	

6.6	<p>Progress land acquisition, EPA approvals and design for a new landfill cell at Deloraine.</p> <p>Sep 2021: Pending:</p> <ul style="list-style-type: none"> • Correspondence sent to landowner, awaiting response.
6.6	<p>Design and construct new waste transfer station at Deloraine.</p> <p>Sep 2021: Progressing:</p> <ul style="list-style-type: none"> • Concept design work commenced.

ITEMS FOR CLOSED SECTION OF THE MEETING:

Motion to close the meeting

Councillor xx moved and Councillor xx seconded ***“that pursuant to Regulation 15(1) of the Local Government (Meeting Procedures) Regulations 2015, the meeting is closed to the public to discuss matters that fall within the circumstances prescribed in regulation 15(2).”***

Voting Requirements

Absolute Majority

Actions and Statement from the Chairperson

1. In line with Regulation 15(6), members of the public are asked by the Chairperson to leave the closed session of the meeting.
2. All attending the Closed Session are reminded of the confidential nature of discussions in Closed Session and the restrictions on disclosure under section 338A of the *Local Government Act 1993*, and also provisions relating to the misuse of information under section 339 of the *Local Government Act 1993*.

Council moved to Closed Session at x.xxpm

GOVERNANCE 2 CONFIRMATION OF MINUTES

(Reference Part 2 Regulation 34(2) *Local Government (Meeting Procedures) Regulations 2015*)

GOVERNANCE 3 APPLICATIONS FOR LEAVE OF ABSENCE

(Reference Part 2 Regulation 15(2)(h) *Local Government (Meeting Procedures) Regulations 2015*)

CORPORATE 2 APPOINTMENT OF INDEPENDENT AUDIT PANEL MEMBER

(Reference Part 2 Regulation 15 (2)(d) *Local Government (Meeting Procedures) Regulations 2015*)

INFRASTRUCTURE 1 CONTRACT NO 227 2021-022 –
CONTRACT FOR KERBSIDE WASTE, RECYCLING AND ORGANICS
COLLECTION

(Reference Part 2 Regulation 15 (2)(d) *Local Government (Meeting Procedures) Regulations 2015*)

GOVERNANCE 4 MEANDER PRIMARY SCHOOL – REQUEST FOR
PROPOSAL PROCESS

(Reference Part 2 Regulation 15 (2)(b) *Local Government (Meeting Procedures) Regulations 2015*)

Council returned to Open Session at x.xx pm.

Release of Information

1. In accordance with Regulation 15(8) of the *Local Government (Meeting Procedures) Regulations 2015*, Council is to consider whether any discussions, decisions, reports or documents relating to that Closed Session are to be kept confidential or released to the public, taking into account privacy and confidentiality issues in the context of the regulations.
2. Council will formally resolve upon any release of information, if considered appropriate. In the absence of any motion, all information is confidential and not for release.

Cr xxx moved and Cr xxx seconded "***that the following information from Council in Closed Session is to be released for the public's information.***"

The meeting closed at x.xx pm.

.....
Wayne Johnston
Mayor