

Meander Valley Council

W O R K I N G T O G E T H E R

# **ORDINARY AGENDA**

**COUNCIL MEETING**

**Tuesday 13 June 2017**

# **COUNCIL MEETING VISITORS**

Visitors are most welcome to attend Council meetings.

Visitors attending a Council Meeting agree to abide by the following rules:-

- Visitors are required to sign the Visitor Book and provide their name and full residential address before entering the meeting room.
- Visitors are only allowed to address Council with the permission of the Chairperson.
- When addressing Council the speaker is asked not to swear or use threatening language.
- Visitors who refuse to abide by these rules will be asked to leave the meeting by the Chairperson.

## **SECURITY PROCEDURES**

- Council staff will ensure that all visitors have signed the Visitor Book.
- A visitor who continually interjects during the meeting or uses threatening language to Councillors or staff, will be asked by the Chairperson to cease immediately.
- If the visitor fails to abide by the request of the Chairperson, the Chairperson shall suspend the meeting and ask the visitor to leave the meeting immediately.
- If the visitor fails to leave the meeting immediately, the General Manager is to contact Tasmania Police to come and remove the visitor from the building.
- Once the visitor has left the building the Chairperson may resume the meeting.
- In the case of extreme emergency caused by a visitor, the Chairperson is to activate the Distress Button immediately and Tasmania Police will be called.



PO Box 102, Westbury,  
Tasmania, 7303

Dear Councillors

I wish to advise that an ordinary meeting of the Meander Valley Council will be held at the Westbury Council Chambers, 26 Lyall Street, Westbury, on **Tuesday 13 June 2017 at 1.30pm.**

Martin Gill  
**GENERAL MANAGER**

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**Evacuation and Safety:**

*At the commencement of the meeting the Mayor will advise that,*

- *Evacuation details and information are located on the wall to his right;*
- *In the unlikelihood of an emergency evacuation an alarm will sound and evacuation wardens will assist with the evacuation. When directed, everyone will be required to exit in an orderly fashion through the front doors and go directly to the evacuation point which is in the car-park at the side of the Town Hall.*

Agenda for an ordinary meeting of the Meander Valley Council to be held at the Council Chambers Meeting Room, 26 Lyall Street, Westbury, on Tuesday 13 June 2017 at 1.30pm.

**PRESENT:****APOLOGIES:****IN ATTENDANCE:****CONFIRMATION OF MINUTES:**

Councillor xx moved and Councillor xx seconded, ***“that the minutes of the Ordinary Meeting of Council held on Tuesday 9 May, 2017, be received and confirmed.”***

**COUNCIL WORKSHOPS HELD SINCE THE LAST MEETING:**

Date :	Items discussed:
23 May 2017	<ul style="list-style-type: none"><li>• 2017/18 Operating Budget &amp; Long Term Financial Plan Discussion</li><li>• 2017-2018 Annual Plan</li></ul>

## **ANNOUNCEMENTS BY THE MAYOR:**

### **Wednesday 10 May 2017**

Phil Edmondson, Primary Health Tasmania

### **Thursday 11 May 2017**

TasWater Owners representative Meeting  
LGAT Special General meeting

### **Friday 12 May 2017**

National Volunteer week Community lunch (Deloraine)

### **Tuesday 23 May 2017**

Citizenship Ceremony (Westbury)  
Council Workshop

### **Tuesday 30 May 2017**

Preventative Health Workshop (Campbelltown)  
Deloraine and Districts Recreation Precinct Workshop (Westbury)

### **Friday 2 June 2017**

TasNetworks/ NTDC Valley Central meeting (Launceston)

### **Friday 9 June 2017**

Meeting with Ross Hart MHR

## **DECLARATIONS OF INTEREST:**

## **TABLING OF PETITIONS:**

Nil

# **PUBLIC QUESTION TIME**

## **General Rules for Question Time:**

Public question time will continue for no more than thirty minutes for 'questions on notice' and 'questions without notice'.

At the beginning of public question time, the Chairperson will firstly refer to the questions on notice. The Chairperson will ask each person who has a question on notice to come forward and state their name and where they are from (suburb or town) before asking their question(s).

The Chairperson will then ask anyone else with a question without notice to come forward and give their name and where they are from (suburb or town) before asking their question.

If called upon by the Chairperson, a person asking a question without notice may need to submit a written copy of their question to the Chairperson in order to clarify the content of the question.

A member of the public may ask a Council officer to read their question for them.

If accepted by the Chairperson, the question will be responded to, or, it may be taken on notice as a 'question on notice' for the next Council meeting. Questions will usually be taken on notice in cases where the questions raised at the meeting require further research or clarification. These questions will need to be submitted as a written copy to the Chairperson prior to the end of public question time.

The Chairperson may direct a Councillor or Council officer to provide a response.

All questions and answers must be kept as brief as possible.

There will be no debate on any questions or answers.

In the event that the same or similar question is raised by more than one person, an answer may be given as a combined response.

Questions on notice and their responses will be minuted.

Questions without notice raised during public question time and the responses to them will not be minuted or recorded in any way with exception to those questions taken on notice for the next Council meeting.

Once the allocated time period of thirty minutes has ended, the Chairperson will declare public question time ended. At this time, any person who has not had the opportunity to put forward a question will be invited to submit their question in writing for the next meeting.

## **Notes**

- Council officers may be called upon to provide assistance to those wishing to register a question, particularly those with a disability or from non-English speaking cultures, by typing their questions.
- The Chairperson may allocate a maximum time for each question, depending on the complexity of the issue, and on how many questions are asked at the meeting. The Chairperson may also indicate when sufficient response to a question has been provided.

- Limited Privilege: Members of the public should be reminded that the protection of parliamentary privilege does not apply to local government, and any statements or discussion in the Council Chamber or any document, produced are subject to the laws of defamation.

For further information please telephone 6393 5300 or visit [www.meander.tas.gov.au](http://www.meander.tas.gov.au)

## **PUBLIC QUESTION TIME**

### **1. PUBLIC QUESTIONS TAKEN ON NOTICE – MAY 2017**

#### **1.1 Gayl Mansell**

Will Council administration be transparent and accountable to the public/community and all persons who have lodged written objections in particular, regarding any further documents and meetings with the applicant, after today's meeting?

***Response by Martin Gill, General Manager***

***If Council receives or creates any further documents in relation to the current application they will be placed on the open planning permit application file which is available for public viewing at the Council offices.***

***Interested parties can contact Council at any time with questions about open planning permit applications files.***

Under the Freedom of Information Act will objectors who have provided written submissions to this application receive paper copies of all and any further dealings between the applicant and Meander Valley Council regarding PA\17\0062 in a timely manner?

***Response by Martin Gill, General Manager***

***Any member of the public can lodge a request for information under the Right to Information Act 2009.***

***Information about lodging a request and the timeframes for response can be found at Councils website: -***

***<http://www.meander.tas.gov.au/page.aspx?u=485>***

### **2. PUBLIC QUESTIONS WITH NOTICE – JUNE 2017**

Nil

### **3. QUESTIONS WITHOUT NOTICE – JUNE 2017**



## **COUNCILLOR QUESTION TIME**

### **1. COUNCILLOR QUESTIONS TAKEN ON NOTICE – MAY 2017**

Nil

### **2. COUNCILLOR QUESTIONS WITH NOTICE – JUNE 2017**

Nil

### **3. COUNCILLOR QUESTIONS WITHOUT NOTICE – JUNE 2017**

## **DEPUTATIONS BY MEMBERS OF THE PUBLIC**

Nil

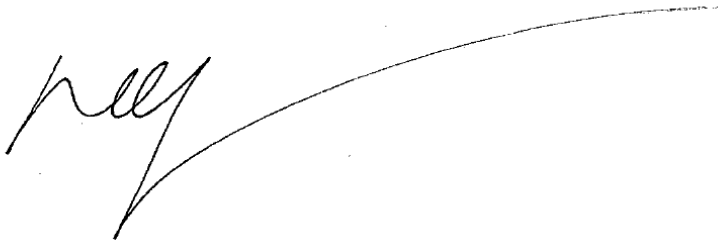
## **NOTICE OF MOTIONS BY COUNCILLORS**

GOV 1            STATE REGISTER FOR DECLARED DANGEROUS DOGS - CR BOB RICHARDSON  
GOV 2            ACCESSIBILITY OF COUNCIL MEETINGS – CR ANDREW CONNOR

## CERTIFICATION

"I certify that with respect to all advice, information or recommendation provided to Council with this agenda:

1. the advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation, and
2. where any advice is given directly to Council by a person who does not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person."



**Martin Gill**  
**GENERAL MANAGER**

"Notes: S65(1) of the Local Government Act requires the General Manager to ensure that any advice, information or recommendation given to the Council (or a Council committee) is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation. S65(2) forbids Council from deciding any matter which requires the advice of a qualified person without considering that advice."

## COUNCIL MEETING AS A PLANNING AUTHORITY

The Mayor advises that for items C&D 1 to C&D 6 Council is acting as a Planning Authority under the provisions of the *Land Use Planning and Approvals Act 1993*.

# **C&DS 1 23A BORDIN STREET, PROSPECT VALE - MULTIPLE DWELLINGS (4 UNITS)**

## **1) Introduction**

This report considers application PA\17\0131 for Multiple Dwellings (4 Units) on land located at 23A Bordin Street, Prospect Vale (CT: 159187/121).

## **2) Background**

### **Applicant**

P Spencer

### **Planning Controls**

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

### **Use & Development**

It is proposed to construct 4 units on an internal lot in Prospect Vale. The proposed units will have three bedrooms, master with walk-in-robe and ensuite, open plan kitchen, dining and living, bathroom, laundry and attached double car garage. Unit 1 and 2 will have identical floor plans and be double story, whilst unit 3 and 4 will be different and single story. Two visitor car parks are proposed.

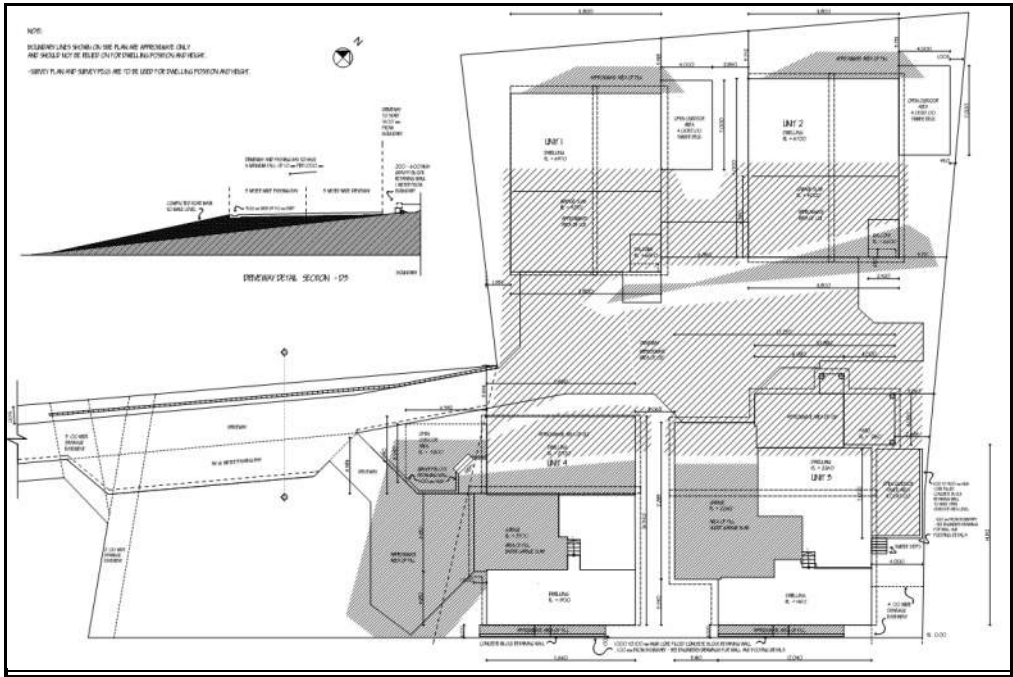


Figure 1: Site Plan

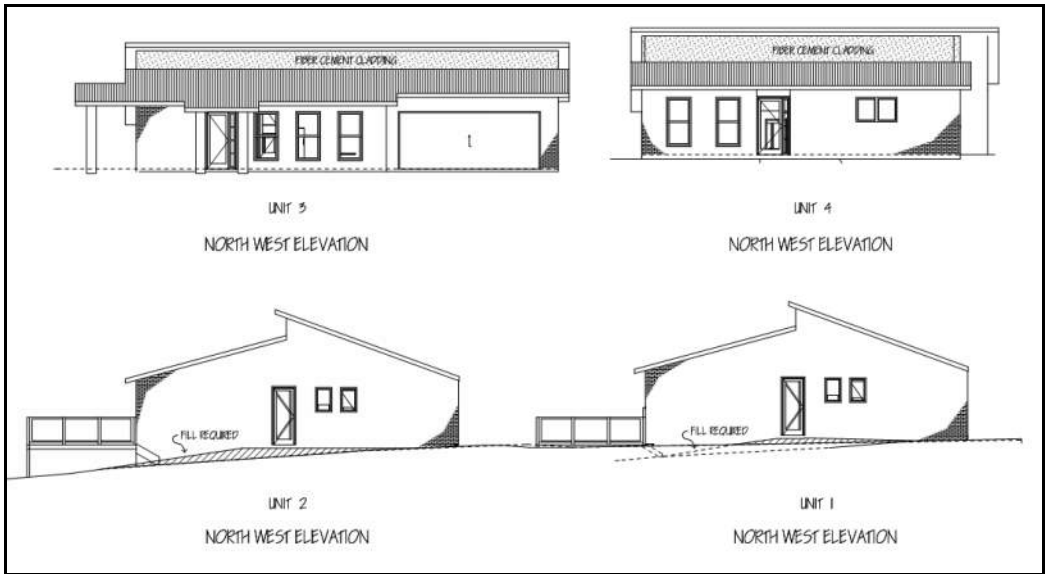


Figure 2: Elevations

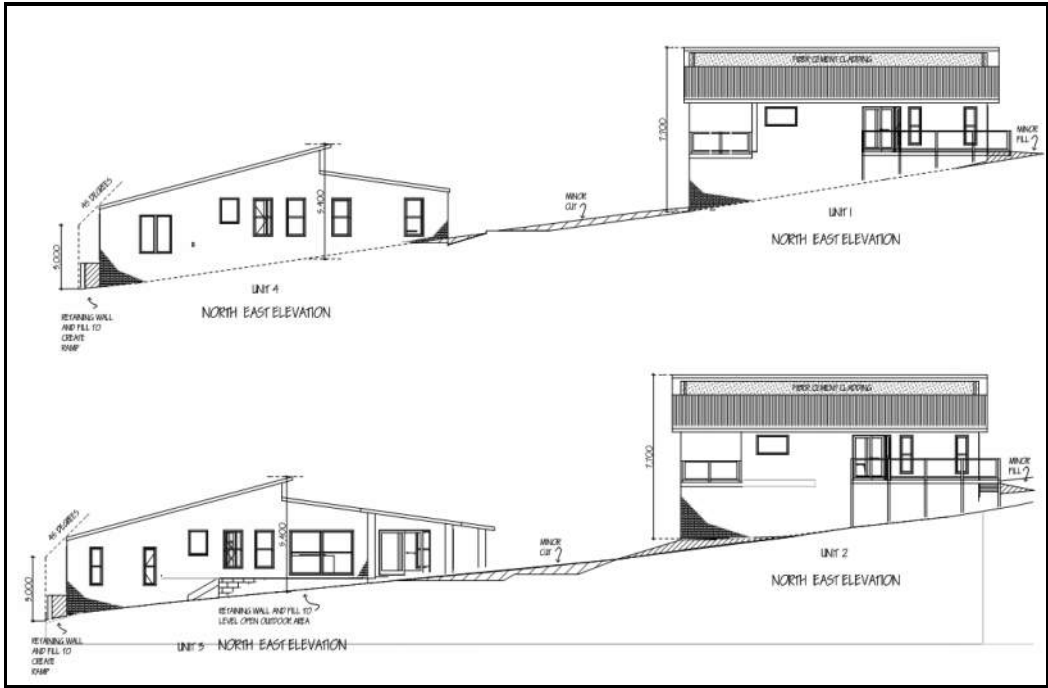


Figure 3: Elevations

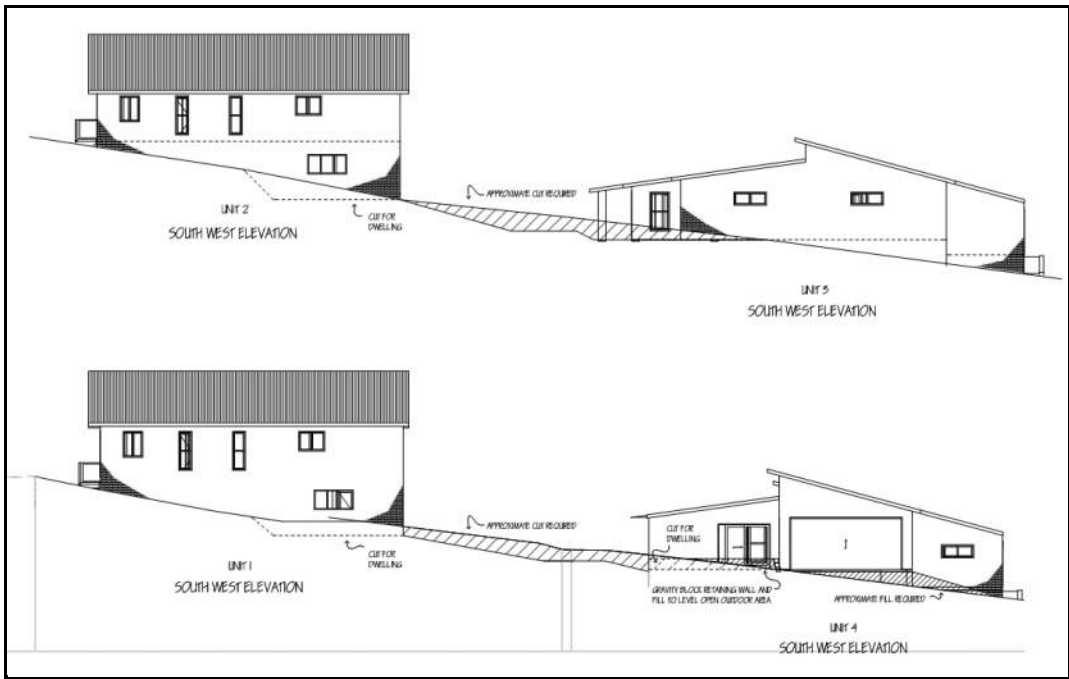
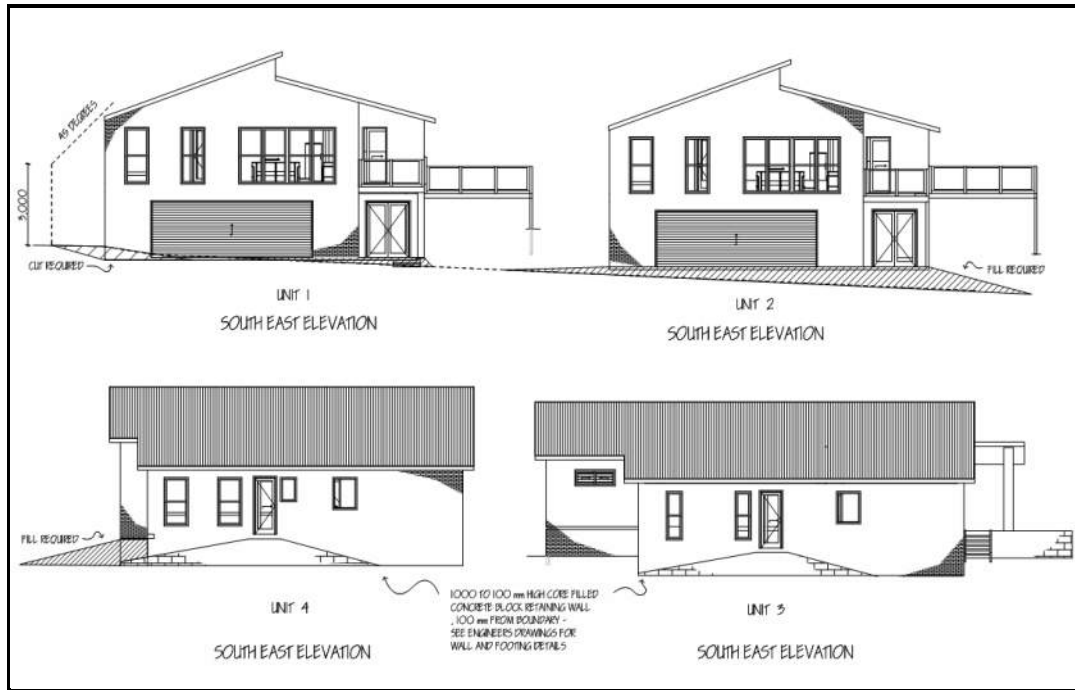


Figure 4: Elevations



**Figure 5: Elevations**

**Site & Surrounds**

The property is located in the residential area of Prospect Vale. The adjoining properties contain single dwellings whilst the wider locality contains a mix of single and multiple dwellings. There are only two internal lots within the immediate area; one contains a house, which adjoins the subject property, whilst the other is subject to this application. Refer to photo 1 below for an aerial photo of the area.



**Photo 1: Aerial photo of subject property and adjoining land**

The subject property is 2588m<sup>2</sup> being an internal lot that is currently vacant. The land slopes upwards to the north-west over the lot. There is a rise of 6.5 metres from the eastern corner to the north-western corner. The sloping nature of the lot, and the steepness of the slope along the north-western boundary has resulted with the proposed units 1 and 2 being double story when viewed from the south and single story when viewed from the north, to minimise the extent of cut and fill on the site. Refer to photo 2 below that shows the half metre contours of the land.



**Photo 2: Aerial photo of subject property showing the 0.5m contours**

There are three drainage easements on the lot. There is an easement located in the south-eastern corner of the lot. This drainage easement contains man holes for sewer and stormwater. There are two easements located at the end of the access handle to the south-west of the site. These easements contain stormwater and sewer pipes.



**Photo 3: Aerial photo showing sewer and stormwater pipes**

Photos of the site are below.



**Photo 4: Internal access to site**





**Photo 5: Subject site looking north-east**



**Photo 6: Subject site looking north-west**



**Photo 7: Subject site looking north**

The title is subject to a Section 71 Agreement. This agreement was a requirement of the subdivision of the land in 2009 and specifically addresses salinity, excavation and includes a no build area. The restricted building area is in place to protect the sub soil drainage system. In order to achieve this, the identified area is to remain free from buildings and structures and can be used for domestic garden purposes only. There is a restriction on excavation below 1.5 metres due to the presence of contaminants and if the land is excavated to a further depth or for the footings there are health risk management and site management measures to be followed. Urban salinity is also present on the site. The site may be subject to increased salinity levels which should be taken into account in the design of buildings and site works. Ground water usage is prohibited for any purpose.

The agreement provides geotechnical recommendations and a site classification report for which the owner is to comply with.

As this agreement is made under section 71 of *Land Use Planning and Approvals Act 1993*, it can not be enforced through the planning scheme. Therefore, it is the requirement for the owners of the land to ensure that the development is compliant with the agreement along with the building surveyor.

### **Statutory Timeframes**

Date Received:	31 March 2017
Request for further information:	6 April 2017
Information received:	18 April 2017
Advertised:	22 April 2017
Closing date for representations:	9 May 2017
Extension of time granted:	19 May 2017
Extension of time expires:	13 June 2017
Decision due:	13 June 2017

### **3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.

### **4) Policy Implications**

Not applicable.

### **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

### **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

### **7) Consultation with State Government and other Authorities**

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA 2017/00301-MVC) was received on 16 May 2017 (attached document).

### **8) Community Consultation**

The application was advertised for the statutory 14-day period.

Two (2) representations were received (attached document). The representations are discussed in the assessment below.

### **9) Financial Impact**

Not applicable.

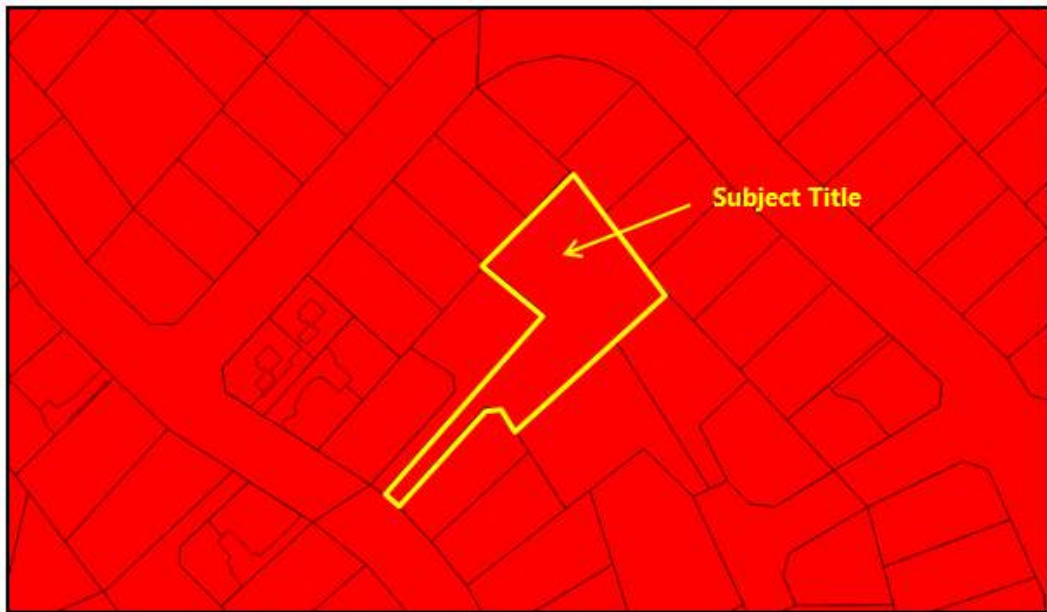
## 10) Alternative Options

Council can either approve, with amended conditions, or refuse the application.

## 11) Officers Comments

### Zone

The subject property is located in the General Residential zone. The land surrounding the site is located in the General Residential zone.



**Figure 6: Zoning map of subject property and adjoining land**

### Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential - Multiple Dwellings

Residential – Multiple Dwellings is specified in section 10.2 - Use Table as being Permitted. The Permitted status is dependent on the use and development meeting all of the applicable Acceptable Solutions in the scheme. In this instance:

- The development relies on Performance Criteria and as such, is subject to a Discretionary permit process.

### Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the General Residential zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

### **Compliance Assessment**

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

<b>General Residential Zone</b>			
Scheme Standard		Comment	Assessment
<b>10.3.1 Amenity</b>			
A1	If for permitted or no permit required uses.	Multiple Dwellings is a Permitted Use.	Complies
A2	Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	Not applicable	
<b>10.4.1 Residential density for multiple dwellings</b>			
A1	Multiple dwellings must have a site area per dwelling of not less than: a) 325m <sup>2</sup> ; or b) in accordance with a density area.	The site area is 2588m <sup>2</sup> . The access strip has an area of 250m <sup>2</sup> . The site area minus the access	Complies

		strip equals 2338m <sup>2</sup> . Therefore the site area per dwelling is 584.5m <sup>2</sup> .	
<b>10.4.2 Setbacks and building envelope for all dwellings</b>			
A1	<p>Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) 4.5m from the primary frontage or, if the setback from the primary frontage is less than 4.5 m, not less than the setback of any existing dwelling on the site; or</p> <p>(b) 3m from a non-primary frontage, or if the setback is less than 3 m, not less than the setback of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites, not more than the greater, or less than the lesser setback of the dwellings on the adjoining sites; or</p> <p>(d) in accordance Table 10.4.2.</p>	Although there are existing dwellings on either side of the property, the subject property is an internal lot and the setback of the units are not within the frontage setbacks of the adjacent dwellings.	Relies on Performance Criteria
A2	A garage or carport must have a setback from a primary frontage of at least:	The garages are greater than 5.5 metres from the	Complies

	<ul style="list-style-type: none"> <li>(a) 5.5m, or alternatively 1m behind the façade of the dwelling; or</li> <li>(b) the same as the dwelling façade, if the dwelling has floor area above the garage or carport; or</li> <li>(c) 1m, if the slope is greater than 1 in 5 for a distance of 10m from the frontage.</li> </ul>	frontage.	
A3	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <ul style="list-style-type: none"> <li>(a) be contained within a building envelope determined by: <ul style="list-style-type: none"> <li>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</li> <li>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a</li> </ul> </li> </ul>	<p>Unit 1 is located 1.935 metres from the rear boundary of a lot with an adjoining frontage (standard 4.5 metres).</p> <p>The deck of Unit 2 is located 450mm from the rear boundary. Other than the deck Unit 2 is located a minimum 3.717 metres from the rear boundary (standard 4 metres).</p> <p>Unit 1 and 2 are located 3.318 metres and 3.742 metres from the north-western side boundary respectively.</p>	Relies on Performance Criteria

	<p>distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p>	<p>The alfresco area of Unit 3 is located 2.699 metres from the rear boundary whilst the majority of the unit is located 4 metres from the rear boundary (standard 4 metres).</p> <p>Unit 3 &amp; 4 are located 1 metre from the southern side boundary (standard 1.5m for wall length greater than 9 metres).</p> <p>Unit 4 is located greater than 4.5 metres from the rear boundary of a lot with an adjoining frontage.</p> <p>There are also retaining walls proposed. One is located 100mm from the rear boundary for unit 3 ranging from 100mm and 900m high. There are also two walls located 100mm from the south-</p>	
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		<p>eastern side boundary for Units 3 and 4 ranging in height from 1000mm to 100mm.</p> <p>The height of the units are: Unit 1: 7.7 metres; Unit 2: 8.3 metres; Unit 3: 5.4 metres; and Unit 4: 5.4 metres (standard 8.5 metres).</p> <p>The development is not contained within the building envelope.</p>	
<b>10.4.3 Site coverage and private open space for all dwellings</b>			
A1	<p>Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) 60m<sup>2</sup> for multiple dwellings, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level; and</p> <p>(c) a site area of which at least 25% of the site area is free from impervious surfaces.</p>	<p>The site area is 2588m<sup>2</sup>. The access strip has an area of 250m<sup>2</sup>. The site area minus the access strip equals 2338m<sup>2</sup>. The floor area of unit 1 and 2 is: 165.2m<sup>2</sup>. The floor area of unit 3 is: 261m<sup>2</sup>. The floor area of unit 4 is 195.7m<sup>2</sup>. Total site coverage (area covered by roof) is 787.1m<sup>2</sup> or 33.7%.</p> <p>Each unit has a</p>	Complies

		<p>total area of private open space greater than 60m<sup>2</sup>.</p> <p>There is approximately 1606.4m<sup>2</sup> of impervious surfaces. This equates to 62% of the area covered by impervious surfaces. This means there is greater than 25% of the area free from impervious surfaces.</p>	
A2	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m<sup>2</sup>; or</p> <p>(ii) 12m<sup>2</sup>, for multiple dwellings above ground floor level; and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, for multiple dwellings above ground floor level; and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or</p>	<p>Unit 1 &amp; 2: Private open space area is 28m<sup>2</sup> on the deck. It has a minimum horizontal dimension of 4 metres. Is directly accessible from the dining room. It is orientated north; is flat and not used for vehicle access or parking.</p> <p>Unit 3: Private open space area is 28m<sup>2</sup> on a paved area. It has a minimum horizontal</p>	Complies

	<p>south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21<sup>st</sup> June; and</p> <p>(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	<p>dimension of 4 metres. Is directly accessible from the dining room. It is orientated north; is flat and not used for vehicle access or parking.</p> <p>Unit 4: Private open space area is 40m<sup>2</sup> on a paved area. It has a minimum horizontal dimension of 4 metres and is directly accessible from the dining room. It is orientated to the south of the dwelling but has access to 3 hours of sunlight between 9am and 5pm on June 21 to 50% of the area; is flat and not used for vehicle access or parking.</p>	
<b>10.4.4 Sunlight and overshadowing for all dwellings</b>			
A1	A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north.	The windows of habitable rooms are not located within 30 degrees east or west of north.	Relies on Performance Criteria
A2	Multiple dwellings to the	Not applicable	

	<p>north of a habitable room window (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north, must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting:</p> <p>(i) 3 m from the window; and</p> <p>(ii) vertically to a height of 3 m and then at an angle of 45 degrees.</p> <p>(b) Sunlight to the habitable room is not reduced to less than 3 hours between 9.00 am and 3.00 pm on 21<sup>st</sup> June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4 m; or</p> <p>(ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling.</p>		
A3	Multiple dwellings, that to the north of the private open space of another dwelling on	Not applicable	

	<p>the same site, must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting:</p> <p>(i) 3 m from the northern edge of the private open space; and</p> <p>(ii) vertically to a height of 3 m and then at an angle of 45 degrees.</p> <p>(b) Sunlight to 50% of the private open space is not reduced to less than 3 hours between 9.00 am and 3.00 pm on 21<sup>st</sup> June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4 m; or</p> <p>(ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling.</p>		
<b>10.4.5 Width of openings for garages and carports for all dwellings</b>			
A1	A garage or carport within 12m of a primary frontage must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the	The garages are located greater than 12 metres from the frontage.	Complies

	lesser).		
<b>10.4.6 Privacy for all dwellings</b>			
A1	<p>A balcony, deck, roof terrace, parking space, or carport, that has a finished surface or floor level more than 1m above natural ground level, must have a permanently fixed screen at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <ul style="list-style-type: none"> <li>(a) side boundary, unless there is a setback of at least 3m; and</li> <li>(b) rear boundary, unless there is a setback of at least 4m; and</li> <li>(c) dwelling on the same site, unless there is a setback of at least 6m: <ul style="list-style-type: none"> <li>(i) from a window or glazed door, to a habitable room; or</li> <li>(ii) from a balcony, deck, roof terrace or the private open space.</li> </ul> </li> </ul>	<p>The deck for Unit 2 is located 450mm from the rear boundary and has a finished surface level scaled at 2.2 metres above natural ground level from the highest point (standard 4 metres from rear boundary). It is also 3.7m from the north-western side boundary with a finished surface level scaled at 1.2 metres from the highest point (standard 3 metres to side boundary). No privacy screen is proposed. There is also a balcony that has a finished level of 2.6 metres and is located 3.717 metres from the rear boundary.</p> <p>The patio area for unit 3 scales at 1 metre in height from natural ground level at</p>	Relies on Performance Criteria

		the highest point (Complies).	
A2	<p>A window or glazed door, to a habitable room that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is at least 3 m from a side boundary; and</p> <p>(ii) is at least 4m from a rear boundary; and</p> <p>(iii) for a multiple dwelling, is at least 6m from a window or glazed door to a habitable room, of another dwelling on the same site; and</p> <p>(iv) for a multiple dwelling, is at least 6m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is offset in the horizontal plane, at least 1.5 m from the edge of a window or glazed door to a habitable room of another dwelling; or</p> <p>(ii) has a sill height or fixed obscure glazing at least 1.7 m above the floor</p>	<p>Unit 1 has two windows in bedroom 2. One window is 2.8 metres from the side boundary while the other is 3 metres from the side boundary (standard 3 metres).</p> <p>Unit 1 and 2 are located 6.85 metres from each other (Complies).</p> <p>Unit 2: The windows in bedroom 2 are 2.85 metres from the private open space area of Unit 1 (standard 6 metres). The door from the dining room is located 4.5 metres from the rear boundary (Complies).</p> <p>Unit 3 is setback 4 metres from the rear boundary. (Complies).</p> <p>Unit 4 complies.</p>	Relies on Performance Criteria

	<p>level; or</p> <p>(iii) has a permanently fixed external screen at least 1.7 m above floor level with a uniform transparency not more than 25%.</p>		
A3	<p>For multiple dwellings, a shared driveway or parking space must be separated from a window or glazed door to a habitable room by a horizontal distance of at least:</p> <p>(a) 2.5m; or</p> <p>(b) 1m if:</p> <p>(i) separated by a screen of at least 1.7m height; or</p> <p>(ii) the window or glazed door has a sill height or fixed obscure glazing at least 1.7m above the shared driveway or parking space.</p>	<p>Unit 4 is less than 2.5 metres from the shared driveway and no screens are proposed.</p>	<p>Relies on Performance Criteria</p>
<b>10.4.8 Waste storage for multiple dwellings</b>			
A1	<p>A multiple dwelling must have a storage area for waste and recycling bins of at least 1.5m<sup>2</sup> per dwelling and is:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding the front of the dwelling; or</p> <p>(b) in a communal storage area with an impervious surface that:</p> <p>(i) has a setback of at</p>	<p>A storage area has been identified on the plan for all units and is in an area for exclusive use of each dwelling.</p>	<p>Complies</p>



	<p>least 4.5m from a frontage; and</p> <p>(ii) is at least 5.5m from any dwelling; and</p> <p>(iii) is screened from the frontage and any dwelling by a wall at least 1.2m in height.</p>		
<b>10.4.9 Storage for multiple dwellings</b>			
A1	Each dwelling must have access to at least 6 cubic metres of secure storage space.	Each dwelling is provided with at least 6m <sup>3</sup> of secure storage space.	Complies
<b>10.4.10 Common Property for multiple dwellings</b>			
A1	<p>Development for multiple dwellings must clearly delineate public, communal and private areas such as:</p> <p>a) driveways; and</p> <p>c) site services, bin areas and any waste collection points.</p>	The public, communal and private areas have been delineated.	Complies
<b>10.4.12 Site Services for multiple dwellings</b>			
A1	Provision for mailboxes must be made at the frontage.	The landscape plan indicates letterboxes at end of driveway.	Complies

<b>Landslip Code</b>			
	Scheme Standard	Comment	Assessment
<b>E.3.6.1 Development on Land Subject to Risk of Landslip</b>			
A1	No acceptable solution.	The property has a medium hazard band for landslip as mapped by State Government.	Relies on Performance Criteria

<b>Car Parking and Sustainable Transport Code</b>			
Scheme Standard		Comment	Assessment
<b>6.6.1 Car Parking Numbers</b>			
A1	The number of car parking spaces must not be less than the requirements of: a) Table E6.1; or b) a parking precinct plan.	Four units require 2 spaces per dwelling plus 1 dedicated space per 3 dwellings (rounded up to the whole number).  10 Car parking spaces are required and have been shown on the plan. Two spaces per unit in the garage and two visitor parking spaces between Unit 1 and 2 are proposed.	Complies
<b>E6.6.4 Motorbike Parking Provisions</b>			
A1	One motorbike parking space must be provided for each 20 car spaces required by Table E6.1 or part thereof.	There is area available on site for motorbike parking.	Complies
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>			
A1	All car parking, access strips manoeuvring and circulation spaces must be: a) formed to an adequate level and drained; and b) except for a single dwelling, provided with an impervious all weather seal; and c) except for a single dwelling, line marked or	The car parking, access strips, manoeuvring and circulation spaces will be formed to an adequate level and drained. The material of the driveway is not shown on the plans. Guest	Relies on Performance Criteria

	provided with other clear physical means to delineate car spaces.	parking has not shown as being clearly delineated.	
<b>E6.7.2 Design and Layout of Car Parking</b>			
A1	<p>A1.1 Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone) must be located behind the building line; and</p> <p>A1.2 Within the General Residential Zone, provision for turning must not be located within the front setback for residential buildings or multiple dwellings.</p>	<p>Parking is located behind the building line.</p> <p>The provision for turning is not located within the front setback.</p>	Complies
A2	<p>A2.1 Car parking and manoeuvring space must:</p> <ul style="list-style-type: none"> <li>a) have a gradient of 10% or less; and</li> <li>b) for more than 4 cars, enter and exit the site in a forward direction; and</li> <li>c) have access width not less than and not 10% greater than Table E6.2; and</li> <li>d) have a width of access and manoeuvring space to parking spaces not less than Table E6.3 where:</li> </ul>	<p>The gradient shown for the internal driveway is steeper than 10%.</p> <p>Vehicles can enter and exit the site in a forward direction.</p> <p>The crossover to the lot was constructed at subdivision stage. However, requirement is 4.5 metres for the initial 7 metres</p>	Relies on Performance Criteria

	<p>(i) there are three or more spaces; and</p> <p>(ii) where parking is more than 30m from the road; or</p> <p>(iii) the sole vehicle access is to a category 1, 2, 3 or 4 road; and</p> <p>A2.2</p> <p>The layout of car spaces and access ways must be designed in accordance with <i>Australian Standard AS 2890.1</i>.</p>	<p>from the road carriageway and 3.0 metres thereafter. A passing bay (2.0m wide by 5.0m long plus entry and exit tapers) is required every 30m. A passing bay is provided however it is located at the end of the access handle being approximately 45m from the road. The crossover is not proposed to be widened.</p>	
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**E6.8.1 Pedestrian Walkways**

A1	<p>Pedestrian access must be provided for in accordance with Table E6.5.</p>	<p>There are 10 car parking spaces provided, pedestrians can share the driveway.</p>	<p>Complies</p>
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**Urban Salinity Code**

Scheme Standard	Comment	Assessment
<b>E16.6.1 Stormwater</b>		
A1	<p>A.1</p> <p>All stormwater runoff from hardened surfaces is to be collected and discharged to a reticulated stormwater system.</p> <p>A1.2</p> <p>If stormwater is collected and stored in a detention basin, the basin is to be lined with</p>	<p>Stormwater runoff from hardened surfaces will be collected and discharged to a reticulated stormwater system.</p> <p>Complies</p>

	impermeable material.		
<b>E16.6.2 Excavation</b>			
A1	<p>A1.1</p> <p>Excavation (except for utilities) greater than 0.5 metres in depth must:</p> <p>a) be drained to a reticulated stormwater system using appropriate saline resistant materials; or</p> <p>b) a groundwater level test conducted by a suitably qualified person establishes that the water table is not intercepted.</p> <p>A1.2</p> <p>Excavation for installation of utilities that is greater than 700mm must be drained to a reticulated stormwater system.</p>	<p>There is cut exceeding 1 metre proposed. The drainage plan indicates that all storm water drainage to be of appropriate saline resistant materials.</p>	<p>Complies</p>

**Performance Criteria**

<b>General Residential Zone</b>
10.4.2 Setbacks and building envelope for all dwellings
<p><b>Objective</b></p> <p><i>To control the siting and scale of dwellings to:</i></p> <ul style="list-style-type: none"> <li><i>(a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and</i></li> <li><i>(b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and</i></li> <li><i>(c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and</i></li> <li><i>(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable</i></li> </ul>

*rooms and private open space.*

**Performance Criteria P1**

*A dwelling must:*

- (a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and*
- (b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.*

**Comment:**

As the property is an internal lot it can not achieve consistency with the other dwellings in the street. The adjoining property to the north-west is also an internal property with an established dwelling. However, there is a no build area on the subject title which prohibits the development of buildings and structures within the area. This no build area is adjacent to the siting of the dwelling on the internal lot at 23 Bordin Street. Therefore, it is impossible to site development within the the existing established building lines. Being an internal lot means that the development is sited greater than 4.5m from the frontage and there will be no direct impact on the streetscape. Given the constraints of the site, unit 4 has been positioned as close as possible to the frontage and is considered in keeping with the objective.

**Performance Criteria P3**

*The siting and scale of a dwelling must:*

- (a) not cause unreasonable loss of amenity by:*
  - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or*
  - (ii) overshadowing the private open space of a dwelling on an adjoining lot; or*
  - (iii) overshadowing of an adjoining vacant lot; or*
  - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and*
- (b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.*

**Comment:**

As outlined in the discussion of A3 above, the development is not contained within the building envelope and must be assessed against the performance criteria listed above.

Unit 1 is located 1.935 metres from the rear boundary of a lot with an adjoining frontage being 23 Bordin Street (standard 4.5 metres). There is a dwelling built on this property. This dwelling is located 3.198 metres from the north-eastern boundary. The rooms that face the shared boundary for 23 Bordin Street are bedroom 4 and 5 and a rumpus with toilet. There are windows in all rooms facing the boundary. The private open space area for this property is located to the south-east of the dwelling. The building site for 23 Bordin Street has been filled on the southern side and cut into the hill by approximately 1.2 metres at the northern corner of the house. The boundary fence between 23 and 23A Bordin Street is a colorbond fence of various heights. Due to 23 Bordin Street being cut and filled to create a level building area, at the northern corner the boundary fence is approximately 900mm to 1 metre in height. It then progressively steps up to approximately 2.1m (or higher) at the eastern corner. There is also some established vegetation towards the north-eastern corner of 23 Bordin Street.



**Photo 8: Aerial Photo of 23 Bordin Street showing the private open space area to the south-east of the dwelling**

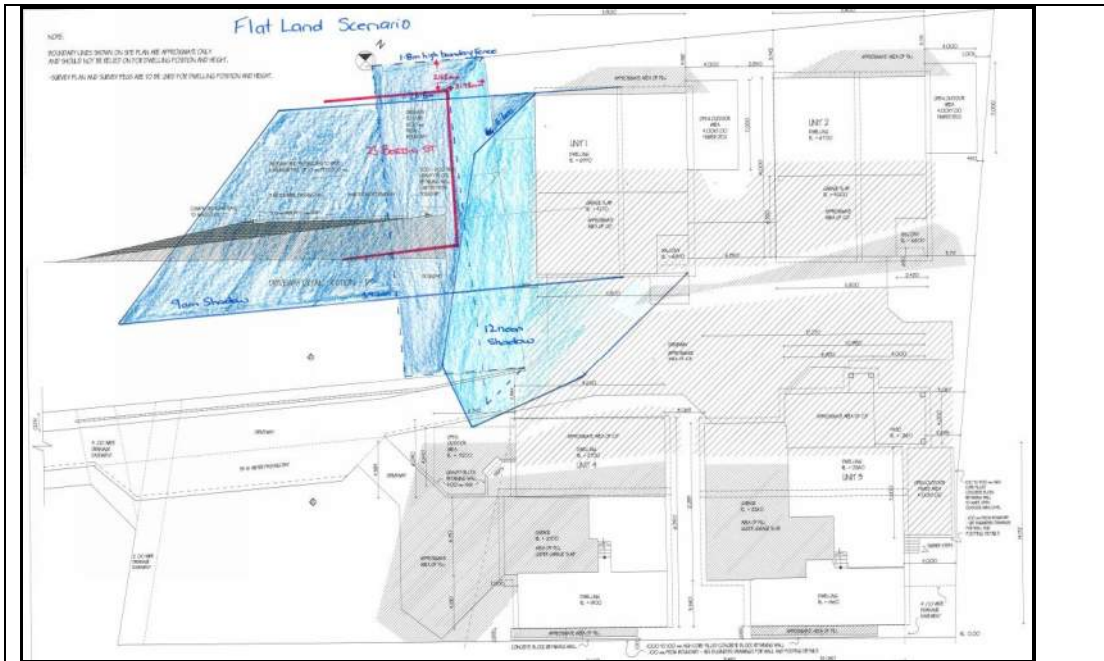


**Photo 9: Looking into 23 Bordin Street from 23A Bordin Street at the north-western corner of the site**

23 Bordin Street will be overshadowed at 9am from the shadow cast by unit 1. However, at 12 noon whilst the shadow will still fall on the land, there will be minimal overshadowing on the dwelling. The planning scheme considers the unreasonable loss of amenity through a reduction of sunlight to a habitable room (other than a bedroom). Therefore, only the extent of overshadowing on the rumpus room (based on floor plan of the house for 23 Bordin Street) can be considered. From 12 noon onwards the sliding door into the rumpus room will not receive any overshadowing from the proposed development as shown in figure 7 below.

Whilst a proportion of the private open space area will be overshadowed at 9am, there is a large area having a width of approximately 6 metres from the edge of the shadow to the south-eastern boundary fence that will receive sunlight. At 12 noon the impact from the shadow from Unit 1 is reduced to the eastern corner leaving suitable amounts of usable area free from shadow on 21 June. It is noted that from 12 noon the dwelling at 23 Bordin Street will cast its own shadow over the private open space area.





**Figure 7: Shadow Diagram for Unit 1**



**Figure 8: Shadow Diagrams submitted with application**

Therefore, it is not considered that the overshadowing received to the rumpus room and private open space area of 23 Bordin Street will cause an unreasonable loss of amenity. Sunlight will still be received to the rumpus room from 12 noon onwards and areas within the private open space area will receive sunlight from 9 am through to 3pm.



**Photo 10: Shared boundary between proposed unit 1 and 23 Bordin Street**

Unit 3 and 4 are located 1 metre from the south-eastern side boundary. Whilst 6 and 7 Talus Place will receive overshadowing it will not cause an unreasonable loss of amenity through a reduction of sunlight to habitable rooms or private open space areas. Both dwellings will have access to sunlight into habitable rooms and there are large areas available to each property for private open space. No other properties will be overshadowed by the development.

The proposed units are consistent in bulk and scale when compared to dwellings in the immediate area. They have been designed to work in with the slope of the land, reducing the need for extensive cut and fill over the site. Most properties to the north-west and south-east of Lomond View Drive appear single story one side and double story from the other due to the slope of the land. From 23 Bordin Street the proposed development will appear consistent with the residential character. As this property has been cut in to the slope it will sit lower than the proposed unit 1 which will be built up to achieve a double story dwelling. The scale will appear as though it is single story although built higher than ground level to accommodate the garage below which will be cut into the ground. Therefore, when looking at the development from either the rumpus room or two bedrooms, the development will appear quite high. The same also applies when viewing Unit 2 from the private open space areas of 12 and 14 Lomond View Drive. This is typical of the area given the slope of the land. Even if the

boundary setbacks were complied with, the scale and bulk of the development at the adjoining properties, specifically 23 Bordin Street and 12 and 14 Lomond View Drive, will not significantly reduce the bulk or scale of development. The visual impacts when view from adjoining properties is not considered to cause an unreasonable loss of amenity.

The subject property is a large internal lot surrounded by residential development and has many adjoining properties. The existing built form has resulted with various separations between dwellings. The majority of dwellings have been built close to a side boundary and maintains good separation from the rear boundary setback. 23 Bordin Street is the only adjoining property that has a rear boundary that is less than 4 metres being 3.1 metres.

Proposed unit 2 and unit 3 encroach the 4 metre rear boundary setback for a deck and balcony (unit 2) and patio area (unit 3). Whilst the units themselves are considered to provide separation between dwellings that is compatible with the surrounding area, the deck on unit 2, specifically given its height above natural ground level, is not consistent with this. The deck is considered to cause a loss on amenity specifically to the occupants of 12 and 14 Lomond View Drive. As the deck is 450mm at the closest point to the rear boundary, it is not consistent with the prevailing separation in the area. It will also cause visual impacts by being a large protrusion from the unit with no privacy considerations, impacting on how pleasant the private open space area is and how it is enjoyed by the occupants of adjoining properties. The lack of separation between an extremely visible private open space area on the deck for Unit 2 and the boundary is considered to impact the harmonious character of the properties in Lomond View Drive. Therefore it is recommended that the deck of Unit 2 be removed entirely or reduced to a walk-way width to provide access to the private open space area. Refer privacy discussion below for further assessment.

Recommendation:

Amended Plans be submitted to the satisfaction of Council's Town Planner showing the removal of the deck for Unit 2. A walk-way from the dining room to the private open space area would be appropriate providing a 3.0 metre setback to the rear boundary is maintained.

Unit 3 has a built up paved area and patio within the rear setback requirement. The patio has a minimum setback of 2.699 metres and is on ground level. This reduction of setback is considered appropriate. The paved area will be an area that is filled, with approximately 1 metre of fill at the eastern side. Whilst the area will be within close proximity to the

boundary, it too is not considered to cause an unreasonable loss of amenity.

Unit 3 and 4 are located 1 metre from the side boundary. This setback is consistent with single dwellings in the area. Unit 3 will predominately share the boundary with 7 Talus Place, while Unit 4 will adjoin 6 Talus Place, therefore portraying development on single titles rather than multiple dwellings. The reduced setback is considered appropriate. Both unit 3 and unit 4 will have a ramp built between the side boundary and unit. The ramp will be built up to a height of 1 metre to provide access to the units.

Whilst the proposed unit development is not contained within the building envelope, given the recommendation regarding the deck for Unit 2, it is considered that the reduction in setback to the boundaries is appropriate and will not cause an unreasonable loss of amenity through, overshadowing, visual impacts and separation of dwellings. The proposal is therefore considered in keeping with the objectives.

#### 10.4.4 Sunlight and overshadowing for all dwellings

##### **Objective**

*To provide:*

- (a) the opportunity for sunlight to enter habitable rooms (other than bedrooms) of dwellings; and*
- (b) separation between dwellings on the same site to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.*

##### **Performance Criteria P1**

*A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).*

##### **Comment:**

Whilst the windows of habitable rooms (other than a bedroom) of all units are not located within 30 degrees east or 30 degrees west of north, all units are orientated so that the living and dining areas receive sunlight. The windows are orientated from approximately 45 degrees east of north (all units) and 40 degrees west of north (Units 3 and 4).

The proposed development is in keeping with the objective of the scheme by providing the opportunity for sunlight to enter habitable rooms (other than bedrooms).

#### 10.4.6 Privacy for all dwellings

##### **Objective**

*To provide reasonable opportunity for privacy for dwellings.*

##### **Performance Criteria P1**

*A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:*

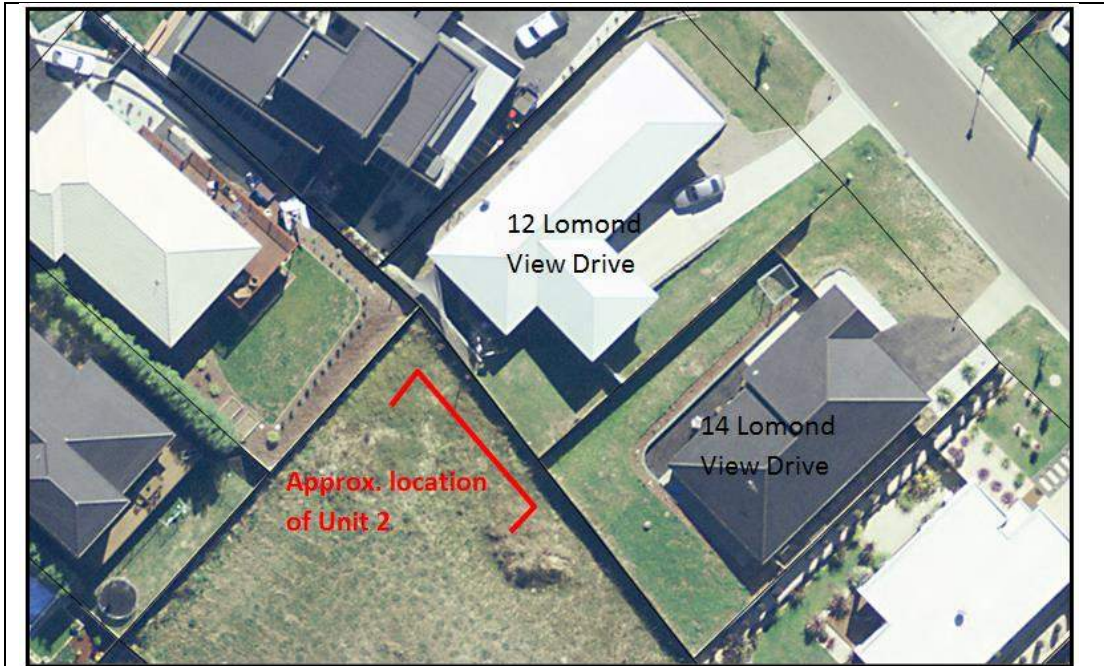
- (a) a dwelling on an adjoining lot or its private open space; or*
- (b) another dwelling on the same site or its private open space; or*
- (c) an adjoining vacant residential lot.*

##### **Comment:**

The proposed deck for Unit 1 and deck and balcony for Unit 2 have not been designed to address overlooking and as such trigger the performance criteria.

The deck of Unit 1 has a finished floor level of approximately 1.4 metres above natural ground level and is on ground level at the lowest point. This deck is 2.8 metres from Unit 2 and no treatment options have been proposed.

The proposed deck for unit 2 will have a finished floor level of 2.2 metres above natural ground level at the highest point and is only 450mm from the rear boundary at the closest point. The deck will be 1.5 metres above ground level at the lowest point. The proposed balcony is located 3.717 metres from the rear boundary and is approximately 2.5 metres above finished surface level. These areas will look directly into the private open space area of 12 and 14 Lomond View Drive as no treatment options have been proposed. This will impact the enjoyment of occupants using the private open space area and will not provide a reasonable opportunity for privacy. Given the discussion above on the deck not being consistent with the separation of dwellings in the area, it is considered that the deck should be removed from the design or if considered appropriate in its location then it must be adequately screened. The deck is considered unreasonable for screening due to the visual bulk of a 1.7 metre high screen on top of a 2.2 metre high deck directly adjacent to the private open space area of 12 Lomond View Drive. Given the size of the private open space area at 12 Lomond View Drive, there are no opportunities to escape the visual bulk from the property.



**Photo 11: Aerial photo showing approximate location of proposed unit 2**

If the deck of Unit 2 is removed, a walkway that maintains a 3.0 metre setback to the rear boundary would be appropriate to provide access the private open space area which could be located in the northern corner. Whilst the consideration of private open space is based upon this deck, if it is removed, there will be an area that is orientated north, that has a minimum dimension of 4 metres having an area of 24m<sup>2</sup> with a gradient of not steeper than 1 in 10 in the northern corner. Whilst it may not be directly accessible from a habitable room, the area is considered to be appropriate to serve as an extension of the dwelling for outdoor relaxation, dining (if levelled), children's play and is orientated to take advantage of sunlight.

The balcony of Unit 2 is 300mm from achieving compliance with the acceptable solution for privacy. Although the balcony will overlook into 12 and 14 Lomond View Drive, no treatment options are considered necessary. The extent of overlooking from the balcony into 12 and 14 Lomond View Drive would not be minimised or reduced compared to if the balcony achieved the 4 metre setback. Given the topography of the area most properties overlook into adjoining properties and the proposed development is consistent with this.

Suitable means to minimise overlooking and maintain suitable levels of privacy need to be included in the development and is recommended as a condition for approval.

Recommendations:

1) Amended plans be submitted to the satisfaction of Council's Town Planner showing:

- a) that part of the deck for Unit 1 with a finished floor level more than 1 metre above natural ground level be treated along the north-eastern side with a permanently fixed screen to a height of at least 1.7m above the finished floor level with a uniform transparency of no more than 25%; or otherwise designed to minimise overlooking;
- b) The deck of Unit 2 be removed and a private open space area in the northern corner provided for with access either via the laundry or a walkway from the dining room.

These recommendations are considered to provide reasonable opportunities for privacy for dwellings and will bring the development in to consistency with the objective.



**Photo 12: Looking at 12 and 14 Lomond View Drive**



**Photo 13: Looking at 12 Lomond View Drive from proposed deck site**

***Performance Criteria P2***

*A window or glazed door, to a habitable room of dwelling, that has a floor level more than 1 m above the natural ground level, must be screened, or otherwise located or designed, to minimise direct views to:*

- (a) window or glazed door, to a habitable room of another dwelling; and*
- (b) the private open space of another dwelling; and*
- (c) an adjoining vacant residential lot.*

**Comment:**

The south-eastern window in bedroom 2 of Unit 1 and 2 has a finished floor level greater than 1 metre above natural ground level and triggers assessment against the performance criteria.

The south-eastern window of bedroom 2 of unit 1 is not offset to the windows and glazed doors of habitable rooms of 23 Bordin Street nor provides a permanently fixed screen, or is setback the appropriate distance to maintain privacy. To minimise direct views into 23 Bordin Street it is recommended that the window be treated or screened or replaced with a highlight window. The south-western window in bedroom 2 of unit 1 is located 3 metres from the boundary and therefore complies with the acceptable solution.

The south-eastern window of bedroom 2 of Unit 2 is not located 6 metres from the private open space of another dwelling on the same site or



provides a permanently fixed screen to maintain privacy. To minimise direct views it is recommended that the window be treated or screened or replaced with a highlight window. The floor level of the south-western window in bedroom 2 is less than 1 metre and complies with the acceptable solution.

This recommendation is considered to maintain privacy and is in keeping with the objective.

Recommendation:

Amended plans to be submitted to the satisfaction of Council's Town Planner showing:

- a) The south-eastern window in Bedroom 2 of Units 1 and 2 be screened, treated or replaced with a highlight window with a sill height of 1.7 metres to minimise direct views.

**Performance Criteria P3**

*A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise detrimental impacts of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.*

**Comment:**

Unit 4 is located less than 2.5 metres from the shared driveway and no screens are proposed therefore triggering assessment against the performance criteria.

The living rooms of unit 4 are located less than 2.5 metres from the shared driveway. The windows in the living room are approximately 1.8 metres from the driveway and the kitchen window is approximately 1.2 metres. There may be opportunities for vehicle light intrusion into all windows especially if vehicles reverse into the garage of Unit 1 or the guest parking spaces. It is considered that the space between the living room windows could be widened to 2.5m to achieve compliance with the acceptable solution or alternatively screens be erected in front of the dining rooms windows to minimise impacts mainly from vehicle light intrusion. Given the living rooms are located to the north-west of the unit, a screen is likely to reduce the solar access to the room and it would therefore be more preferable to widen the garden area to achieve compliance.

The kitchen window is also likely to receive vehicle light intrusion however, the garden area cannot be widened without narrowing the driveway to less than the required 3 metres. Whilst the sink is proposed under the kitchen

window, it is considered to not be frequently used to be significantly impacted by vehicle lights or noise. Therefore, treatment of the window is not considered necessary.

Recommendation:

Amended plans to be submitted to the satisfaction of Council's Town Planner showing:

- a) The garden area to the north-west of the windows in the living room of Unit 4 be widened to a minimum width of 2.5 metres; or the living room windows be screened or otherwise located or designed to minimise detrimental impacts from vehicle noise or vehicle light intrusion.

This recommendation is considered to achieve consistency with the performance criteria and will provide reasonable opportunity for privacy which is in keeping with the objective.

<b>Landslip Code</b>
E.3.6.1 Development on Land Subject to Risk of Landslip
<b>Objective</b> <i>To ensure that development is appropriately located through avoidance of areas of landslip risk, or where avoidance is not practicable, suitable measures are available to protect life and property.</i>
<b>Performance Criteria P1</b> <i>Development must demonstrate that the risk to life and property is mitigated to a low or very low risk level in accordance with the risk assessment in E3.6.2 through submission of a landslip risk management assessment.</i>
<b>Comment:</b> The property is located within the medium hazard band on the State Governments landslip mapping, therefore triggering assessment against the performance criteria.  The application was accompanied with a Site Classification Report by Statewide Geotechnics which states: <i>It is therefore assessed that the site is stable, with a very low risk of being affected by any landslide-related movement in the foreseeable future.</i> As such the risk to life and property is considered to be to be low.  The proposal complies with the performance criteria and objective.

<b>Car Parking and Sustainable Transport Code</b>
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>
<p><b>Objective</b></p> <p><i>To ensure that car parking spaces and access strips are constructed to an appropriate standard.</i></p>
<p><b>Performance Criteria P1</b></p> <p><i>All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.</i></p>
<p><b>Comment:</b></p> <p>The development plans have not indicated what material the driveway, car parking and circulation spaces will be constructed of. Therefore, it is recommended that it is constructed with an impervious all-weather seal.</p> <p>The visitor car parking spaces will also be required to be identified. It is recommended that each of the two spaces be identified as "Visitor Parking".</p>
<b>E6.7.2 Design and Layout of Car Parking</b>
<p><b>Objective</b></p> <p><i>To ensure that car parking and manoeuvring space are designed and laid out to an appropriate standard.</i></p>
<p><b>Performance Criteria P2</b></p> <p><i>Car parking and manoeuvring space must:</i></p> <ul style="list-style-type: none"> <li><i>a) be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and</i></li> <li><i>b) provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.</i></li> </ul>
<p><b>Comment:</b></p> <p>The proposed development does not achieve compliance with acceptable solution A2.1 as the gradient of the car parking and manoeuvring space is steeper than 10% and the width of vehicular access does not comply with the requirements of the scheme. This triggers assessment against the performance criteria.</p>

The proposed car parking and manoeuvring space has a gradient more than 10% being 10.4% between unit 1 and 4 and 17.5% between unit 2 and 3. These percentages are consistent with the Australian Standard Parking Facilities Part 1: Off-street car parking (AS/NZS 2890.1:2004) which provides for a gradient of 25%. Therefore, the proposed gradients are considered acceptable. The turning paths as indicated on the vehicle turning plan are also compliant with the standard as vehicles can exit the site in a forward direction.

The proposal does not address the vehicle crossover which was constructed at subdivision stage. Council's Director Infrastructure has provided comments in relation to the width of the crossover.

*The existing driveway crossover is to be widened to provide a minimum width of 4.5m for the 7m from road carriageway and 3.0m thereafter (to comply with planning scheme).*

As such, a condition of approval will be to widen the crossover as per above.

Although the acceptable solution requires passing bays every 30 metres, there is a passing bay provided at the end of the access handle, being approximately 42 metres from the frontage. This passing bay is appropriately sited and of sufficient size to cater for meeting/passing traffic in the access handle. The access handle is straight and vehicles will be able to view each other if negotiating the access handle at the same time where a vehicle can then use the passing bay. The bay is considered to be convenient and safe as it will have good sight lines to the frontage and into the turning area for the development. The dimensions of the bay are of a size which could accommodate three vehicles.

Recommendation:

- a) The existing driveway crossover is to be widened to provide a minimum width of 4.5m for the first 7m from the road carriageway and 3.0m thereafter to the satisfaction of Council's Director Infrastructure Services.

The car parking and manoeuvring spaces are considered to be of an appropriate standard and in keeping with the objective.



**Photo 14: Crossover to 23A Bordin Street**

The car parking and manoeuvring spaces are considered to be of an appropriate standard and in keeping with the objective.

### **Representations**

Two (2) representations were received (see attached documents). A summary of the representations is as follows:

C Smith – 4 Lomond View Drive, Prospect Vale

1. Increase density of buildings in the area leading to noise pollution.
2. Questioned heating of the units and if wood fires are allowed. If so this will lead to air pollution.
3. Increase in car movements along the shared drive.
4. Seeks clarification on location of post boxes in consideration of safe easy access for residents and postman.
5. Seeks clarification on location of rubbish bins

JG & A Campo 23 Bordin Street, Prospect Vale

1. Privacy – confirm that windows shown in DWG419 – Sheet 8 titled 'Unit One south west elevation' do not infringe on privacy of bedroom and sewing room.

2. Clarify Council requirements for construction of car parking spaces and access strips.
3. Clarify Council requirements for design and layout of car parking, particularly number of spaces in relation to the number of proposed units and the location in regards to the north-east view from residence.
4. Clarify Council requirement for landslip risk. Confirm that Council will approve the methodology used to investigate any landslip risk. Confirm that Council will approve any remedial work identified by the investigation. Confirm any investigation work and any resultant remedial work does not affect the stability of our block.
5. Overshadowing – Confirm what is overshadowing residence. What are the dimensions of the shadow – length and breadth height from ground level? The accuracy of the shadow location? The density of the shadow. Confirm that the bedroom and sewing room will not have a reduction of light entering these rooms by shadow cast.
6. Restricted building zone – Clarify what has been included in this area of the planning application. Why has a clothes line and garden shed has been shown in the restricted building zone for unit 4.
7. Passing Bay – Confirm that the south-east of the passing bay cannot be constructed for additional car parking or the passing bay be converted to car parking spaces. If it is converted it will cause visual pollution. Confirm that the passing bay cannot be used as a parking space at any time.
8. Shipping containers / Garden sheds – confirm that these can not be erected along the south east boundary of 23A Bordin Street.
9. Unit 4 outdoor area – confirm that this cannot be extended into the Restricted Build Zone.
10. Cutting – Confirm that the cutting of Unit 1 will not affect the stability of our block or undermine the existing boundary fence.
11. AG Line – Confirm that the excavation for the Ag Line on our south-east boundary, along the existing block wall in the driveway and boundary fence will not be undermined. Confirm that Council will ensure that any necessary remedial work will be carried out to requirements.

**Comment:**

C Smith

1. Multiple Dwellings in the General Residential Zone can be considered a permitted use complying with the amenity provisions. Therefore, it is expected that the density of the area will increase as a result of unit developments. The proposed development complies with the density provision of the scheme resulting with a site area per unit greater than

325m<sup>2</sup>. Noise pollution is not considered an issue as a result of the proposal as the development is in keeping with the density and amenity provisions being for residential use. Council's Environmental Health Officer provided the following comments:

'It is difficult to predict the additional adverse impact on residential amenity, if any, from noise emissions between a multi-unit development and single dwelling – it depends on the occupants and noise impacts can vary considerably over time.

*The Environmental Management and Pollution Control (Noise) Regulations 2016* include provisions for the use of different types of equipment which typically cause noise nuisances in residential areas, for example chainsaws, lawnmowers, power tools and sound-amplifying equipment. These Regulations are frequently referred to and used by Council's Environmental Health Officers when handling neighbourhood complaints relating to noise. The nuisance provisions of the *Environmental Management and Pollution Control Act 1994* can also be used in circumstances where noise is emanating from a source not referred to in the Regulations'.

2. The applicant has confirmed that wood fires are not proposed for the units, rather a reverse cycle air conditioning system.
3. The development will result in increased vehicle movements along the access handle to the units, compared to that of single dwellings. However, the driveway will be a suitable width and will have a passing bay to comply with the provisions of the planning scheme as discussed above.
4. Mail boxes will be located at the end of the driveway as indicated on the site plan. Australia Post has guidelines regarding the location of mail boxes.
5. Garbage and recycling bins will be recommended to be collected on site as it could result with 8 bins located on the nature strip in front of 25 Bordin Street. However, there are no grounds in the planning scheme to require that bins be collected on-site, so it will be a note as advice to the applicant.

#### JG & A Campo

1. The windows shown in DWG419 – Sheet 8 titled 'Unit One south west elevation' are an ensuite window, two windows in the second bedroom and a bathroom window. The window schedule has indicated that the windows in the ensuite and bathroom will be obscured. The south-western window in bedroom two achieves a setback of 3 metres to the property boundary and complies with the privacy provisions of the planning scheme. The south-eastern window of bedroom two is less than 3 metres from the boundary, and is not

off-set 1.5 metres in the horizontal plan from the edge of a window to a habitable room of another dwelling. As such it does not comply with the privacy provisions of the planning scheme. As discussed above, it is recommended that the window either be screened, removed or replaced with a window having a sill height above 1.7 metres from finished floor level to comply with the privacy provisions.

2. Code E6 of the planning scheme as assessed and discussed above, addresses the construction of car parking spaces and access strips.
3. Code E6 of the planning scheme, as assessed and discussed above, considers the design and layout of car parking. For this development the planning scheme requires 2 spaces per dwelling, plus 2 dedicated visitor parking spaces. There are no requirements in the scheme in relation to the siting of these spaces. The visitor spaces are in between proposed unit 1 and 2.
4. Code E3 - Landslip Code, as discussed above, addresses landslip risk. Landslip risk is assessed by a suitably qualified person as Council staff are not qualified in this area. There has not be any work identified as being required. It is noted that any building work that occurs on the site must be contained within the title boundaries and not impact adjoining property. If adjoining property is impacted it becomes a civil matter.
5. The shadow diagrams that were submitted with the application have been verified and are considered to be correct. The 9 am shadow of unit 1 will be cast over 23 Bordin Street, and will fully overshadow the windows of (as per Council's records) bedroom 4 and 5 and the rumpus room door. However, the planning scheme only considers the impact caused by the reduction of sunlight to habitable rooms other than bedrooms. Therefore, only the extent of overshadowing to the rumpus room window can be considered. The 12 noon shadow that will fall on to 23 Bordin Street, will not be cast over the rumpus room door. Refer above for further discussion on over shadowing.
6. A garden shed and clothes line has been shown as being within the restricted build zone. The garden shed is considered exempt from requiring a planning permit as is a clothesline. The restricted building zone is shown on the title is a requirement of the Section 71 (LUPAA) agreement which states *'the area is restricted for development to protect the sub soil drainage system. The hatched area is to remain free of buildings and structures and can be used for domestic garden purposes only.'* Compliance with the agreement is the responsibility of the property owner as it is not enforceable by the planning scheme and is not part this assessment.
7. A passing bay has been proposed being 5 metres wide by 16 metres in length. The planning scheme however only requires an area being



2.0m wide by 5.0m long plus tapers. This passing bay will need to remain free so as to be available when necessary. Given the size of the area there may be the ability for a vehicle to be parked towards one end. The planning scheme does not prohibit the parking of vehicles associated with a residential use on a property or consider any visual pollution for vehicles parking on-site.

8. A 3 metre by 3 metre by 2.4 metre high garden shed can be considered exempt from requiring planning and building approvals, so there may be the ability for a garden shed to be erected on the property. Given the south-eastern boundary of 23 Bordin Street abuts the proposed driveway, it is unlikely that a garden shed or outbuilding/shipping container will be constructed along this area.
9. The outdoor area for unit 4 is located within the restricted building zone. The restricted building zone does not prohibit use of the area but rather the construction of buildings and structures. There is nothing to prohibit the extension of the outdoor area further into the restricted building zone; however, it may require reconsideration of the driveway to the garage of Unit 4.
10. The *Meander Valley Interim Planning Scheme 2013* and the *Land Use Planning and Approvals Act 1993* does not consider damage to adjoining properties as a result of development. This is a civil matter. However, all work that must be located wholly within the title boundaries. The *Building Act 2016* requires Protection of Works if working within proximity of the boundary as determined by the Building Surveyor. This is to ensure that adjoining properties are not damaged/undermined as a result of development. Developments should be undertaken in a manner so as to not impact adjoining properties. It is noted however, that the existing colorbond boundary fence along 23 and 23A Bordin is bulging in places.
11. Refer to response 10 above.

### **Conclusion**

In conclusion, it is considered that the application for Use and Development for Multiple dwellings (4 units) on an internal lot in the General Residential Zone can be effectively managed by conditions and should be approved.

**AUTHOR:** Natasha Whiteley  
TOWN PLANNER

## 12) Recommendation

***That the application for Use and Development for Multiple Dwellings (4 Units) on land located at 23A Bordin Street, Prospect Vale (CT: 159187/121) by P Spencer, requiring the following discretions:***

- Clause 10.4.2 - Setbacks and building envelope for all dwellings
- Clause 10.4.4 - Sunlight and overshadowing for all dwellings
- Clause 10.4.6 - Privacy for all dwellings
- Clause E3.6.1 - Development on Land Subject to Risk of Landslip
- Clause E6.7.1 - Construction of Car Parking Spaces and Access Strips
- Clause E6.7.2 - Design and Layout of Car Parking

***be APPROVED, generally in accordance with the endorsed plans:***

**a) Adorn Drafting; Drawing 419 Sheets 1-21.**

and subject to the following conditions:

1. **Prior to the commencement of works, amended plans are to be submitted to the satisfaction of Council's Town Planner showing:**
  - a) **The deck of unit 2 be removed or reduced in width to maintain a setback of 3 metres to the north-eastern boundary.**
  - b) **The private open space area for unit 2 located in the northern corner of the lot and formed as a usable space.**
  - c) **That part of the deck for Unit 1 with a finished floor level more than 1 metre above natural ground level, be treated along the north-eastern side with a permanently fixed screen to a height of at least 1.7m above the finished floor level with a uniform transparency of no more than 25%; or otherwise designed to minimise overlooking;**
  - d) **The south-eastern window in Bedroom 2 of Units 1 and 2 be screened, removed or replaced with a highlight window with a sill height of 1.7 metres above finished floor level to minimise direct views.**
  - e) **The garden area to the north-west of the windows in the living room of Unit 4 be widened to a minimum width of 2.5 metres.**
2. **Prior to the commencement of use the following is required:**

- a) **The driveway, manoeuvring and car parking area is to be constructed to an impervious all-weather seal.**
  - b) **The existing driveway crossover be widened to provide a minimum width of 4.5 metres for the first 7 metres from the road carriageway, to the satisfaction of Council's Director Infrastructure Services. Refer to Note 1.**
  - c) **The visitor car parking spaces are clearly identified as visitor parking and delineated, to the satisfaction of Council's Town Planner.**
- 3. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/00301-MVC attached).**

Notes:

- 1. Prior to the widening of the vehicle access (e.g. a driveway crossover) separate consent is required by the Road Authority. A Driveway Crossover Application Form is enclosed. All enquiries should be directed to Council's Technical Officer on 6393 5312.**
- 2. The stormwater system designed for the development must incorporate stormwater detention. Approval of the proposed on-site detention by Council's Infrastructure Department will be required prior to the issue of building and plumbing permit approvals. Refer to the separate letter from Council attached to this permit.**
- 3. It is recommended that on-site collection of garbage and recycling bins is provided for on-site. Contact Toxfree or Veolia.**
- 4. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: [mail@mvc.tas.gov.au](mailto:mail@mvc.tas.gov.au)**
- 5. This permit does not imply that any other approval required under any other by-law or legislation has been granted. The following additional approvals may be required before construction commences:**

- a) **Building approval**
- b) **Plumbing approval**

**All enquiries should be directed to Council's Permit Authority on 6393 5322 or Council's Plumbing Surveyor on 0419 510 770.**

6. This permit takes effect after:
  - a) The 14 day appeal period expires; or
  - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
  - c) Any other required approvals under this or any other Act are granted.
7. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au)
8. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
9. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
10. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
11. If any Aboriginal relics are uncovered during works;
  - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for

- Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au); and
- c) The relevant approval processes will apply with state and federal government agencies.

**DECISION:**

## SITE INFORMATION

LAND TITLE REFERENCE No	-	Lot 121 SP 159187 CT 159187/121
WIND CLASSIFICATION	-	TBA
SOIL CLASSIFICATION	-	"p"
CLIMATE ZONE	-	7
BUSHFIRE ATTACK LEVEL	-	LOW
ALPINE AREA	-	N/A
CORROSION ENVIRONMENT	-	MEDIUM
LAND AREA	-	2588 m2
FLOOR AREA UNIT 1 AND 2	-	165.2 m2 TOP FLOOR
	-	67.6 m2 GARAGE EXCLUDES STAIRS
	-	24 m2 DECK
FLOOR AREA UNIT 3	-	245 m2 INCLUDES GARAGE
	-	16 m2 PATIO
FLOOR AREA UNIT 4	-	195.7 m2 INCLUDES GARAGE
	-	16 m2 PATIO

## DRAWING SCHEDULE

DWG -SHEET 1	COVER SHEET
DWG -SHEET 2	SITE PLAN
DWG -SHEET 3	FLOOR PLAN UNITS 1 AND 2
DWG -SHEET 4	FLOOR PLAN UNITS 3 AND 4
DWG -SHEET 5	ELEVATIONS
DWG -SHEET 6	ELEVATIONS
DWG -SHEET 7	ELEVATIONS
DWG -SHEET 8	ELEVATIONS
DWG -SHEET 9	SECTION
DWG -SHEET 10	SECTION
DWG -SHEET 11	SECTION
DWG -SHEET 12	LIGHTING PLAN
DWG -SHEET 13	LIGHTING PLAN
DWG -SHEET 14	WINDOW SCHEDULE
DWG -SHEET 15	DRAINAGE DIAGRAM
DWG -SHEET 16	LANDSCAPE PLAN
DWG -SHEET 17	VEHICLE TURNING
DWG -SHEET 18	FULL SITE PLAN
DWG -SHEET 19	SHADOW DIAGRAM
DWG -SHEET 20	SPECIFICATION SHEET
DWG -SHEET 21	WATERPROOFING

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS  
 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

ADORN DRAFTING

MEL 0415 235 160  
 E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES

CC 4667 J  
 CATEGORY APP 1  
 18/ A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

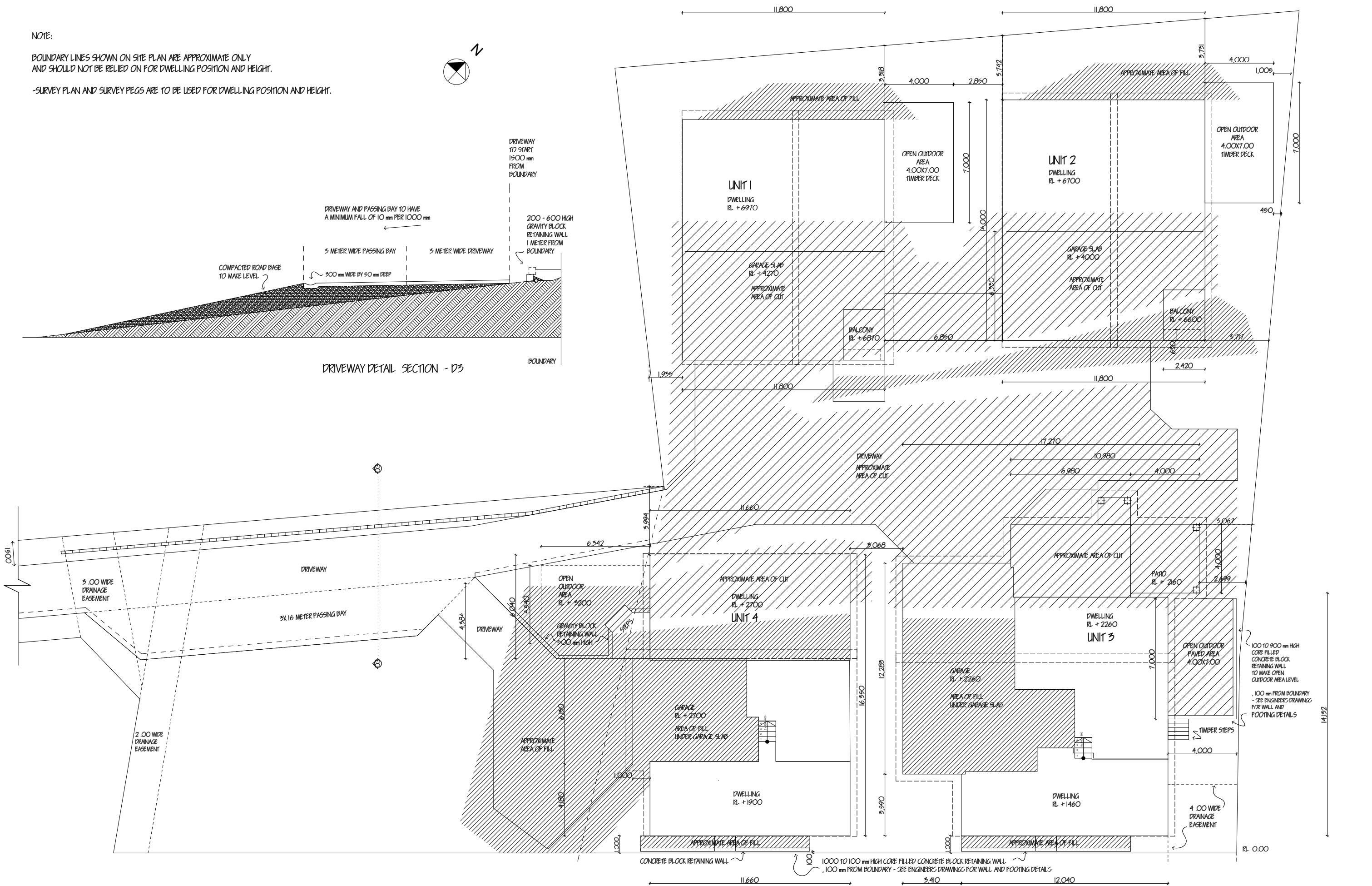
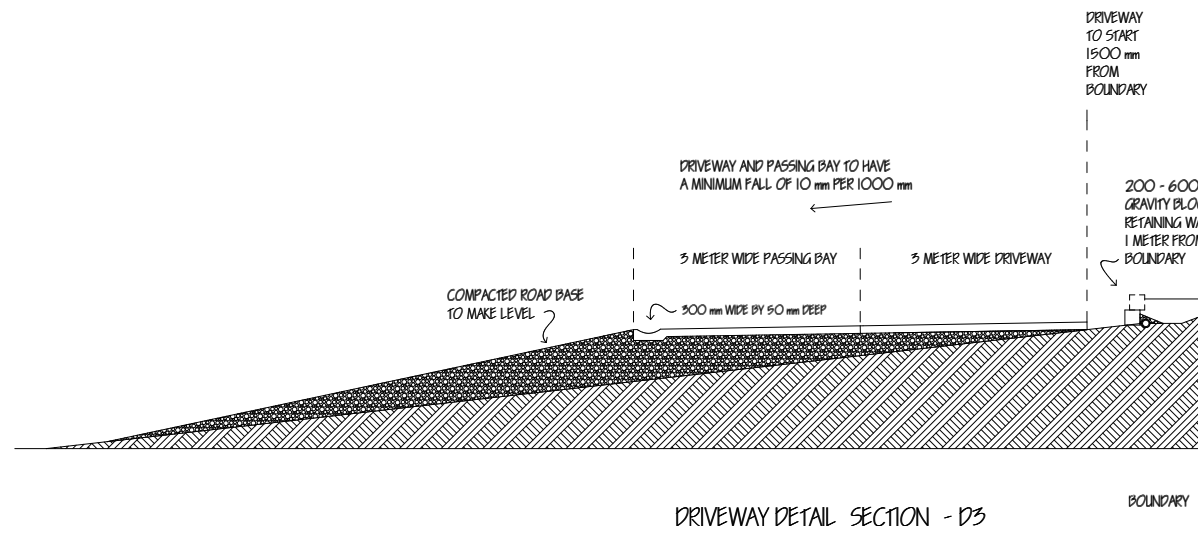
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DATE	30/11/2017
SCALE	1:200
DWG 419	SHEET 9 OF 21

**C&D 1**

NOTE:

BOUNDARY LINES SHOWN ON SITE PLAN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED ON FOR DWELLING POSITION AND HEIGHT.

-SURVEY PLAN AND SURVEY PEGS ARE TO BE USED FOR DWELLING POSITION AND HEIGHT.



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
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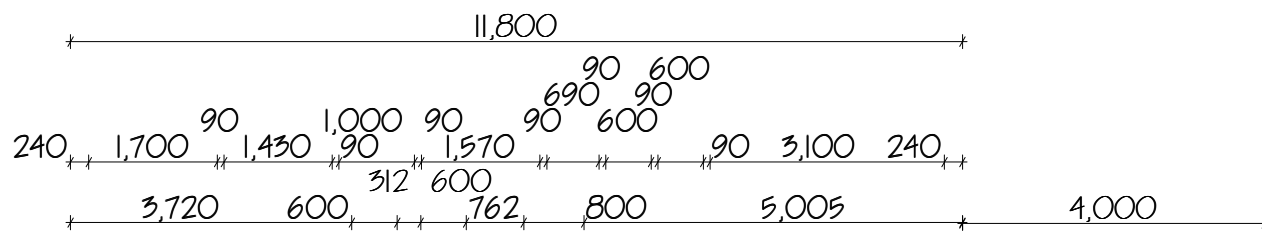
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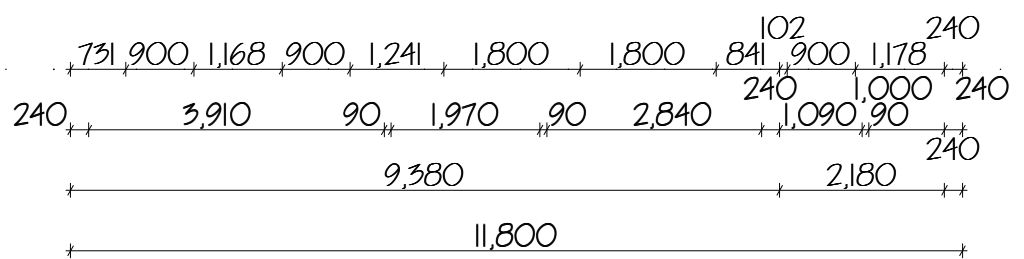
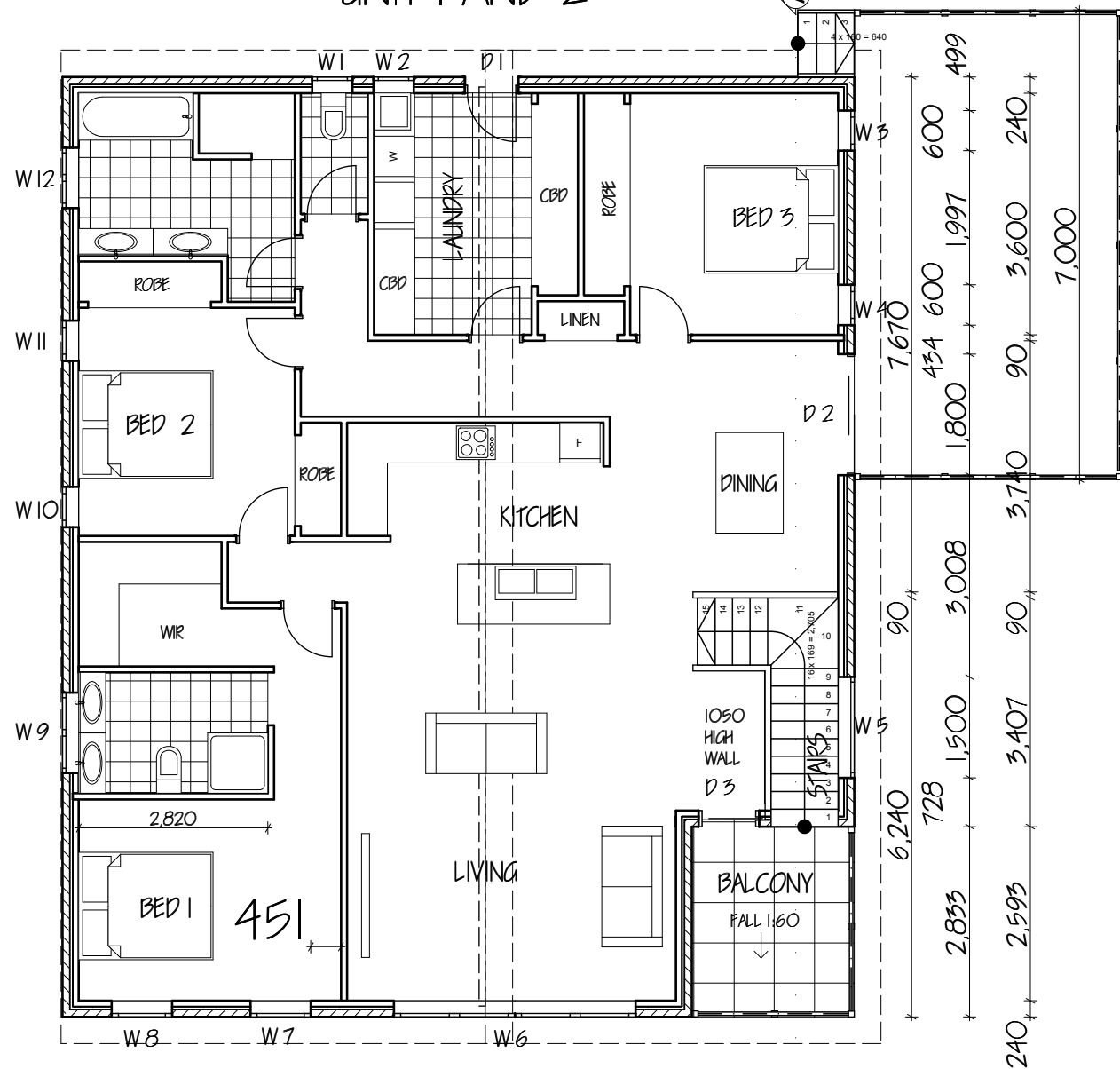
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DRAWING	SITE PLAN
DATE	30/11/2017
SCALE	1:200
DWG 419	SHEET 3 OF 21

C&D



UNIT 1 AND 2



BALCONY

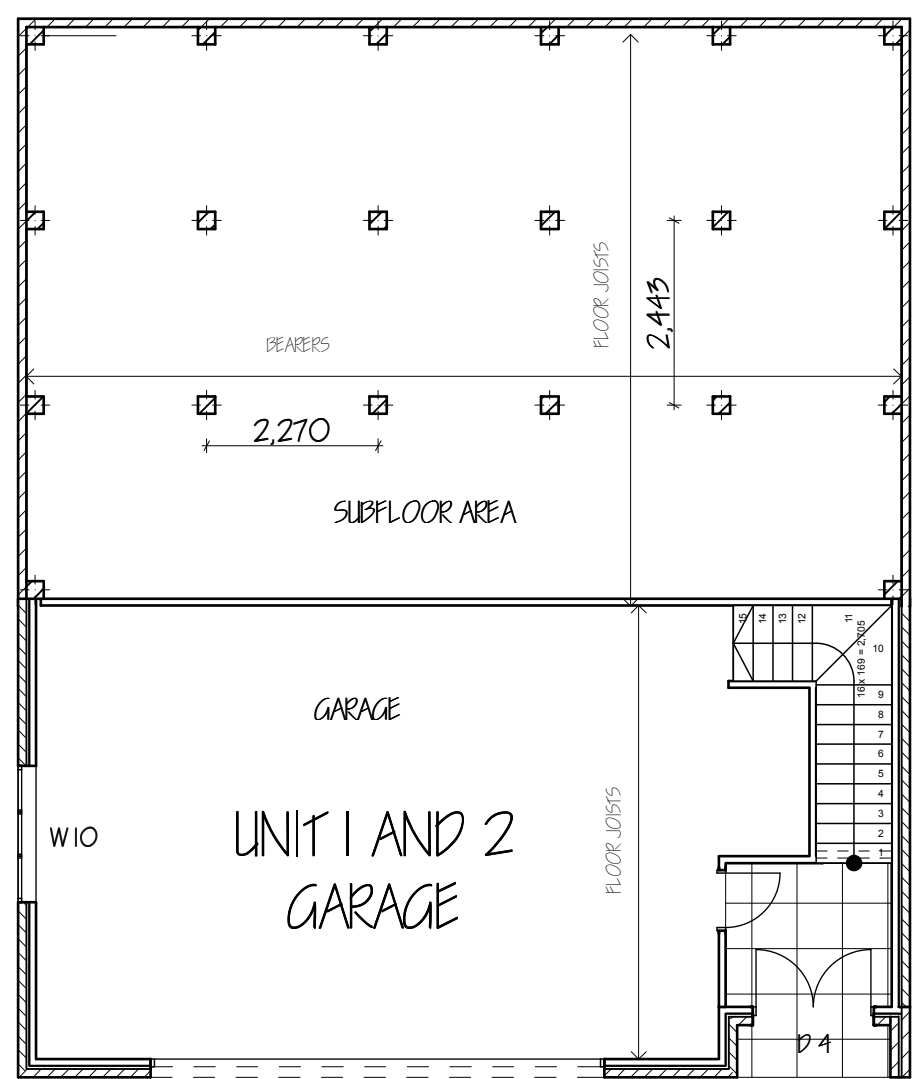
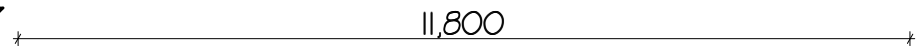
WATER PROOFING TO COMPLY WITH AS 3740 AND TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS

140X35 MCP 10 JOISTS @ 450 CRS  
 2/140X45 F5 TP BEARER BEARING ON AND BOLTED TO BRICK PIERS WITH 10 X 120 mm GAL DYNABOLTS

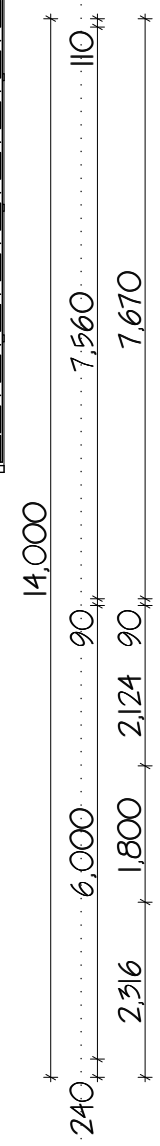
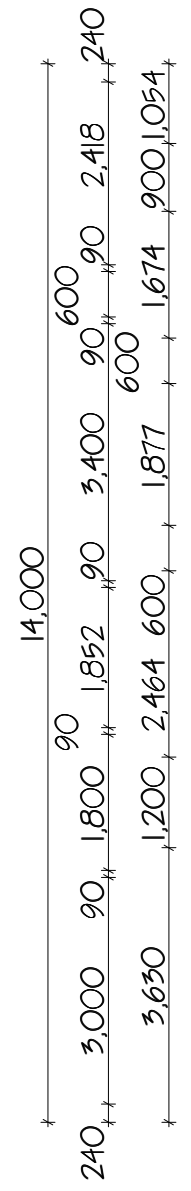
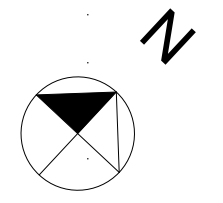
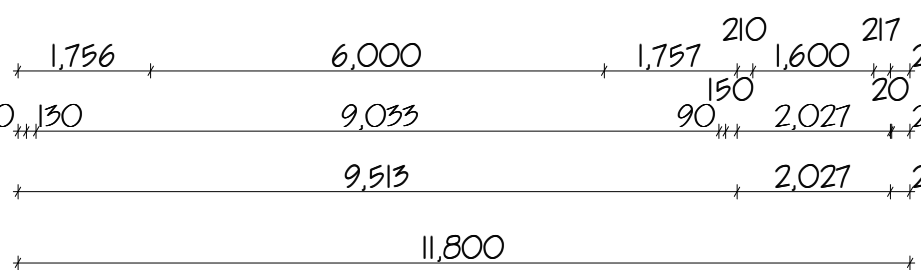
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FLOOR SHEETS, VERTICAL SURFACE 50 mm UP INTERNAL WALLS TO BE WATERPROOFED AND TILED

1000 mm HIGH GLASS BALUSTRADE



BEAM TO ENGINEER'S DRAWINGS



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
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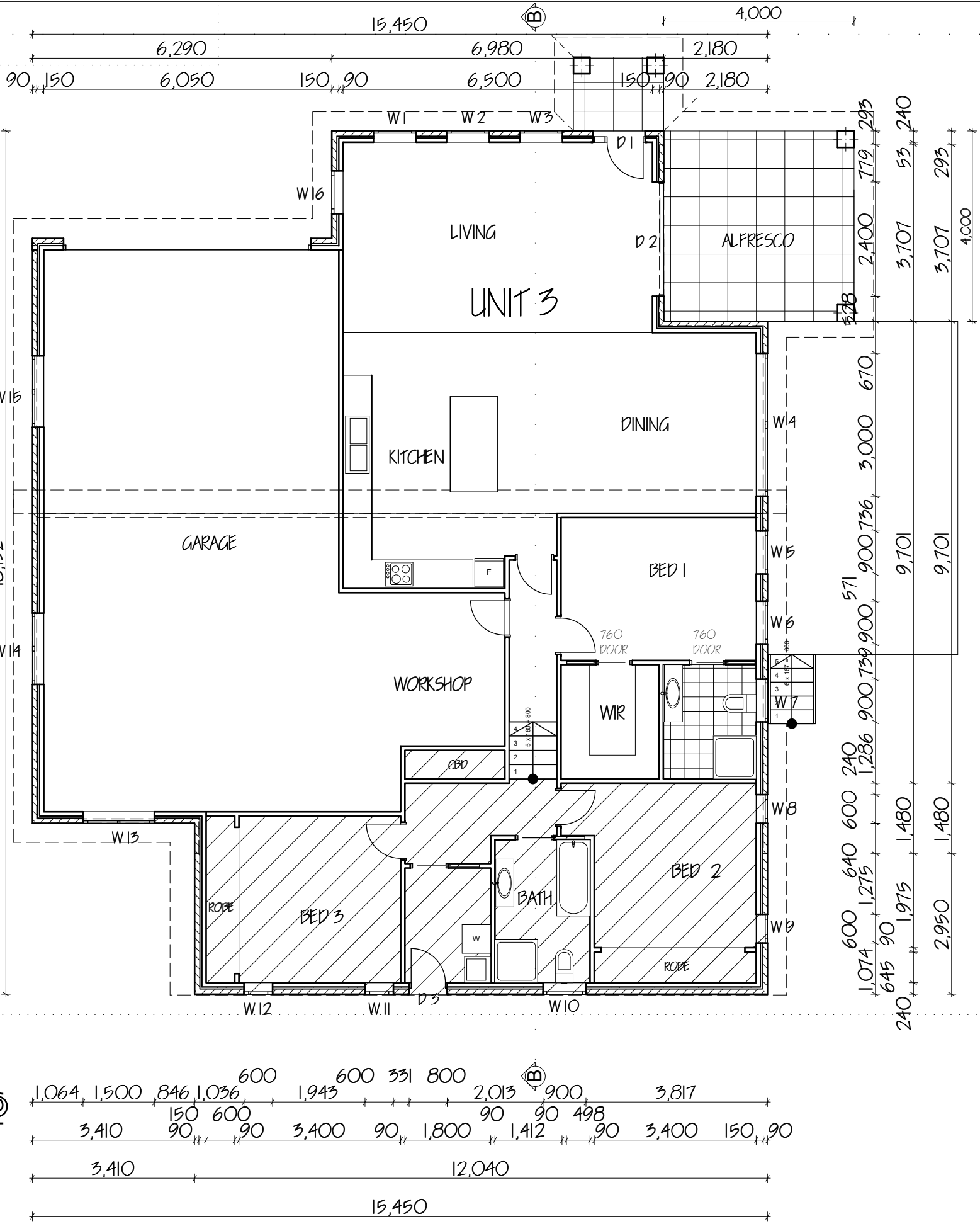
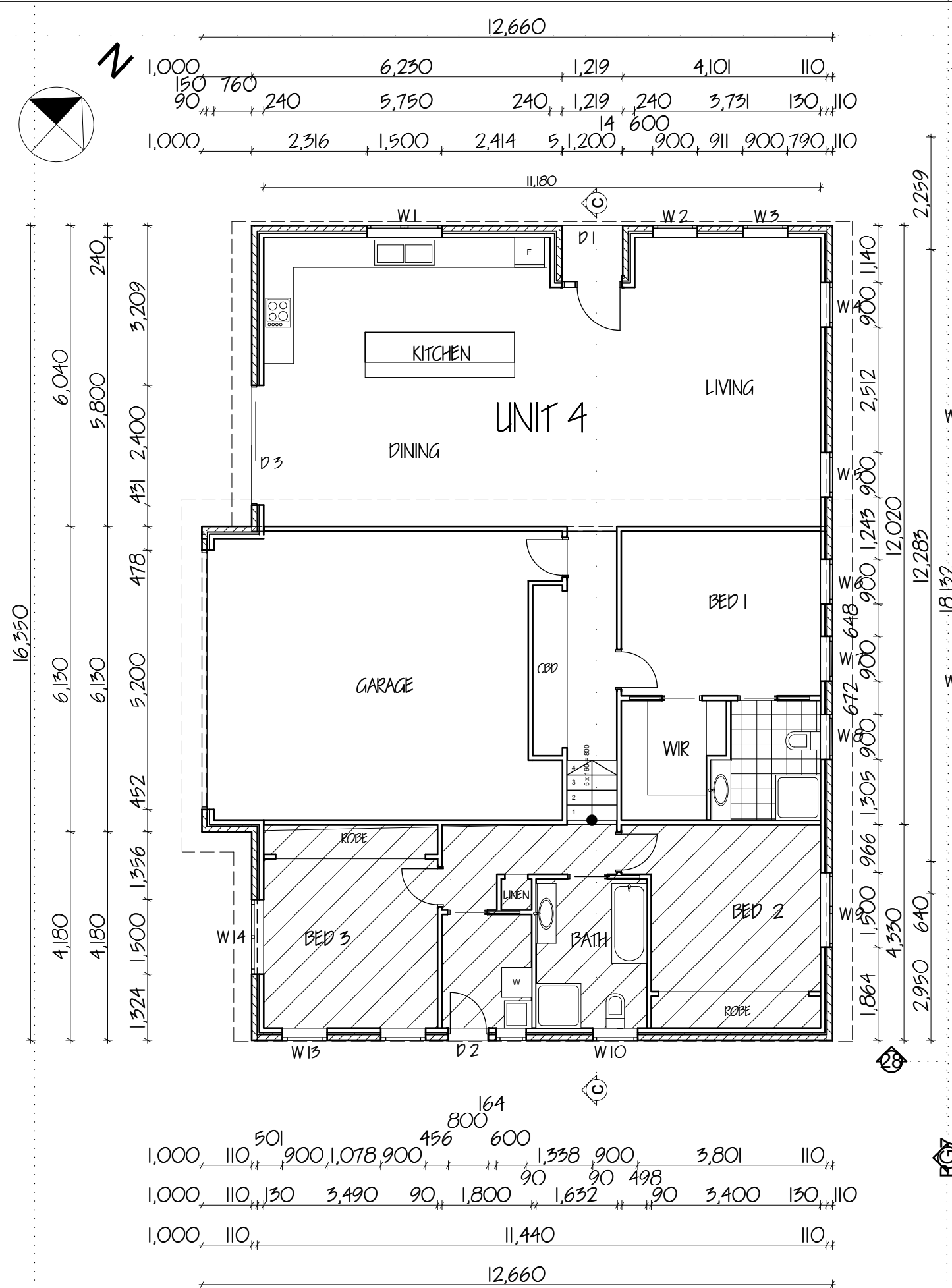
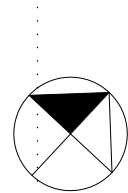
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PROPOSED MULTIDWELLING  
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DRAWING	FLOOR PLAN 1 AND 2
DATE	30/1/2017
SCALE	1:100
DWG 419	<b>C&amp;D</b> 31 OF 21





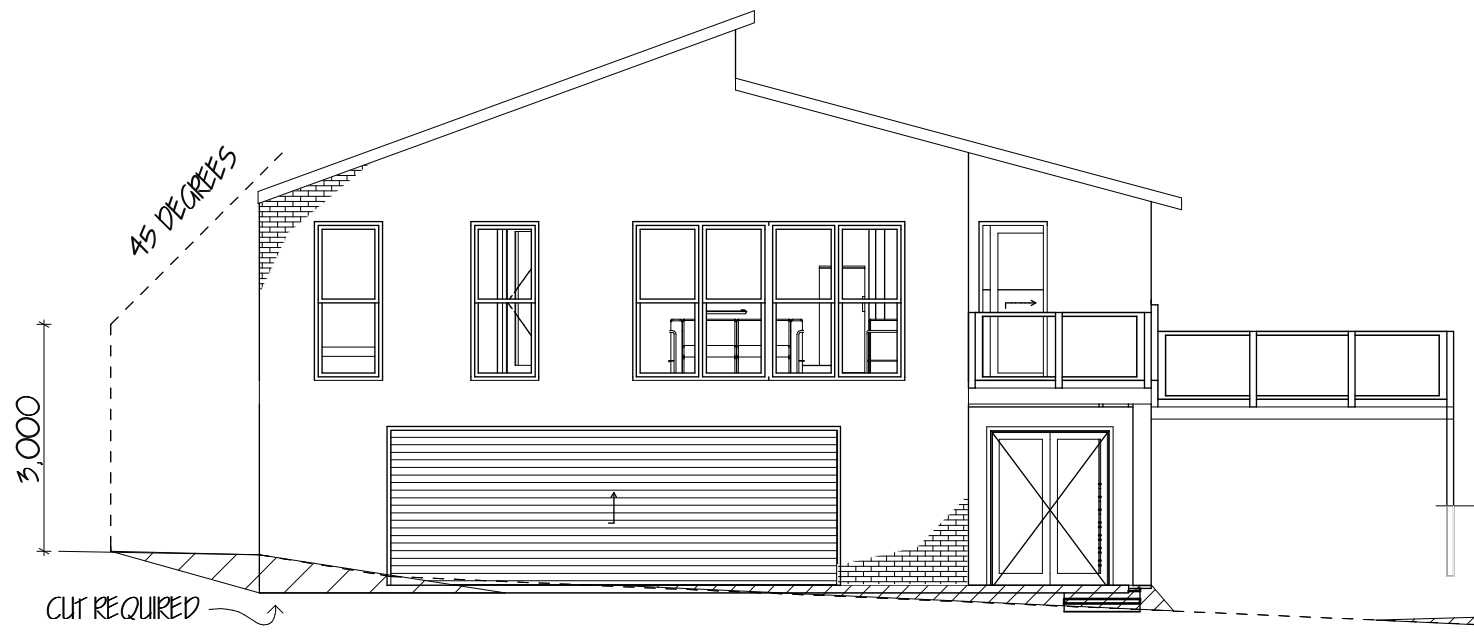
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**ADORN DRAFTING**  
 MBL 0413 235 160  
 E-MAIL : stephenlawes@aapt.net.au

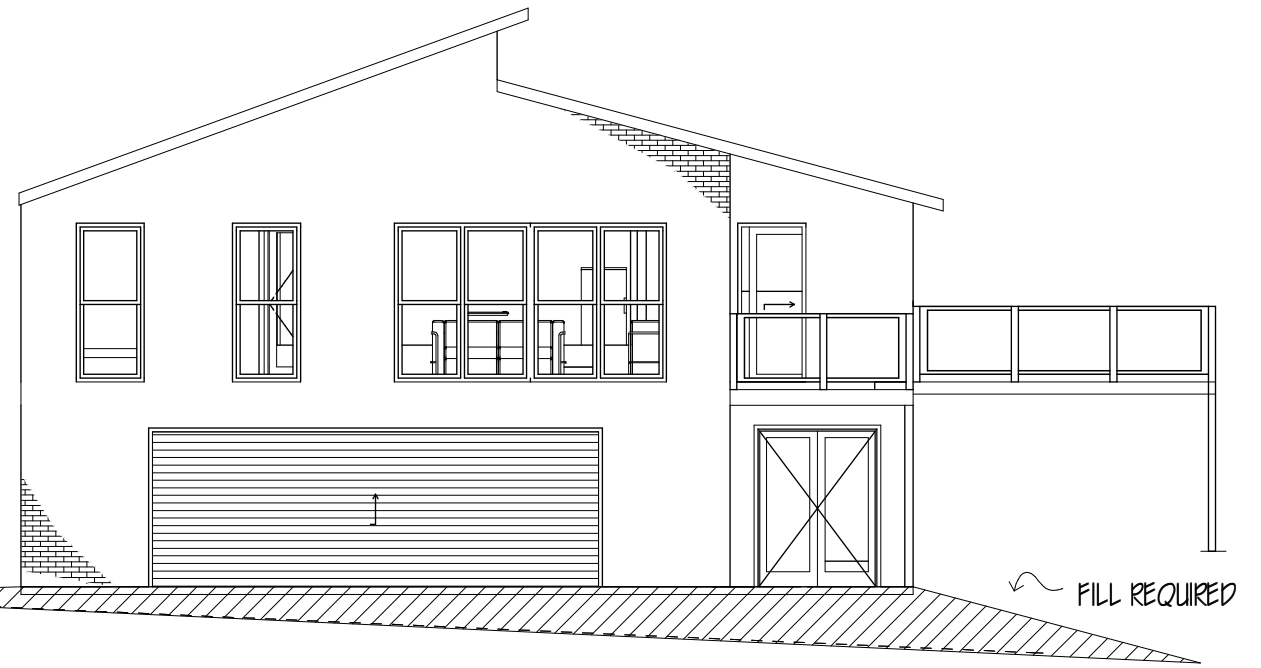
STEPHEN LAWES  
 CC 4667 J  
 CATEGORY APP 1  
 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

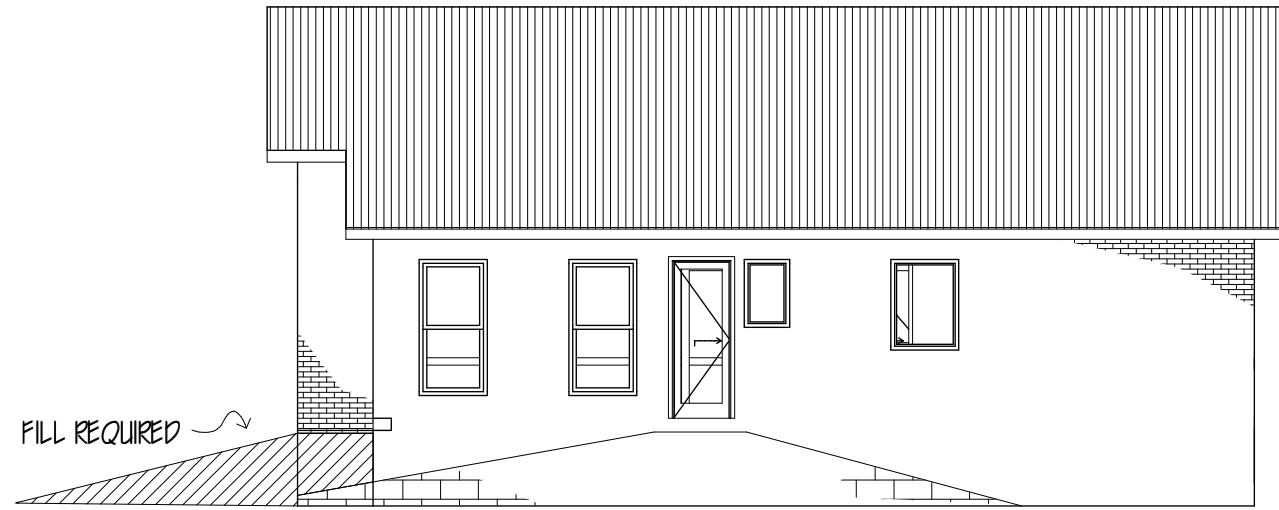
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DATE	30/11/2017
SCALE	1:100
DWG 419	<b>E&amp;D</b> 41 OF 21



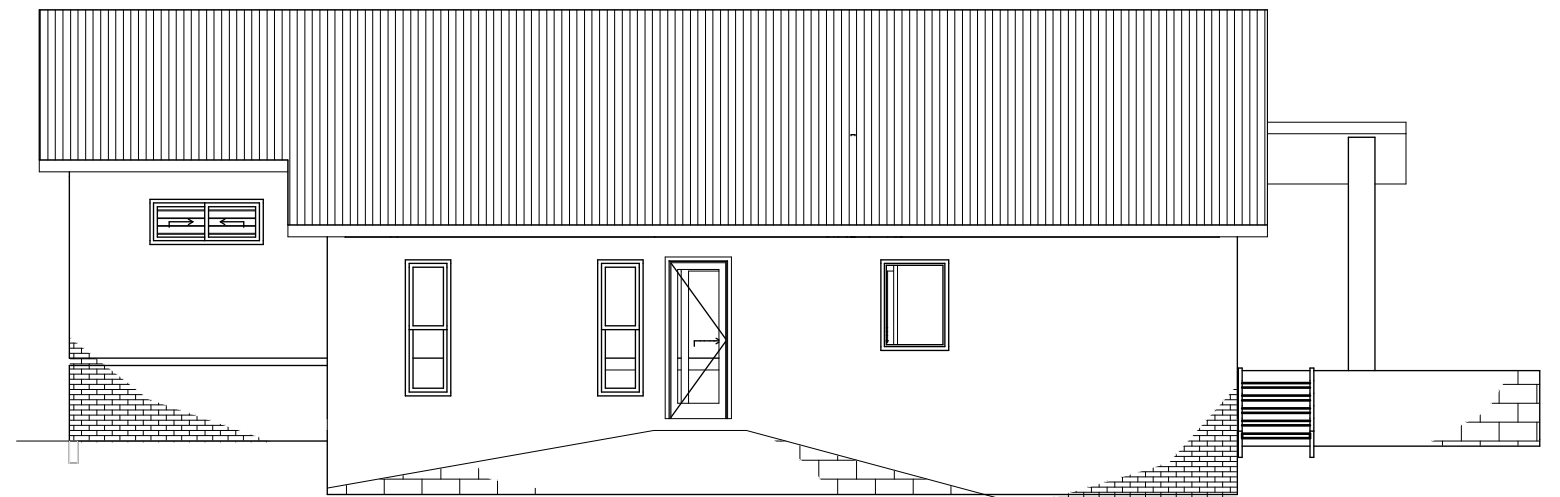
UNIT 1  
SOUTH EAST ELEVATION



UNIT 2  
SOUTH EAST ELEVATION



UNIT 4  
SOUTH EAST ELEVATION



UNIT 3  
SOUTH EAST ELEVATION

1000 TO 100 mm HIGH CORE FILLED  
CONCRETE BLOCK RETAINING WALL  
, 100 mm FROM BOUNDARY -  
SEE ENGINEERS DRAWINGS FOR  
WALL AND FOOTING DETAILS

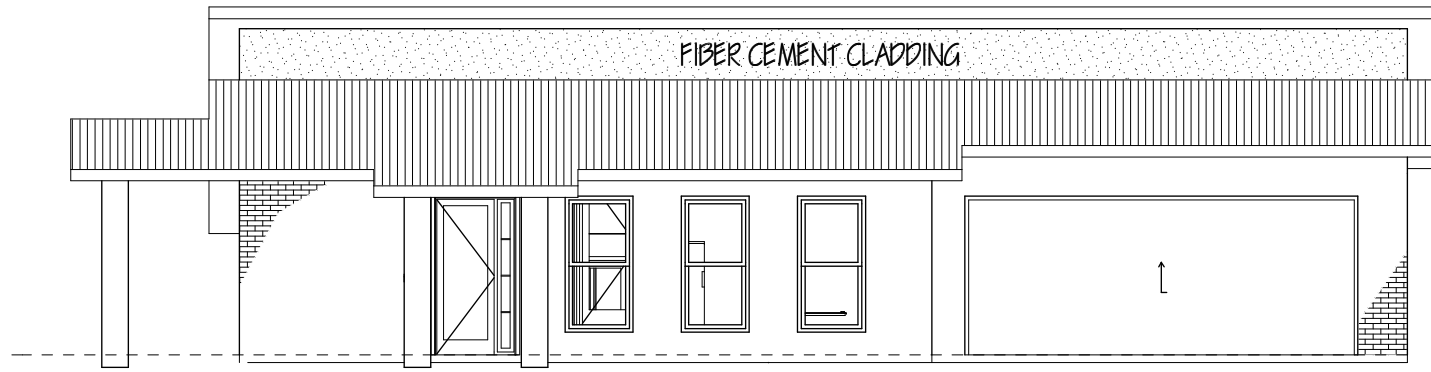
ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS  
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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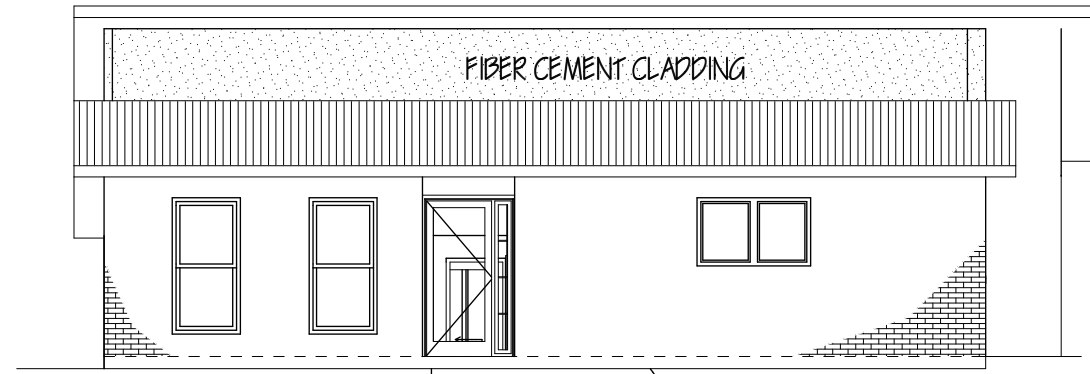
PROPOSED MULTIDWELLING  
23 / A BORDIN ST, PROSPECT  
FOR SPENCER FAMILY TRUST

DRAWING	ELEVATION
DATE	30/1/2017
SCALE	1:100
DWG 419	<b>3&amp;D</b> 1 OF 21



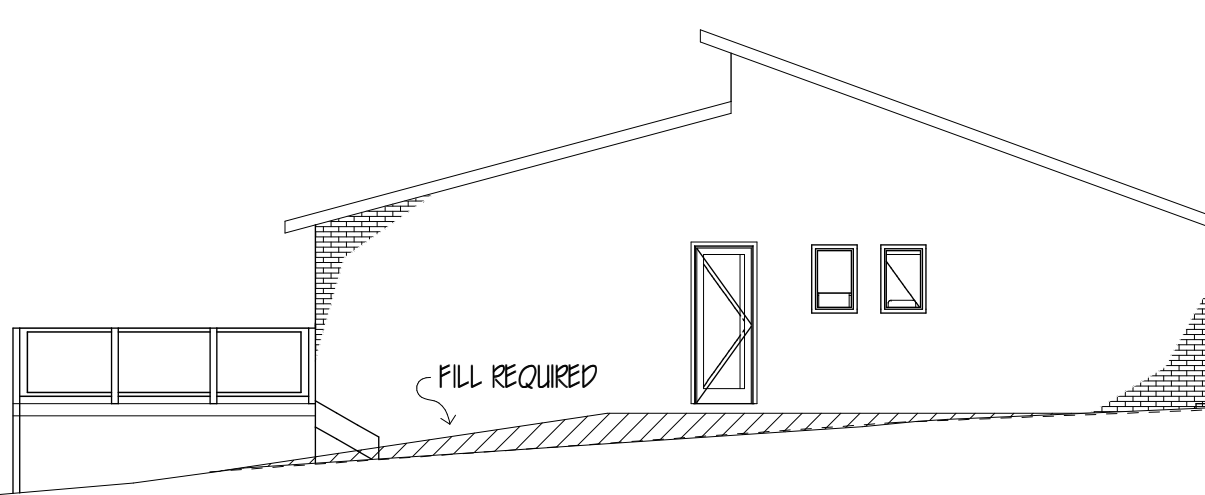
UNIT 3

NORTH WEST ELEVATION



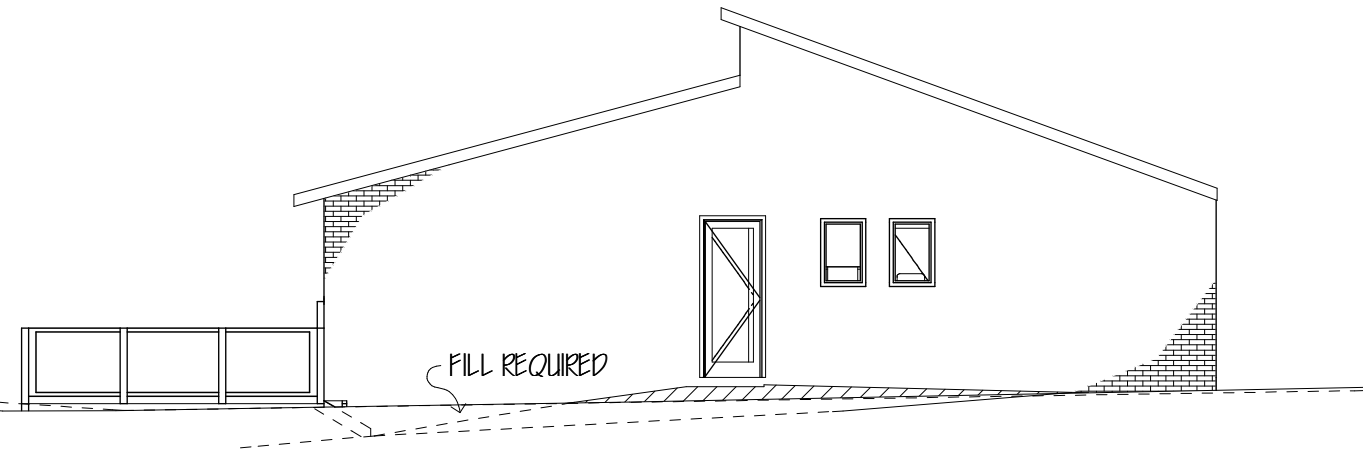
UNIT 4

NORTH WEST ELEVATION



UNIT 2

NORTH WEST ELEVATION



UNIT 1

NORTH WEST ELEVATION

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
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 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

ADORN DRAFTING

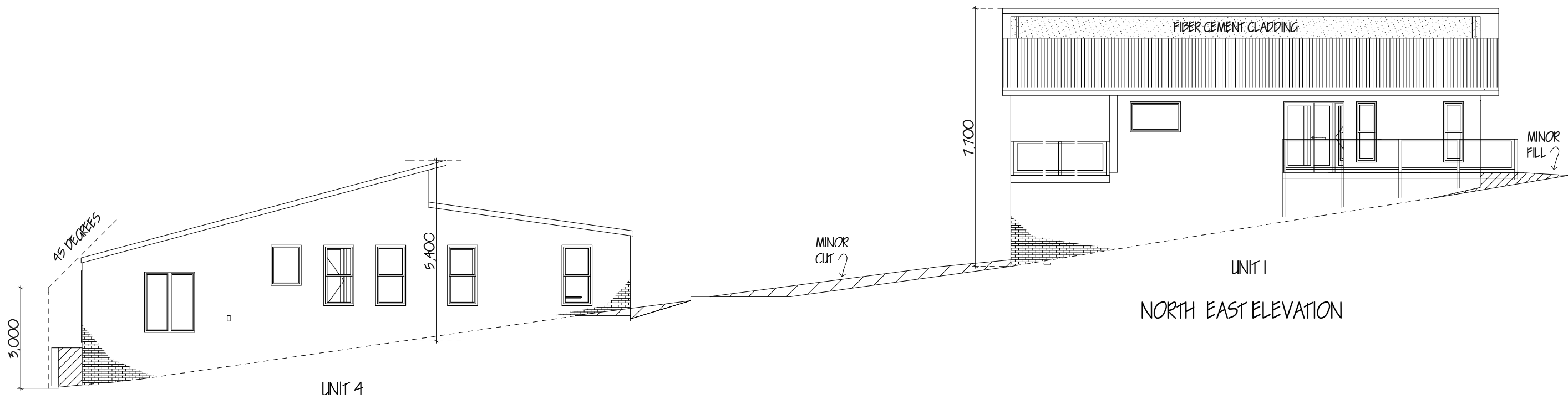
NBL 0413 235 160  
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STEPHEN LAWES  
 CC 4667 J  
 CATEGORY APP 1  
 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

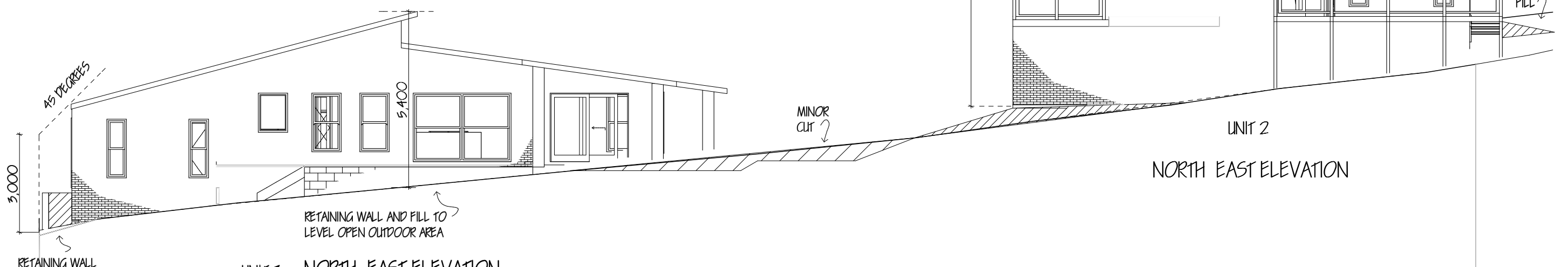
DRAWING	ELEVATION
DATE	30/11/2017
SCALE	1:100
DWG 419	SHEET 6 OF 21

C&D 1



UNIT 4  
NORTH EAST ELEVATION

UNIT 1  
NORTH EAST ELEVATION



UNIT 3  
NORTH EAST ELEVATION

UNIT 2  
NORTH EAST ELEVATION

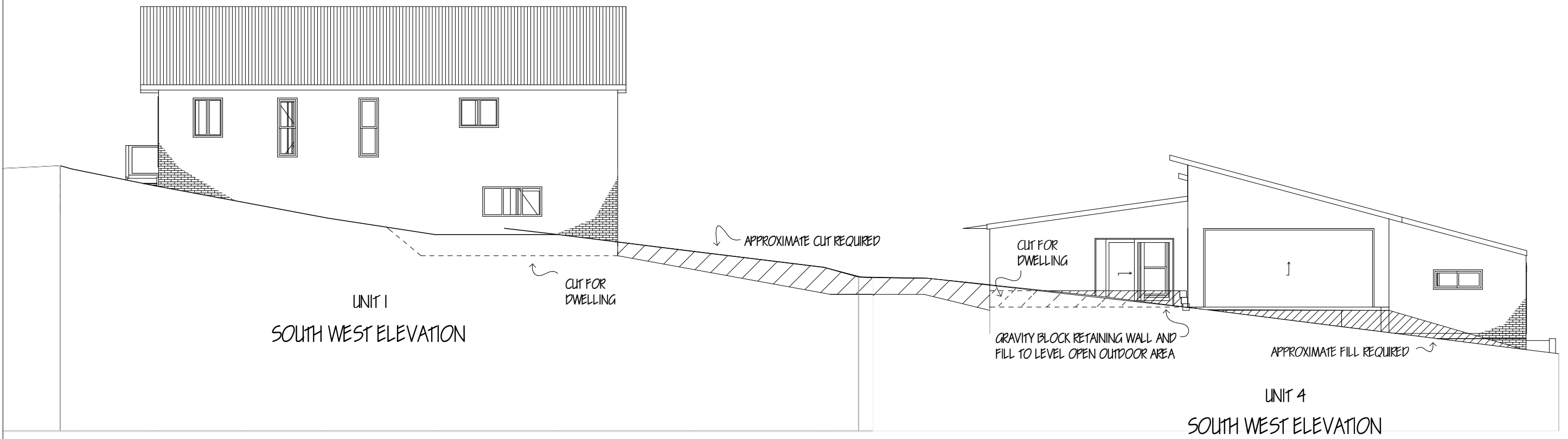
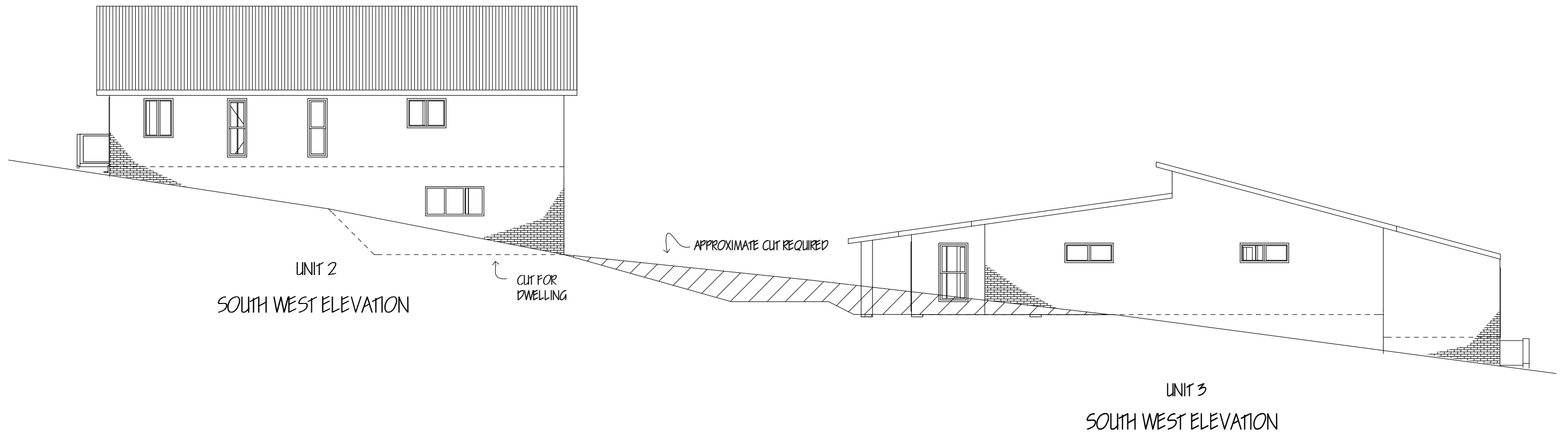
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 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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STEPHEN LAMES  
 CC 4667 J  
 CATEGORY ABP 1  
 18/ A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	ELEVATION
DATE	30/1/2017
SCALE	1:25
DWG	19-11-17 OF 21



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS	<b>ADORN DRAFTING</b> MEL: 0415 255 160 E-MAIL: <a href="mailto:stephenlames@aapt.net.au">stephenlames@aapt.net.au</a>	STEPHEN LAMES CC 4667 J CATEGORY ABP 1 18 / A TAMAR RISE RIVERSIDE, TAS	DRAWING	ELEVATION
			DATE	30/11/2017
			SCALE	1:125
			DWG	09&D18 OF 21

**FLOOR FRAMING**

19 mm PARTICLE BOARD SHEET FLOORING  
 300X45 LVL FLOOR JOISTS OVER GARAGE  
 140X45 MGP 10 PINE FLOOR JOISTS @ 450 CRS  
 2/ 140X45 MGP 10 PINE BEARERS/ BRICK PIERS

**ENGINEERING**

PADS, SLABS AND FOOTINGS  
 TO COMPLY WITH AS 2870  
 (RESIDENTIAL SLABS AND FOOTINGS)  
 -SEE ENGINEER'S DRAWINGS

**WATERPROOFING**

WATER PROOFING TO COMPLY WITH  
 BOCA 3.8.1.2 AND AS 3740

LATOURETTE - HYDRO BAN WATERPROOFING  
 SYSTEM TO BE APPLIED WHERE

- FIXTURES ARE INSTALL LED
- ENTIRE FLOORS AND WALLS WHERE TO TILED
- SHOWER FLOORS AND HOBS
- 1800mm HIGH ABOVE SHOWER FLOOR
- 150 mm ABOVE BATH AND LAUNDRY TUB
- WALL JUNCTIONS AND WALL / FLOOR JUNCTIONS
- ALL PENETRATIONS

AND TO BE APPLIED  
 IN ACCORDANCE WITH MANUFACTURERS  
 INSTRUCTIONS

VILLA BOARD OR MOISTURE  
 RESISTANT PLASTERBOARD  
 TO BE USED IN WET AREAS

**STAIRS**

STAIRS' BALUSTRADE AND HANDRAIL  
 TO COMPLY WITH BCA VOL 2 3.9.1

TIMBER STAIRCASE TO BE  
 DESIGNED BY MANUFACTURER

APPROXIMATE DIMENSIONS  
 GOING 280 mm  
 RISE 169 mm

**WALL FRAMING**

TO COMPLY WITH BCA AND AS 1684  
 2400 mm HIGH BRICK VENEER WALLS  
 90X45 MGP 10 PINE STUDS AND NOGGINGS  
 90X35 MGP 10 PINE TOP AND BOTTOM PLATES

BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS

10mm PLASTERBOARD TO WALLS AND CEILINGS  
 INSULATION BATTS TO WALLS  
 INSULATION BATTS TO CEILINGS  
 SEE ENERGY EFFICIENCY CERTIFICATE FOR " R" VALUES

**TRUSSES**

DESIGNED BY MANUFACTURER  
 -INSTALLATION, BRACING AND FIXING  
 TO MANUFACTURERS SPECIFICATIONS  
 METAL CEILING BATTENS @ 450 CRS

ROOF PITCH - 20 DEGREE'S AND 15 DEGREES  
 CUSTOM ORB ROOF SHEETS/ ANTICON  
 INSULATION BLANKET  
 400 mm EAVES -4.5 mm FIBRE CEMENT SHEET  
 WHERE EAVES ARE SHOWN

**DECK**

90X22 F5 TREATED PINE DECKING  
 140X35 F5 TREATED PINE JOISTS@450 CRS  
 2/ 140X45 F5 TREATED PINE BEARERS

90X90 F5 TREATED PINE POSTS  
 / GALVANIZED STIRRUPS BOLTED TO  
 CONCRETE PADS- SEE ENGINEERS DRAWINGS

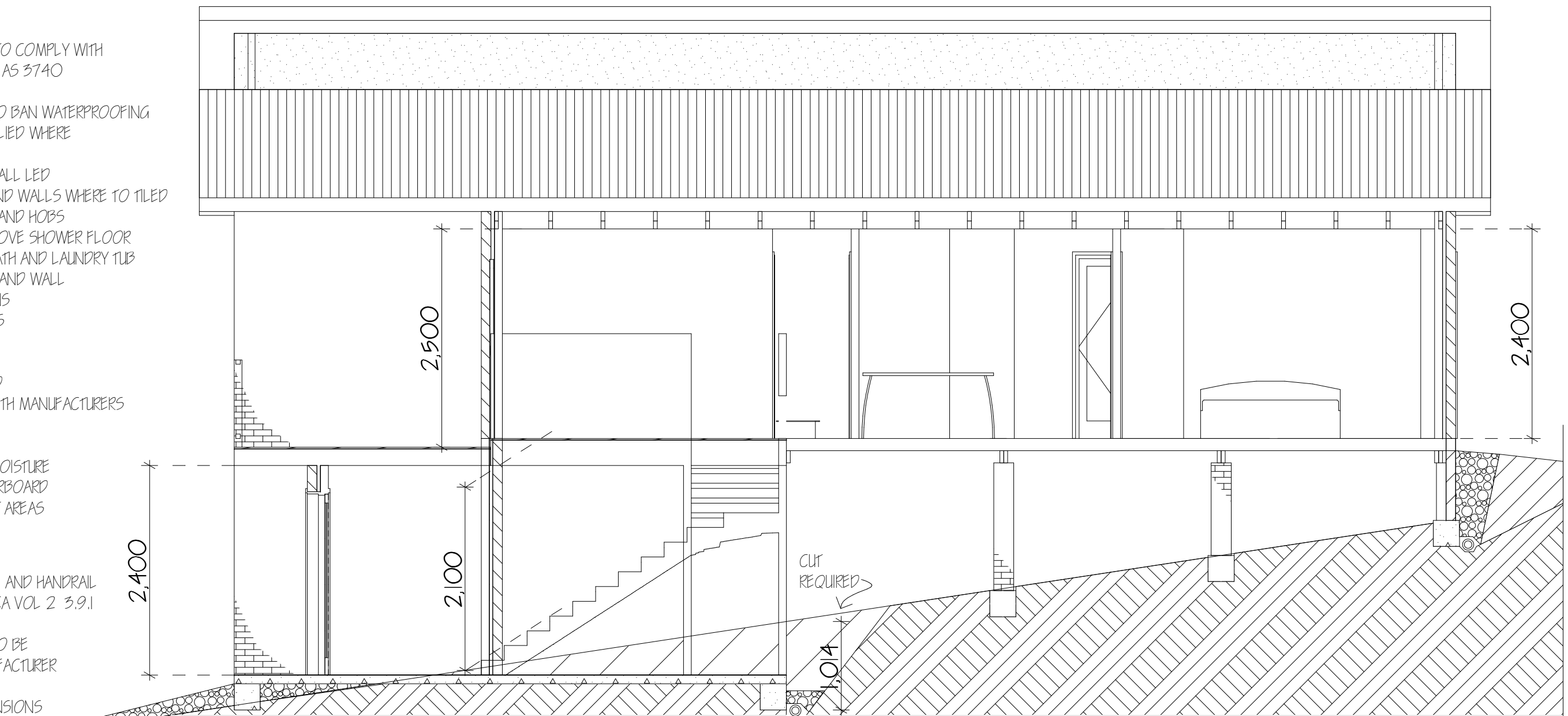
GLASS BALUSTRADE-MINIMUM 1000 mm HIGH

**STEPS**

TIMBER STEPS FOR UNITS  
 1,2 AND 3

APPROXIMATE DIMENSIONS  
 GOING 280 mm  
 RISE 160 mm

2/ 140X45 F5 TP TREADS  
 240X45 F5 TP STRINGERS  
 CONCRETE PADS TO  
 ENGINEERS DRAWINGS



NOTE- NO EXCAVATION TO BE GREATER THAN 1500 mm  
 FROM NATURAL GROUND LEVEL TO BOTTOM OF FOOTINGS

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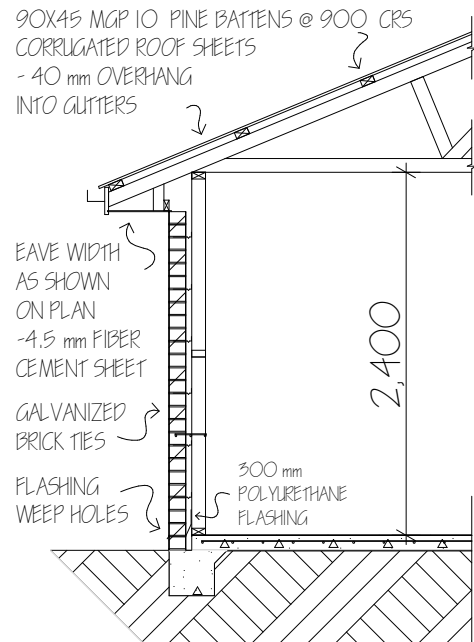
STEPHEN LAWES  
 CC 4667 J  
 CATEGORY ABP 1  
 64 AMAROO AVE  
 GEORGES HALL NSW

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	SECTION A-A
DATE	30/11/2017
SCALE	1:50
DWG 419	<b>C&amp;D</b> of 21

**BRICK DETAILS APPLY TO ALL 4 UNITS**

**TYPICAL WALL SECTION**



**BRICK VENEER WALLS**

MASONRY WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3700 AND BCA PART 3.3.3 MASONRY ACCESSORIES

VAPOUR PERMEABLE FOIL WALL WRAP INSTALLED TO TIMBER FRAMES AS PER MANUFACTURERS INSTRUCTIONS

CONNECT BRICKWORK TO TIMBER WALL FRAMES - PROVIDE A 40 mm CAVITY WHICH IS TO BE KEPT CLEAN DURING CONSTRUCTION

FIX WALL TIES IN ACCORDANCE WITH BCA 3.3.3.2 AND TABLE 3.3.3.1

ARTICULATED JOINTS TO ENGINEERS DRAWINGS PROVIDE CAVITY TRAY, DPC AND WEEP HOLES TO BASE OF WALL IN ACCORDANCE WITH BCA 3.3.4

**FLASHINGS**

VAPOUR PERMEABLE WALL WRAP TO OVERLAP HEAD FLASHING

150 mm HEAD FLASHING FIXED TO FRAME AND FOLDED INTO LINTEL

PROVIDE WEEP HOLES AT 1200 CRS

300 mm POLYURETHANE FLASHING

SILL FLASHING FIXED TO FRAME AND FOLDED INTO LINTEL

PROVIDE WEEP HOLES AT 1200 CRS

**WALL FRAMING**

TO COMPLY WITH BCA AND AS 1684  
2400 mm HIGH BRICK VENEER WALLS  
90x45 MGP 10 PINE STUDS AND NOGGINGS  
90x35 MGP 10 PINE TOP AND BOTTOM PLATES

BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS

10mm PLASTERBOARD TO WALLS AND CEILINGS  
INSULATION BATTS TO WALLS  
INSULATION BATTS TO CEILINGS  
SEE ENERGY EFFICIENCY CERTIFICATE FOR "R" VALUES

**STAIRS**

STAIRS' BALUSTRADE AND HANDRAIL TO COMPLY WITH BCA VOL 2 3.9.1

TIMBER STAIRCASE TO BE DESIGNED BY MANUFACTURER

APPROXIMATE DIMENSIONS  
GOING 280 mm  
RISE 169 mm

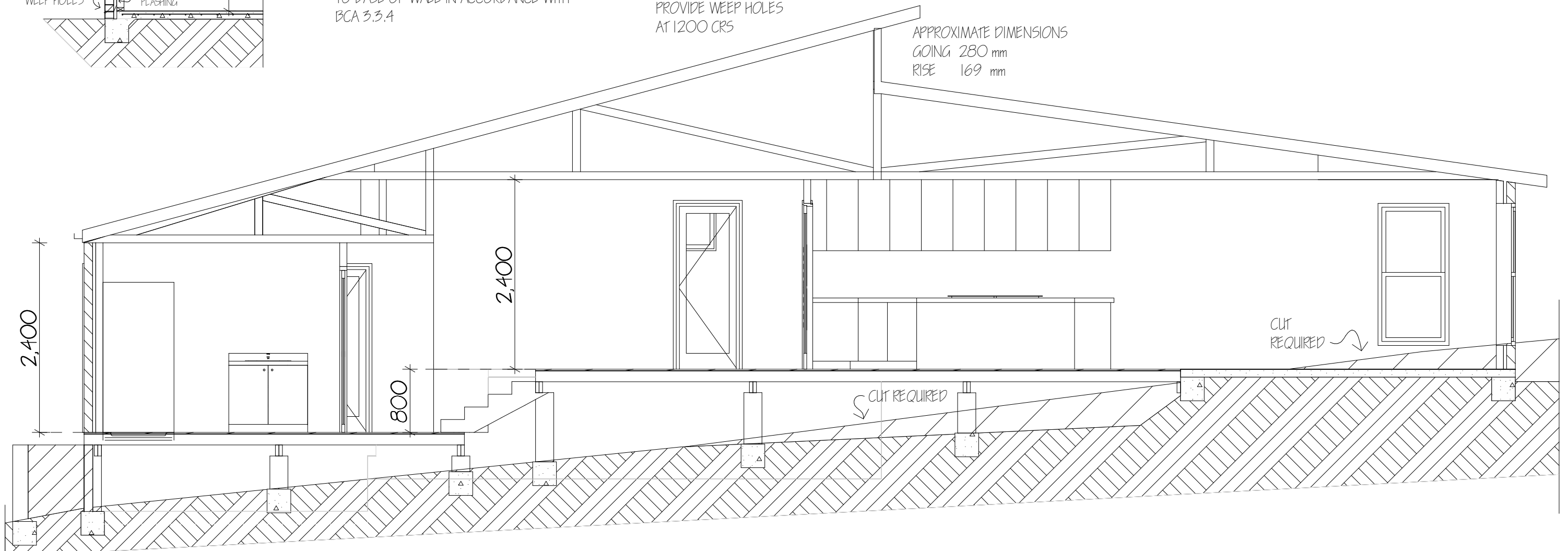
**FLOOR FRAMING**

19 mm PARTICLE BOARD SHEET FLOORING  
300x45 LVL FLOOR JOISTS OVER GARAGE  
90x45 MGP 10 PINE FLOOR JOISTS @ 450 CRS  
2/ 140x45 MGP 10 PINE BEARERS/ BRICK PIERS

**TRUSSES**

DESIGNED BY MANUFACTURER  
-INSTALLATION, BRACING AND FIXING TO MANUFACTURERS SPECIFICATIONS  
METAL CEILING BATTENS @ 450 CRS

ROOF PITCH - 15 DEGREE'S AND 8 DEGREES  
CUSTOM ORB ROOF SHEETS/ ANTICON  
INSULATION BLANKET  
400 mm EAVES - 4.5 mm FIBRE CEMENT SHEET WHERE EAVES ARE SHOWN



**SECTION B-B UNIT 3**

NOTE - NO EXCAVATION TO BE GREATER THAN 1500 mm FROM NATURAL GROUND LEVEL TO BOTTOM OF FOOTINGS

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ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4

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PROPOSED MULTIDWELLING  
25 / A BORDIN ST, PROSPECT  
FOR SPENCER FAMILY TRUST

DRAWING	SECTION B-B
DATE	30/1/2017
SCALE	1:50
DWG 419	<b>0&amp;D</b> OF 21

**WALL FRAMING**

TO COMPLY WITH BCA AND AS 1684  
 2400 mm HIGH BRICK VENEER WALLS  
 90X45 MGP 10 PINE STUDS AND NOGGINGS  
 90X35 MGP 10 PINE TOP AND BOTTOM PLATES

BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS

10mm PLASTERBOARD TO WALLS AND CEILINGS  
 INSULATION BATTS TO WALLS  
 INSULATION BATTS TO CEILINGS  
 SEE ENERGY EFFICIENCY CERTIFICATE FOR " R" VALUES

**STAIRS**

STAIRS' BALUSTRADE AND HANDRAIL  
 TO COMPLY WITH BCA VOL 2 3.9.1

TIMBER STAIRCASE TO BE  
 DESIGNED BY MANUFACTURER

APPROXIMATE DIMENSIONS  
 GOING 280 mm  
 RISE 169 mm

**FLOOR FRAMING**

19 mm PARTICLE BOARD SHEET FLOORING  
 300X45 LVL FLOOR JOISTS OVER GARAGE  
 90X45 MGP 10 PINE FLOOR JOISTS @ 450 CRS  
 2/140X45 MGP 10 PINE BEARERS/ BRICK PIERS

**TRUSSES**

DESIGNED BY MANUFACTURER  
 -INSTALLATION, BRACING AND FIXING  
 TO MANUFACTURERS SPECIFICATIONS  
 METAL CEILING BATTENS @ 450 CRS

ROOF PITCH - 15 DEGREE'S AND 8 DEGREES  
 CUSTOM ORB ROOF SHEETS/ ANTICON  
 INSULATION BLANKET  
 400 mm EAVES -4.5 mm FIBRE CEMENT SHEET  
 WHERE EAVES ARE SHOWN

**TRUSSES**

DESIGNED BY MANUFACTURER  
 -INSTALLATION, BRACING AND FIXING  
 TO MANUFACTURERS SPECIFICATIONS  
 METAL CEILING BATTENS @ 450 CRS

ROOF PITCH - 20 DEGREE'S  
 CUSTOM ORB ROOF SHEETS/ ANTICON  
 INSULATION BLANKET  
 400 mm EAVES -4.5 mm FIBRE CEMENT SHEET  
 WHERE EAVES ARE SHOWN

**ENGINEERING**

PADS, SLABS AND FOOTINGS  
 TO COMPLY WITH AS 2870  
 (RESIDENTIAL SLABS AND FOOTINGS)  
 -SEE ENGINEER'S DRAWINGS

**WATERPROOFING**

WATER PROOFING TO COMPLY WITH  
 BOCA 3.8.1.2 AND AS 3740

LATOURETTE- HYDRO BAN WATERPROOFING  
 SYSTEM TO BE APPLIED WHERE

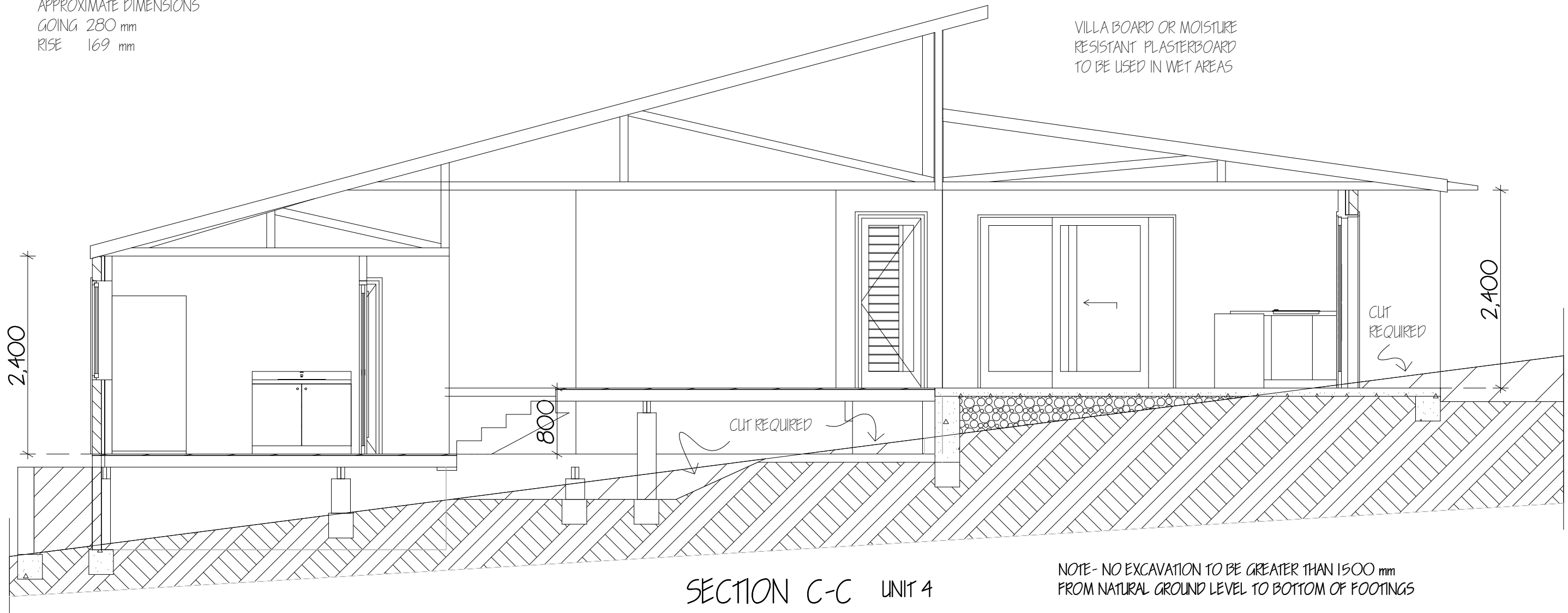
-FIXTURES ARE INSTALL LED  
 -ENTIRE FLOORS AND WALLS WHERE TO TILED  
 -SHOWER FLOORS AND HOBS  
 -1800mm HIGH ABOVE SHOWER FLOOR  
 -150 mm ABOVE BATH AND LAUNDRY TUB  
 -WALL JUNCTIONS AND WALL  
 / FLOOR JUNCTIONS  
 -ALL PENETRATIONS

AND TO BE APPLIED  
 IN ACCORDANCE WITH MANUFACTURERS  
 INSTRUCTIONS

VILLA BOARD OR MOISTURE  
 RESISTANT PLASTERBOARD  
 TO BE USED IN WET AREAS

**EXTERNAL WATERPROOFING**

WHERE BACKFILL IS AGAINST  
 WALLS APPLY TANKING  
 MEMBRANE TO BRICKWORK



NOTE- NO EXCAVATION TO BE GREATER THAN 1500 mm  
 FROM NATURAL GROUND LEVEL TO BOTTOM OF FOOTINGS

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PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	SECTION C-C
DATE	30/11/2017
SCALE	1:50
DWG 419	<b>C&amp;D</b> OF 21



WINDOW AND DOOR SCHEDULE- UNIT 1 AND 2						
WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE -WHERE AL-TERATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.						
	HEIGHT	WIDTH	TYPE	GLASS	AREA m <sup>2</sup>	ORIENTATION
W1	900X	600	AWN	OBS	0.54	
W2	900X	600	AWN		0.54	
W3	1800X	600	AWN		1.08	
W4	1800X	600	AWN		1.08	
W5	900X	1500	AWN		1.35	
W6	2100X	3600	AWN		7.56	
W7	2100X	900	AWN		1.47	
W8	2100X	900	AWN		1.47	
W9	1200X	900	AWN	OBS	1.08	
W10	1800X	600	AWN		1.08	
W11	1800X	600	AWN		1.08	
W12	1200X	900	AWN	OBS	1.08	
W13	900X	1800	SLD		1.62	
DOORS						
D1	2040X	820				
D2	2100X	1800		SLD	3.78	
D3	2040X	820				
D4	2040X	1640		FULL GLASS	3.0	
INTERNAL DOORS						
2040X820 UNLESS SHOWN OTHERWISE ON FLOOR PLAN						
TIMBER LINTELS	MGP 10	METAL LINTELS				
0-1000	1/ 90X45	0-1200	75X10 BAR			
1000-1500	1/ 140X45	1200-1500	75X75 10 ANGLE			
1500-2000	1/ 190X45	1500-2400	125X75X10 ANGLE			
2000-2500	1/ 240X45	2400-3000	150X90X10 ANGLE			
2500-3000	2/ 240X45					
ROOF LOAD WIDTH UP TO 4500 mm		FOR LINTELS OVER 3000 mm SEE ENGINEER'S DRAWINGS				

WINDOW AND DOOR SCHEDULE- UNIT 3						
WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE -WHERE AL-TERATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.						
	HEIGHT	WIDTH	TYPE	GLASS	AREA m <sup>2</sup>	ORIENTATION
	1800X	900	AWN		1.62	
W2	1800X	900	AWN		1.62	
W3	1800X	900	AWN		1.62	
W4	2100X	3000	AWN		6.3	
W5	1800X	900	AWN		1.62	
W6	1800X	900	AWN		1.62	
W7	1200X	900	AWN	OBS	1.08	
W8	1800X	600	AWN		1.62	
W9	1800X	600	AWN	OBS	1.62	
W10	1200X	1800	AWN		2.16	
W11	1800X	600	AWN		1.62	
W12	1800X	600	AWN		1.62	
W13	900X	1500	H-SLD		1.35	
W14	900X	1500	H-SLD		1.35	
W15	900X	1500	H-SLD		1.35	
W16	1800X	900	AWN		1.62	
DOORS						
	2040X	820				
D2	2100X	2400		SLD	5.04	
D3	2040X	820		FULL GLASS		
INTERNAL DOORS						
2040X820 UNLESS SHOWN OTHERWISE ON FLOOR PLAN						
TIMBER LINTELS	MGP 10	METAL LINTELS				
0-1000	1/ 90X45	0-1200	75X10 BAR			
1000-1500	1/ 140X45	1200-1500	75X75 10 ANGLE			
1500-2000	1/ 190X45	1500-2400	125X75X10 ANGLE			
2000-2500	1/ 240X45	2400-3000	150X90X10 ANGLE			
2500-3000	2/ 240X45					
ROOF LOAD WIDTH UP TO 4500 mm		FOR LINTELS OVER 3000 mm SEE ENGINEER'S DRAWINGS				

WINDOW AND DOOR SCHEDULE - UNIT 4						
WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE -WHERE AL-TERATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.						
	HEIGHT	WIDTH	TYPE	GLASS	AREA m <sup>2</sup>	ORIENTATION
W1	900X	1500	AWN		1.35	
W2	1800X	900	AWN		1.62	
W3	1800X	900	AWN		1.62	
W4	1800X	900	AWN		1.62	
W5	1800X	900	AWN		1.62	
W6	1800X	900	AWN		1.62	
W7	1800X	900	AWN		1.62	
W8	1200X	900	AWN	OBS	0.81	
W9	1800X	1500	AWN		2.7	
W10	1200X	900	AWN	OBS	0.81	
W11	1800X	1500	AWN		2.7	
W12	1800X	900	AWN		1.62	
W13	1800X	900	AWN		1.62	
W14	600X	1500			0.9	
DOORS						
D1	2040X	820				
D2	2040X	820				
D3	2040X	820		FULL GLASS		
INTERNAL DOORS						
2040X820 UNLESS SHOWN OTHERWISE ON FLOOR PLAN						
TIMBER LINTELS	MGP 10	METAL LINTELS				
0-1000	1/ 90X45	0-1200	75X10 BAR			
1000-1500	1/ 140X45	1200-1500	75X75 10 ANGLE			
1500-2000	1/ 190X45	1500-2400	125X75X10 ANGLE			
2000-2500	1/ 240X45	2400-3000	150X90X10 ANGLE			
2500-3000	2/ 240X45					
ROOF LOAD WIDTH UP TO 4500 mm		FOR LINTELS OVER 3000 mm SEE ENGINEER'S DRAWINGS				

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS  
 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

**ADORN DRAFTING**  
 MBL 0415 255 160  
 E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES  
 CC 4667 J  
 CATEGORY ABP 1  
 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	WINDOW SCHEDULE
DATE	30/1/2017
SCALE	1:100
DWG 419	<b>G&amp;D 14</b> OF 21

**PLUMBING**

GENERALLY TO COMPLY WITH AND BE INSTALLED IN ACCORDANCE WITH AS 3500 THE PLUMBING CODE OF AUSTRALIA AND THE RELEVANT STATE PLUMBING CODE

ALL PLUMBING WORK TO BE COMPLETED BY A QUALIFIED AND LICENSED PLUMBER

**LEGEND**

- IO - INSPECTION POINT
- ⊠ ORG - OVERFLOW RELIEF GULLY
- ⊙ EV - VENT PIPE
- DP - DOWN PIPE
- - - STORM WATER PIPE - MINIMUM FALL OF 1:100
- SEWER PIPE - MINIMUM FALL OF 1:60
- ▨ DRAIN
- - PITT

**PVC WASTE PIPES**

BATH, BASIN AND FLOOR WASTE TO BE 40 mm  
SINK, LAUNDRY TUB, SHOWER AND VENT TO BE 50 mm  
STORM WATER AND DOWNPIPES TO BE 90 mm  
SEWER TO BE 100 mm

**NOTE: ALL STORM WATER DRAINAGE AND SEWER SYSTEM TO BE OF APPROPRIATE SALINE RESISTANT MATERIALS TO COMPLY WITH THE SALINITY MANAGEMENT**

**MATERIALS**

WATER PIPES TO COMPLY WITH AS/ NZS 3500.1 AND AS/ NZS 3500.5  
COPPER OR POLY TYPE PIPES  
HOT AND COLD WATER BRANCHES TO BE DN 16 mm  
MAIN LINE TO BE DN 20 mm

**WATER TEMPERATURE**

50 DEGREES TO SANITARY FIXTURES  
60 DEGREES TO LAUNDRY AND KITCHEN SINK  
OUTLET PIPES FROM THE HOT WATER UNIT MUST BE COPPER FOR AT LEAST 1 METER BEFORE CONNECTING TO POLY TYPE PIPES.

WATER FLOW SUPPLY BACK FLOW PREVENTION DEVICE TO BE FITTED TO OUTSIDE TAPS

PRESSURE REGULATOR TO BE FITTED BETWEEN MAINS WATERLINE AND HOUSE.

**PLUMBING LEVELS**

OVERFLOW RELIEF GULLY ORG RL + 5660  
FINISHED SURFACE LEVEL FSL RL + 5560  
FINISHED FLOOR LEVEL FFL RL + 6970

**PLUMBING LEVELS**

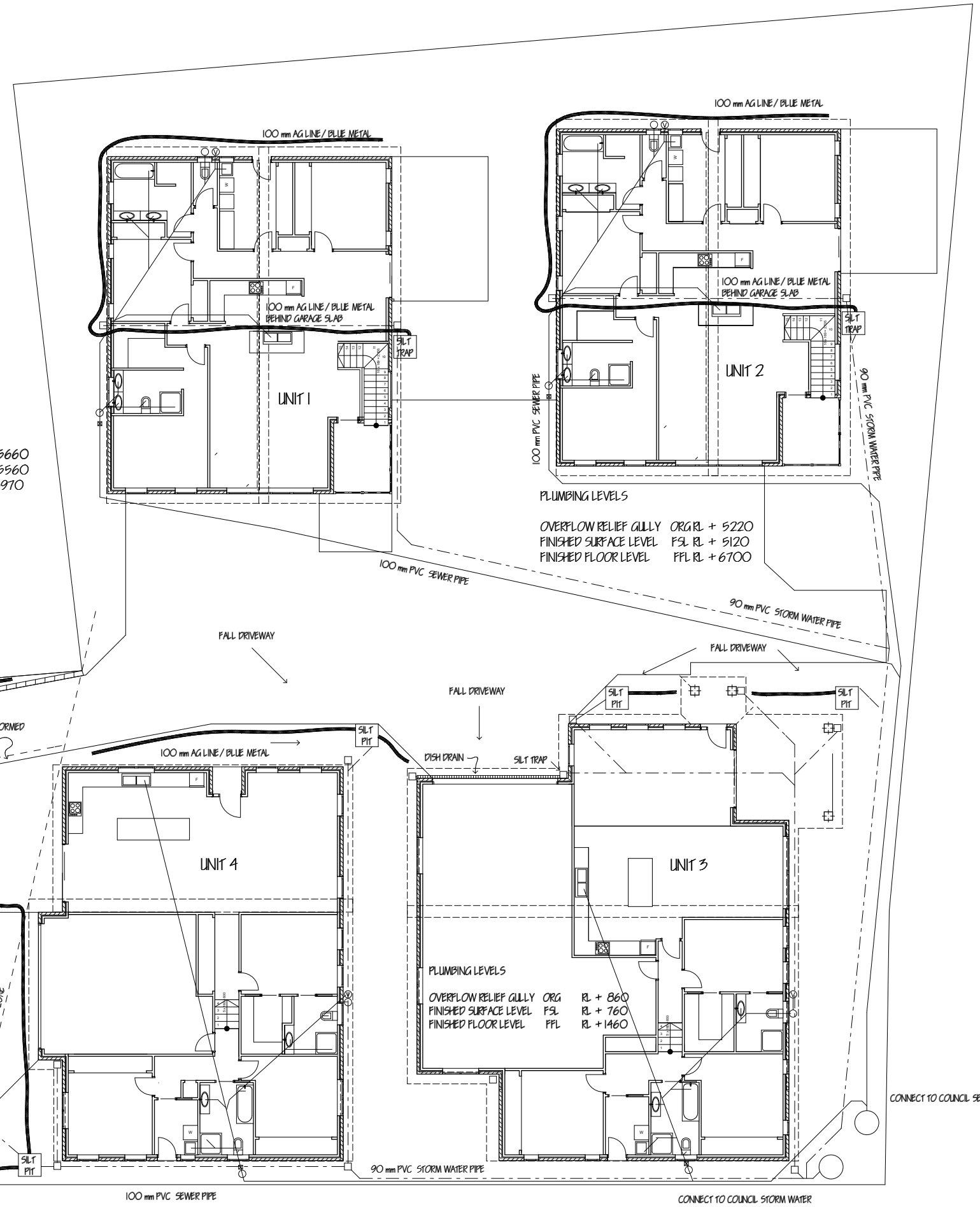
OVERFLOW RELIEF GULLY ORG RL + 5220  
FINISHED SURFACE LEVEL FSL RL + 5120  
FINISHED FLOOR LEVEL FFL RL + 6700

**PLUMBING LEVELS**

OVERFLOW RELIEF GULLY ORG RL + 860  
FINISHED SURFACE LEVEL FSL RL + 760  
FINISHED FLOOR LEVEL FFL RL + 1460

**PLUMBING LEVELS**

OVERFLOW RELIEF GULLY ORG RL + 1000  
FINISHED SURFACE LEVEL FSL RL + 900  
FINISHED FLOOR LEVEL FFL RL + 2200



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STEPHEN LAWES

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CATEGORY ABP 1  
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RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
23 / A BORDIN ST, PROSPECT  
FOR SPENCER FAMILY TRUST

DRAWING	DRAINAGE PLAN
DATE	30/11/2017
SCALE	1:200
DWG 419	OF 21

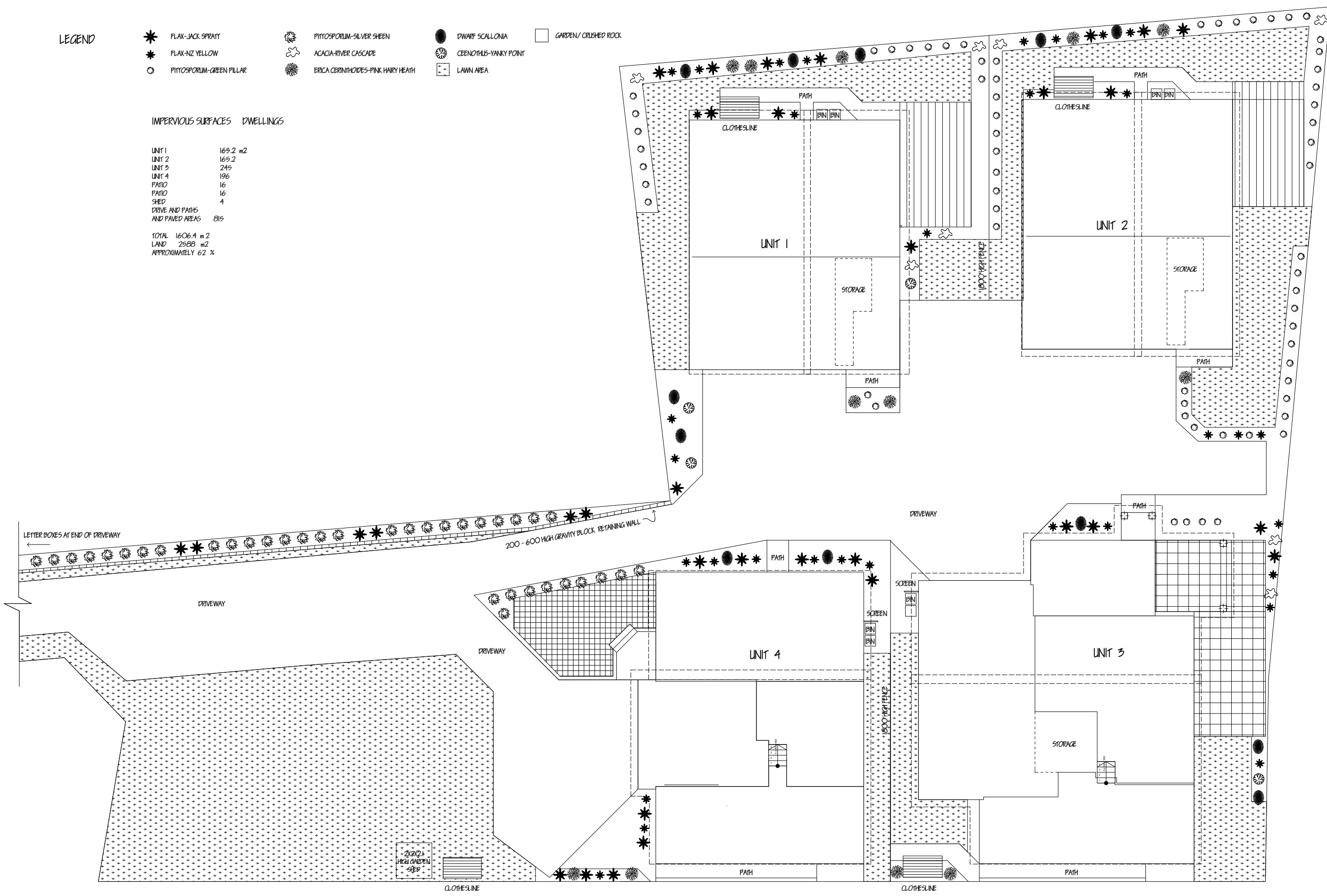
**O&D**

LEGEND

- \* FLAX-JACK SPRAY
- \* FLAX-NZ YELLOW
- PITTOSPORUM-GREEN PILLAR
- PITTOSPORUM-SILVER SHEEN
- ☁ ACACIA-RIVER CASCADE
- ERICA CERINTHOIDES-PINK HARRY HEATH
- DWARF SCALLONIA
- CEENOTHUS-YANKY POINT
- LAWN AREA
- GARDEN/ CRUSHED ROCK

IMPERVIOUS SURFACES DWELLINGS

UNIT 1	165.2 m2
UNIT 2	165.2
UNIT 3	245
UNIT 4	196
PATIO	16
PATIO	16
SHED	4
DRIVE AND PATHS AND PAVED AREAS	815
TOTAL	1606.4 m2
LAND	2588 m2
APPROXIMATELY 62 %	



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 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

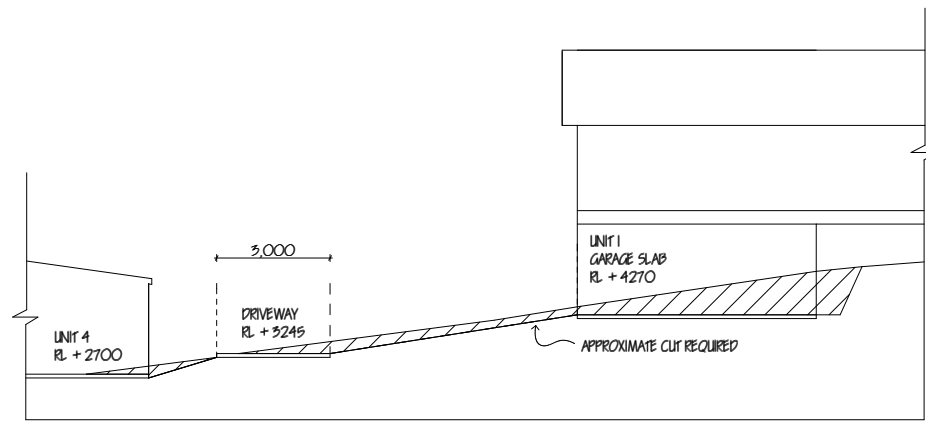
ADORN DRAFTING  
 MBL 0413 255 160  
 E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES  
 CC 4667 J  
 CATEGORY ABP 1  
 18/ A TAMAR RISE  
 RIVERSIDE, TAS

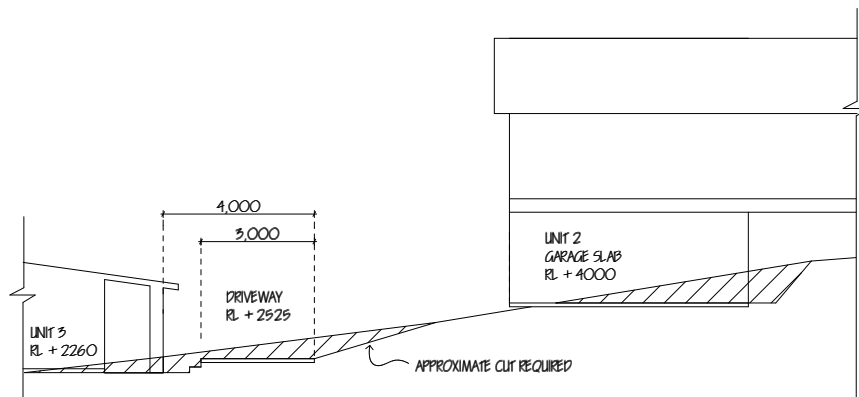
PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	LANDSCAPE PLAN
DATE	30/1/2017
SCALE	1:200
DWG 419	OF 21

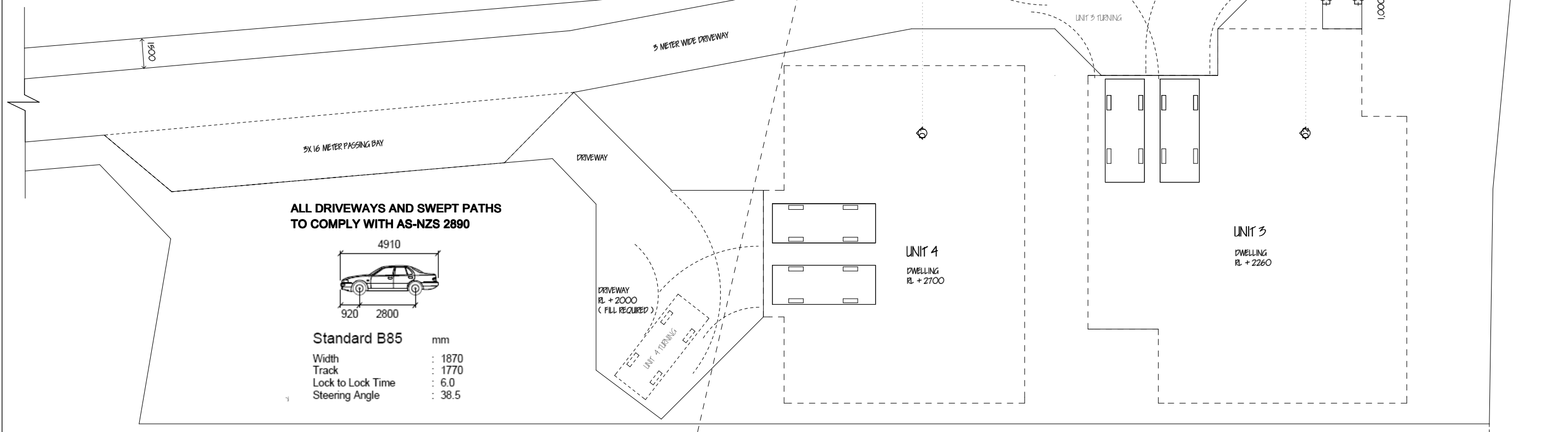
**O&D**



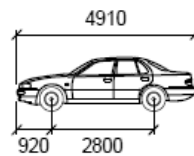
UNITS 1 AND 4 SECTION - D1



UNITS 3 AND 2 SECTION - D2



**ALL DRIVEWAYS AND SWEEP PATHS TO COMPLY WITH AS-NZS 2890**



**Standard B85** mm  
 Width : 1870  
 Track : 1770  
 Lock to Lock Time : 6.0  
 Steering Angle : 38.5

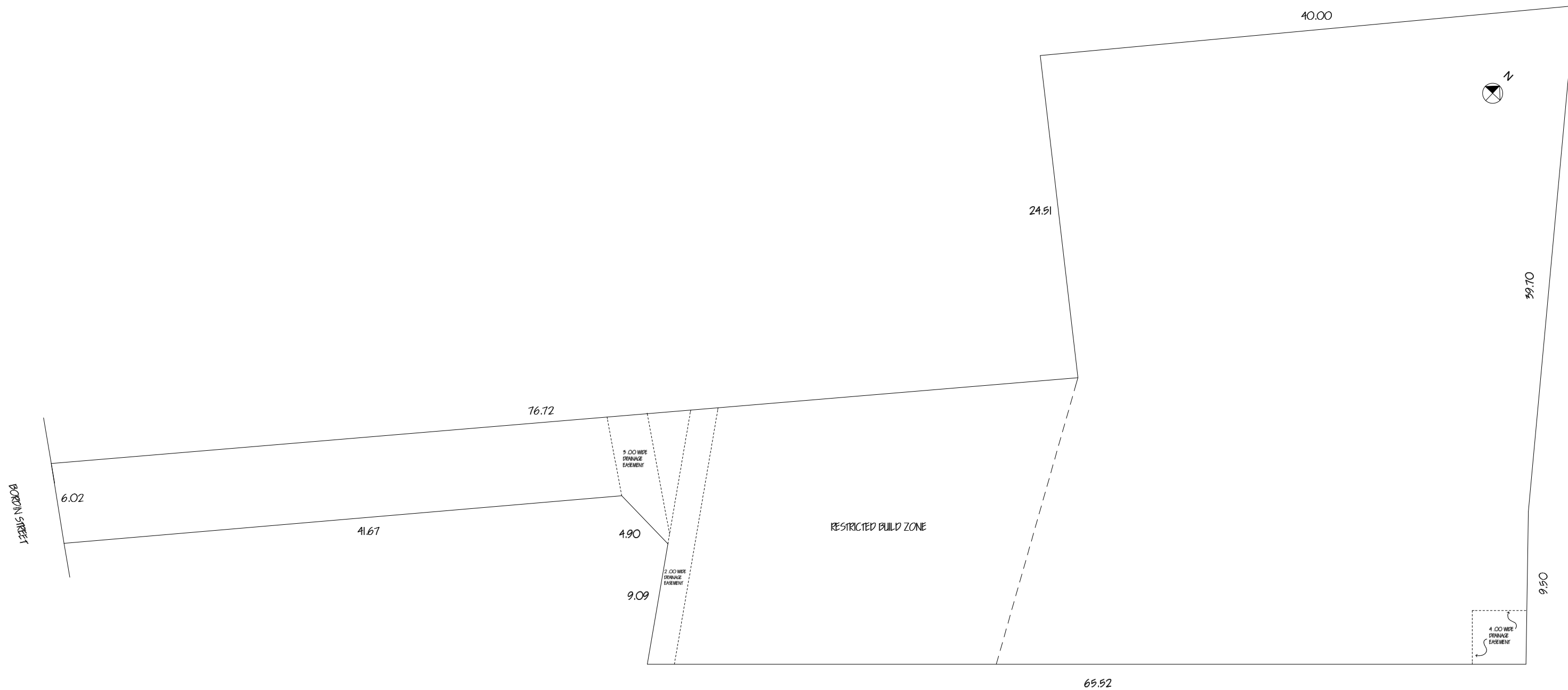
ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS  
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 CC 4667 J  
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 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 25 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	VEHICLE TURNING
DATE	30/1/2017
SCALE	1:200
DWG 419	<b>O&amp;D</b> DF 21



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
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 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

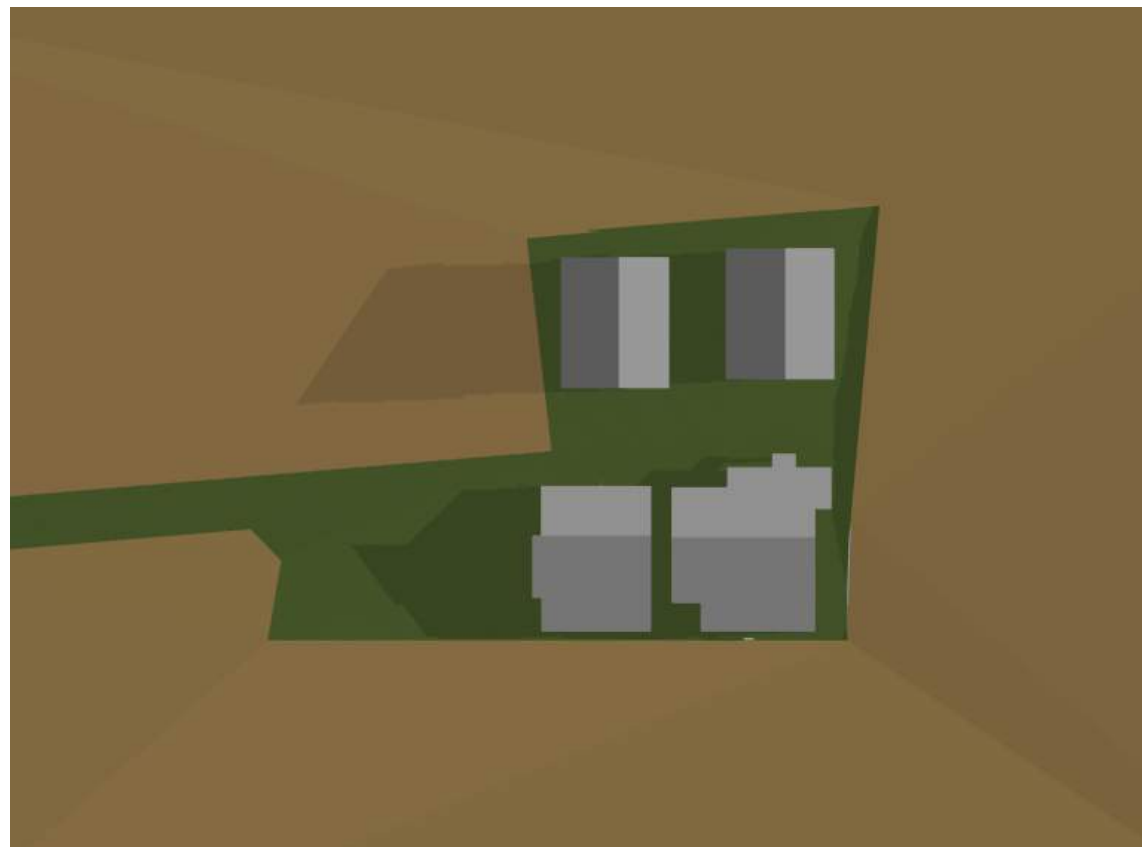
ADORN DRAFTING  
 MEL 0415 255 160  
 E-MAIL : stephen.laves@adp.net.au

STEPHEN LAVES  
 CC 4667 J  
 CATEGORY ASP 1  
 187 A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 25 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	FULL SITE PLAN
DATE	30/11/2017
SCALE	1:300
DWG NO	18 OF 21

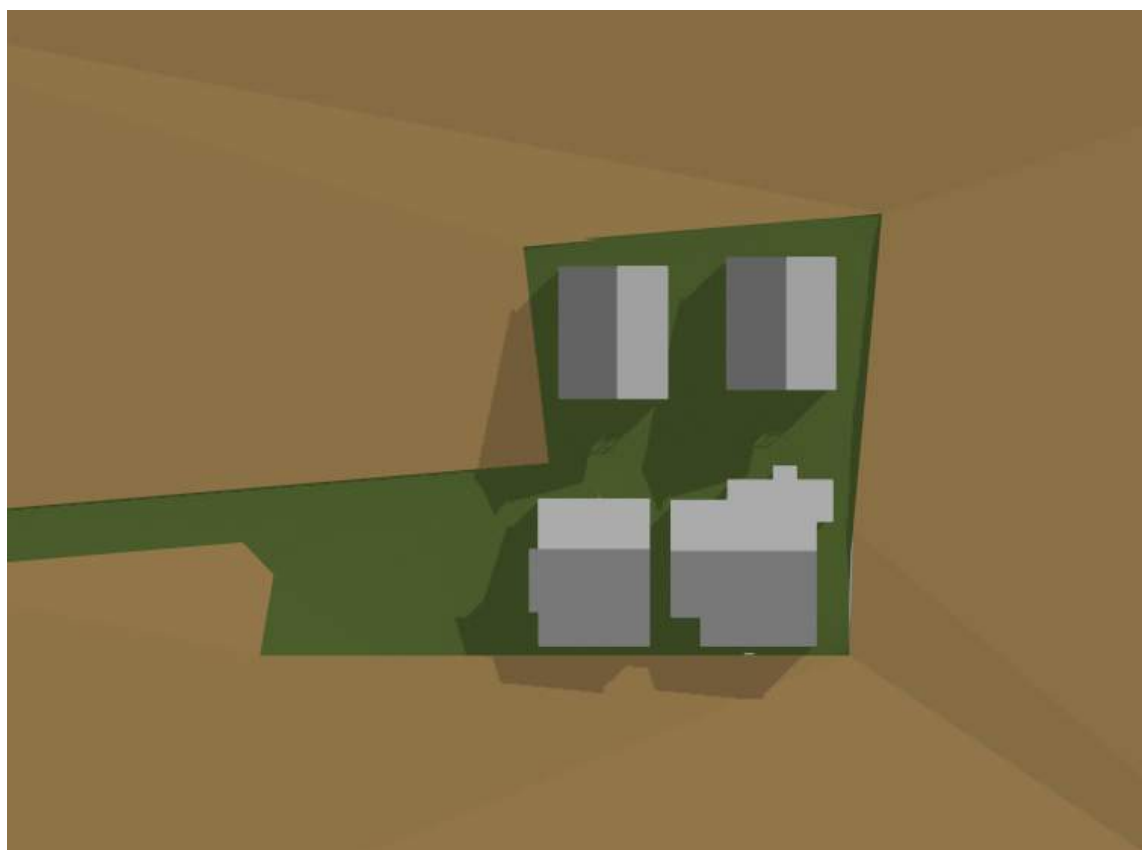
C&D



9.00 AM 21 ST JUNE



3.00 PM 21 ST JUNE



NOON 21 ST JUNE

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS  
 ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4  
 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

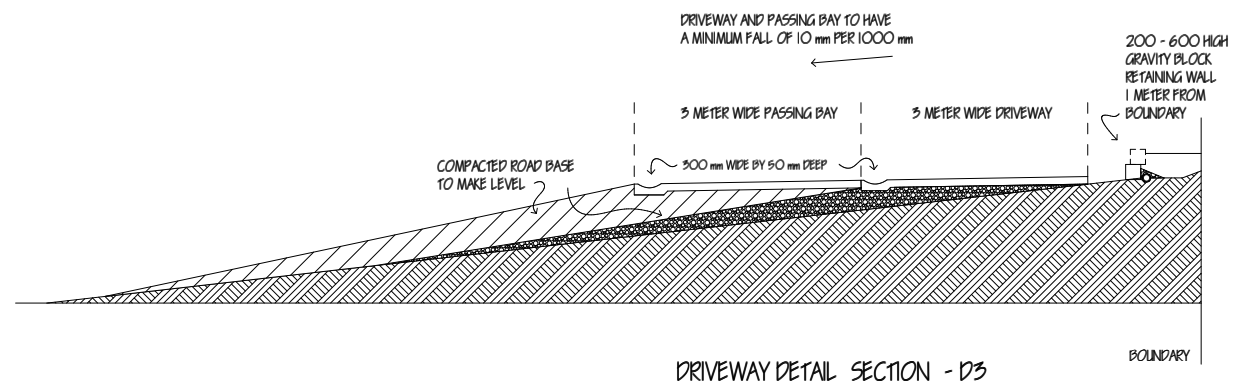
ADORN DRAFTING

MBL 0413 235 160  
 E-MAIL : stephenlawes@aapt.net.au

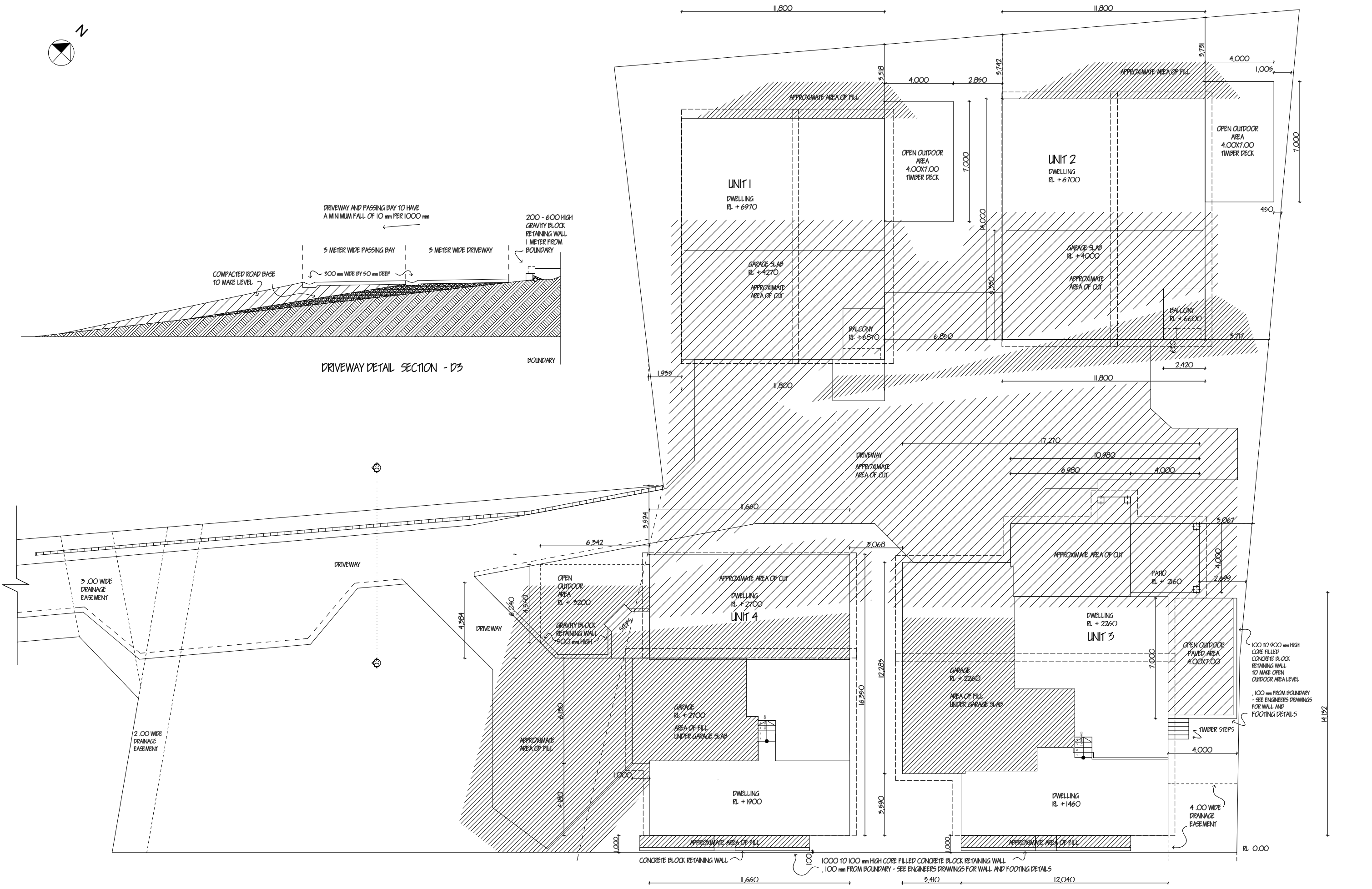
STEPHEN LAWES  
 CC 4667 J  
 CATEGORY APP 1  
 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 23 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	SHADOW DIAGRAM
DATE	30 / 1 / 2017
SCALE	
DWG 419	<del>0&amp;D</del> 9 OF 21



DRIVEWAY DETAIL SECTION - D3



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK  
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STEPHEN LAMES  
 CC 4667 J  
 CATEGORY ABP 1  
 18 / A TAMAR RISE  
 RIVERSIDE, TAS

PROPOSED MULTIDWELLING  
 25 / A BORDIN ST, PROSPECT  
 FOR SPENCER FAMILY TRUST

DRAWING	SITE PLAN
DATE	30/1/2017
SCALE	1:200
DWG 419	SHEET 3 OF 21



**From:** Drew Bedelph  
**Sent:** 28 Mar 2017 16:40:03 +1100  
**To:** Leanne Rabjohns  
**Subject:** 23a Bordin Street  
**Attachments:** SC098 report full pdf.pdf

Hi Leanne

Copy of soil report completed for Paul Spencer's block at 23a Bordin Street last year.

I was employed at Coffey Geosciences at Prospect when the original landslide investigation was undertaken across the whole of the subdivision area. This was a detailed exercise and included subsequent supervision and validation testing of areas that were filled with new material, so that the fill could be classed as "controlled fill" for building purposes. In the attached document I made reference to this work, however assumed that this was on file with MVC and this obviated the need for a LRA on this particular block. At this point a meaningful LRA cannot not be completed anyway, given that the site is well developed and access to neighbouring lots is now not available.

Take a read and let me know what, if anything, is required to satisfy the planning regs.

Feel free to call should you wish to discuss.

Kind regards



**Drew Bedelph** BSc(Hons)  
Engineering Geologist  
P: (03) 6295 3468  
M: 0499 498 337  
[statewidegeo@gmail.com](mailto:statewidegeo@gmail.com)  
[www.statewidegeo.com.au](http://www.statewidegeo.com.au)





**Statewide Geotechnics**

ABN 93 844 683 471

55 Leonard Avenue  
Moonah TAS 7009

Telephone: 0499 498 337  
Email: statewidegeo@gmail.com

## SITE CLASSIFICATION REPORT

23A Bordin Street, Prospect Vale

**Prepared for:** Mr Paul Spencer

**Date of investigation:** 19<sup>th</sup> August 2016

**Date of report:** 24<sup>th</sup> August 2016

**Prepared by:** Drew Bedelph, Engineering Geologist

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2.	Field investigation .....	1
3.	Site conditions .....	2
4.	Site Classification .....	2
5.	Discussion .....	3
6.	Wind Classification .....	4

## Figures

1. Figure 1 – Site Layout Plan

## Appendices

1. Appendix A – Site Photographs
2. Appendix B – Borehole Logs
3. Appendix C – Form 55 Certificate of Building Work

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## **1. Introduction**

At the request of Mr Paul Spencer, Statewide Geotechnics have undertaken a geotechnical investigation at the site of four proposed dwellings at 23A Bordin Street, Prospect Vale (PID 3028949, Title Reference 159187/121).

The investigation has been conducted for the purposes of assessing general geological conditions at the site and consequently assigning a Site Classification in accordance with AS2870-2011: 'Residential Slabs and Footings'.

The site and surrounding subdivision were investigated as part of a geotechnical investigation completed by Coffey Geotechnics P/L approximately 10 years ago, upon decommissioning of the former brickworks and associated infrastructure that occupied the site. The report focussed mainly on the then-potential landslide risk at the site, which varied between low and high, and areas where controlled filling of low areas including clay borrow areas were planned.

## **2. Site Conditions**

The site is accessed off the eastern side of Bordin Street and comprises a slightly sloping, currently vacant, 2600m<sup>2</sup> internal block that is oriented lengthways in a NE-SW direction across a gentle southeasterly slope. The layout of the lot is shown in Figure 1 attached.

At the time the investigation was undertaken, vegetation at the site was noted to comprise wholly low cut grass with no trees or shrubs present.

The DPIPWE LISTmap Geology map, 1:25,000 scale, shows the site and surrounds to be underlain by undifferentiated Tertiary age sediments comprising clay, sand, silt and gravel. Deposits of this type characterise the surface geology of the local area.

Examination of the DPIPWE LISTmap Landslide Hazard Band map indicates that the majority of the site and the whole of the proposed development area is situated within an area of Medium landslide risk, and forms part of a moderately-sized fossil landslide feature. The landslide morphology is largely degraded due to the age of the feature and has been masked by residential development.

Despite the site being mapped as Medium risk landslide hazard, the detailed site walkover undertaken as part of the site investigation found no evidence of recent landslide movement on the site or in close proximity to the site. Similarly, no springs or evidence of perennial seepages were noted. It is therefore assessed that the site is stable, with a very low risk of being affected by any landslide-related movement in the foreseeable future. There outwardly

appears to be no compelling evidence to suggest that a detailed slope stability assessment is warranted prior to development in this instance, particularly as the previous Coffey Geotechnics served to address the issue of landslide risk within the subdivision.

### **3. Field Investigation**

The field investigation was conducted on the 19<sup>th</sup> August 2016 and involved a detailed site inspection followed by the drilling of four augered boreholes, one at the site of each of the four proposed dwellings, using a 4x4-mounted Proline drill rig. Down-hole shear vane testing was undertaken in each of the boreholes to assess the strength of subsurface materials encountered.

All of the four boreholes encountered highly plastic silty clay of generally stiff consistency, with boreholes BH1 and BH2 on the lower side of the site having encountered a thin surficial layer of clay fill material. Boreholes BH1 and BH2 met with refusal at depths of 1.70m and 1.30m respectively, whilst boreholes BH3 and BH4 were taken to 2.00m depth.

Slight seepage into the base of BH1 was noted on completion of the drilling, whilst the remaining three boreholes were found to be dry.

These findings are in general agreement with both the 1:25,000 scale geological map of the area and the findings of investigations conducted on nearby properties.

### **4. Site Classification**

After considering the site geology, drainage, soil conditions and plasticity characteristics of the subsurface materials encountered, the site has been classified as follows:

#### **CLASS H1 (AS2870)**

Foundation designs in accordance with this classification are to be subject to the overriding conditions of Section 5 below.

This classification is applicable only for ground conditions as encountered at the time of this investigation. If further cut or fill earthworks are undertaken, or other works that alter the conditions of the site, then the Site Classification may need to be reassessed.

## 5. Discussion

Specific attention and consideration should be given to the design of footings as required by AS2870-2011.

In addition to the normal founding requirements arising from the above classification, particular conditions at the site determine that the founding medium for all footings should be as follows:

**Silty CLAY of stiff consistency or better, coloured grey-brown to yellow/orange-brown encountered from a depth of 0.50m in BH1, 0.40m in BH2 and near surface level in BH3 & BH4**

An allowable bearing pressure of 100kPa is available for edge beams, strips and pads founded as above, provided the site is prepared as follows:

1. Earthworks should be carried out in accordance with AS3798-2007 'Earthworks for Residential and Commercial Developments';
2. All topsoil and organics should be removed from the building footprint; and
3. Any floating boulders encroaching on the building footprint and preventing a uniform founding medium from being established should be removed and replaced with lean-mix concrete.

Any retaining walls at the site exceeding 1.0m height above ground level should be designed by a specialist engineering practitioner.

The Site Classification in Section 4 assumes that the natural drainage and infiltration conditions at the site will not be significantly affected for the proposed development work on the site. The client must take care to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

The client's attention is drawn to Appendix B of AS2870 and CSIRO Building Technical File BTF18-2011 'Foundation Maintenance and Footing Performance: A Homeowner's Guide' as a guide to maintenance requirements for the proposed structure on the Site.

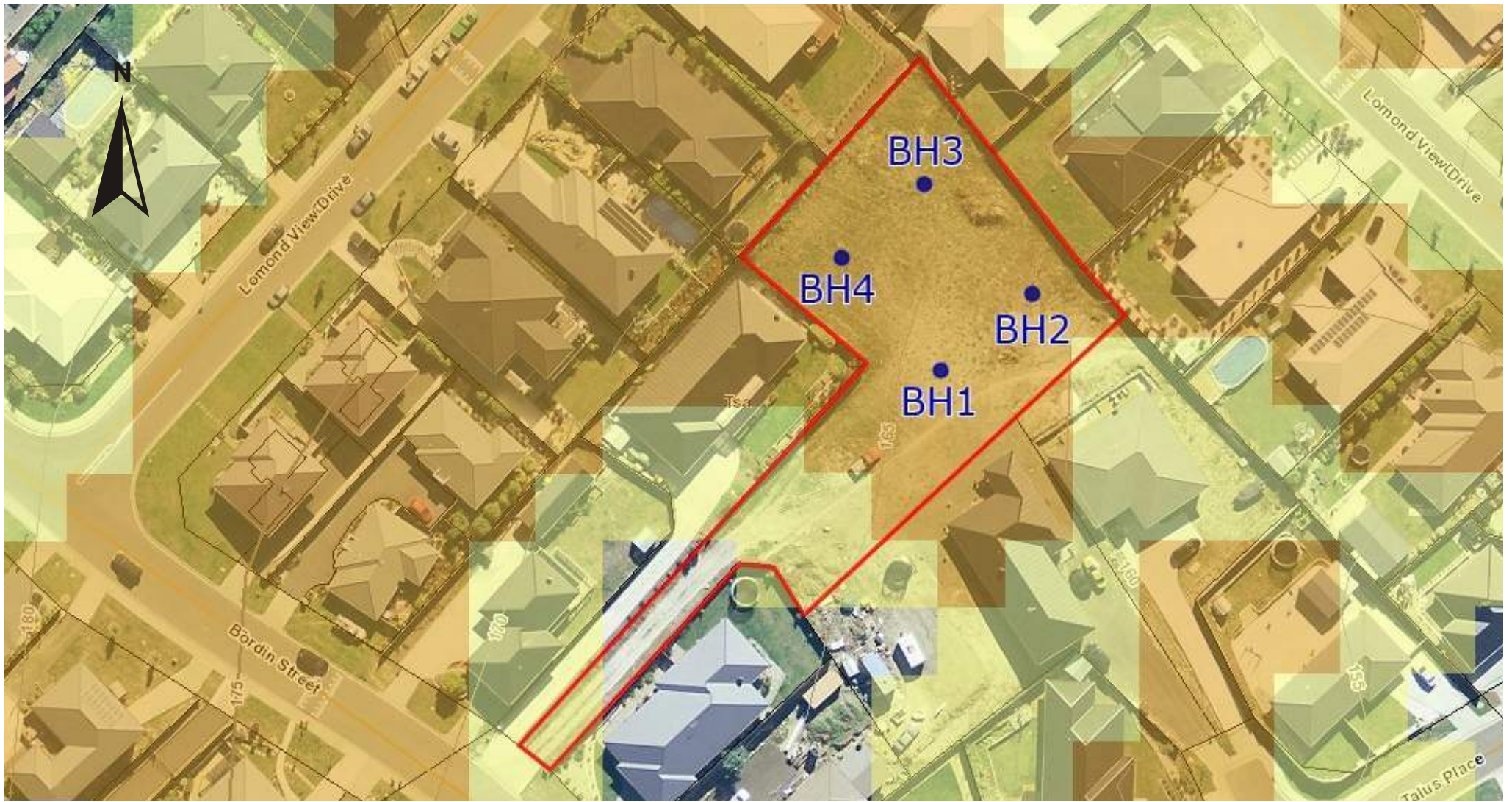
Variations in soil conditions may occur across the site. The base of all footings should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

## **6. Wind Classification**

After considering the terrain, shielding and topography of the site, the site has been classified as follows:

**N1 (AS4055)**

**FIGURE 1**  
**Site Layout Plan**



Landslide Hazard Bands:

Orange shaded - 'Medium' risk

Yellow shaded - 'Low' risk

Unshaded - 'Unclassified'

Drawn	<b>DB</b>
Approved	
Date	<b>24/8/2016</b>
Scale	<b>Not to scale</b>
Original size	<b>A4</b>



Client:	<b>Paul Spencer</b>	
Project:	<b>Site Classification 23A Bordin Street Prospect Vale</b>	
Title:	<b>Site Layout and Test Location Plan</b>	
Project no:	<b>SC098</b>	Figure no: <b>Figure 1</b>

**C&D 1**



**APPENDIX A**  
**Site Photographs**



Photo 1 - View looking northeast along site from near Bordin Street entrance



Photo 2 - View looking northeast from mid-way along site



Photo 3 - View looking north from near Photo 2 was taken

# **APPENDIX B**

## **Borehole Logs**

Borehole no: BH1  
 Sheet 1 of 1

### Engineering Log - Borehole

Client: Paul Spencer  
 Project Name: Site Classification - 23A Bordin Street, Prospect Vale  
 Project No: SC098  
 Hole Location: Refer site layout and test location plan

Hole commenced: 19/08/2016  
 Hole completed: 19/08/2016  
 Hole logged by: DGB  
 Log checked by: DGB

Drill Model and Mounting: Proline rig Slope: deg. R.L. Surface  
 Hole Diameter: 100 mm Bearing: deg. Datum Operator: DGB

Drilling Information					Rock Substance					Observations					
Method	Penetration			Support	Water	Sample Tests	Depth meters	Graphic Log	Classification symbol	Material plasticity or particle characteristics, colour, secondary and minor component	Soil type:	Moisture condition	Consistency, density index	Pocket Penetrometer 100 200 300 400 500	Structure and additional observations
							0.50		CH	Silty CLAY, medium to high plasticity, some angular dolerite clasts, gravel to pebble size, grey-brown		M	St		Possible uncontrolled fill?
							1.00		CH	Silty CLAY, high plasticity, fissured, grey with red/orange mottles		M	St		Vane = 80kPa Natural ground
							1.50			grading to orange/yellow-brown, non-fissured, slightly sandy, some angular dolerite clasts, gravel to pebble size			St/Vst		Vane = 75kPa
							1.70			sharp contact					Vane = 110kPa
							2.00			Auger refusal - borehole terminated at 1.70m					Slight seepage into hole on completion
							2.50								
							3.00								
							3.50								
							4.00								

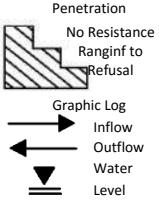
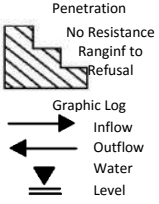
<b>Method</b> C - Casing M - Mud Penetration No Resistance Ranginf to Refusal  Graphic Log Inflow Outflow Water Level	<b>Support</b> C - Casing M - Mud Penetration No Resistance Ranginf to Refusal  Graphic Log Inflow Outflow Water Level	<b>Samples and Tests</b> U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample NC Cone Penetrometer  <b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification System	<b>Moisture Condition</b> D Dry M Moist W Wet  <b>Plastic Limit</b> < PL = PL > PL	<b>Consistency/ relative rock density</b> VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense
--	---	--	--	---

### Engineering Log - Borehole

Client: Paul Spencer	Hole commenced: 19/08/2016
Project Name: Site Classification - 23A Bordin Street, Prospect Vale	Hole completed: 19/08/2016
Project No: SC098	Hole logged by: DGB
Hole Location: Refer site layout and test location plan	Log checked by: DGB

Drill Model and Mounting:	Proline rig	Slope: deg.	R.L. Surface	Operator: DGB
Hole Diameter: 100	mm	Bearing: deg.	Datum	

Drilling Information					Rock Substance					Observations					
Method	Penetration			Support	Water	Sample Tests	Depth meters	Graphic Log	Classification symbol	Material plasticity or particle characteristics, colour, secondary and minor component	Soil type:	Moisture condition	Consistency, density index	Pocket Penetrometer 100 200 300 400 500	Structure and additional observations
	1	2	3												
									CH	Silty CLAY, high plasticity, fissured, grey with red/orange mottles		M	St		Possible uncontrolled fill?
							0.50		CH	Silty CLAY, high plasticity, non-fissured, slightly sandy, some angular dolerite clasts, gravel to pebble size		M	St		Vane = 70kPa Natural ground
							1.00								Vane = 70kPa
										sharp contact					
							1.50			Auger refusal - borehole terminated at 1.30m					Dry on completion
							2.00								
							2.50								
							3.00								
							3.50								
							4.00								





<b>Method</b> C - Casing M - Mud  Penetration No Resistance Rangin to Refusal  Graphic Log Inflow Outflow Water Level	<b>Support</b> C - Casing M - Mud  Penetration No Resistance Rangin to Refusal  Graphic Log Inflow Outflow Water Level	<b>Samples and Tests</b> U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample NC Cone Penetrometer  <b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification System	<b>Moisture Condition</b> D Dry M Moist W Wet  <b>Plastic Limit</b> < PL = PL > PL	<b>Consistency/ relative rock density</b> VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense
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



Borehole no:	BH3
Sheet	1 of 1

### Engineering Log - Borehole

Client:	Paul Spencer	Hole commenced:	19/08/2016
Project Name:	Site Classification - 23A Bordin Street, Prospect Vale	Hole completed:	19/08/2016
Project No:	SC098	Hole logged by:	DGB
Hole Location:	Refer site layout and test location plan	Log checked by:	DGB

Drill Model and Mounting:	Proline rig	Slope:	deg.	R.L. Surface	
Hole Diameter:	100 mm	Bearing:	deg.	Datum	
				Operator:	DGB

Drilling Information					Rock Substance					Observations						
Method	Penetration			Support	Water	Sample Tests	Depth meters	Graphic Log	Classification symbol	Material plasticity or particle characteristics, colour, secondary and minor component	Soil type:	Moisture condition	Consistency, density index	Pocket Penetrometer	Structure and additional observations	
	1	2	3											100 200 300 400 500		
							0.50		CH	Silty CLAY, high plasticity, non-fissured, slightly sandy, some angular dolerite clasts, gravel to pebble size		M	St		Natural ground Vane = 70kPa	
							1.00									Vane = 80kPa
							1.50			grey, sandy		S/F				Vane = 40kPa
							2.00									Vane = 95kPa
							2.50			Borehole terminated at 2.00m						Dry on completion
							3.00									
							3.50									
							4.00									

<b>Method</b> C - Casing M - Mud Penetration  Graphic Log 	<b>Support</b> C - Casing M - Mud Penetration  Graphic Log 	<b>Samples and Tests</b> U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample NC Cone Penetrometer  <b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification System	<b>Moisture Condition</b> D Dry M Moist W Wet  <b>Plastic Limit</b> < PL = PL > PL	<b>Consistency/ relative rock density</b> VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense
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## Engineering Log - Borehole

Client: Paul Spencer	Hole commenced: 19/08/2016
Project Name: Site Classification - 23A Bordin Street, Prospect Vale	Hole completed: 19/08/2016
Project No: SC098	Hole logged by: DGB
Hole Location: Refer site layout and test location plan	Log checked by: DGB

Drill Model and Mounting:	Proline rig	Slope: deg.	R.L. Surface	Operator: DGB
Hole Diameter: 100 mm	Bearing: deg.	Datum		

Drilling Information					Rock Substance					Observations					
Method	Penetration			Support	Water	Sample Tests	Depth meters	Graphic Log	Classification symbol	Material plasticity or particle characteristics, colour, secondary and minor component	Soil type:	Moisture condition	Consistency, density index	Pocket Penetrometer	Structure and additional observations
	1	2	3											100 200 300 400 500	
									CH	Silty CLAY, high plasticity, non-fissured, slightly sandy, some angular dolerite clasts, gravel to pebble size		M	St		Natural ground
							0.50								Vane = 80kPa
							1.00			becoming less sandy, grey mottles high plasticity, fissured, grey with red/orange mottles					Vane = 100kPa
							1.50								
							2.00								Vane > 140kPa
										Borehole terminated at 2.00m					Dry on completion
							2.50								
							3.00								
							3.50								
							4.00								

<p><b>Method</b></p>	<p><b>Support</b></p> <p>C - Casing M - Mud</p> <p>Penetration</p> <p>No Resistance Rangin to Refusal</p> <p>Graphic Log</p> <p>→ Inflow ← Outflow Water Level</p>	<p><b>Samples and Tests</b></p> <p>U60 Undisturbed Sample U50 50mm Diameter D Disturbed Sample N Standard Penetration N* SPT + Sample NC Cone Penetrometer</p> <p><b>Classification Symbols and Soil Description</b> - Based on Unified Soil Classification System</p>	<p><b>Moisture Condition</b></p> <p>D Dry M Moist W Wet</p> <p><b>Plastic Limit</b></p> <p>&lt; PL = PL &gt; PL</p>	<p><b>Consistency/ relative rock density</b></p> <p>VS - Very Soft S - Soft F - Firm St - Stiff VSt - Very Stiff H - Hard Fb - Friable VL - Very Loose L - Loose MD - Moderately Dense VD - Very Dense</p>
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## DESCRIPTIVE TERMS - BOREHOLE/EXCAVATION LOG

### Method

S auger screwing	W washbore	B blade bucket
D auger drilling	N natural exposure	C cable tool
R roller/tricone	E existing excavation	H hammer drill

### Water

*	not observed
▼	observed water level
▶	observed water inflow
◀	observed water outflow
R	refer report for details

### Notes, samples, tests, etc

U45 undisturbed sample, 45mm diameter  
 D disturbed sample  
 N\* Standard Penetration Test  
 N indicates SPT value  
 \* indicates sample retrieved

### Structure, additional observations

PP pocket penetrometer test, figure indicates soil strength (kPa)  
 V vane shear test, figure indicates soil strength (kPa)  
 DCP dynamic cone penetrometer test, figure indicates blows/depth increment.

### Soil profile

known boundary	probable boundary	possible boundary ? _ ? _ ? _ ? _

### Moisture condition

(based on appearance and feel)

dry (D) Looks and feels dry, cohesive soils usually hard powdery or friable, granular soils run freely through the fingers.  
 moist (M) Soils feel cool, darker in colour. Cohesive soils usually weakened by moisture, granular soils tend to cohere, no free water on hands.  
 wet (W) Soils feel cool, darker in colour. Cohesive soils usually weakened, granular soils tend to cohere, free water collects on hands when remoulding.

### Consistency

(based on undrained shear strength (Cu), estimated, or measured by vane shear test)

very soft	soft	firm	stiff	very stiff	hard
VS	S	F	St	VSt	H

Cu(kPa)                      12.5                      25                      50                      100                      200

### Density Index

(generally estimated or based on penetrometer results)

very loose	loose	medium dense	dense	very dense
VL	L	MD	D	VD

Density Index I<sub>d</sub>(%)                      15                      35                      65                      85

## **APPENDIX C**

### **Form 55 Certificate of Building Work**

# CERTIFICATE OF SPECIALIST OR OTHER PERSON (BUILDING WORK)

Regulation 16

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Certifier details:

From:   
Address:  Phone No:   
  Fax No:   
Accreditation No:  Email address:   
*(if applicable)*  
Or qualifications and Insurance details:  *(description from Column 3 of Schedule 1 of the Director of Building Control's Determination)*  
Speciality area of expertise:  *(description from Column 4 of Schedule 1 of the Director of Building Control's Determination)*

## Details of work:

Address:  Lot No:   
  Certificate of title No:   
The work related to this certificate:  *(description of the work or part work being certified)*

## Certificate details:

Certificate type:  *(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)*

This certificate is in relation to an application for a new building permit. OR

This certificate is in relation to any stage of building work before completion.

In issuing this certificate the following matters are relevant –

Documents:

Relevant calculations:

Not applicable

References:

As per the site classification report dated 24 August 2016  
Appendix B of AS 2870-2011  
CSIRO Building Technical File BTF18-2011 'Foundation Maintenance and Footing Performance: A Homeowner's Guide'

*Substance of Certificate: (what it is that is being certified)*

An investigation was conducted for the purposes of assessing general geological conditions at the site and consequently assigning a Site Classification in accordance with AS2870-2011: 'Residential Slabs and Footings'.


*Scope and/or Limitations*

The classification is applicable only for ground conditions encountered at the time of the investigation. If cut or fill earthworks are undertaken, or the structure/s moved from the site/s assessed, then further investigation and reclassification will be required.

**I certify the matters described in this certificate.**

Certifier:

*Signed:*

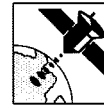


*Certificate No*

*Date*

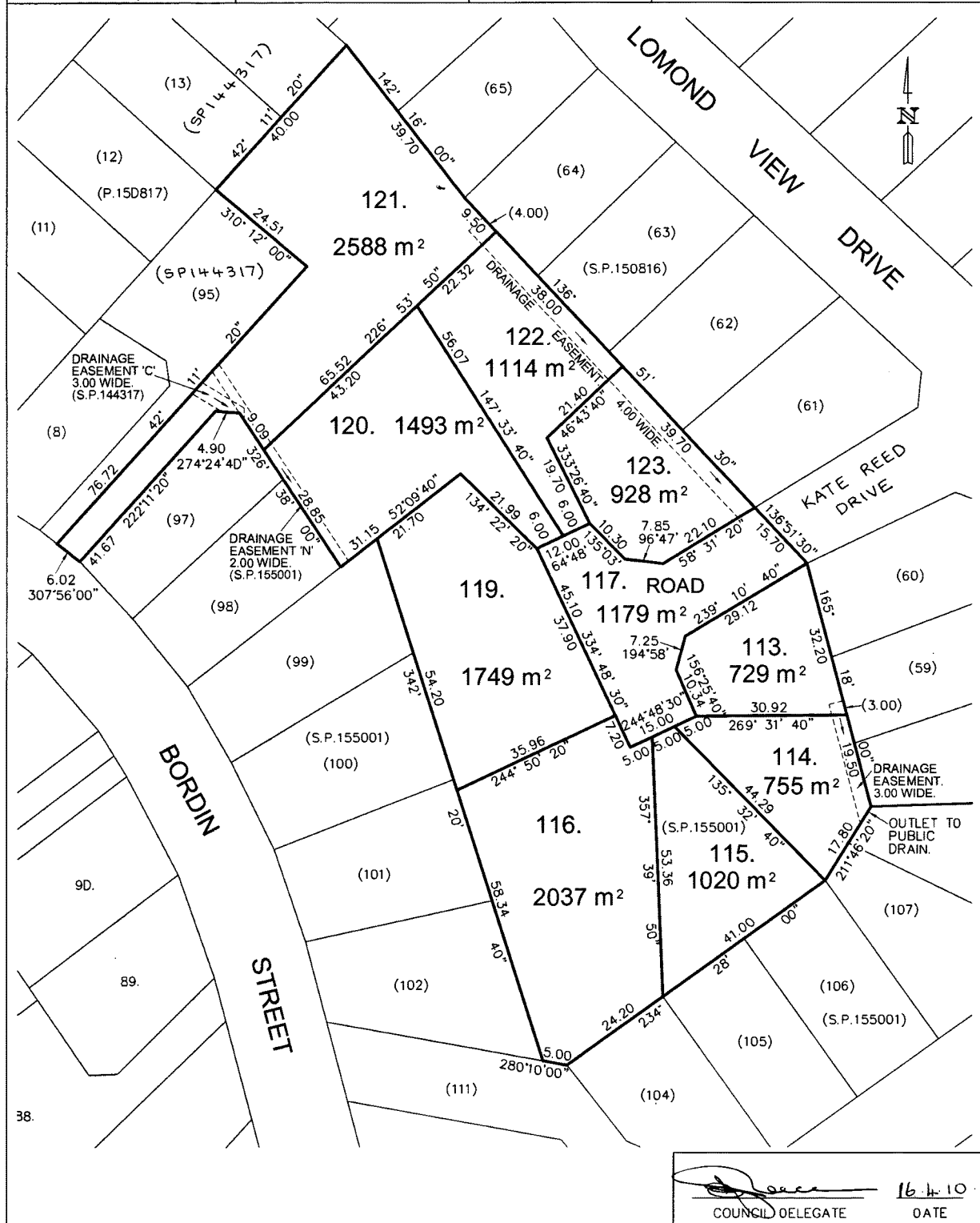
24/8/2016

OWNER SBGP PTY. LTD.	<b>PLAN OF SURVEY</b>	REGISTERED NUMBER <b>SP159187</b>
FOLIO REFERENCE C.T.155001-96		BY SURVEYOR R.V.TAIT
GRANTEE PART OF LOT 971, 321°38'25" GRANTED TO HENRY BURROWS.		LOCATION <b>TOWN OF PROSPECT VALE</b>
SCALE 1:75D		LENGTHS IN METRES
MAPSHEET MUNICIPAL CODE No 121 (5040-23)	LAST UPI No GGJ31	LAST PLAN No. S.P.155001
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



G. J. WALKEM & CO.

APPROVED 19 MAY 2010  
EFFECTIVE FROM  
*Alice Kawa*  
Recorder of Titles



*[Signature]* 16.4.10  
COUNCIL DELEGATE DATE

SEARCH OF TORRENS TITLE

VOLUME 159187	FOLIO 121
EDITION 5	DATE OF ISSUE 22-Jun-2016

SEARCH DATE : 06-Jun-2017

SEARCH TIME : 02.16 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE  
 Lot 121 on Sealed Plan 159187  
 Derivation : Part of Lot 971, 321A-3R-25P Gtd. to Henry Burrows  
 Prior CT 155001/96

SCHEDULE 1

M575813 TRANSFER to PAUL STUART SPENCER and MARGUERITTE  
 THERESE SPENCER (jointly as between themselves) of  
 one undivided 1/4 share, SHANNON TIMOTHY SPENCER of  
 one undivided 1/4 share, REGAN PATRICK GEORGE SPENCER  
 of one undivided 1/4 share and KANE MAXWELL SPENCER  
 of one undivided 1/4 share as tenants in common  
 Registered 22-Jun-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP159187 EASEMENTS in Schedule of Easements  
 SP159187 COVENANTS in Schedule of Easements  
 SP159187 FENCING COVENANT in Schedule of Easements  
 SP144317 & SP155001 COVENANTS in Schedule of Easements  
 SP144317 & SP155001 FENCING COVENANT in Schedule of Easements  
 A131877 FENCING CONDITION in Transfer  
 C966586 AGREEMENT pursuant to Section 71 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 19-May-2010 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0131	Council notice date	7/03/2017	
<b>TasWater details</b>				
TasWater Reference No.	TWDA 2017/00301-MVC	Date of response	16/03/2017	
TasWater Contact	Phil Papps	Phone No.	(03) 6237 8246	
<b>Response issued to</b>				
Council name	MEANDER VALLEY COUNCIL			
Contact details	planning@mvc.tas.gov.au			
<b>Development details</b>				
Address	23A BORDIN STREET, PROSPECT VALE	Property ID (PID)	3028949	
Description of development	Multiple dwellings			
<b>Schedule of drawings/documents</b>				
	Prepared by	Drawing/document No.	Revision No.	Date of Issue
	Adorn Drafting	Drainage Plan / 419	--	30/01/2017
<b>Conditions</b>				
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized (min. 25mm ID) metered/submetered water property connection must be provided in accordance with TasWater standards.</li> <li>2. A suitably sized shared single sewer property connection must be provided in accordance with TasWater standards.</li> <li>3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee of \$335.18 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date it is paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.</li> </ol>				
<b>Advice</b>				
<p>For information on TasWater development standards, please visit <a href="http://www.taswater.com.au/Development/Development-Standards">http://www.taswater.com.au/Development/Development-Standards</a></p> <p>For application forms please visit <a href="http://www.taswater.com.au/Development/Forms">http://www.taswater.com.au/Development/Forms</a></p> <p>The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.</p>				
<b>Declaration</b>				
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning				

Authority Notice.

**Authorised by**



**Jason Taylor**

Development Assessment Manager

**TasWater Contact Details**

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



Coral Smith  
104 William St  
Westbury 7303 TAS

Index No. PA\17\0131			
Doc No.			
RCVD	-5 MAY 2017	MVC	
Action Officer	LR	Dept.	CDS
EO		OD	✓

As of 10 May – 4 Lomond View Drive, Prospect Vale.

5 May 2017

Dear Sirs

Re Planning application 23A Bordin St, Prospect Vale 7250

I would like to raise objections to the building of four houses on the internal block at the above address.

Building 4 houses will increase the density of buildings in the area, leading to noise pollution.

What is the heating component of the new properties, are wood fires allowed? as this will lead to air pollution.

The increase in car movement – each house will probably have two cars each plus visitor parking which will mean a lot of car movement, approximately 5 movements per car, or more, per day along the shared drive.

If the planning department can clarify where the post boxes will be placed to allow for safe, easy access for residents and the postman. Can it also be clarified where the residents will place the rubbish bins for refuse collection – 2 per house on recycling day equals 8 rubbish bins to be located at the end of the drive!

Yours faithfully



Coral E Smith

Index No. 19934			
Doc No.			
RCV'D	-2 MAY 2017		MVC
Action Officer	LR	Dept.	CDS
EO		OD	✓

23 Bordin Street  
Prospect Vale  
TASMANIA 7250  
30/4/2017

General Manager  
Meander Valley Council  
PO Box 102  
Westbury  
TASMANIA 7303

Dear Sir,

Re: Planning Approval – PA/17/0131  
23A Bordin Street, Prospect Vale

We refer to the Meander Valley Council letter dated 21/4/2017 that we received regarding the above Planning Approval.

We are the residents and the owners of 23 Bordin Street, Prospect Vale. We wish to make a written representation with regard to the above Planning Approval. On Attachment 'A' of our letter, we have listed a number of points which we wish to have clarified and/or confirmed.

Please address your response to our letter to;

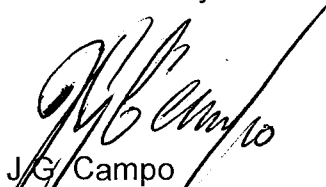
PO Box 32

Prospect

TASMANIA 7250.

We await your reply.

Yours faithfully



J.G. Campo

For and On Behalf of

J.G. Campo and A. Campo

PS. We will be out of Tasmania and not contactable until 23/5/2017.

Attachment 'A'  
23A Bordin Street, Prospect Vale. (CT:159187/121)  
Planning Approval – P. Spencer – PA/17/0131  
Points Requiring Clarification and/or Confirmation

- 1- Source – Meander Valley Council (MVC) letter dated 21/4/2017 sent to J.G. Campo and A. Campo, 23 Bordin Street, Prospect Vale.

Clarify and/or confirm the MVC requirements with regard to the following points;

- (a) Clarify MVC requirements regarding privacy.  
Confirm that the windows overlooking our residence shown on DWG419 – Sheet 8 titled “Unit One south west elevation”, do not infringe on our privacy. The rooms affected in our residence are a bedroom and a sewing room.
- (b) Clarify MVC requirements regarding construction of car parking spaces and access strips.
- (c) Clarify MVC requirements regarding design and layout of car parking, particularly number of spaces in relation to the number of proposed units and the location in relation to the north east view from our residence.
- (d) Clarify MVC requirements regarding landslip risk.  
Confirm that MVC will approve the methodology used to investigate any landslip risk.  
Confirm that MVC will approve the remedial work identified by the investigation.  
Confirm that any investigation work and any resultant remedial work does not affect the stability of our block.

- 2 – Source DWG419 – Sheet 19 – Titled “Shade Diagram”.

Clarify what is being shown on this drawing, particularly, the shadow which is generated over the north west side of our residence.

- (a) What is causing the shadow?
- (b) What are the dimensions of the shadow – length and breadth, height from ground level?
- (c) The accuracy of the shadow location?
- (d) The density of the shadow?

Confirmation from MVC that the rooms on the north west face of our residence will not have a reduction in light entering these rooms by any shadow cast by Unit One. The rooms affected are a bedroom and the sewing room. My wife uses the sewing room extensively in her hobby as a dress designer and a dressmaker.

- 3 – “Restricted Build Zone” – Source DWG419 – Sheets 5,13,14,16.  
Clarify what has been included in this area in Planning Approval – PA/17/0131.

Clarify why on Sheet 14 a clothes-line and a garden shed has been shown in the defined “Restricted Build Zone” and the location of these items in

relation to Unit Four.

Confirm that the south east of the proposed passing bay that additional car parking spaces cannot be constructed (that is the passing bay cannot be converted to car parking bays). We foresee that these additional parking spaces being used for infrequently used vehicles – caravans, mobile homes, trailers or commercial vehicles. Thus resulting in visual pollution.

Confirm that numerous large garden sheds or sea containers cannot be erected along the south east boundary of 23A Bordin Street,

Confirm that the open outdoor area for Unit Four shown on Sheet 5 cannot be extended into the defined "Restricted Build Zone".

4- Source- DWH419 – Sheets 5,8,9.

Confirm that the undercut of the existing earth at the south east corner of Unit One will not affect the stability of our block and/or undermine our existing boundary fence.

5 – Source – DWG419 – Sheet 5.

Confirm that the excavation for the A/G Line on our south east boundary - along the existing block wall in the driveway and the boundary fence will not be undermined.

Confirm that MVC will ensure that any necessary remedial work will be carried out to their statutory requirements.

6 – Passing Bay – Source DWG419 – Sheet 2,17.

Confirm that since there are proposed car parking spaces adjacent to each of the four proposed units. The proposed passing bay cannot be used as a parking space at any time.



J.S. Campo

30/4/2017

# **C&DS 2 228 QUAMBY BROOK ROAD, QUAMBY BROOK – EXTENSION TO VISITOR ACCOMMODATION**

## **1) Introduction**

This report considers application PA\17\0133 for Visitor Accommodation on land located at 228 Quamby Brook Road, Quamby Brook CT: 16584/1.

## **2) Background**

### **Applicant**

Design to Live

### **Planning Controls**

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

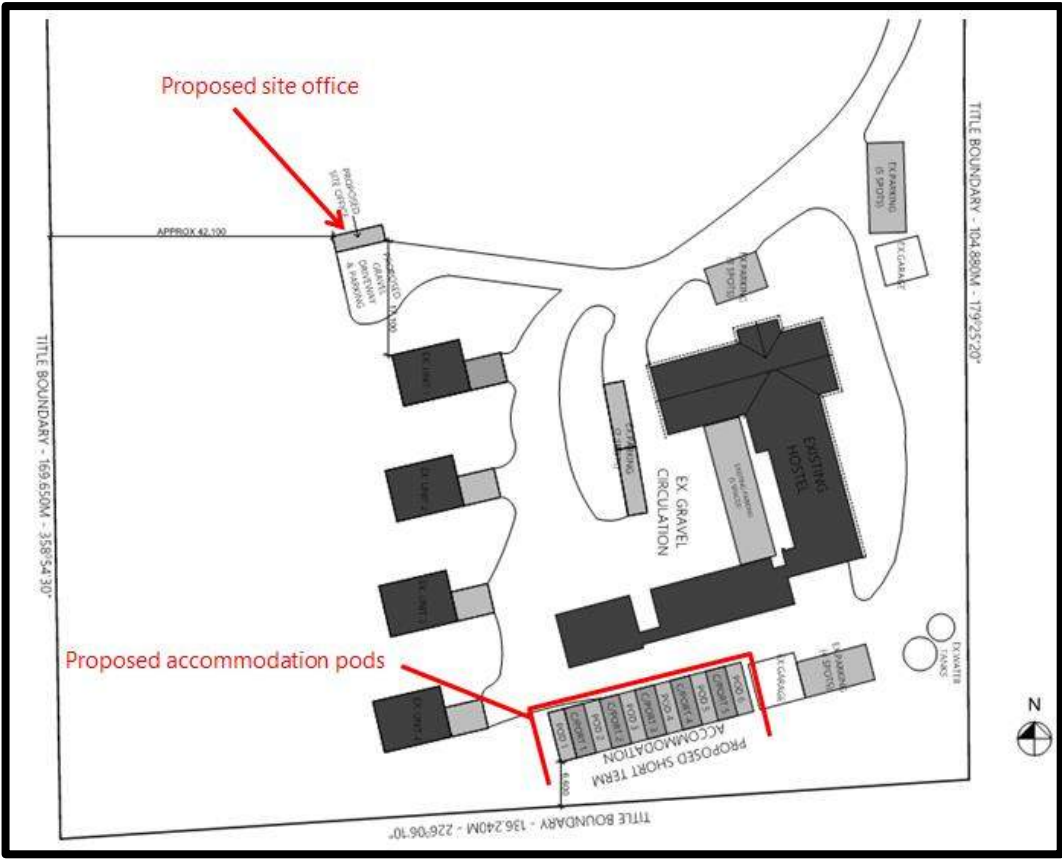
### **Use & Development**

This application proposes to expand an existing visitor accommodation facility at 228 Quamby Brook Road, Quamby Brook. Development will include the construction of an additional accommodation building, comprising 6 prefabricated pods with a single carport spanning the space between each pod. Each pod will provide four additional beds, with potential capacity to accommodate an additional 24 visitors.

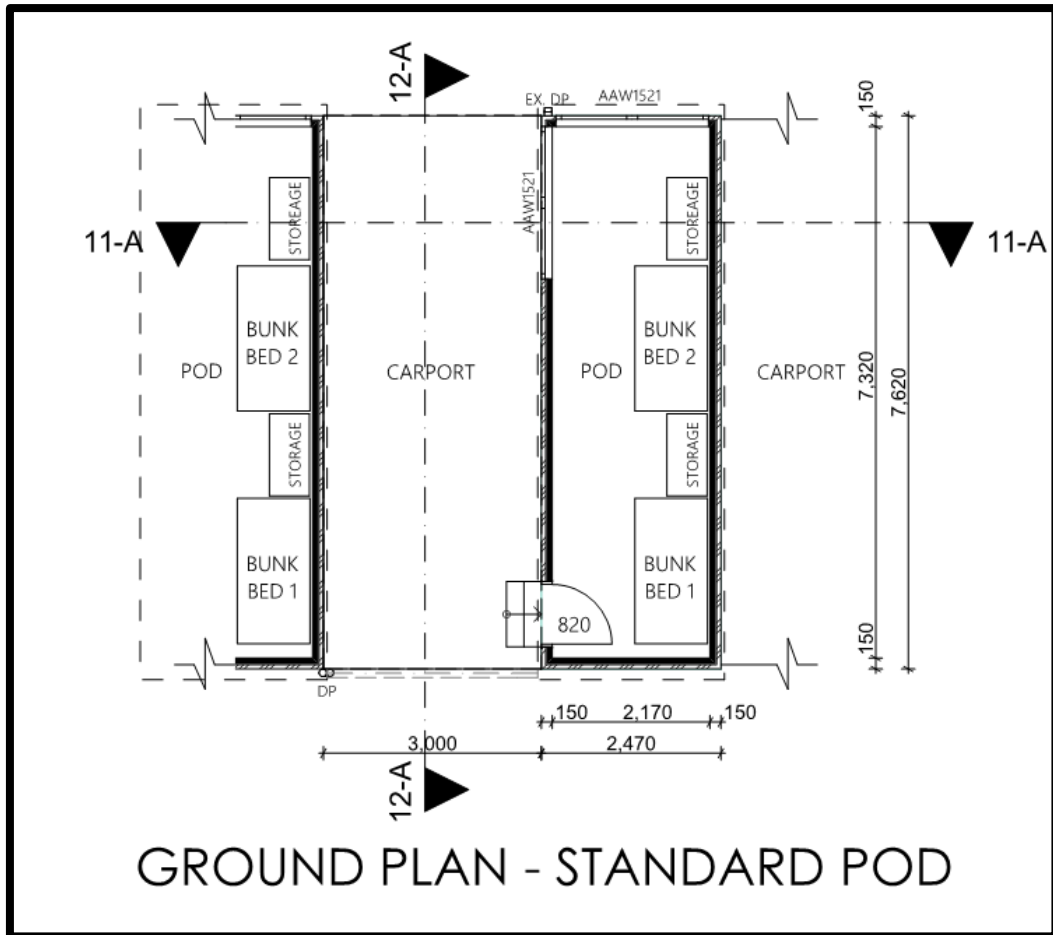
The application also includes the construction of a booking and site office. The proposed accommodation pods and site office each have a floor area of 18.8m<sup>2</sup> and has similar dimensions to a standard 24 foot shipping container.

The site provides accommodation for seasonal agricultural workers during the summer period, while the facility is intended to be made available to tourist and short term stay visitors during the off season.

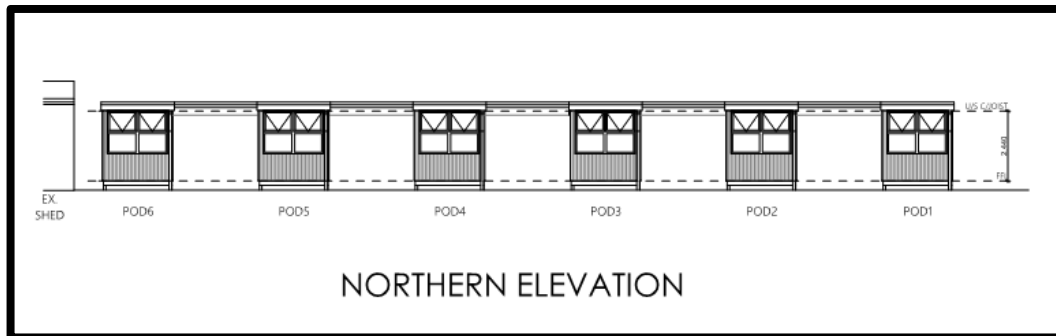
The application proposes the use of buses to facilitate the transport of workers during the harvest season.



**Figure 1: Proposed site plan, showing existing and proposed development (Design to Live, 2017)**



**Figure 2: Proposed floor plan (Design to Live, 2017)**



**Figure 3: Northern elevation of proposed accommodation pods (Design to Live, 2017)**







**Photo 1: Aerial photo of subject title and surrounding land**



**Photo 2: Showing the separation distance between the facility buildings and the surrounding houses**



**Photo 3: Existing accommodation complex, looking east from the internal driveway**



**Photo 4: Existing accommodation complex, looking south from the internal driveway**



**Photo 5: View to the south from within the building complex, showing existing parking, manoeuvring spaces and self-contained accommodation units**



**Photo 6: Example of proposed accommodation pods**



**Photo 7: Proposed location of accommodation pods, looking south-east**



**Photo 8: Dwelling at 240 Quamby Brook Road, viewed from the driveway to the subject accommodation facility**



**Photo 9: Dwelling at 61 Davis Road, viewed from 228 Quamby Brook, showing existing and recently planted vegetation**



**Photo 10: Dwelling at 274 Quamby Brook Road, viewed from the development site, showing existing vegetation**

### **Statutory Timeframes**

Date Received:	27 February 2017
Request for further information:	Not applicable.
Information received:	Not applicable.
Advertised:	18 March 2017
Re-advertised:	6 May 2017
Closing date for representations:	22 May 2017
Extension of time granted:	27 April 2017
Extension of time expires:	13 June 2017
Decision due:	13 June 2017

### **3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.

### **4) Policy Implications**

Not applicable.

### **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

### **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

### **7) Consultation with State Government and other Authorities**

Not applicable.

### **8) Community Consultation**

The application was advertised for the statutory 14-day period.

Two representations were received.

### **9) Financial Impact**

Not applicable

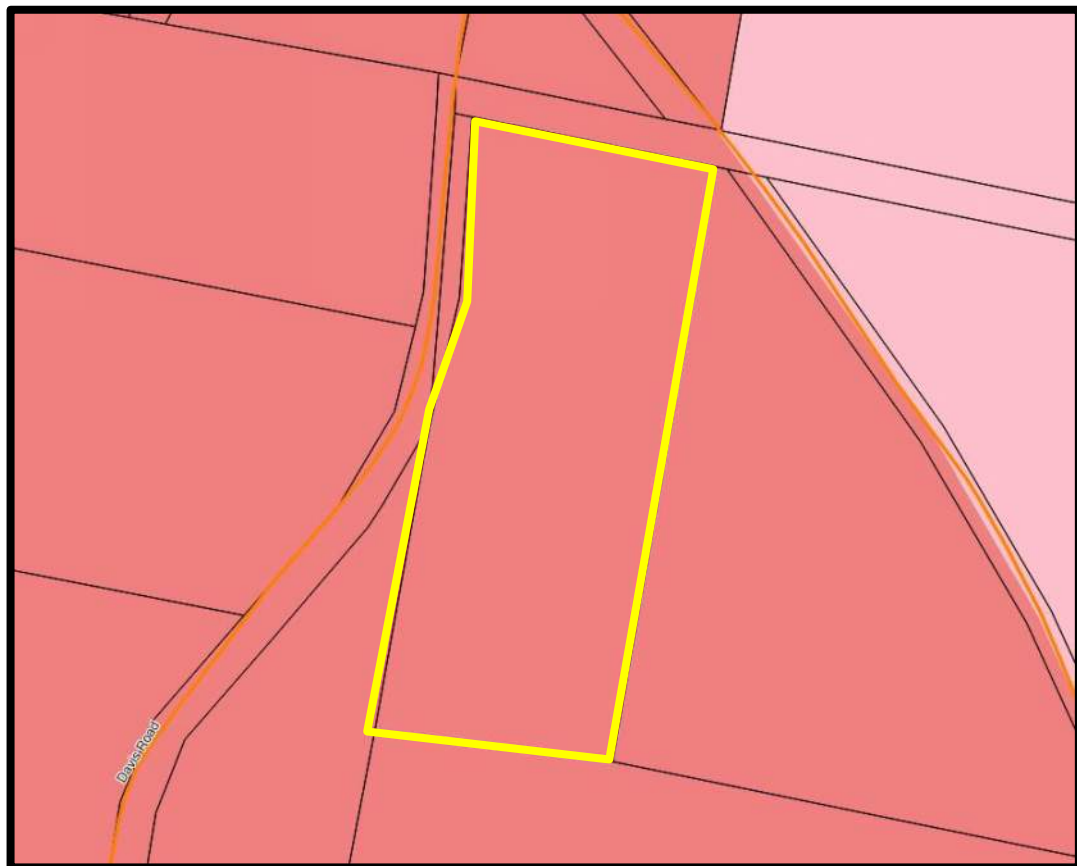
### **10) Alternative Options**

Council can either approve, with amended conditions, or refuse the application.

## 11) Officers Comments

### Zone

The subject property is located in the Low Density Residential zone. The land surrounding the site is located in the Low Density Residential and Rural Living zones.



**Figure 1: zone mapping**

### Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Visitor Accommodation

Visitor Accommodation is a Discretionary use under section 12.2 – Use Table. As such, the proposed use is assessed against the Zone Purpose, including the Local Area Objectives and Desired Future Character Statements. The use standards in the zone and applicable codes are also considered relative to each applicable issue.



## **12.1 Zone Purpose**

### **12.1.1 Zone Purpose Statements**

12.1.1.1 *To provide for residential use or development on larger lots in residential areas where there are infrastructure or environmental constraints that limit development.*

12.1.1.2 *To provide for non-residential uses that are compatible with residential amenity.*

12.1.1.3 *To ensure that development respects the natural and conservation values of the land and is designed to mitigate any visual impacts of development on public views.*

### **12.1.2 Local Area Objectives (Davis Road)**

- a) *This low density area, in combination with the adjoining Rural Living Zone is located in close proximity to Deloraine and provides housing choice in support of that settlement.*
- b) *Some increased density will be supported consistent with maintaining the existing character and providing housing choice, however limitations to services and infrastructure, potential natural hazards and maintaining low density separation distances will determine the appropriate degree of intensification.*

### **12.1.3 Desired Future Character Statements (Davis Road)**

- a) *The low density area reflects historic subdivision and is contained by the arrangement of lots along Davis Road, Quamby Brook Road and to the end of Eyles Close.*
- b) *Some housing is openly visible on cleared land, however maintain large separation distances and some housing is obscured within remnant vegetation.*
- c) *The contained and low impact character of the area is to be maintained in the location of development, maintaining significant separation distances and vegetation cover where possible.*

#### **Comments:**

##### **Zone Purpose**

The zone purpose 12.1.1.2 is to provide for non-residential uses that are compatible with residential amenity. The compatibility of non-residential developments is assessed on a case by case basis and may vary depending on the specific circumstances of the proposal. In this case, the subject site, appropriately managed, is considered to be an acceptable site for this form of accommodation and is compatible with residential amenity. The lot is large

and there are significant buffers between the property boundaries and neighbouring dwellings. There are existing vegetation screens to the east, south and west of the building cluster, which largely screen views of neighbouring dwellings from the building and vice versa. The distance between the building cluster and the main concentration of the use, from properties to the north is significant. As such, it is considered that a reasonable degree of separation can be achieved between the use and neighbouring residential uses. In light of a more thorough understanding of this type of accommodation additional recommendations are provided below in regard to maintaining the amenity of neighbouring residents.

The site will be managed by a live-in onsite manager. The site manager creates a point of contact for Council and the land owner and provides significant opportunities for pre-emptive management of patrons and the site. This allows for the establishment and enforcement of site rules governing behaviour on the site.

All proposed and existing buildings are located over 100m from neighbouring dwellings, providing adequate separation between the buildings and dwellings. The nature of the complex and accommodation provided suggests that many patrons will spend a large amount of time outside, travelling between buildings and undertaking social activities. Noise generating activities are likely to be concentrated close to the building cluster in the south portion of the property.

There are no dwellings within 50m of the title boundaries to the south, east and west of the development. While the dwelling at 210 Quamby Brook Road is close to the shared boundary, this dwelling is to the north of the lot and a significant distance from the main activity centre and building cluster.

The proposed development will not compromise the privacy of adjoining land owners. The proposed accommodation pods are elevated less than 500mm above the existing ground level and do not contain any windows orientated toward neighbouring properties. The building will provide additional screening between the communal areas of the complex and the adjoining property to the south. The application also proposes the planting of a vegetation screen in the south-west corner of the property. This screen has been planted.

The privacy of the surrounding residences is maintained through a combination of separation and existing vegetation screening. Existing native vegetation to the south, east and west of the property provides an adequate visual buffer between the visitor accommodation use and the adjoining properties. As the development is concentrated at the south end of the site, the distance to the northern boundary and dwelling at 210 Quamby Brook Road provides sufficient privacy.

### Local Area Objectives

Although not a residential use the proposed density is considered to be acceptable. The site is already dominated by a large communal living complex and accommodation buildings. The additional accommodation building is proposed are to be located to the rear of the existing complex and are not visible from any public roads. While visible from the properties to the south and south-east, the accommodation will be screened from neighbouring dwellings by existing native vegetation on these titles. The proposed site office is a relatively small, low profile building and will be largely screened by topography and the existing vegetation on the west side of the property. The property currently has approval for visitor accommodation for up to 88 people and is being used for this purpose. The addition of a further 24 beds will not substantially alter the character of the site.

### Desired Future Character Statements

The proposed facilities are located on a sizable property for the Low Density Residential Zone (4.645ha). Though the building is located in close proximity to boundaries, separation distances between accommodation facilities and the neighbouring dwellings exceeds 100m and is not proposed to be reduced. The application does not include any additional signage and no vegetation is proposed to be removed. The distance of the development from public roads and the retention of surrounding vegetation will generally maintain the existing appearance of the site.

### **Applicable Standards**

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Low Density Residential Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

### **Compliance Assessment**

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

<b>Low Density Residential Zone</b>			
Scheme Standard		Comment	Assessment
<b>12.3.1 Amenity</b>			
A1	If for permitted or no permit required uses.	The application is for a Discretionary use.	Relies on Performance Criteria
A2	Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	The application includes bus movements prior to 7:00am.	Relies on Performance Criteria
<b>12.3.2 Low Density Residential Character</b>			
A1	Commercial vehicles for discretionary uses must be parked within the boundary of the property.	All parking is provided within the title boundaries, with sufficient space for the turning, loading and unloading of buses.	Complies
A2	Goods or material storage for discretionary uses must not be stored outside in locations visible from adjacent properties, the road or public land.	The application does not propose the storage of goods or materials outside of the existing and proposed buildings.	Complies
<b>12.4.1.1 Site Coverage</b>			
A1	The site coverage must not	The existing and	Complies

	exceed 30% of the site.	proposed developments occupy significantly less than 30% of the site.	
<b>12.4.1.2 Building Height</b>			
A1	Building height must not exceed 8 metres.	The proposed accommodation pods have a maximum height of 3.1m above natural ground level.	Complies
<b>12.4.1.3 Frontage Setbacks</b>			
A1	<p>A1.1 Primary frontage setbacks must be a minimum:</p> <ul style="list-style-type: none"> <li>a) of 6 metres; and</li> <li>b) for infill lots, within the range of the setbacks of buildings on adjoining lots; and</li> </ul> <p>A1.2 Buildings must be set back a minimum of 3 metres from any other frontage.</p>	The setback from Quamby Brook Road will not be altered by the proposal. The proposed site office is located greater than 6m from the Davis Road Frontage.	Complies
<b>12.4.1.4 Rear and Side Setbacks</b>			
A1	Buildings must be set back 5m from the rear boundary.	The units are setback 6.6m from the south boundary.	Complies
A2	Buildings must be set back from side boundaries 3 metres.	No development is proposed within 3m of any boundary.	Complies

### **Car Parking and Sustainable Transport Code**

Scheme Standard	Comment	Assessment
<b>6.6.1 Car Parking Numbers</b>		

A1	<p>The number of car parking spaces must not be less than the requirements of:</p> <ul style="list-style-type: none"> <li>c) Table E6.1; or</li> <li>d) a parking precinct plan.</li> </ul>	<p>The plans submitted with the application show 28 identified parking spaces.</p> <p>The site has 22 existing parking spaces. With an additional 24 beds the site requires an additional six spaces. As such, a total of 28 spaces are required on the site. The development provides sufficient parking.</p> <p>It is further noted that due to the size of the property, there is ample space available for overflow parking in the event that the number of vehicles exceeds the number of spaces identified on the plans.</p>	Complies
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>			
A1	<p>All car parking, access strips manoeuvring and circulation spaces must be:</p> <ul style="list-style-type: none"> <li>d) formed to an adequate level and drained; and</li> <li>e) except for a single</li> </ul>	<p>Although considered to be acceptably formed and drained, new parking areas and</p>	Relies on Performance Criteria

	<p>dwelling, provided with an impervious all weather seal; and</p> <p>f) except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.</p>	<p>circulation spaces are proposed to be gravel and unsealed.</p> <p>All existing car parking, access strips manoeuvring and circulation spaces are sealed and are appropriately drained to an onsite absorption system.</p> <p>The plans do not include line marking.</p>	
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**E6.7.2 Design and Layout of Car Parking**

A1	<p>A1.1 Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone) must be located behind the building line; and</p> <p>A1.2 Within the General Residential Zone, provision for turning must not be located within the front setback for residential buildings or multiple dwellings.</p>	<p>All proposed parking spaces are located behind the building line established by the proposed site office.</p>	<p>Complies</p>
A2	<p>A2.1 Car parking and</p>	<p>The proposed parking spaces</p>	<p>Relies on Performance</p>

	<p>manoeuvring space must:</p> <ul style="list-style-type: none"> <li>e) have a gradient of 10% or less; and</li> <li>f) for more than 4 cars, enter and exit the site in a forward direction; and</li> <li>g) have access width not less than and not 10% greater than Table E6.2; and</li> <li>h) have a width of access and manoeuvring space to parking spaces not less than Table E6.3 where: <ul style="list-style-type: none"> <li>(iv) there are three or more spaces; and</li> <li>(v) where parking is more than 30m from the road; or</li> <li>(vi) the sole vehicle access is to a category 1, 2, 3 or 4 road; and</li> </ul> </li> </ul> <p>A2.2</p> <p>The layout of car spaces and access ways must be designed in accordance with <i>Australian Standard AS 2890.1</i>.</p>	<p>between the accommodation pods are flat (less than 10%) and provide an adjacent access width greater than 5.2m (compliant with Table E6.3). This allows vehicles to safely enter and exit each of the proposed spaces and for all vehicles on the site to manoeuvre and exit the site in a forward direction.</p> <p>The width of the access to the site is less than that prescribed in Table E6.2 for the number of parking spaces on the site.</p> <p>The development complies with AS2890.1</p>	<p>Criteria</p>
<b>E6.8.1 Pedestrian Walkways</b>			
A1	<p>Pedestrian access must be provided for in accordance with Table E6.5.</p>	<p>Separate pedestrian walkways are not provided for.</p>	<p>Relies on Performance Criteria</p>

### **Performance Criteria**

#### **Low Density Residential Zone**



### 12.3.1 Amenity

#### **Objective**

*To ensure that non-residential uses do not cause an unreasonable loss of amenity to adjoining and nearby residential uses.*

#### **Performance Criteria P1**

*The use must not cause or be likely to cause an environmental nuisance through emissions including noise and traffic movement, smoke, odour, dust and illumination.*

#### **Comment:**

The proposed use is for an intensification of use to provide for an additional 24 beds. However, the landowner has clarified that the development and reorganisation of sleeping arrangements will mean a net increase of 15 beds. One of the units currently occupied by eight (8) beds will be converted to the manager's residence with a single occupant. Five (5) of the pods will provide four (4) beds each, while the fifth pod will accommodate two (2) overseers. As such the capacity of the site will be 103 people. It is recommended that the capacity of the site be reinforced through a condition on the permit.

The increased impacts resulting from this intensification are considered to be insignificant in regard to environmental emissions. As previously discussed, the site is large and provides significant separation between the building cluster and adjoining dwellings by a combination of distance and screening. The building includes indoor recreational areas.

The application does not suggest that there will be an increase in smoke, odour or dust arising from an increased use.

Noise is proposed to be managed by the onsite manager. Having a manager employed onsite creates a system of responsibility and accountability and significantly reduces the risk of noise issues escalating to nuisance levels. The separation between the building cluster and neighbouring dwellings will assist to mitigate general noise associated with recreational activities and movement about the site. It is also noted that the existing complex includes large communal areas within the building where the building fabric will assist to buffer recreational noise. Council's Environmental Health Officers have provided comment on the proposal and consider the impacts to be acceptable. While noise from the site will not be eliminated, it is anticipated that a site manager will discourage noisy behaviour and reduce noise below nuisance levels.

The application has not included a lighting plan and has not indicated any additional lighting will be provided onsite, however, the lack of amenities in the proposed accommodation pods, suggests that there will be an increase in movement during the night in order to access ablution facilities in the other buildings. It is recommended that a condition be placed on the permit to restrict flood lighting and limit additional external lighting to baffled downlights.

The traffic movements associated with the proposed intensification are not in themselves likely to have a significant impact. The proposal includes five additional parking spaces and proposes the daily use of buses. Due to the separation between the parking, manoeuvring areas and driveway from neighbouring dwellings (generally 100m; 50m from 240 Quamby Brook Road at the closest point) it is considered that there is sufficient separation to mitigate the impacts of vehicles generally accessing the site. All of the neighbouring dwellings are within 50m of Quamby Brook Road or Davis Road and the impacts will be negligible compared to that of passing traffic.

**Recommended Condition:**

The maximum number of beds provided on site is to be no greater than 103, including the site manager.

All additional external lighting is to be directed toward the ground and is to be baffled to minimise light spill. External lighting is not to be directed towards adjoining properties and flood lighting is not permitted.

***Performance Criteria P2***

*Commercial vehicle movements for discretionary uses must not unreasonably impact on the amenity of occupants of adjoining and nearby dwellings.*

**Comment:**

The application proposes the use of buses for the bulk transport of workers staying at the accommodation premises. Due to the buses being integral to the commercial agreement to accommodate migrant workers they are considered to be commercial vehicles.

The use of commercial vehicles between the hours of 6:00am and 7:00am is considered to be acceptable in this instance.

While buses will likely be audible from neighbouring dwellings, the distance

separation and insulation provided by the walls of the dwellings is considered to be sufficient to mitigate impacts below nuisance levels. Sealed areas suitable for buses do not extend within 100m of most dwellings and 50m for 240 Quamby Brook Road. Most of the dwellings surrounding the title are located closer to public roads, Quamby Brook Road and Davis Road, than they are to the driveway and parking areas of 228 Quamby Brook. The impact of the buses on neighbouring dwellings is likely to be negligible compared to the impacts associated with the regular movement of traffic along Quamby Brook Road or Davis Road.

The application is consistent with the objective and does not cause an unreasonable loss of amenity for adjoining residences.

### **Car Parking and Sustainable Transport Code**

#### **E6.7.1 Construction of Car Parking Spaces and Access Strips**

##### **Objective**

*To ensure that car parking spaces and access strips are constructed to an appropriate standard.*

##### **Performance Criteria P1**

*All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.*

##### **Comment:**

The proposal provides for the required number of parking spaces. Previous permits issued require the existing parking spaces to be line marked and readily identifiable. The proposed parking spaces are readily delineated by their placement between the accommodation pods.

An all-weather seal is not considered necessary for the proposed parking spaces and access to the booking office. The parking spaces proposed are under cover and the sealed driveway ensures that gravel will not be tracked onto the public road. Access to the booking office by vehicles will only be required intermittently and a full seal is unnecessary. A properly formed gravel access generally does not prohibit access during poor weather.

The application is consistent with the objective and parking and access strips are constructed to an appropriate standard.

#### **E6.7.2 Design and Layout of Car Parking**

##### **Objective**

*To ensure that car parking and manoeuvring space are designed and laid out to an appropriate standard.*

**Performance Criteria P2**

*Car parking and manoeuvring space must:*

- a) be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and*
- b) provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.*

**Comment:**

Parking on the proposed development is convenient safe and efficient. Driveways and manoeuvring spaces are already in place and constructed to a suitable standard. It is recommended that a minimum separation distance of 5.2m be maintained between the proposed accommodation building and the existing building to the north to allow for the turning of vehicles in accordance with Table E6.3.

**Recommended Condition**

A minimum separation distance of 5.2m is to be maintained between the proposed building and the existing building to the north to allow vehicles to enter and exit the proposed parking spaces.

**E6.8.1 Pedestrian Walkways**

**Objective**

*To ensure pedestrian safety is considered in development*

**Performance Criteria P1**

*Safe pedestrian access must be provided within car park and between the entrances to buildings and the road.*

**Comment:**

The proposal for visitor accommodation and layout of the facility is that it would be a slow speed environment. Car parking is in close proximity to the proposed buildings and a pedestrian walkway is not considered warranted in this instance. It is, however, appropriate for "shared carriageway" signs and a "10km/h" speed limit sign to be erected within the site.

**Recommended Condition**

The access to the property is to be sign posted with a '10km\h" speed limit sign and a sign indicating shared pavement for pedestrians and vehicles to the satisfaction of Council's Town Planner.

### **Representations**

Two representations were received from the owners and occupiers of three (3) adjoining properties (see attached documents). Issues raised in the representations are as follows:

- Noise impacts from large numbers of people congregating outside the existing facility and exacerbated by the proposed increase in patrons.
- Location of proposed buildings will be visible from adjoining properties, limit the ability to provide buffers and reduce privacy.
- Noise impacts from buses operating prior to 7:00am and after 7pm. Beeping of horns to wake patrons. Location of bus parking allows lights to enter adjoining dwellings.
- Capacity of Davis Road to accommodate pedestrians and lack of street lights.
- Odour from the onsite waste water treatment system. System has capacity for 110 people.
- Location of pedestrian walkways and driveways.
- Policing of the number of residents at the facility, potential for increased capacity and enclosing of the car ports.
- Behavioural issues. Buses not being operated on public roads in a safe manner.
- Installation of a vegetation buffer promised by the applicant.
- Decrease property values.

### **Comment:**

- Noise Impacts  
Noise impacts have been discussed in the assessment above. While the development will result in a marginal increase in noise, it is considered that there is sufficient separation between the accommodation building and adjoining dwellings to mitigate noise such that it will not cause an environmental nuisance. The presence of an onsite manager will assist

to limit noise at unreasonable hours, such as early morning and late evening.

- Location of Buildings

The location of the buildings complies with the Acceptable Solutions for setbacks. It is not considered necessary to provide any additional buffer to the south of the building. The proposed buildings will be visible from adjoining properties, however, as discussed there is existing vegetation between the proposed building and all of the adjoining dwellings are more than 100m away. The existing screening and distance is sufficient to mitigate the visual impacts of the building. The accommodation building does not include any windows directed to the south. There is one window directed to the west, however the building is more than 70m from property boundary to the west (61 Davis Road) and approximately 125m from the dwelling to the west. The finished floor level of the building is less than 1m above the natural ground level and does not provide artificially elevated views. The distance separation, combined with existing standing vegetation, is sufficient to screen the development and provide reasonable privacy for both the occupants of the dwelling and the accommodation building.

- Impacts from Bus Movements

Vehicle movements have been discussed in the assessment above and are considered to be reasonable. Conditions are recommended to assist in mitigating impacts from commercial vehicles.

- Pedestrians on Davis Road

There is no direct access to Davies Road from the site. Council cannot control or predict the actions of individuals while using public roads.

- Waste Water Treatment System

The existing waste water treatment system is an aerated system and has a mandatory maintenance program, including a quarterly service. Council records indicate that the system was serviced in March 2017 and no issues were identified. The waste water treatment system has a capacity for 110 people. This aspect of the site is not a planning matter. Onsite waste water treatment systems are managed by the *Building Act 2016*. The capacity of the system will be assessed through the building approvals process and if necessary, upgrades will be mandated through this process. Ongoing odour issues associated with waste water treatment systems may be investigated by Council's Environmental Health Officers.

- Policing the Site  
As with all properties, landowners are bound by the *Land Use Planning and Approvals Act 1993*, the scheme and the conditions and specifications of any permit issued under it. Council has powers under the Act to investigate and enforce the scheme and planning permits.
- Behavioural Issues  
Council cannot predict or control the behaviour of individual people on the site or on public roads. The presence of an onsite manager will assist to identify and act on inappropriate behaviour prior to it causing an unreasonable impact on neighbours.
- Vegetation Buffer  
The applicant has had discussions with adjoining land owners prior to the original application for visitor accommodation being lodged. Council was not privy to these discussions and cannot enforce anything that was not included in the original application. However, it is noted that a vegetation buffer is now included on the plans. The buffer forms part of this assessment and forms part of the terms of any permit issued. As such, approval of this application will enforce the vegetation buffer originally agreed to by the applicant. It is noted that this buffer has now been planted.
- Property Values  
The impact of the development on property values is not a matter that can be considered in determining to issue a planning permit in accordance with the Scheme.

Since advertising this development it has become apparent that for much of the 2016/2017 season, the site has been operating without a site manager. This appears to have resulted in offsite impacts and undesirable behaviours that could readily have been managed. Council was not made aware of any complaints on any aspect of the site until the advertising of this application. Due to the end of the harvest season, use of the accommodation has dramatically reduced, making it difficult to verify complaints and undertake enforcement action.

A site manager is now present on the site and the applicant has committed to maintaining an onsite presence. This presence is reinforced through the conditioning of the permit.

## **Conclusion**

In conclusion, it is considered that the application for an extension to Visitor Accommodation at 228 Quamby Brook Road, Quamby Brook is an acceptable development for the Low Density Residential Zone and the subject site.

**AUTHOR:** Justin Simons  
TOWN PLANNER

## **12) Recommendation**

***That the application for Use and Development for Extension to Visitor Accommodation on land located at 228 Quamby Brook Road, Quamby Brook CT 16584/1 by Design to Live, requiring the following discretions:***

- 12.2 Discretionary Use
- 12.3.1 Amenity
- E6.7.1 Construction of Car Parking Spaces and Access Strips
- E6.7.2 Design and Layout of Car Parking

***be APPROVED, generally in accordance with the endorsed plans:***

- a) Design to Live – Project No: QB288A, Sheets 1-14;
- b) Design to Live – Development Description, dated 13 April 2017.

***and subject to the following conditions:***

- 1. An onsite manager is to be present at the site whilst in operation.**
- 2. The maximum number of beds provided on site is not to exceed 103, including the site manager.**
- 3. All additional external lighting is to be directed toward the ground and is to be baffled to minimise light spill. External lighting is not to be directed towards adjoining properties and flood lighting is not permitted.**
- 4. A minimum separation distance of 5.2m is to be maintained between the proposed accommodation building and the existing building to the north to allow vehicles to enter and exit the proposed parking spaces.**



- 5. The access to the property is to be sign posted with a '10km\h" speed limit sign and a sign indicating shared pavement for pedestrians and vehicles.**

Note:

- 1. This permit does not imply that any other approval required under any other by-law or legislation has been granted. At least the following additional approvals may be required before construction commences:**
  - a) Building approvals**
  - b) Plumbing approvals****All enquiries should be directed to Council's Permit Authority on 6393 5322.**
- 2. Registration as a Food Business under the *Food Act 2003* may be required if food is provided as part of the proposed change of use. Please contact Council's Environmental Health Officer on (03) 6393 5320.**
- 3. Registration as a Private Water Supplier under the *Public Health Act 1997* may be required if drinking water is supplied to a premises used for commercial purposes including accommodation. Please contact Council's Environmental Health Officer on (03) 6393 5320.**
4. This permit takes effect after:
  - a) The 14 day appeal period expires; or
  - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
  - c) Any other required approvals under this or any other Act are granted.
5. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au) .
6. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.

7. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received at least 6 weeks prior to the expiration date.
8. In accordance with the legislation, all permits issued by the planning authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
9. If any Aboriginal relics are uncovered during works;
  - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: [aboriginal@heritage.tas.gov.au](mailto:aboriginal@heritage.tas.gov.au)); and
  - c) The relevant approval processes will apply with State and Federal government agencies.

## **DECISION:**

# PROPOSED SHORT TERM ACCOMMODATION 228 QUAMBY BROOK, QUAMBY BROOK



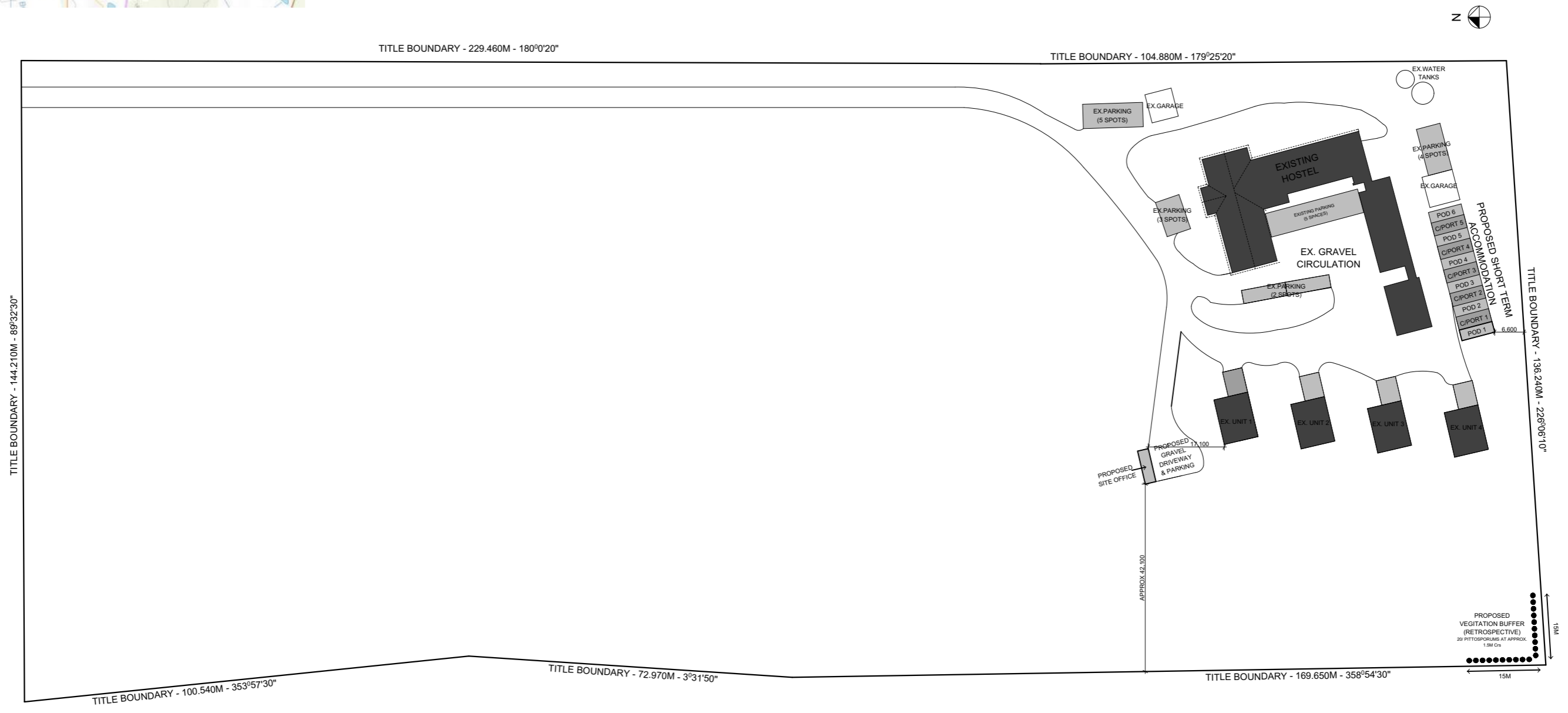
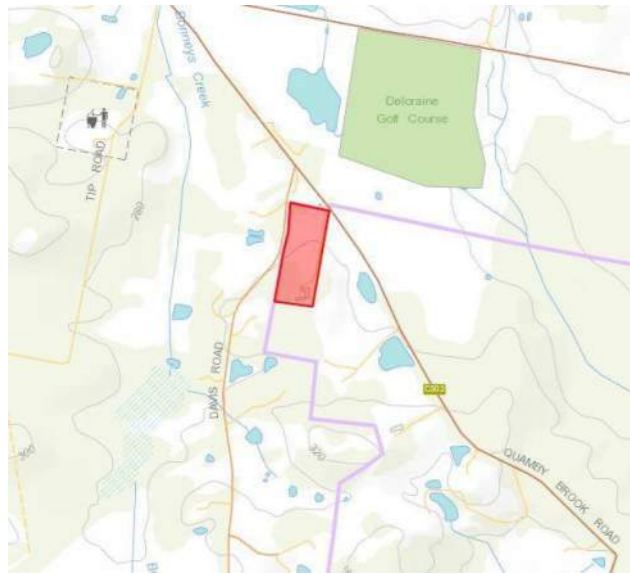
DRAWING #	DRAWING
QB288A-01	COVER PAGE
QB288A-02	SITE PLAN
QB288A-03	SITE PLAN
QB288A-04	GROUND PLAN
QB288A-05	SET OUT PLAN
QB288A-06	EXTERNAL SERVICES
QB288A-07	ELECTRICAL/CEILING PLAN
QB288A-08	ROOF PLAN
QB288A-09	ELEVATIONS NORTH/SOUTH
QB288A-10	ELEVATIONS EAST/WEST
QB288A-11	ELEVATION & SECTION 11 A-A
QB288A-12	SECTION 12A-A & DETAILS
QB288A-13	FLOOR PLAN & ELEVATIONS - SITE OFFICE
QB288A-14	CONSTRUCTION NOTES 1
<b>ATTACHMENTS</b>	

<b>COUNCIL</b>	MEANDER VALLEY	<b>ZONE</b>	LOW DENSITY RES
<b>LAND TITLE REFERENCE</b>	16584/1	<b>PROPERTY ID</b>	6278409
<b>POD X 7 (M<sup>2</sup>)</b>	131.74	<b>CARPORT X 5 (M<sup>2</sup>)</b>	114.30
<b>DESIGN WIND SPEED</b>	40M/S	<b>SOIL CLASSIFICATION</b>	TBC
<b>LOT SIZE (M<sup>2</sup>)</b>	--	<b>ENERGY STAR RATING</b>	TBC
<b>CLIMATE ZONE</b>	7	<b>BAL RATING</b>	TBC
<b>ALPINE AREA</b>	N/A	<b>CORROSION ENV'</b>	N/A

**SITE HAZARDS:** REFER TO BUSHFIRE HAZARD MANAGEMENT PLAN

THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL REQUIREMENTS OF LOCAL AUTHORITIES. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE. NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERS CERTIFICATES. CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

MITCHELL LLOYD ACC # CC6320 ABN. 81 743 913 542 MOB. 0409 252 183 E. mitch@designtolive.com.au	<b>Client/s:</b> G.BECK	<b>DRAWING COVER PAGE</b>	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.		<b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	<b>REV.</b> R1	<b>DATE</b> 07/02/2017	<b>DESCRIPTION</b> CONSTRUCTION	<b>DESIGNER</b> M.L.	<b>M.L.</b>	<b>JOB NUMBER</b> QB288A	<b>QB288A</b>
	<b>Site Address:</b> 228 QUAMBY BROOK ROAD, QUAMBY BROOK		<b>SIGNATURE:</b>	<b>DATE:</b>		<b>DRAWN</b> W.M.	<b>DRAWING</b> 01/14					
	<b>SIGNATURE:</b>		<b>DATE:</b>	<b>CHECKED</b> M.L.		<b>SCALE (if any)</b> G&DS 2	<b>NTS</b>					




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**Client/s:**  
G.BECK

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228 QUAMBY BROOK ROAD,  
QUAMBY BROOK

**DRAWING  
SITE  
PLAN**

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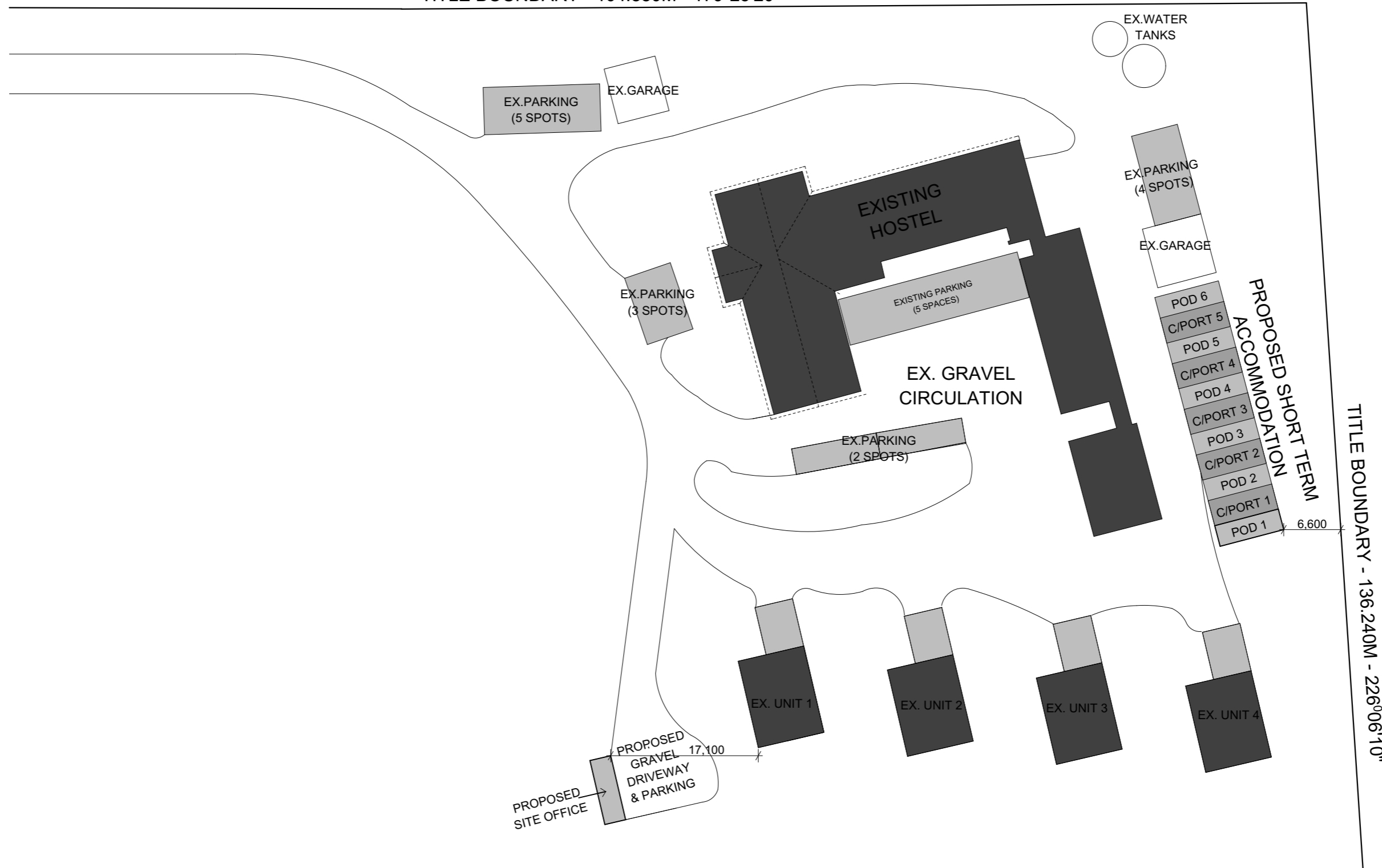
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**SIGNATURE:**                      **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	QB288A
R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>02/14</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (1:1000)</b>	<b>1:1000</b>



TITLE BOUNDARY - 104.880M - 179°25'20"



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**DRAWING**  
**SITE**  
**PLAN**

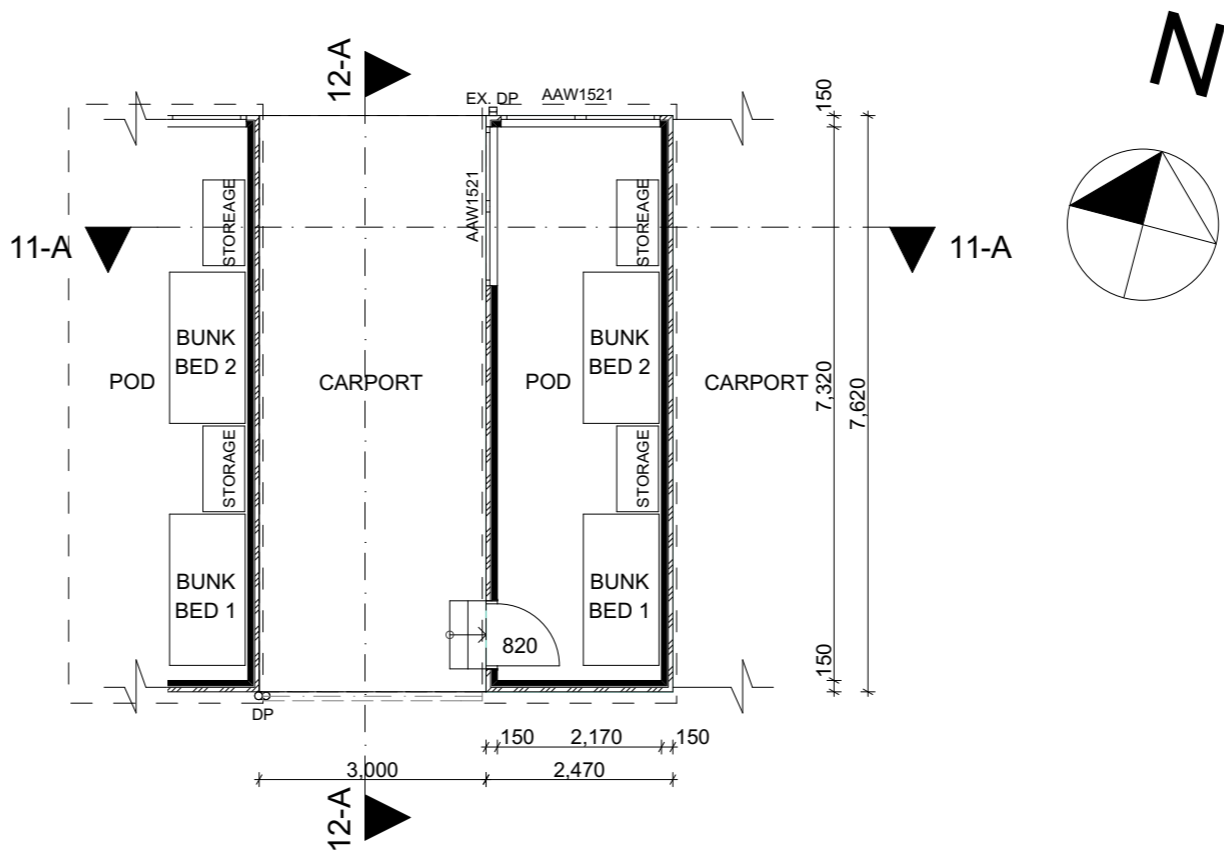
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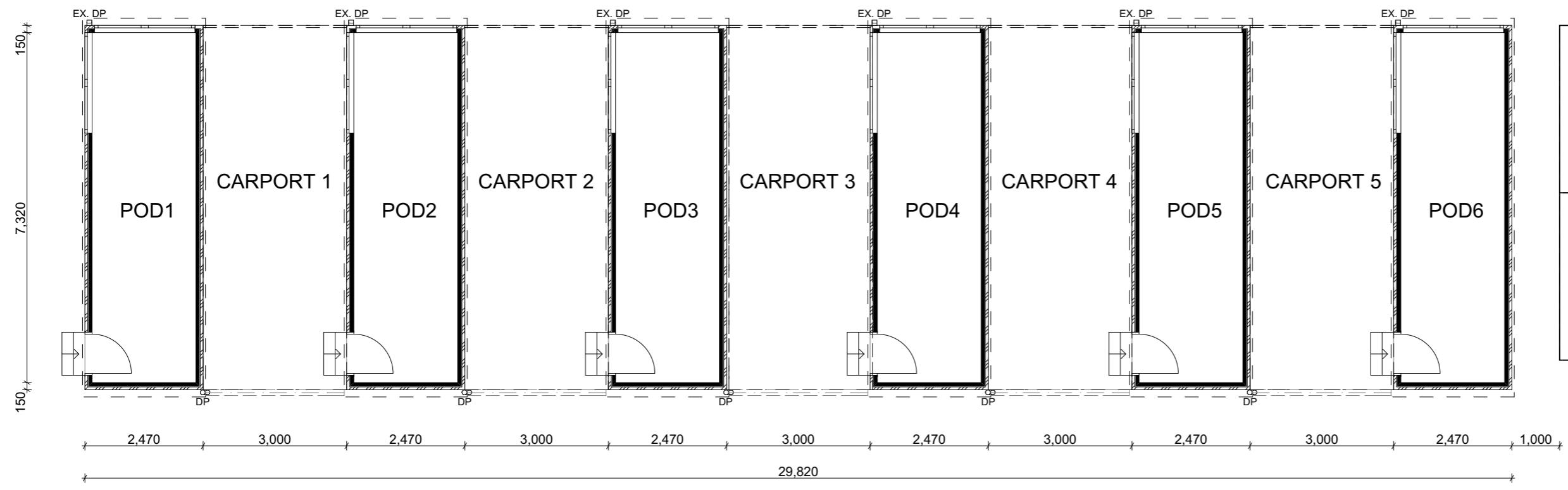
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R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>03/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS 2</b>	1:500



GROUND PLAN - STANDARD POD



GROUND PLAN - POD ARRANGEMENT

EXISTING 7X7M SHED TO  
BE UPGRADED TO SUIT  
BAL12.5

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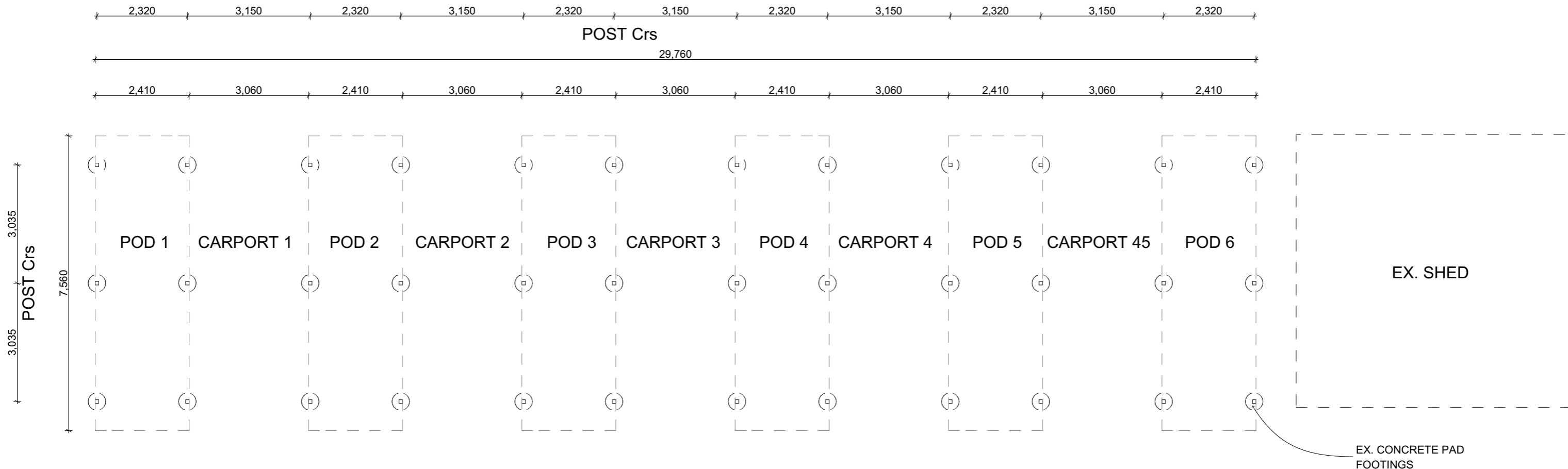
**DRAWING  
GROUND  
PLAN**

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**SIGNATURE:**                      **DATE:**

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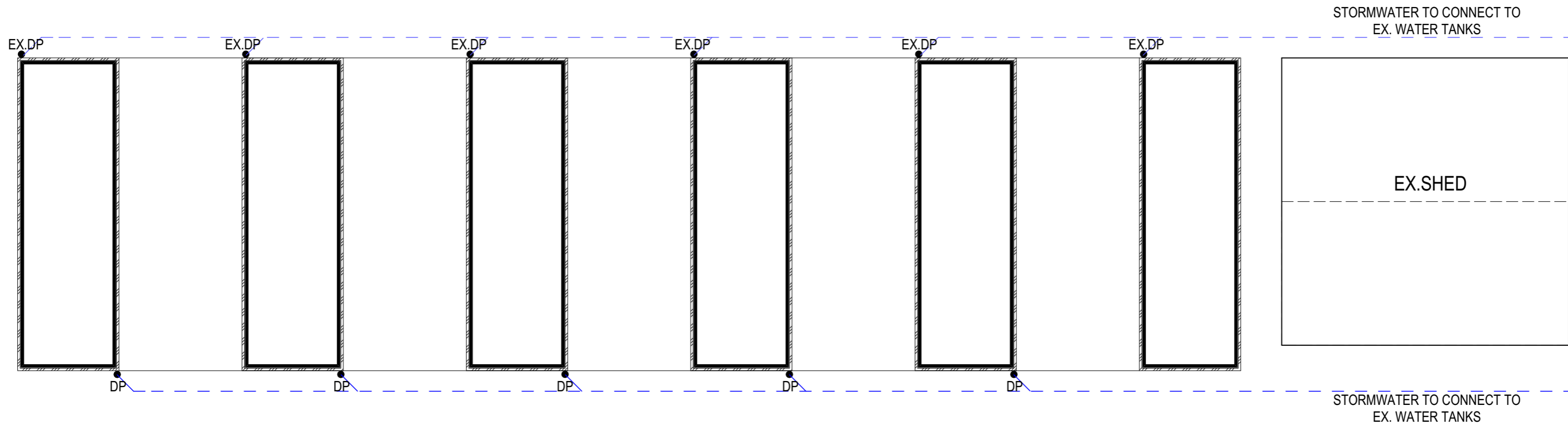
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	QB288A
R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>04/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS</b>	1:100



REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	QB288A
R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>05/14</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (A4)</b>	1:100

**LEGEND**

- B - BASIN
- Ba - BATH
- S - SINK
- T - LAUNDRY TUB
- SH - SHOWER
- WC - WATER CLOSET
- FW - FLOOR WASTE
- DP - DOWN PIPE
- EV - VENT
- IO - INSPECTION OPENING
- RE - RODDING EYE
- HW - HOT WATER CYLINDER
- X - EXTERNAL TAP
- DP - DOWNPIPE



ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS - 3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

**NOTE:**

EXISTING SEPTIC HAS BEEN DESIGNED TO ACCOMMODATE 110 PEOPLE; CURRENTLY 80 PEOPLE USING SEPTIC. PODS WOULD ONLY ADD 24 PEOPLE; TOTAL 104 PEOPLE.



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**DRAWING**  
**EXTERNAL**  
**SERVICES**

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R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>06/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS 2</b>	1:100

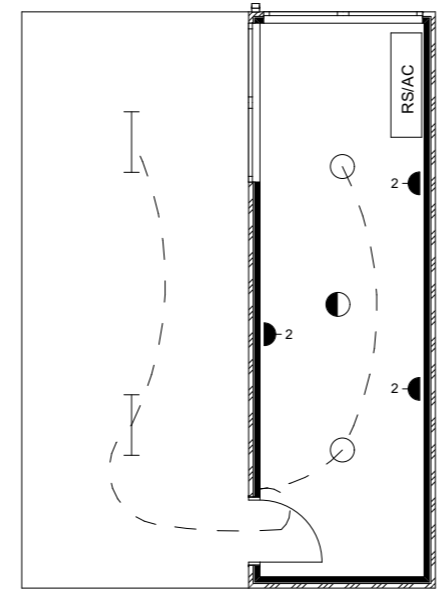


**NCC V.2 3.12.5.5 ARTIFICIAL LIGHTING**

MAX ILLUMINATION POWER DENSITY ROOM ALLOWANCES		
ROOM	AREA (M <sup>2</sup> )	MAX IPD (W)
BEDROOM	15.9	79.5
CARPORT	22.8	91.2

ELECTRICAL LEGEND	
○	CEILING LIGHT (BATTEN HOLD)
◐-2	DOUBLE GPO 300 OFF FLOOR
◑	SMOKE DETECTOR
▬	SUBMAIN
— —	FLUORESCENT LIGHT SINGLE

NOTE: SMOKE DETECTOR TO CONNECT TO EXISTING F.I.P. IN EXISTING HOSTEL AS PER AS1670.1



**DESIGN TO LIVE**  
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QUAMBY BROOK

**DRAWING ELECTRICAL PLAN**

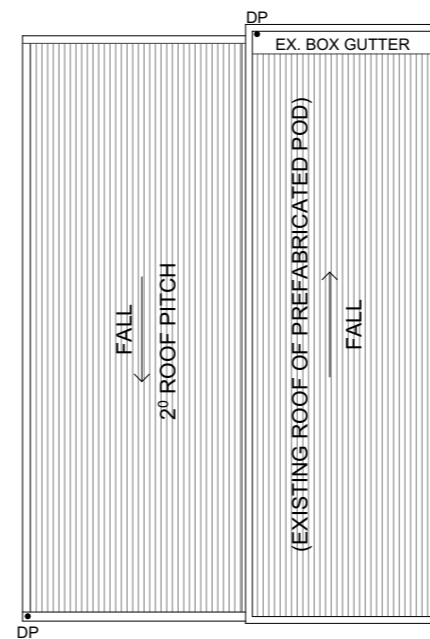
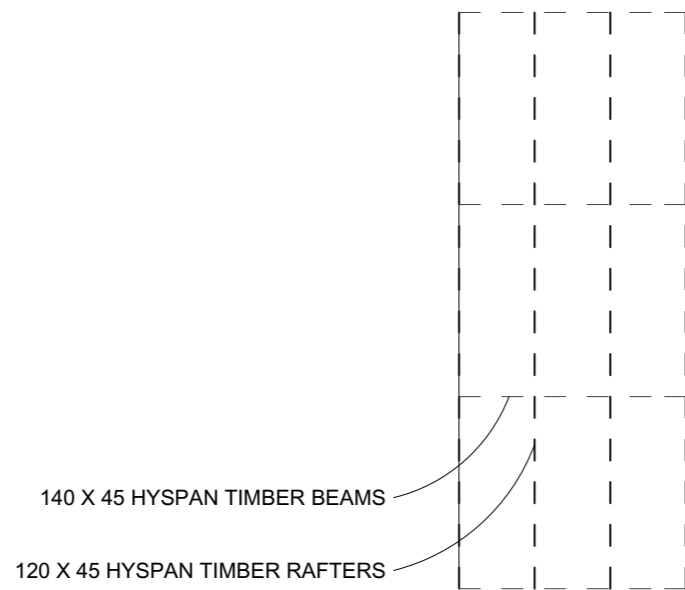
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			<b>CHECKED</b>	M.L.	<b>SCALE (A4)</b>	1:100



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 QUAMBY BROOK

**DRAWING  
 ROOF  
 PLAN**

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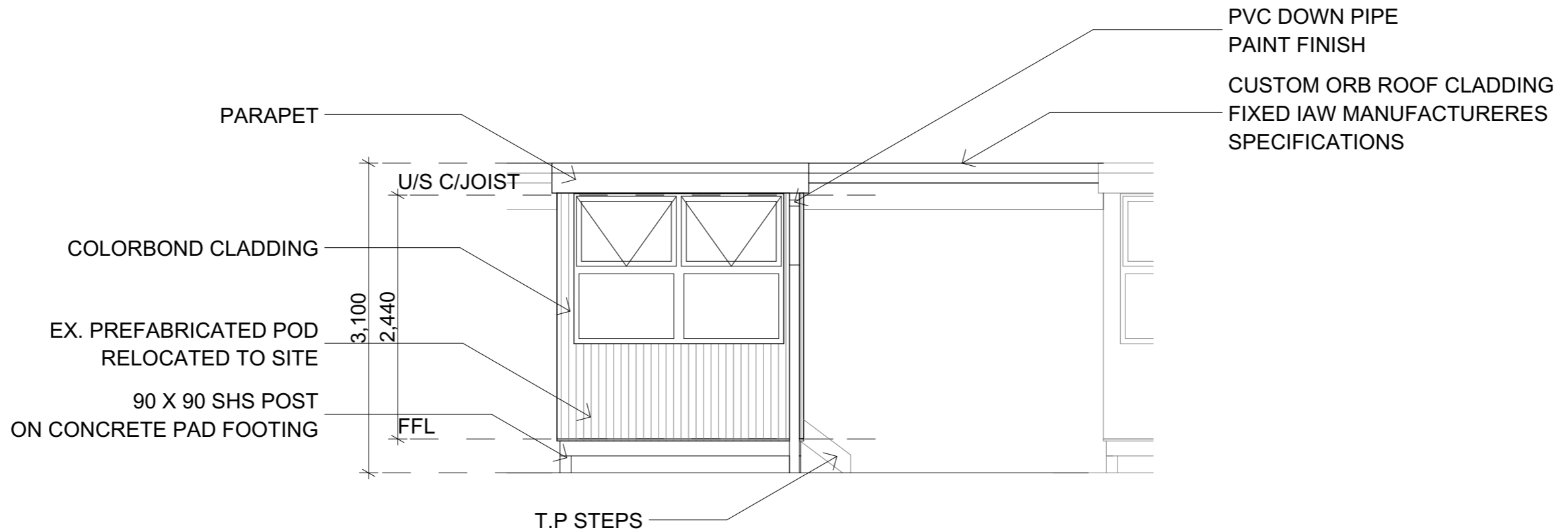
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**SIGNATURE:**

**DATE:**  
**DATE:**

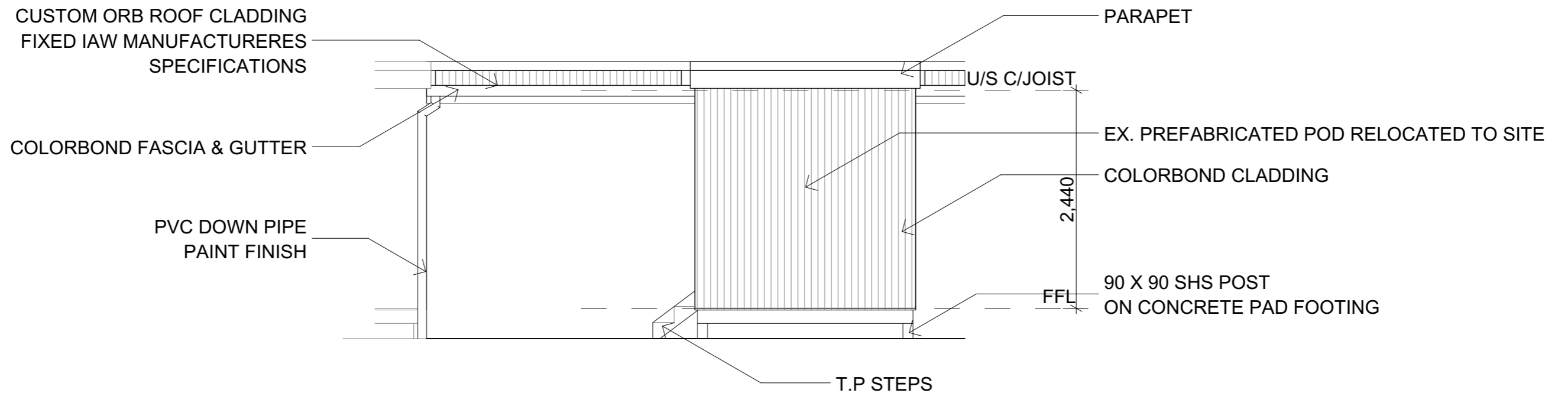
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R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>08/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS 2</b>	1:100



## NORTHERN ELEVATION



## SOUTHERN ELEVATION



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QUAMBY BROOK

**DRAWING  
STANDARD  
POD  
ELEVATIONS**

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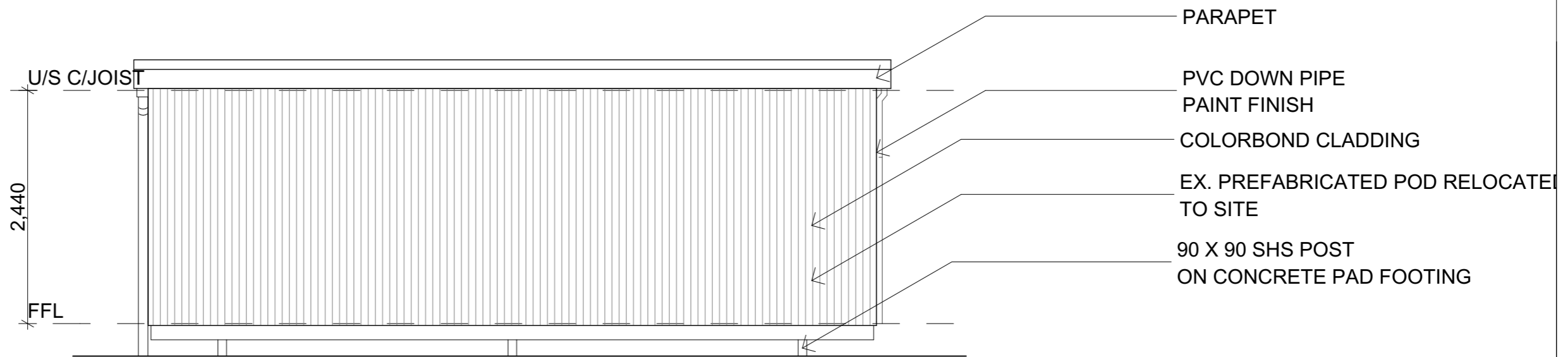
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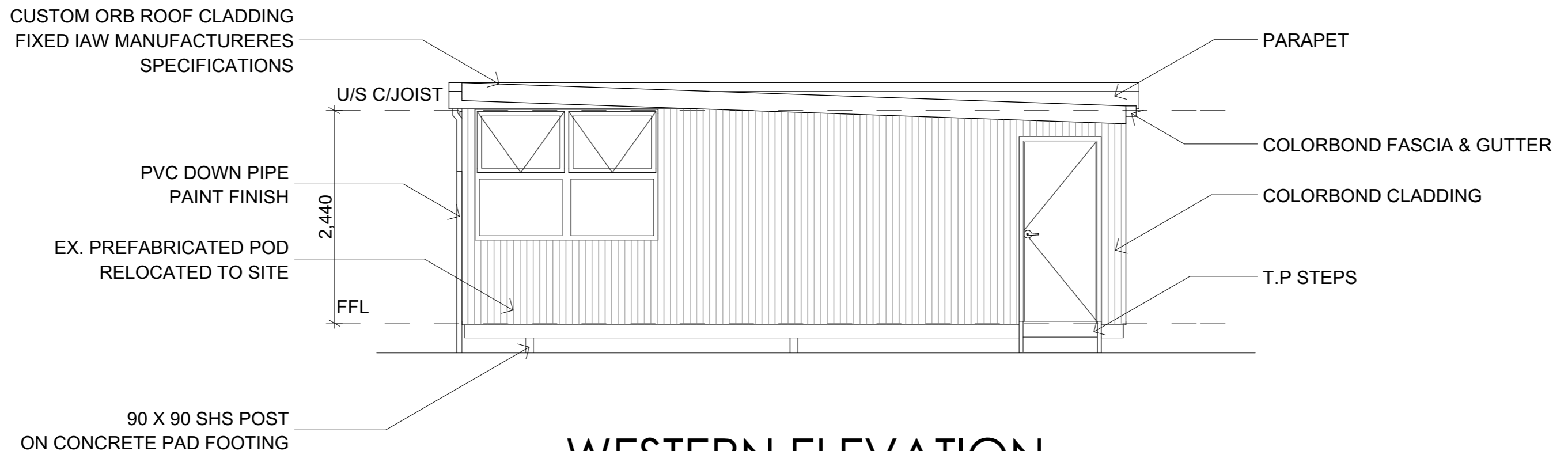
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R1	07/02/2017	CONSTRUCTION	DRAWN	W.M	DRAWING	09/14
			CHECKED	M.L.	<b>G&amp;DS 2</b>	1:50



## EASTERN ELEVATION



## WESTERN ELEVATION



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QUAMBY BROOK

**DRAWING  
STANDARD  
POD  
ELEVATIONS**

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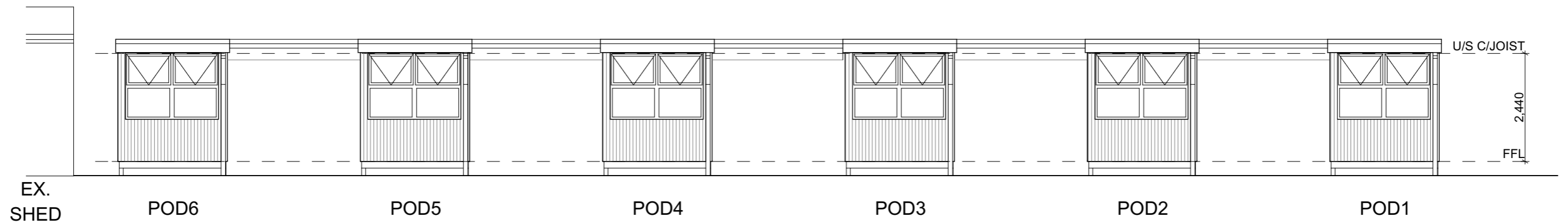
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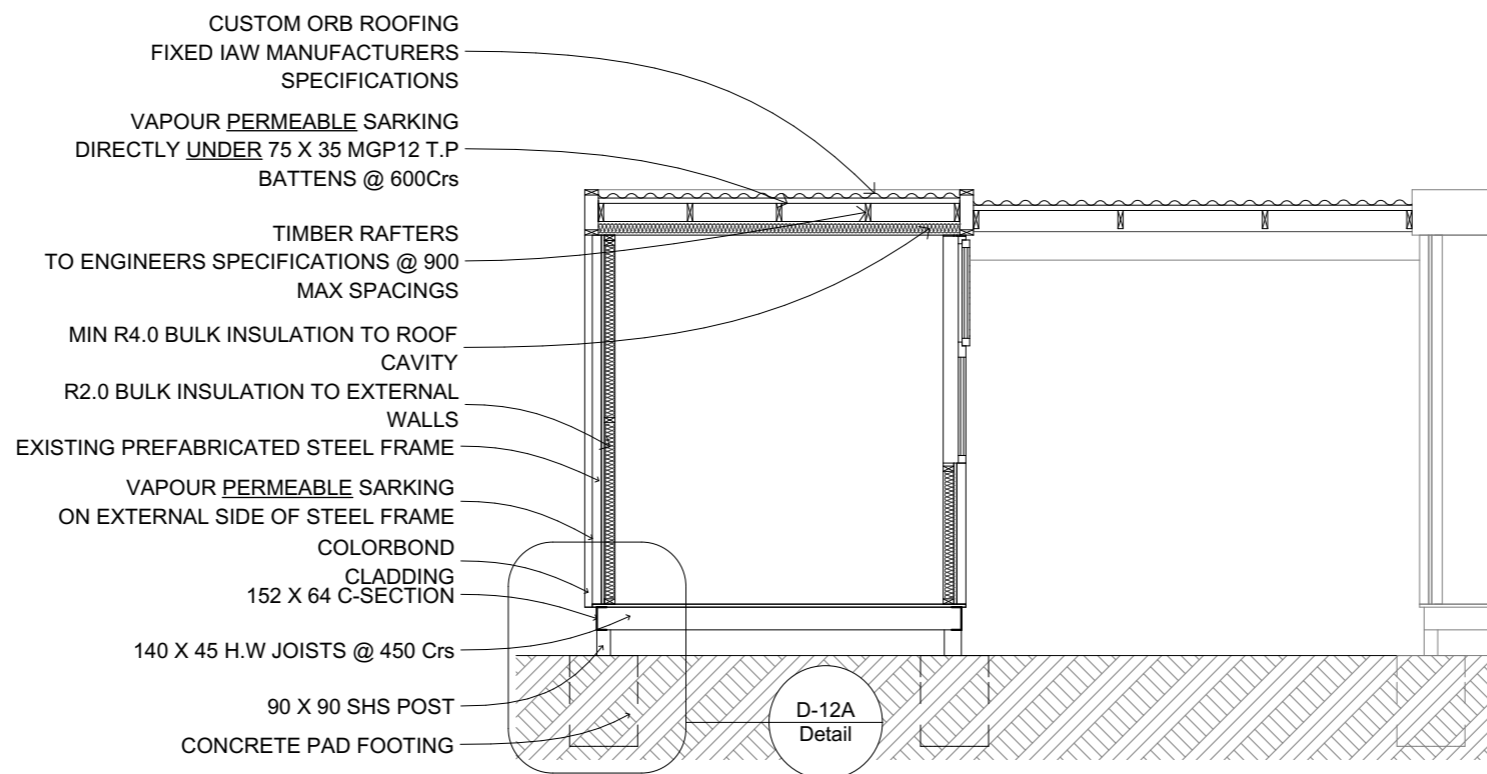
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	QB288A
R1	07/02/2017	CONSTRUCTION				
			<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>10/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS 2</b>	1:50



# NORTHERN ELEVATION

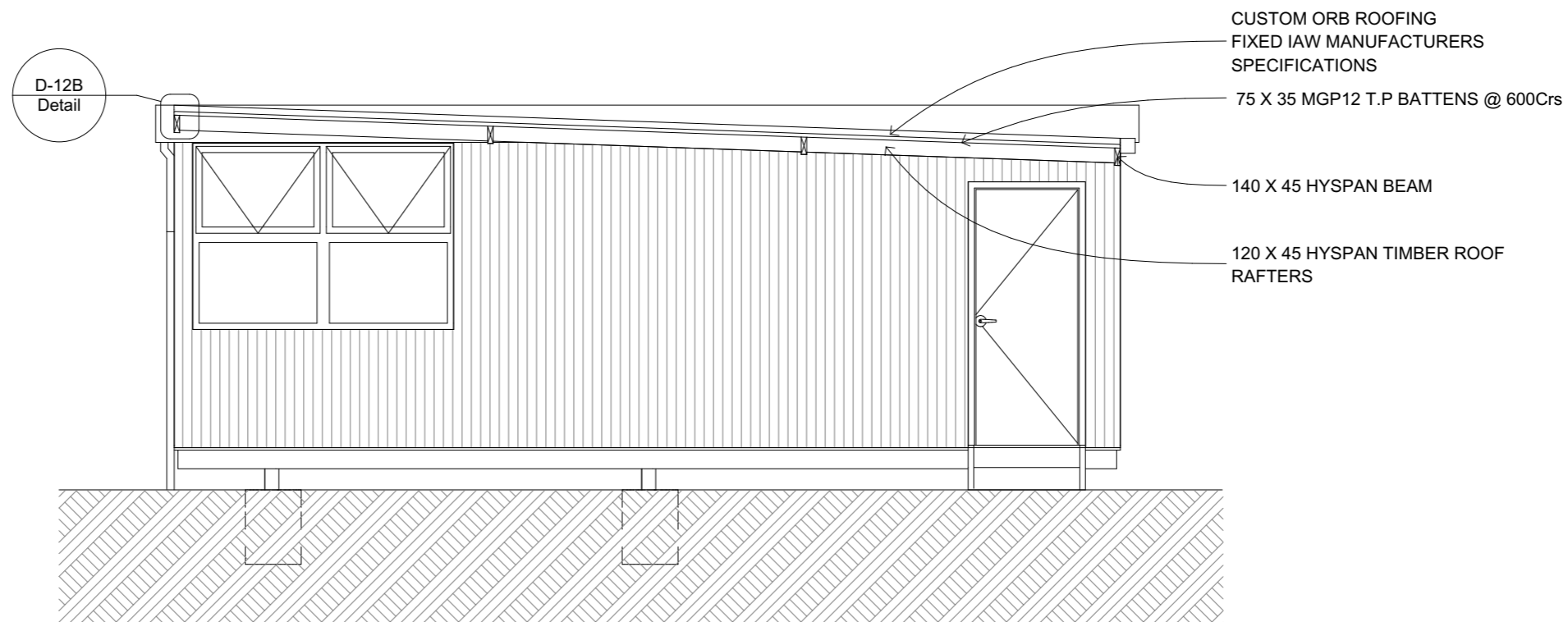


- CUSTOM ORB ROOFING
- FIXED IAW MANUFACTURERS SPECIFICATIONS
- VAPOUR PERMEABLE SARKING DIRECTLY UNDER 75 X 35 MGP12 T.P BATTENS @ 600Crs
- TIMBER RAFTERS TO ENGINEERS SPECIFICATIONS @ 900 MAX SPACINGS
- MIN R4.0 BULK INSULATION TO ROOF CAVITY
- R2.0 BULK INSULATION TO EXTERNAL WALLS
- EXISTING PREFABRICATED STEEL FRAME
- VAPOUR PERMEABLE SARKING ON EXTERNAL SIDE OF STEEL FRAME
- COLORBOND CLADDING 152 X 64 C-SECTION
- 140 X 45 H.W JOISTS @ 450 Crs
- 90 X 90 SHS POST
- CONCRETE PAD FOOTING

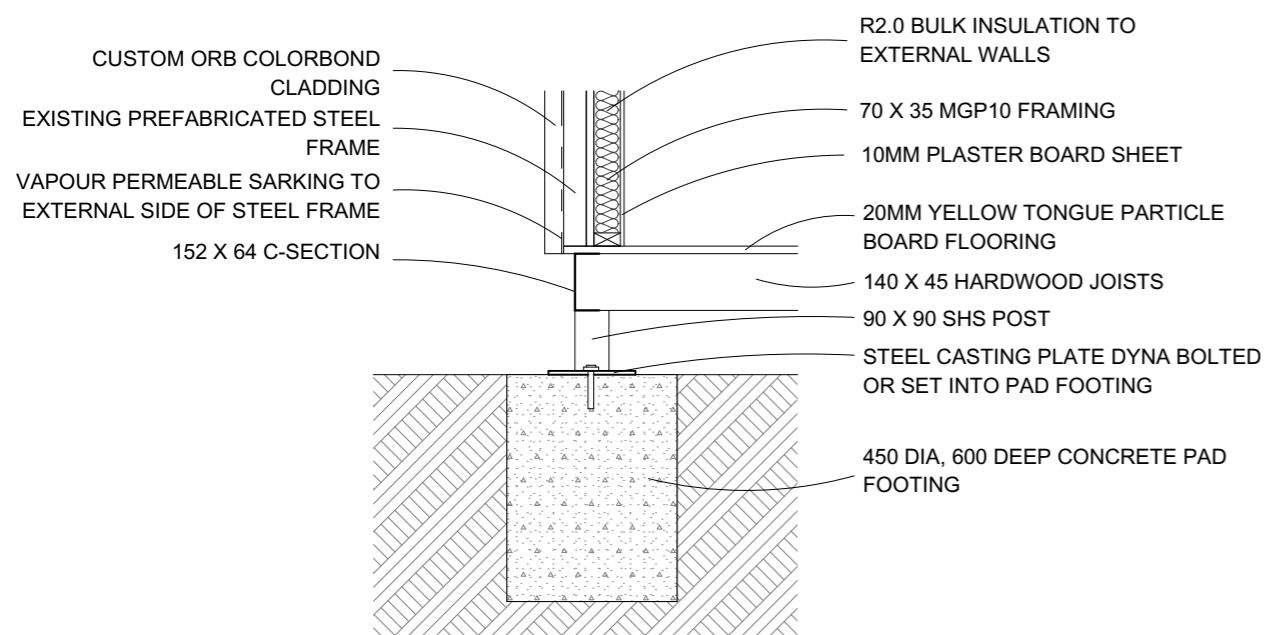
## SECTION 11 A-A SCALE 1:50



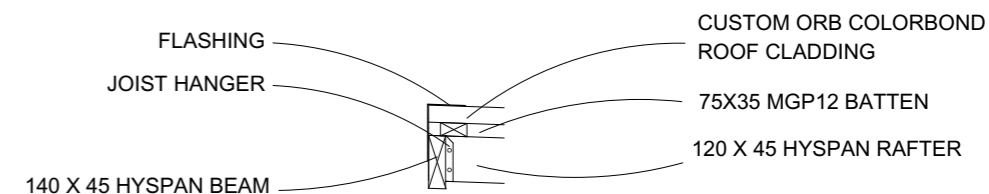
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	QB288A
R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>11/14</b>
			<b>CHECKED</b>	M.L.	<b>G&amp;DS 2</b>	<b>1:100</b>



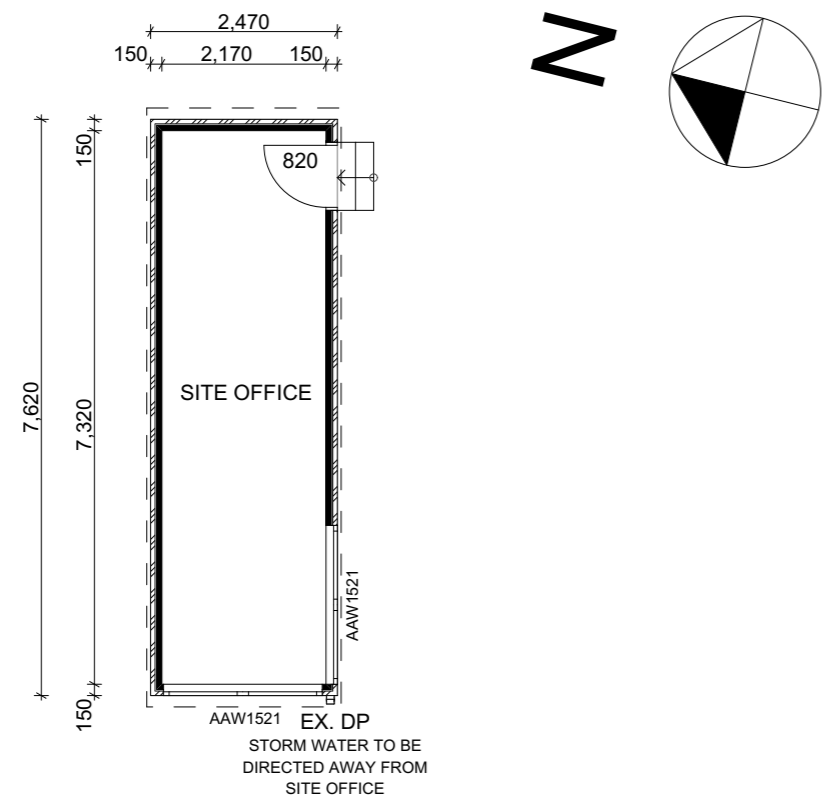
SECTION 12 A-A SCALE 1:50



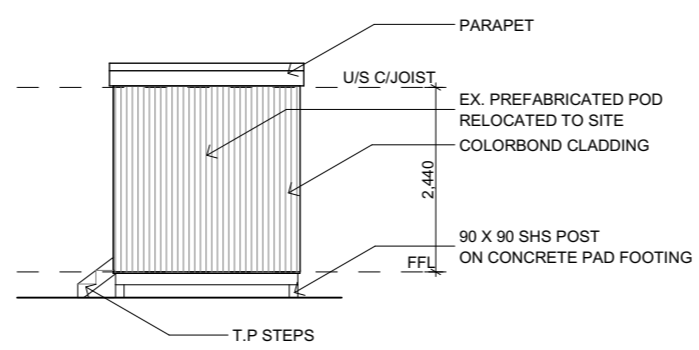
DETAIL 12-A



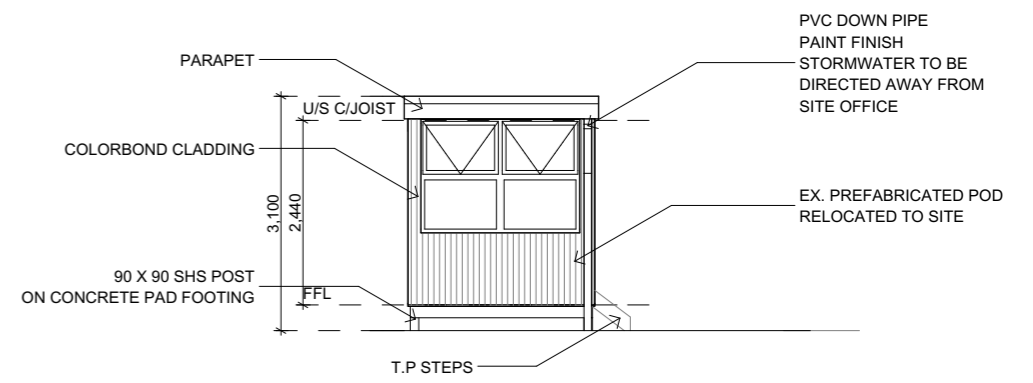
DETAIL 12-B



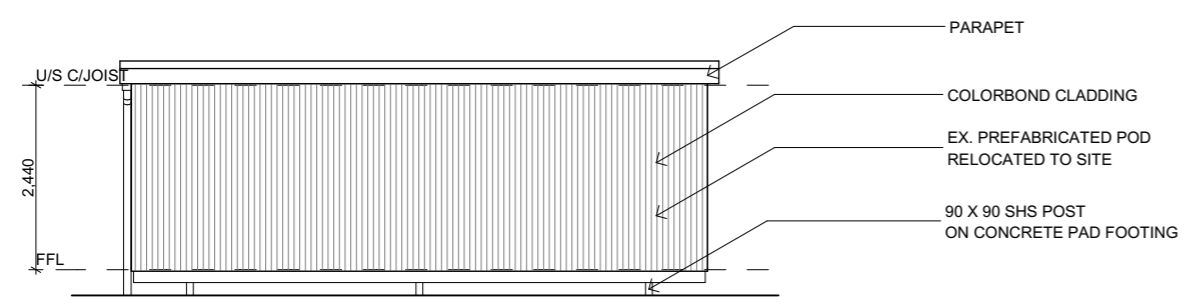
FLOOR PLAN-SITE OFFICE



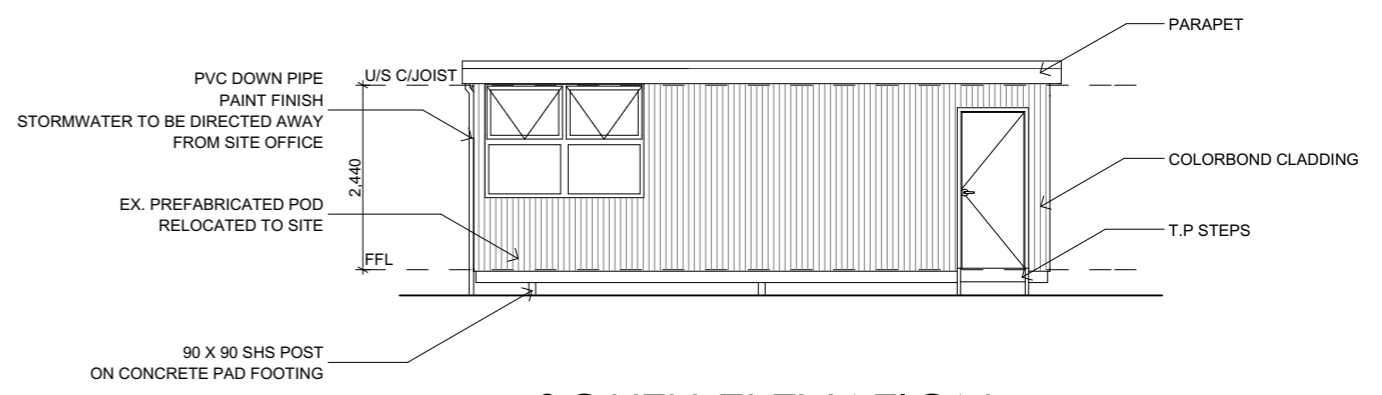
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



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**DRAWING**  
FLOOR PLAN &  
ELEVATIONS  
SITE OFFICE

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R1	07/02/2017	CONSTRUCTION	<b>DRAWN</b>	W.M	<b>DRAWING</b>	<b>13/14</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (A3)</b>	<b>1:100</b>

**CLASSIFICATION OF BUILDING**

CLASS 3.  
TYPE OF CONSTRUCTION - CLASS C.

**DO NOT SCALE DRAWINGS**

ALL DIMENSIONS IN MILLIMETERS, UNLESS OTHERWISE SPECIFIED.  
CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.  
ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.  
ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS.  
ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.  
ALL PLUMBING AND DRAINAGE TO COMPLY WITH AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS.  
CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT.  
IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

**SITE WORKS**

SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS.

FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MINIMUM AND TO A POINT WHERE PONDING WILL NOT OCCUR.

**FITOUT SCHEDULE**

20mm PLY WALL LINING

ALL DOORS, WINDOWS, ARCHITRAVES, SKIRTING, WALL AND FLOOR SURFACES AND ALL FITTINGS AND FIXTURES AS PRESCRIBED IN SPECIFICATION.

**ELECTRICAL**

ALL WIRING, LIGHTING, ELECTRICAL OUTLETS AND FIXTURES MUST BE INSTALLED BY A LICENSED PRACTITIONER.

**WALL FRAMING**

HARDWOOD MINIMUM STRESS GRADE F17, S3 STRENGTH GROUP J2 JOINT GROUP.  
SOFTWOOD MINIMUM STRESS GRADE MGP10, SD6 STRENGTH GROUP, JD4 JOINT GROUP.  
ALL TIMBER FRAMING TO COMPLY WITH AS1684.2-1999,

ALL NUTS AND BOLTS TO BE PROVIDED WITH WASHER. BOLT HOLES TO BE 2MM OVERSIZED IN UNSEASONED TIMBER. ALL EXTERNAL BOLTS, NUTS AND WASHERS TO BE GALVANIZED.

**TIMBER STUDS:**

90X35 MPG 10 STRUC. PINE OR 90X35 F17 HWD AT 450crs.  
TOP AND BOTTOM PLATES AND NOGGINS:  
90X35 MPG STRUC. PINE OR 90X35 F17 HWD.

**FIRE HAZARD PROPERTY REQUIREMENTS. (NCC Vol 1. C1.10)**

**Floor linings and floor coverings (NCC C1.10 -3)**  
All floor linings or floor coverings must have a critical radiant flux of no less than 2.2kW/m2 and a maximum smoke development rate of 750 percent-minutes.

**Wall and ceiling lining materials (NCC C1.10 -4)**

Wall and ceiling linings must comply with group materials 1 and 2 and not have a smoke growth rate of more than 100 or an average specific extinction area less than 250m2/kg. Wall and ceiling materials must be IAW AS5637.1.

**Access and Egress (NCC Vol 1. D)**

DP2, any stairways and ramps must have a slip resistant walking surface, including the stairway treads or near the edge of the nosing and suitable handrails where necessary to assist and provide stability to people using the stairway or ramp.

**D2.13 Goings and Risers (Stair Construction)**

Riser and run dimensions as per floor plan IAW NCC V1 D2.13.  
Risers must not have any opening that would allow a 125mm sphere to pass through between the treads and have treads that have a slip resistant surface and nosing with a slip resistant classification of P3 as per AS4586.

**D1.17 Handrails.**

Hand rails must be located along at least one side of all ramps and flights of stairs unless the width of the flight or ramp is more than 2m and a hand rail must be installed on either side.  
And rails are to be fixed at a height of no less than 865mm measured above the nosings of stair treads and the floor surface of the ramp, landing, or the like.

**D2.21 Operation of a latch.**

- (a) A door in a *required exit*, forming part of a *required exit* or in the path of travel to a *required exit* must be readily openable without a key from the side that faces a person seeking egress, by-
  - (i) a single hand downward action on a single device which is located between 900 mm and 1.1 m from the floor and if serving an area *required* to be *accessible* by **Part D3-**
    - (A) be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and
    - (B) have a clearance between the handle and the back plate or door face at the center grip section of the handle of not less than 35 mm and not more than 45 mm; or
  - (ii) a single hand pushing action on a single device which is located between 900 mm and 1.2 m from the floor.

**D3.6 Signage**

- Braille and tactile signage complying with **Specification D3.6** must-
- (i) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 and identify each-
    - sanitary facility,
    - identify each door *required* by **E4.5** to be provided with an *exit* sign and state "EXIT"
    - Signage in accordance with AS 1428.1 must be provided for *accessible* unisex sanitary facilities to identify if the facility is suitable for left or right handed use; and
    - Signage to identify an ambulant *accessible* sanitary facility in accordance with AS 1428.1 must be located on the door of the facility.

**Services and Equipment (NCC Vol 1. E1)**

As per Ncc Vol 1. E1.3 & E1.4

**E1.6 Portable Fire Extinguishers.**

To be located and distributed IAW sections 1, 2 3 and 4 of AS2444.

A Smoke alarms to be located as per the electrical plan, to be interconnected and IAW AS1670.1

**Visibility in an emergency. Exit Signs and Warning Systems. (NCC Vol 1. E4)**

Photoluminescent Exit signs must be installed in the locations noted on the electrical plan. IAW AS2293.1

**Damp and Weather Proofing (NCC Vol 1. F1)**

**Stormwater Drainage**


All storm water drainage is to be installed by a licenced plumber as per the services plan IAW AS/NZS 3500.3.

**Roof Coverings**

Any works carried out on the existing roof coverings must be IAW AS1562.1

**WaterProofing of Wet areas in buildings**

All water proofing to be carried out IAW AS3740. And table F1.7

 <p>MITCHELL LLOYD ACC # CC6320 ABN. 81 743 913 542 MOB. 0409 252 183 E. mitch@designtolive.com.au</p>	<p><b>Client/s:</b> G.BECK</p>	<p><b>DRAWING</b>  CONSTRUCTION NOTES 1</p>	<p>I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.</p> <p><b>SIGNATURE:</b>                      <b>DATE:</b> <b>SIGNATURE:</b>                      <b>DATE:</b></p>	<p><b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.</p>	<p><b>REV.</b>   <b>DATE</b>   <b>DESCRIPTION</b></p>	<p><b>DESIGNER</b>   M.L.   <b>JOB NUMBER</b>   QB288A</p>	
	<p><b>Site Address:</b> 228 QUAMBY BROOK ROAD, QUAMBY BROOK</p>				<p>R1   07/02/2017   CONSTRUCTION</p>		<p><b>DRAWN</b>   W.M.   <b>DRAWING</b>   14/14</p>
	<p><b>Scale:</b>   1:100</p>				<p><b>CHECKED</b>   M.L.   <b>Scale (1:100)</b>   NTS</p>		



# CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
16584		1
EDITION	DATE OF ISSUE	
3	29-Aug-2016	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

*Alice Kawa*

Recorder of Titles.



## DESCRIPTION OF LAND

Parish of CALSTOCK, Land District of WESTMORLAND  
Lot 1 on Sealed Plan 16584  
Derivation : Part of Lot 8387 Gtd to J Field  
Prior CT 3918/27

## SCHEDULE 1

M580014 TRANSFER to LANCE GREGORY BECK and ANN ELIZABETH BECK  
Registered 29-Aug-2016 at noon

## SCHEDULE 2

Reservations and conditions in the Crown Grant if any



AD & RJ How  
PO Box 148 / 61 Davis Road  
Deloraine Tas 7304  
M 0408133909/0427623040

22 May 2017

The General Manager  
Meander Valley Council  
PO Box 102  
Westbury Tas 7303

Dear Sir

**Re Notification of Application for Planning Approval**

**Applicant** Design to Live – PA\17\0133  
**Location** 228 Quamby Brook Road, Quamby Brook (CT:16584/1)  
**Development** Discretionary use – extension to Visitor Accommodation – amenity, construction of car parking spaces, design and layout of car parking, pedestrian walkway, increase in vehicles movements, hours of commercial vehicle operation

Thank you for the opportunity to resubmit our representation regarding the above noted planning application. Our first representation is attached (Attachment A) and our feelings about this development remain unchanged. We strongly object to any extension to the visitor accommodation and increase in the number of residents.

Our grounds for objection are as follows:

- **Excessive noise at all hours of the day and night**

The layout of this development, with the buildings grouped together and the rise of the land around it, acts like an amphitheatre. The music, singing and raucous behaviour just echoes up and around to the neighbouring properties, especially to those downwind of this development. The hours of the day that this occurs is totally unacceptable and unpleasant. **We didn't choose to live next door to 112 noisy backpackers.** We have lived here for almost 30 years and enjoyed the peace and tranquillity of the area until recently. It has been severely impacted by this development. We believe that the planning scheme is in place to protect our lifestyle.

- **Bus movement at unacceptable times**

The buses currently operate outside the times stipulated in the planning scheme. Bus movement in the evening includes trips for other than work purposes i.e. visiting the supermarket up until closing time of 9pm. We accept the '7am to 7pm weekday' and '8am to 6pm weekend' timeframes but object to any extension of these times because of the amount of noise associated with the buses and the movement of people on and off the buses, it is totally unacceptable.

- **The buses are not being operated in a safe manner on public roads**

We realise that a traffic assessment has been carried out but, until you witness the unsafe driving practices of the somewhat small buses, it is hard to appreciate the hazard to other road users. We have too many examples of unsafe driving practices to include in this submission. We do fear for the safety of our neighbours, our loved ones and ourselves. Considering these

circumstances, we are really worried about the 60 seater buses being driven on the road when comparing them to the size of the local school bus that carries around 45 passengers.

- **Excessive odour from the sewerage system**

On various occasions, we have experienced a strong sewerage stench. How will this improve with an increase in residents? The development is currently licenced for 88 residents, add 24 more residents = 112 residents which is outside the 110 person limit noted on page 7 of the planning application

- **Pedestrian Walkways and Driveways to Carports**

We would like more information regarding the location of the pedestrian walkways and the driveways to the proposed carports to assess the impact. There was no information on the site plan to identify their location.

- **Monitoring number of residents at the facility**

If the extension to the facility is rejected how can we ensure that more people are not crammed into the existing buildings? If the extension to the facility is approved how can we ensure that the carports are not converted to additional accommodation? How does the council monitor the number of occupants in visitor accommodation?

We really feel the current number of residents at the facility is excessive, without adding another 24. Our quality of life has been severely impacted. The developer needs to realise that the facility is located amongst private residences in a low impact residential zone and that any activity should be harmonious with surrounding land users. We don't think it is fair that our lifestyle has been compromised at the expense of a commercial operation.

We hope that our representation is given due consideration. We trust that our rights will be protected by the relevant provisions within the Planning Scheme.

We look forward to your response to our comments.

Yours faithfully

Adrian and Rosalie How

# ***Attachment A***

## ***Initial representation 31 March 2017***

AD & RJ How  
PO Box 148 / 61 Davis Road  
Deloraine Tas 7304  
M 0408133909/0427623040

31 March 2017

The General Manager  
Meander Valley Council  
PO Box 102  
Westbury Tas 7303

Dear Sir

**Re Notification of Application for Planning Approval**

**Applicant** Design to Live – PA\17\0133  
**Location** 228 Quamby Brook Road, Quamby Brook (CT:16584/1)  
**Development** Discretionary use – extension to Visitor Accommodation – amenity, construction of car parking spaces, design and layout of car parking, pedestrian walkway, increase in vehicles movements

We are writing to thank you for informing us about a development application on a neighbouring property.

We have owned our property since November 1985 and have seen many changes occur at the property at 228 Quamby Brook Road. It has been a family home who hosted many “wards of the state”, an aged care facility and now a hostel for backpackers.

Mr Beck, the current owner, approached us soon after purchasing the property and advised he would be hosting a ‘few’ backpackers and that his wife’s sister would be the caretaker. He agreed that a buffer zone of trees would be planted over the fence from our house, to provide some privacy for us.

It seems that over the summer fruit picking season that the number of residents has grown from the few we envisioned to well over 80 residents, requiring three buses to transport them to work each day. The promised buffer zone has not eventuated, even though Mr Beck notified our son that the trees had arrived.

The large number of residents has meant they have been congregating outside of an evening, listening to loud music and displaying raucous behaviour. Loud voices have been heard into the night - yahooping, yehahing, screaming, squealing, laughing and singing. The noise level has echoed to all surrounding properties making it unpleasant to sit outside of an evening and in some cases disturbing neighbours within their homes. The early morning starts have been difficult as well. While the backpackers have been ‘rounded up’ to get on the buses, the loud voices have continued along with bus motors running for extended periods and the bus horn being blown at unacceptably early hours of the morning. The buses continue into the evening after the residents are returning from outings to the local supermarket etc. and the noise level continues. The buses are parked quite close to the units and the lights shine into our bedroom.

We find it hard to believe that this type of behaviour would be occurring with a resident caretaker.

On occasion, there has been a strong sewerage stench wafting our way that we find to be very unpleasant. Is the septic system able to cope with the current number of residents?

We have examined the plans of the new development and have the following comments:

- The proposed building is to be located on the highest point of the property with only a 6 metre setback – this would make it impossible to erect a buffer to effectively deflect the current and potential noise levels or to provide privacy screens. The buildings would also be visible to neighbouring properties and impact privacy.
- The proposed building shows 6 units with a possible 4 beds per unit. The ‘carports’ have the potential of being closed in, adding a possible 6 x 4 extra beds, adding a total of 48 extra beds. Is this an acceptable number of additional residents given the current disturbance level and sewerage capacity?
- The parking areas should move the buses to an area where the lights don’t shine towards neighbouring homes.
- We feel that any walkways should not encourage the residents to walk along Davis Road, as it does not have the capacity to handle pedestrians. The backpackers have been walking along Davis Road when it is dark, we find this type of activity threatening the security of our properties and it is also dangerous as there are no street lights.
- At times the backpackers have been found walking to Deloraine with little regard to other road users. We are also perplexed by the driving habits of the bus drivers, often having to avoid collisions with the bus when it suddenly appears over a crest, travelling in the middle of the road!! Increased traffic of this nature can only be an increased danger to road users. There are two particularly dangerous narrow crests between the entrance to the Quamby Brook Road property and the intersection of Quamby Brook Road and Osmaston Road. This puts in question the safety of current road users from the unsafe driving habits of foreign/interstate travellers who are unfamiliar with these road conditions.

More importantly, we note that the Davis Road area is a ‘low density residential zone’ as defined in the planning scheme. We feel that the current number of residents and the activity on the property is beginning to impinge on the requirements of the zone, as set out in the Planning Scheme.

We consider the current activity on the property to be outside the objective of paragraph 12.3.1 A1 of the planning scheme, due to the loud noise levels, traffic movement and odour. In many instances the buses are operating outside the hours set out at paragraph 12.3.1 A2 of the planning scheme and are not being operated in a manner that is considerate to nearby properties.

Our neighbours have approached us with their concerns and are voicing similar concerns to ours. It is disturbing to see them so upset and distressed. We all feel our peaceful haven has disappeared and that the value of our homes will be eroded by any further development.

It is good to see that the property is now occupied after a period of being vacant and that there is adequate accommodation being offered to overseas backpackers assisting in the local fruit growing district. But we believe that the current occupancy level of the property is at/above capacity and that any increase in numbers would only exacerbate the problems detailed above.

We are available for further consultation and would be only too happy to meet with council representatives.

Yours faithfully

Adrian and Rosalie How

13/04/2017

**Applicant:** Design To Live

**Development:** Proposed Short Term Accommodation

**Owner:** G Beck

**Address:** 228 Quamby Brook, Quamby Brook

**Zone:** Low Density Residential

**Proposed Development:**

Pods x 7: 131.74m<sup>2</sup>

Carports x 5: 114.30m<sup>2</sup>

Regarding the representations presented, matters outlined in the planning scheme affecting the proposed development have been addressed below.

#### 12.3.1- Amenity

The current and proposed development requires buses to transport residence to and from work. We believe that buses being the primary method of transport is the best solution; multiple residence in one trip as opposed to numerous cars/taxis that would be needed to transport the same amount of people. Requiring that many cars/taxis would increase traffic movements to and from the property. As the property is not a bus depot, and they are only coming to pick up residence, we do not consider the buses being used as commercial vehicles.

#### 12.4.1.5- Outbuildings & Ancillary Structures

a)-does not comply- gross area greater than 80m<sup>2</sup>

P1

- a) The proposed short term accommodation is behind existing buildings and is not seen from the road.
- b) b) There is no vegetation to be removed situating the accommodation in the proposed location.
- c) The site backs onto a substantial area of vegetation and there are no existing dwellings to over shadow.
- d) For the size of the block and being well under the 30% for site coverage (12.4.1.1 A1), believe it is not unreasonable for the proposed development.

#### 12.4.2.1- Non -Residential Buildings

P1

a)

i) The block is 4.645ha, with existing ancillary dwellings. For this size block it is not unreasonable for the proposed development.

ii) The site is still under 30% site coverage (12.4.1.1 A1)

iii) Neighbouring properties all have outbuildings, although not to the same extent as Glendel. The closest neighbouring property (no. 61) is approximately 130.5m from the proposed development, with existing vegetation between the proposed development location and the existing neighbouring dwelling. (Image below) Image from thelist.tas.gov.au



iv) The proposed development does not have any visual impact on the area as it is behind existing buildings on the block; won't be seen from the street, and there is vegetation between all neighbouring dwellings and the proposed development.

v) The proposed development will be connected to existing water tanks.

vi) The location for the proposed development is clear and no vegetation is needed to be removed.

b)

i) There is no slope in the proposed location to effect the proposal.

ii) Each pod is single storey with a flat roof, similar to surrounding single storey dwellings. (ref. elevations) The building height of the proposed development is 3.1m



iii) There will be no visual impact as it is behind existing buildings and will not be seen from the road, and all neighbouring dwellings have vegetation obstructing their view of the proposed development.



iv) There will be no over shadowing from the proposed development as there is only vegetation directly behind the proposal. There will be no overlooking or privacy issues for adjoining properties as the proposal is single storey 'pods' with corner windows only facing North/North West, with vegetation behind (no.274) , 130.5m from the closest dwelling with vegetation between (no.61) , and pasture beside (no.240)

d) The proposed development is in-between an existing shed and existing unit on the property (ref. site plan p3) The proposed development complies with 12.4.1.4 A1 & A2. The proposal does not affect neighbouring properties solar gain, privacy to habitable rooms or private open spaces as stated previously.

e) Each 'pod' has a carport; there is existing parking (4spots) beside the existing shed (ref. site plan) in the same area as the proposed development. As there is no dwelling directly behind the proposal and do not see having parking spots in this location unreasonable.

f)

i) As the proposal has a significant amount of bushland directly behind and does not require any screening.

ii) The proposal does not have any lights directed at any neighbouring properties.

iii) The proposal does not affect the passive surveillance of the site.

Regards,

Mitch Lloyd (B.EvnDes, M.Arch)

(Acc # CC6320)

PA11710133

Index No. 18451			
Doc No.			
RCVD	10 APR 2017		MVC
Action Officer	MG	Dept.	G
EO		OD	✓

8<sup>TH</sup> April 2017,

Attention:- Martin Gill  
Meander Valley Council  
PO BOX 102  
Westbury TAS 7303

Dear Martin,

In response to protest about our small extension to the Glendel site of which we would have put more detail in, had we realised there was a problem with the neighbours. However I was completely unaware of any problems.

Before the original commencement of Glendel to visitor accommodation, I talked to all neighbours except for 274 Quamby Brook Road which had a closed gate and DO NOT ENTER signs and 304 Quamby Brook Rd had a For Sale sign. So I thought they would not be interested, and it is 500metres from Glendel.

All the others were spoken to and I said Many, Many, times "Please ring me if there is any problems at all" and I left my personal number with them also. I encouraged them to do this over and over again, as I talked to them Mr Howe seemed glad that I had purchased the property because he knew I was someone he could talk to rather than a stranger.

So over this whole almost five month period nobody complained or made me aware of any problems and nobody complained to Council either. As a matter of fact I have only had positive comments from neighbours and people in Deloraine. I said to the neighbours that even when the site manager goes in still ring me when there is a problem because it is my responsibility. As I said to them there is more than likely always going to be something wrong somewhere, so please let me know.

I have been in business for a long time in different areas of business and I have dealt with many thousands of people as customers etc.. and I would have thought that I was a fairly approachable person. So I am completely mystified by these complaints why nothing has been mentioned before to me or Council, as normal people are fairly quick to notify Council.

Just a little background information Glendel has always been a people business it was there before all the others and it was originally a place that housed the wards of the state and was a fairly noisy boisterous place. Following that it was an Elderly Care facility, and as Council knows and it was intended to grow a lot bigger than its current state. So the principal of this is if you buy next to a people business it will change!

I personally built next to a railway line if TasRail quadruple their traffic I have to live with that. But the difference for these people is they had someone to ring who could fix it all overnight, but they couldn't be bothered. As soon as I was made aware of these complaints they have been rectified. They have been easily fixed as the Tongans are very lovely people who respond to instruction.

## **ADDRESSING THE ISSUES:-**

First of all I have never used the word "Backpackers" these people are not here for a holiday, they are here to work seven days a week. The reason I was attracted to this group of people is that Alcohol consumption is almost non-existent. I know that personally as I take the rubbish out, I know quite a lot about people who take drugs and I haven't seen any hint of drug use amongst these people.

I have found them to be a wonderful race of people, honest, happy, friendly, helpful, and they have a great work ethic. In response to Mr Howe I doubt that I ever said the word "few" because to me that means five! I would have said "some" because I didn't really have a clear picture on numbers. Because in the fruit industry things vary a lot depending on the season.

For instance this year Costa's would have preferred a later start but it was too late to change that. But I am sure Mr Howe would have looked at my proposal and seen that the numbers said sixty, which was a mistake at the time made by my consultant. Instead of the original eighty-eight so it had to be advertised again for this many people this made two opportunities for him to see the numbers involved. But we were still very unsure of the numbers right up until the last moment because of the season and because I don't have a contract of any type with these people. This could have changed at any time.

This is why this is such a high risk project for me personally, as I had extensive upgrades on plumbing, tanks, electrical, massive expensive on fire requirements (sprinkler system, replace all doors with solid fire doors, furniture) then on course I had to furnish the whole place with everything with crockery, cutlery, furniture, etc..

The Federal government Department of Employment & Federal government of Immigration, on their inspection of this site felt it was probably the best worker accommodation that they had seen. We also upgraded air conditioning throughout, and spent a lot of money upgrading the sewerage plant, plus all the consultant and council costs.

I blame myself for not keeping Mr Howe informed about the trees I should have rang him about that but let's get this into perspective. This was an act of goodwill I didn't say I would do it immediately he said he would like to have a bit of a tree shelter, of which I said "I would be happy to do that". What happened was two or three weeks later I saw that Becks Hardware had some ptdostremus for sale in a catalogue so I said to order in fifty of these small plants in.

I was fairly busy at the time it was probably four weeks before I followed it up and found then that they couldn't provide them. As a few weeks passed by I went to Allans Prospect, talked to the owner said I wanted some established ones about thirty, this was around early January I told him the type of soil the trees would be planted into he said that it would be better to leave until late Autumn to get a better water supply.

He said he would provide us with a small truck of mulch to plant in with them. As they were going to be difficult to get growing if we did it through summer we would have to water them every day.

It was never my intention not to do this, I was going to do it in May but now that I realise it is of great importance to Mr Howe I will get it done hopefully over Easter. Again I thought everybody was happy so I didn't rush, we have only been opened less than five months. I told Mr Howe's son that they had been ordered Not that they had been delivered. At the time to the best of my knowledge I thought they were on the way from Beck's Hardware.

In the meantime I have built a barb wire and mesh fence that residents are not allowed to go past which keeps anybody approximately 40 meters from Mr Howe's boundary fence. So he never has to worry about anyone being near his boundary fence.

The maximum amount that was allowed by Council was 88 people, we have never exceeded that if required bank records are available to prove these occupancy numbers. The company that brings these workers into Australia are under strict auditing procedures from Federal government on the numbers. They would never breach anything on numbers as they could lose their license.

In response to music & laughing Mr Howe's house is approximately 100 metres away from the dwellings, I didn't think it would be enough to be a problem or I would have told them to tone it down. If I am not made aware of this occurring how would I know? I am there day and night they do laugh and talk loud, and they do laugh in a way that they almost scream, however but I didn't judge it loud enough to be a problem. Perhaps though it may carry more than I realise.

They have a Christian church service every evening that everyone attends, to me the singing is beautiful particularly the men, but I understand if that bothers other people. Now that I know, I have told them to have church inside and close the doors (No problem). Most people love the way they sing and laugh, but obviously my neighbours don't and I can stop that easily. I am there every day and most nights so it's easy to stop this occurring.

The "raucous behaviour & partying" comment is not quite what we think it is when we hear that statement. There is no swearing, they are big and boisterous, and full of fun but sober and drug free that is there culture. But it is SOBER it is not partying the way that we may think. There is no arguing or fighting they actually behave and get on amazingly well.

### **THE BUS NOISE:-**

For me personally, that type of thing doesn't bother me but if it bothers others I would understand that. And I want to deal with it as a matter of fact the problem has already been fixed as soon as I became aware of it.

This whole site is rented out by these people so it is easy to put the buses over the other side of the building facing down the track ready to go. So there will be no reversing, sirens, or horns heard from now on (SIMPLE). These neighbours have been stewing on things that could have been fixed with one phone call. If our neighbours require absolute silence in their lives, I think we can achieve this as the distance between properties is fairly significant.

### **SITE MANAGER ISSUE:-**

My intention in the beginning was for my sister in law Pam to live on site as she was looking to slow down, she has previously managed Hotel/Motel in Weipa in Queensland with 120 staff, and the Christmas Island Resort and Casino, where she was Operations Manager with 250 staff.

She sent all her belongings and furnishing to Tasmania in November from Northern Queensland. On the day she was leaving she went to say goodbye to her neighbour and was viciously attacked by a blue heeler dog, she lost consciousness in the attack, was hospitalised, had to have skin grafts, got infections and had to stay in Cairns to make a full recovery before she continued the drive down. She left Cairns by car on the 12<sup>th</sup> Of March, she is currently staying with myself as I didn't think it made much sense to change things around as the Tongans start to leave on the 24<sup>th</sup> April.

So we will be starting to move Pam into Cottage One on the 26<sup>th</sup> of April to start her new role, this decision was made when I was still unaware that there was a problem that nobody had told me about.

I really don't think it would have made much difference if the site manager had been living there, if nobody told her either that they were annoyed. As I have been there myself at least once a day and most nights.

I am not sure whether I am supposed to ring neighbours and explain when these things happen, but I felt that I had run very successfully not living on site Tiers Cottages and I felt that I was capable to do so until Pam was better and able to commence her role.

When we put our plans in to double the size of Tiers Cottages, I don't think even then we were required to have on site management as we had proved quite well that we could manage to do so not living there.

Plus the other point with the Tongan workers is they have four company group leaders living on site who have amazing control over their workforce as their culture teaches respect for authority. Again now that we have been told that there was a problem these managers will rectify many things now.

#### **THE SEWERAGE SYSTEM:-**

I feel Mr Howe could be smelling someone else's sewerage system or the tip because it has been very rare for a problem. Christmas Eve, Christmas Day & Boxing Day the electrical equipment had a malfunction and it was hard to get it fixed on those days, but that was the only major malfunction. We had some other minor malfunctions early and mid December but these were teething problems with new equipment, as there are several pumps and electrical appliances. This system is approved for 110 people and has been working beautifully as far as I am concerned for the last three months.

I know because I check it every day and I am standing right there. This is a very expensive and high-tech system which the council department of environment knows.

#### **THE ACTUAL DEVELOPMENT:-**

There is a massive amount of room between the buildings and the boundary to erect a buffer, and where these units are placed is the best place on the whole site and it doesn't affect anyone's privacy. The only clearly visible house is 200 meters away, and at least half the units will be blocked out by trees from that house.

And Mr Howe's house is virtually not visible because of shrubs and trees, these units will increase privacy, because this open area will be removed now. Mr Howe seems to be suggesting that perhaps we are going over the allotted amount of people on site.

We have stuck accurately to the amount of people on site, the firm who employ the Tongan workforce have to stick to the letter of the law and they are audited by the Federal government as I also have to stick to the law. If a serious accident or fire occurred I would lose access to insurance and could be held personally liable, even jailed if I am found to be negligent. These types of facilities have enormous responsibilities. This statement that I could possibly put in 48 beds is completely ridiculous. Had I had been made aware by the neighbours concerns which I wasn't I would have put more detail in the submission.

The facts are this we are going to put four people in each unit, there will be five units. And one unit will be divided into two single rooms for one of the Tongan Company managers in each. The other unit on the other side is just a reception office for the site manager to use in the off season if we get any normal tourists with no toilet and kitchen involved just reception.

So the reality is the development would provide an extra 22 beds less 8 beds because we have given a whole house to the site manager and she is single. This brings the total beds to 14 Tongans, plus the site manager which equals 15 extra people on site. These extra people wouldn't make any difference to this current situation vehicles and noise. It is only 14 extra Tongan workers with extra kitchen and bathroom facilities added onto extra infrastructure.

Inside the main building the sewerage capacity is 110, this amount would bring the whole site to a maximum of 103 instead on 88. Which would help pay for a very expensive sewerage system that is currently running under capacity.

### **THE PROBLEM OF TONGAN WORKERS USING THE ROADS:-**

Now to address the Tongans using the roads, I am not sure what Mr Howe is referring to when he mentions "walkways" but all I know as I am there every day. When they arrived the work was very slow because of a very late fruit season. So the first month they were there they weren't able to work very much, so I purchased for them two eight ball tables, volleyball, Foxtel, table tennis, weights, piano, organ guitars, and such other games etc. to keep them all occupied.

So they did go walking in the beginning, but as they are working twelve hours a day this is virtually not happening now. If I had been made aware of Mr Howe's concerns I would have asked them not to walk down Davies Road. And I know they would have stopped immediately as they are very affable people. They would comply particularly if they thought they were frightening people. Other neighbours in Davies Road have enjoyed talking and waving to them.

Mr Howe's views on international drivers would be quite disturbing to the Tasmania Government. I don't think they would want to get rid of international drivers out of the state. The road to Deloraine is a very busy road and has bike riders, horse riders, pedestrians of all sorts, along with trucks, and probably some bad Australian drivers as well. Surely this is a police matter if there is anyone driving badly it should be reported.

In summary Mr Howe himself actually does a lot of work building hothouses for a local fruit farmer, so there are many flow on benefits for these people being in the area. The group who employ the Tongan workers are approximately spending \$100,000.00 a month in Deloraine. The reason for three buses occasionally is they may have been working at Wesley Vale and others have been working on local farms. My reason for wishing to expand is just simple business principles I talked extensively to council offices, and other councils within the state. All parties agreed there was a massive need for accommodation and better accommodation at that for this fruit pickers market, which we have provided our customer.



The Tongan workers would like to have extra people at the site at Glendel, so they could have everyone there together where the leaders are staying. So I have to be seen to do all I can to bring this about to keep these customers less they move onto bigger sites that now seem to be coming about that weren't before. As I have spent \$200,000.00 after the purchase price, to get this project to the standard to pass all government regulations I need to get as much volume as I can to get a return of investment. If these people don't come back I could easily have a white elephant on my hands unless I can get something else to work.

The state knows we need good facilities like this which is of a high standard eg. Fire protection, for this market. This type of area is generally the ideal area out of town a little bit but not too far.

I am genuinely very sad that my neighbours have been upset by this project and I blame myself and them for this, that we didn't contact each other more over this situation. I would suggest that the council be more active as well to encourage this group to report to them any grievances going forward and then council get in contact with me.

I think this would keep these things on a more professional business like agenda rather than emotionalism. Then all things are recorded rather than he said, she said etc. obviously myself Mr Gurr & Mr Howe have misinterpreted each other. The last time I talked to Mr Gurr in a shop with my builder we were under the impression he was happy, but clearly not so I would appreciate if Council could put something in place. As I thought I was doing a good thing for the community, and I don't want to be upsetting people. The council staff seem to be very encouraging to do this project.

This is a difficult market to develop for as the return is only \$90.00 per person per week, so quite difficult to get a return unless you have volume. That is why not many people are interested in touching this type of accommodation. Whereas 140,000 people stay in Air B&B Accommodation in Tasmania where nowhere near the same amount of safety restrictions and expense apply that we have had to put into place at Glendel. So we need consistent volume and encouragement not discouragement as this fruit and vegetable industry is very important to our Tasmanian economy and with this type of accommodation it can easily become a white elephant.

But of course if the council and my neighbours want to stop this expansion I will bear no malice toward either parties and will do my best to make this thing work as it is very possible for a long period of vacancy to occur with this particular site. Perhaps an alternative solution may be that I scrap two units thus reducing this project to six extra Tongans on site so that proposal would look like this:-

Three units with four people in each plus one unit with two single rooms equalling fourteen people less eight people that are removed from site manager's house. This would equal six new Tongan extra. Also the onsite manage equals seven plus eighty-eight brings the site total to ninety-five people. With the current sewerage system which takes 110. If this appeases everyone then I will take the loss and go ahead hoping that in future any complaints will be given to council or myself as it happens and not four months later. Concerning the planning act statements that we believe have been misinterpreted by Mr Howe. Following my letter is a response from DESIGN TO LIVE regarding those issues.

I welcome discussion from the General Manager, Development or Planning Department or Councillors and I am happy to provide proof of any statements of this letter.

Regards,

GREG & ANN BECK

# **C&DS 3 7/318 WIITEENA ROAD, JACKEYS MARSH - MULTIPLE DWELLING AND OUTBUILDINGS (X3)**

## **1) Introduction**

This report considers application PA\17\0158 for Multiple Dwelling and Residential Outbuildings (x3) on land located at 7/318 Wiiteena Road, Jackeys Marsh (CT: 157619/7) .

## **2) Background**

### **Applicant**

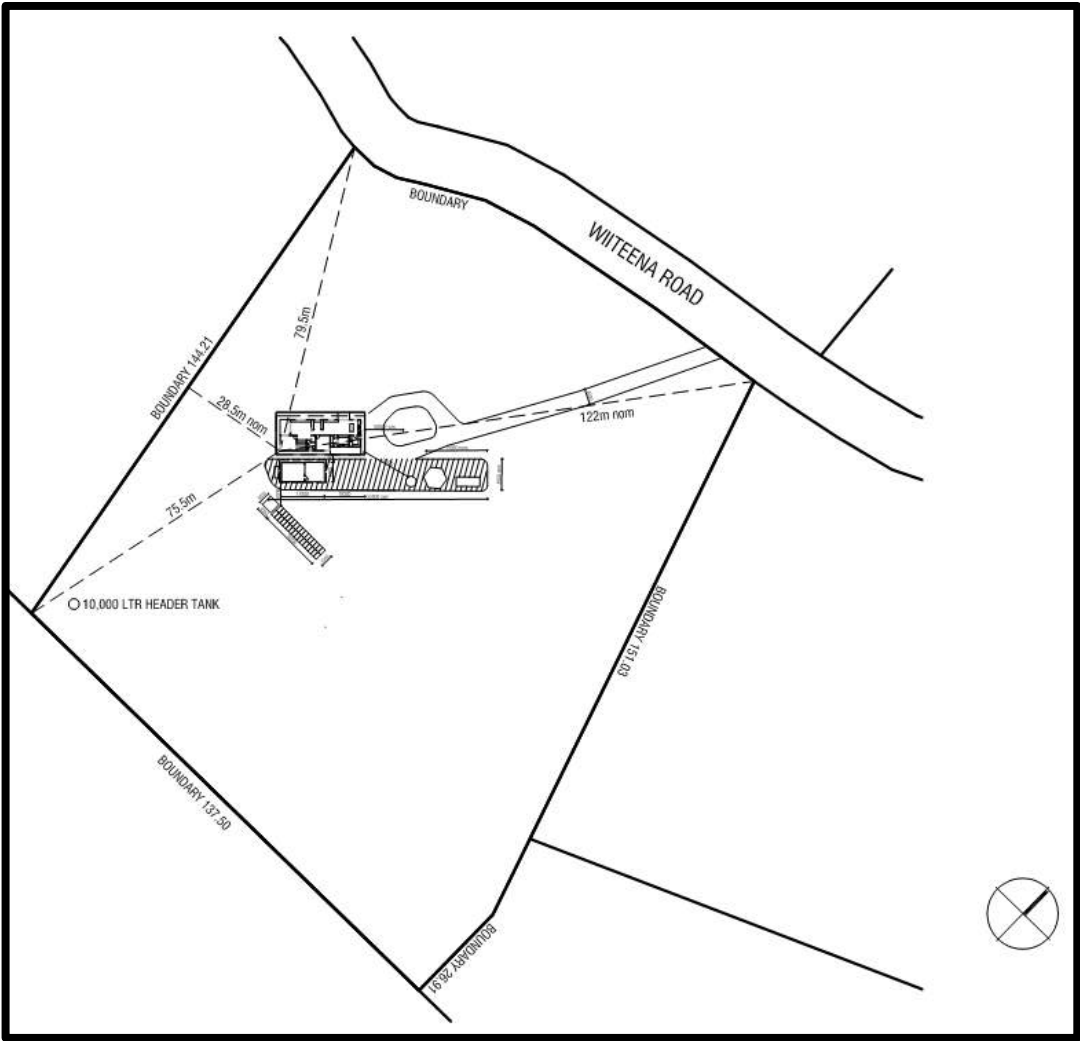
Designful

### **Planning Controls**

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

### **Use & Development**

The application proposes to construct a dwelling and three outbuildings on a vacant strata lot within an existing strata development located off Wiiteena Road. The dwelling will have a floor area of approximately 181m<sup>2</sup> and will be clad in Colorbond, Trimdeck and Vertical Board. The south side of the dwelling will be constructed at ground level, with the north side elevated on piers. The floor plan includes two bedrooms, open plan living/dining and kitchen, sitting room, study, mudroom, bathroom and alfresco. The application also includes a number of outbuildings. A 3m by 3m shed housing equipment for power generation is exempt from requiring a planning permit. A 55m<sup>2</sup> garage and carport is proposed to the south of the dwelling. A standard 6m long shipping container is also proposed for storage purposes. The outbuildings will be cut into the slope.



**Figure 1: Proposed site plan (strata lot only) (Designful, 2017)**

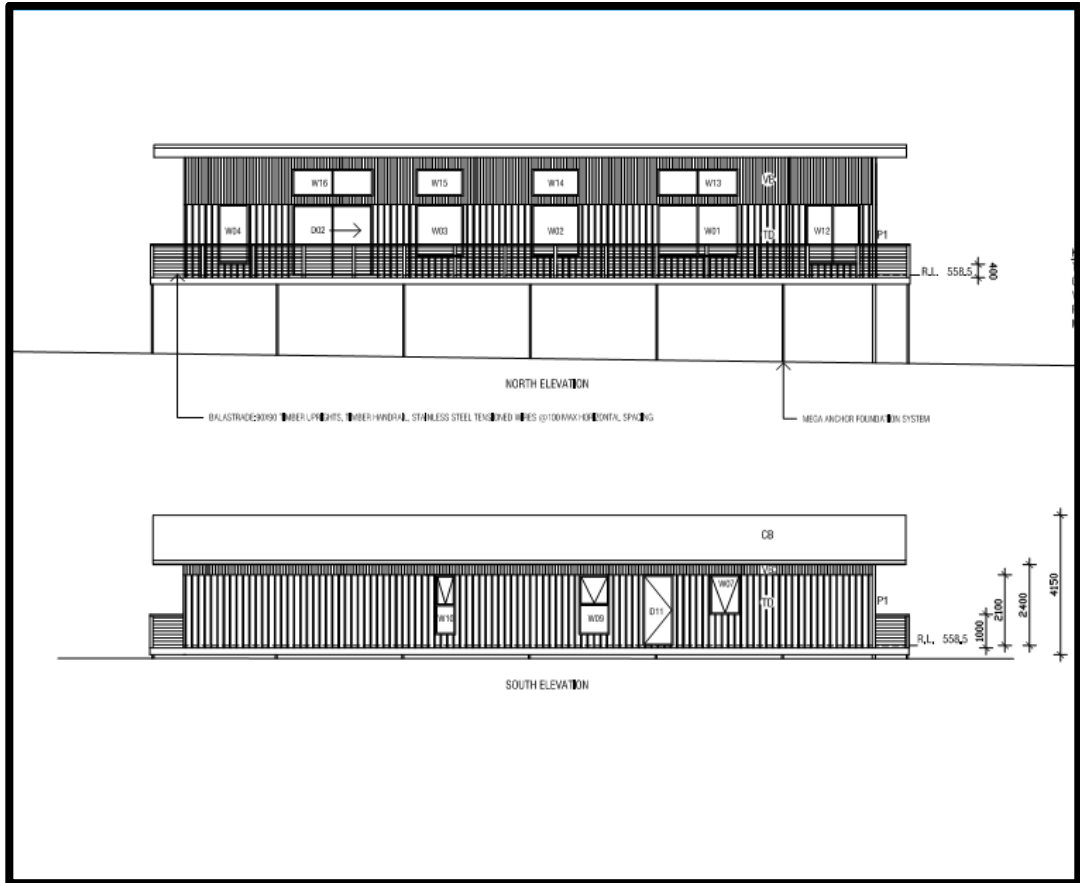


Figure 2: North and south elevations of proposed dwelling (Designful, 2017)

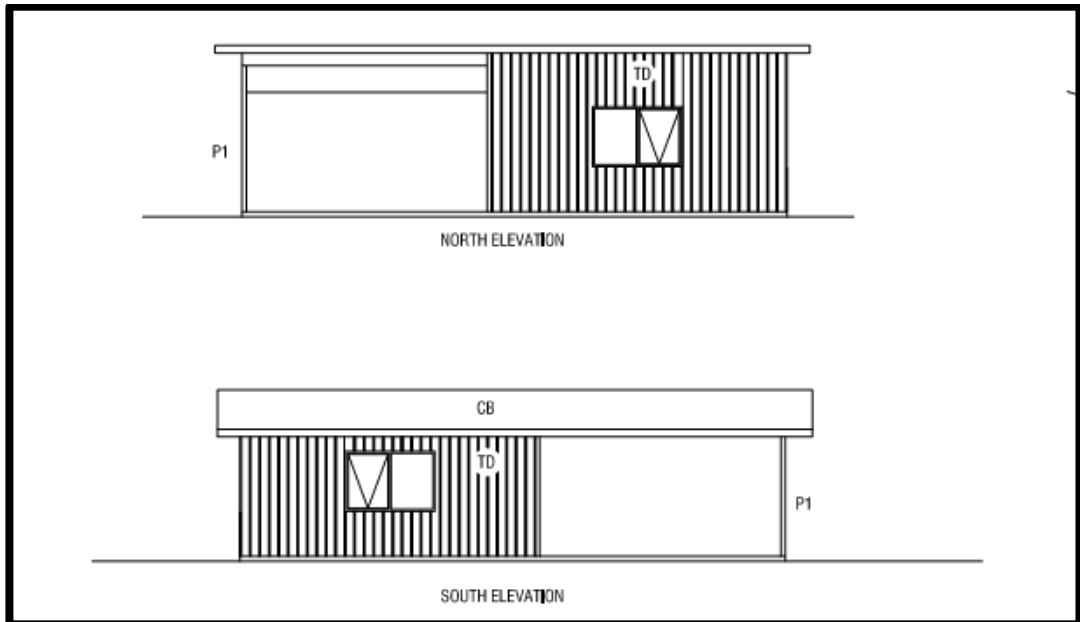
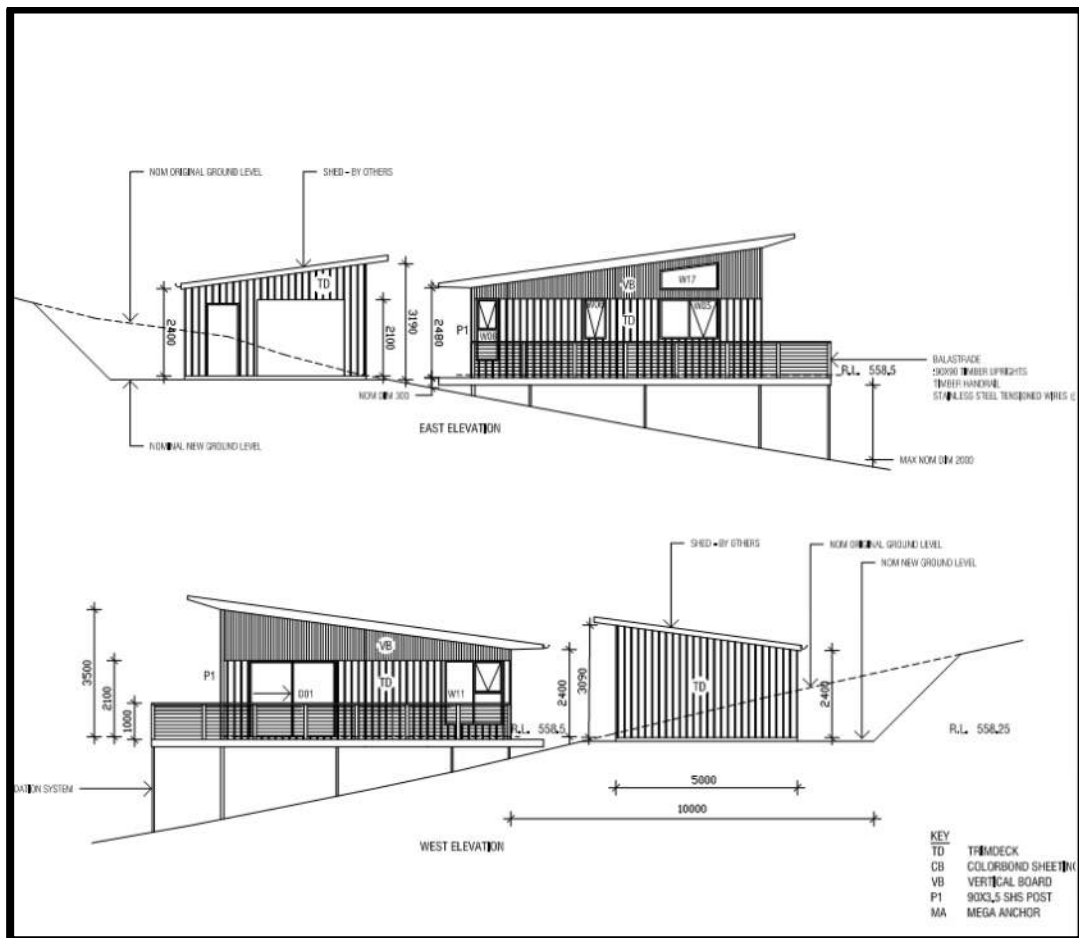


Figure 3: North and south elevations of proposed garage (Designful, 2017)



**Figure 4: East and west elevations of proposed garage and outbuilding, showing the site cut (Designful, 2017)**

## **Site & Surrounds**

The subject site is an existing strata development with multiple dwellings spread across 84Ha (approx.). The strata includes eight dwellings and two vacant strata lots with residential use rights. A large portion of the common property associated with the strata is covered by native vegetation and is protected by a conservation covenant. The nearest dwelling within the strata is approximately 100m to the north of the proposed dwelling.

The subject strata lot is currently vacant. It slopes upward to the south of the common driveway, with an increase in elevation of approximately 50m over 200m. The steeper portions of the lot to the south retain native vegetation cover.

Multiple dwellings is an existing non-conforming use on the subject title, being normally prohibited by the Meander Valley Interim Planning Scheme 2013 within the Rural Living Zone. The titles surrounding the strata development are predominately covered with native vegetation with a mix of

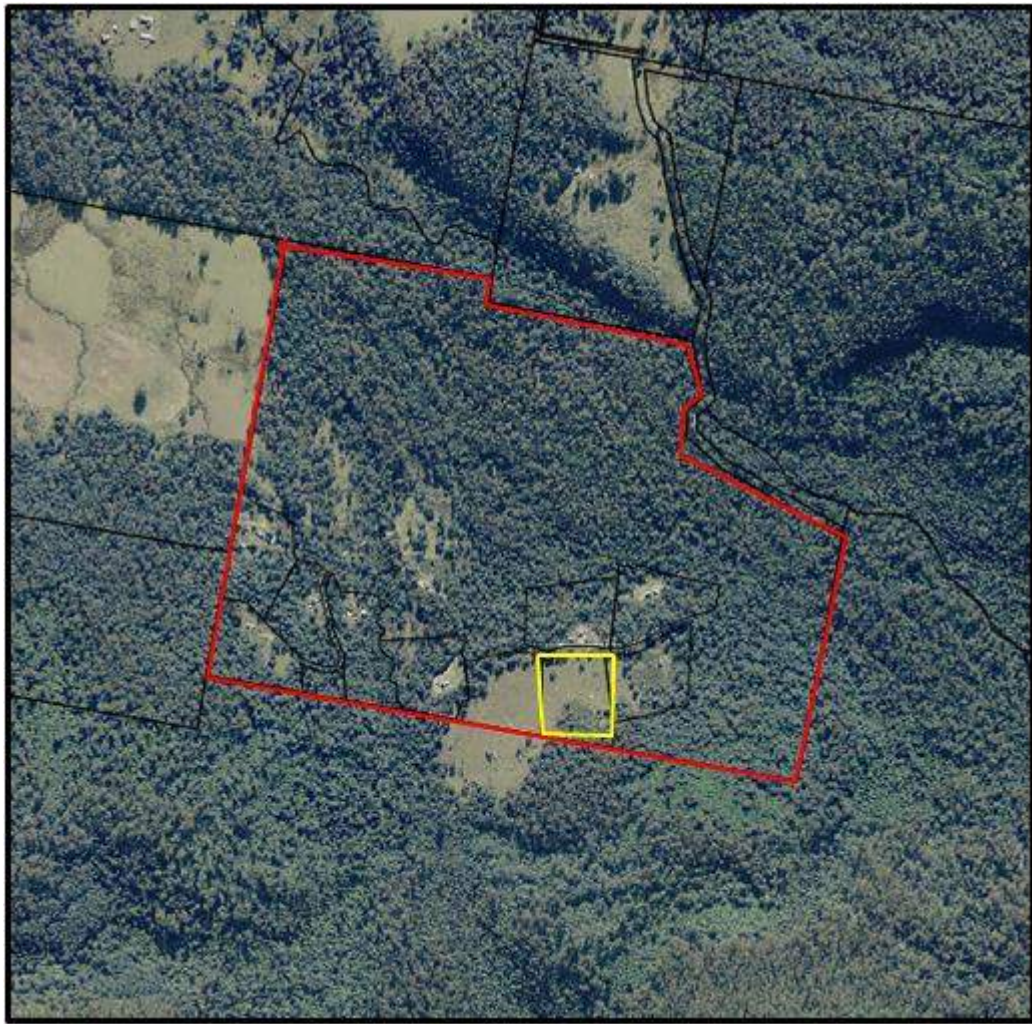
residential and agricultural uses. The land immediately to the south of the title is owned by the Crown and is covered with native vegetation.



**Photo 1: subject strata lot, looking south from the common access**



**Photo 2: subject strata lot, looking north toward the common access**



**Photo 3: aerial photo of subject title, showing the site in red and the subject strata title in yellow**

**Statutory Timeframes**

Date Received:	21 March 2017
Request for further information:	28 March 2017
Information received:	3 April 2017
Advertised:	8 April 2017
Closing date for representations:	28 April 2017
Extension of time granted:	26 April 2017
Extension of time expires:	13 June 2017
Decision due:	13 June 2017

**3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.



#### **4) Policy Implications**

Not applicable.

#### **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

#### **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

#### **7) Consultation with State Government and other Authorities**

Not applicable.

#### **8) Community Consultation**

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

#### **9) Financial Impact**

Not applicable.

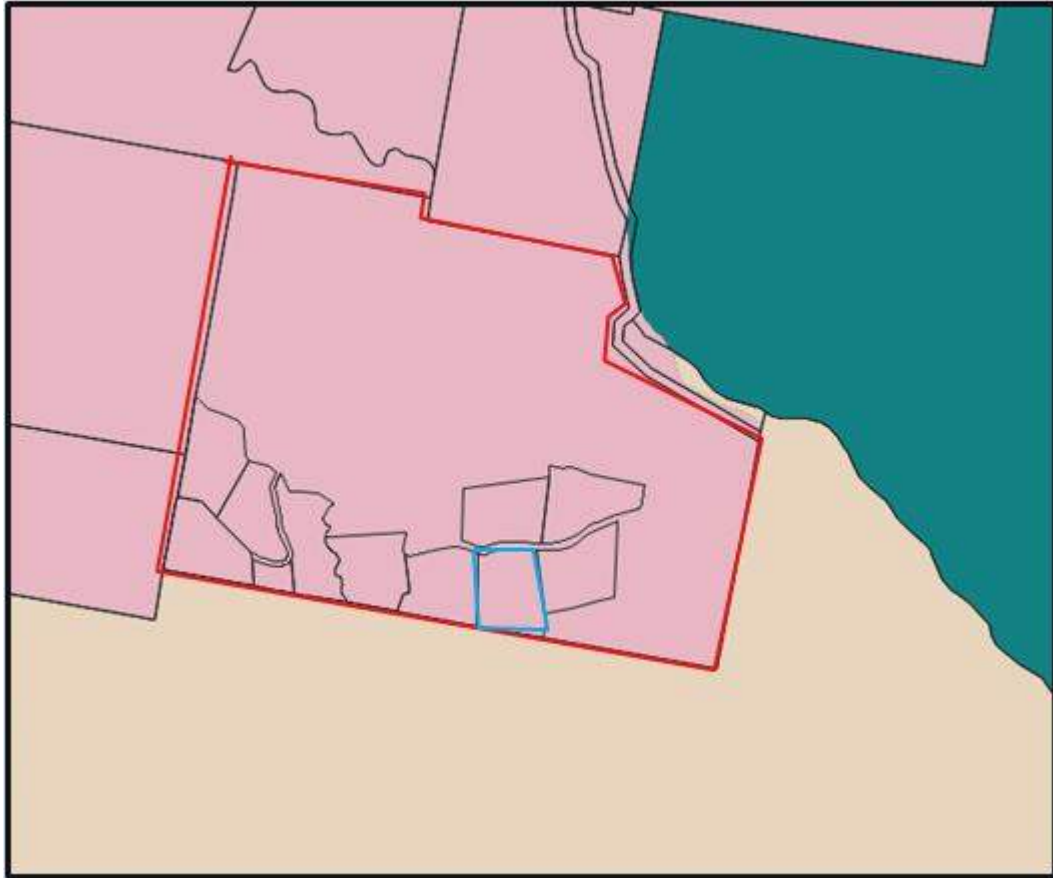
#### **10) Alternative Options**

Council can either approve, with amended conditions, or refuse the application.

#### **11) Officers Comments**

##### **Zone**

The subject property is located in the Rural Living Zone. The land surrounding the site is located in the Rural Living, Environmental Management and Rural Resource Zones



**Figure 5: zoning map, showing subject strata lot in blue**

### **Use Class**

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential - Multiple Dwellings

### **Applicable Standards**

This assessment considers all applicable planning scheme standards.

In accordance with Clause 9.1 Changes to an Existing Non-conforming Use, Council has the Discretion to approve minor development associated with an existing non-conforming use where the development does not impact adjoining users or the amenity of the location and there is no intensification of the use. The proposed development is for a dwelling and outbuildings on an existing approved strata lot, within a residential zone. The intent of the land and the strata lot is to provide for the development of a dwelling.

In exercising its discretion, Council may have regard to the purpose and provisions of the zone and any applicable codes. The most applicable standards have been considered below.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Rural Living Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

### **Compliance Assessment**

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

<b>Rural Living Zone</b>			
Scheme Standard		Comment	Assessment
<b>13.4.1 Building Design and Siting</b>			
A1	Site coverage must not exceed 5%.	The development, combined with existing developments on the site is significantly less than 50% of the 84Ha site.	Complies
A2	Building height must not exceed 8 metres.	The proposed dwelling has a maximum height of 5.5m, while the garage has a maximum height of 3.09m. The shipping container and machinery shed have a maximum	Complies

		height of 2.4m.	
A3	Buildings must be set back a minimum distance of 25 metres from a frontage.	The development is setback approximately 400m from the front property boundary. It is noted that the dwelling is also setback more than 25m from the common driveway within the strata development.	Complies
A4	Buildings must be set back a minimum of: a) 25 metres to side and rear boundaries; and b) 200m to the Rural Resource Zone where a sensitive use is proposed.	The development is setback more than 25m from the nearest strata boundary and more than 50m from the south property boundary. However, the proposed dwelling is less than 200m from the Rural Resource Zone to the south.	Relies on Performance Criteria
A5	The development is for permitted or no permit required uses.	The development is for an existing non-conforming use.	Relies on Performance Criteria
A6	Development must not require the removal of standing vegetation.	The development does not propose the removal of native vegetation. A large part of the title in the vicinity of the proposed	Complies

		developments has been historically cleared.	
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<b>Car Parking and Sustainable Transport Code</b>			
Scheme Standard		Comment	Assessment
<b>6.6.1 Car Parking Numbers</b>			
A1	The number of car parking spaces must not be less than the requirements of: e) Table E6.1; or f) a parking precinct plan.	The application includes two parking spaces within the proposed garage and carport. There is sufficient space within the proposed driveway to accommodate additional parking spaces for visitors.	Complies
<b>E6.6.3 Taxi Drop-off and Pickup</b>			
A1	One dedicated taxi space must be provided for every 50 car spaces required by Table E6.1 or part thereof (except for dwellings in the General Residential Zone.	The proposed development does not increase the demand for taxi parking, however, it is noted that there is sufficient space within both the common and private driveways to accommodate taxi parking.	Complies
<b>E6.6.4 Motorbike Parking Provisions</b>			
A1	One motorbike parking space must be provided for each 20 car spaces required by Table E6.1 or part thereof.	There is sufficient space within the proposed outbuildings and driveway to	Complies

		accommodate motorbike parking.	
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>			
A1	<p>All car parking, access strips manoeuvring and circulation spaces must be:</p> <ul style="list-style-type: none"> <li>g) formed to an adequate level and drained; and</li> <li>h) except for a single dwelling, provided with an impervious all weather seal; and</li> <li>i) except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.</li> </ul>	<p>The application does not include detail of driveway construction. It is noted that an all weather 4C access will be necessary in order to comply with the bushfire requirements of the National Construction Code for a new dwelling. The dwellings within the Witeena strata are generally accessed via gravel driveways and informal tracks from the common driveway. The driveway will be drained to the existing roadside drain in the common driveway.</p>	Relies on Performance Criteria
<b>E6.7.2 Design and Layout of Car Parking</b>			
A1	<p>A1.1</p> <p>Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone)</p>	<p>All proposed parking and manoeuvring is located behind the building line established by other dwellings</p>	Complies

	<p>must be located behind the building line; and</p> <p>A1.2</p> <p>Within the General Residential Zone, provision for turning must not be located within the front setback for residential buildings or multiple dwellings.</p>	<p>within the strata.</p>	
A2	<p>A2.1</p> <p>Car parking and manoeuvring space must:</p> <ul style="list-style-type: none"> <li>i) have a gradient of 10% or less; and</li> <li>j) for more than 4 cars, enter and exit the site in a forward direction; and</li> <li>k) have access width not less than and not 10% greater than Table E6.2; and</li> <li>l) have a width of access and manoeuvring space to parking spaces not less than Table E6.3 where: <ul style="list-style-type: none"> <li>(vii) there are three or more spaces; and</li> <li>(viii) where parking is more than 30m from the road; or</li> <li>(ix) the sole vehicle access is to a category 1, 2, 3 or 4 road; and</li> </ul> </li> </ul> <p>A2.2</p> <p>The layout of car spaces and access ways must be</p>	<p>The application proposes to cut into the slope to create a flat area for parking to the rear of the dwelling with a slope less than 10%. All vehicles can turn on the site and exit the property in a forward direction. The width of the access is not proposed to be increased and is in accordance with the minimum required by Clause E6.2. there is sufficient space adjacent to parking to allow vehicles to manoeuvre on the site and exist in a forward direction. The layout of</p>	<p>Complies</p>

	designed in accordance with <i>Australian Standard AS 2890.1.</i>	parking is generally in accordance with AS2890.1	
<b>E6.8.1 Pedestrian Walkways</b>			
A1	Pedestrian access must be provided for in accordance with Table E6.5.	The strata development includes more than 10 parking spaces and does not provide a dedicated pedestrian access.	Relies on Performance Criteria

<b>Karst Management Code</b>			
Scheme Standard		Comment	Assessment
<b>15.5 Use Standards</b>			
A1	Plantation forestry is in accordance with a certified Forest Practices Plan.	No forestry proposed.	Complies
A2	Wastewater disposal fields must be setback to sinkholes and caves the following distances: <i>Upslope</i> $<5^{\circ}$ 40m $5^{\circ}$ - $10^{\circ}$ 50m $10^{\circ}$ - $15^{\circ}$ 60m $15^{\circ}$ - $20^{\circ}$ 70m Add 10m for every additional $5^{\circ}$ of slope <i>Downslope</i> All slopes 40m	There are no identified caves or sinkholes within 100m of the strata lot.	Complies
A5	The use must not facilitate access to cave systems.	The proposal does not facilitate access to cave systems.	Complies
A6	Hard waste must not be disposed of on-site.	The application does not propose the disposal of hard waste on-	Complies



		site.									
A7	The use does not involve the abstraction of water.	No abstraction of water is proposed.	Complies								
<b>E15.6.1 Sedimentation and pollution</b>											
A1	Forestry and plantation forestry is in accordance with a certified Forest Practices Plan.	No forestry is proposed	Complies								
A2	<p>A2.1 Excavation, buildings, access ways and subsurface drainage (not including forestry and plantation forestry) must be located a minimum of 100 metres from Karst features.</p> <p>A2.2 Runoff from buildings and access ways (not including forestry and plantation forestry) does not concentrate water flows into the groundwater system.</p>	The application proposes to direct stormwater overflow to the existing road drainage system within the strata development.	Complies								
A3	<p>Vegetation must be retained surrounding sinkholes and caves for the following distances (not including forestry and plantation forestry):</p> <p><i>Upslope</i></p> <table> <tr> <td>&lt;5<sup>0</sup></td> <td>40m</td> </tr> <tr> <td>5<sup>0</sup>-10<sup>0</sup></td> <td>50m</td> </tr> <tr> <td>10<sup>0</sup>-15<sup>0</sup></td> <td>60m</td> </tr> <tr> <td>15<sup>0</sup>-20<sup>0</sup></td> <td>70m</td> </tr> </table> <p>Add 10m for every additional 5<sup>0</sup> of slope</p> <p><i>Downslope</i></p> <p>All slopes 40m</p>	<5 <sup>0</sup>	40m	5 <sup>0</sup> -10 <sup>0</sup>	50m	10 <sup>0</sup> -15 <sup>0</sup>	60m	15 <sup>0</sup> -20 <sup>0</sup>	70m	No vegetation removal is proposed.	Complies
<5 <sup>0</sup>	40m										
5 <sup>0</sup> -10 <sup>0</sup>	50m										
10 <sup>0</sup> -15 <sup>0</sup>	60m										
15 <sup>0</sup> -20 <sup>0</sup>	70m										

A4	Development must not fill caves or sinkholes.	The application does not propose to fill any caves or sinkholes.	Complies
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### **Performance Criteria**

#### **Rural Living Zone**

##### **13.4.1 Building Design and Siting**

#### **Objective**

*To ensure that siting and design:*

- a) protects the amenity of adjoining lots; and*
- b) is consistent with the local area objectives and desired future character statements for the area, if any.*

#### **Performance Criteria P4**

*Buildings must be sited so that side and rear setbacks:*

- a) protect the amenity of adjoining dwellings by providing separation that is consistent with the character of the surrounding area having regard to the:
 
  - i) impact on the amenity and privacy of habitable room windows and private open space; and*
  - ii) impact on the solar access of habitable room windows and private open space; and*
  - iii) locations of existing buildings and private open space areas; and*
  - iv) size and proportions of the lot; and*
  - v) extent to which the slope, retaining walls, fences or existing vegetation screening reduce or increase the impact of the proposed variation; and*
  - vi) local area objectives, if any; and**
- b) protect agricultural uses on adjoining lots from constraints.*

#### **Comment:**

The land to the south of the title is owned by the Crown. It is currently covered with native vegetation and has been designated as Future Potential Production Forest. While the land has some potential for the development of timber resources, it is noted that impacts from forestry are generally of a short duration. Large areas of the property are also mapped as priority habitat and as a threatened vegetation community. As such, much of the vegetation close to the title will be considered vulnerable under the Forest

Practices Act 1985 and clearance is unlikely.
<p><b>Performance Criteria P5</b></p> <p><i>Development must not be obtrusive and must complement the character of the surrounding area having regard to:</i></p> <ul style="list-style-type: none"> <li>a) <i>landscaping; and</i></li> <li>b) <i>building form and materials; and</i></li> <li>c) <i>local area objectives, if any.</i></li> </ul>
<p><b>Comment:</b></p> <p>The proposed development is for a dwelling within an existing strata development. The position of the dwelling on the strata lot is consistent with that normally required by a single dwelling on its own title. As such separation between dwellings within the strata is consistent with that which is normally considered appropriate in the Rural Living Zone. As such the development is considered to be in keeping with the established character of the Wiiteena community and the Rural Living Zone in general.</p>

<b>Car Parking and Sustainable Transport Code</b>
E6.7.1 Construction of Car Parking Spaces and Access Strips
<p><b>Objective</b></p> <p><i>To ensure that car parking spaces and access strips are constructed to an appropriate standard.</i></p>
<p><b>Performance Criteria P1</b></p> <p><i>All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.</i></p>
<p><b>Comment:</b></p> <p>The driveway and parking areas associated with the dwelling will be adequately formed and drained to the existing roadside drain adjacent to the shared driveway. All parking spaces, including visitor spaces, are located within the strata lot and are not accessible to other landowners within the strata. As such management and identification of spaces can be left to the discretion of the landowner. It is considered that the formation of a driveway will provide adequate delineation. All storm water will be directed to an existing drainage system within the strata.</p>
E6.8.1 Pedestrian Walkways
<p><b>Objective</b></p> <p><i>To ensure pedestrian safety is considered in development</i></p>

**Performance Criteria P1**

*Safe pedestrian access must be provided within car park and between the entrances to buildings and the road.*

**Comment:**

A dedicated pedestrian walkway is not considered necessary. There is no existing footpath network within the strata development or on the road network in the vicinity of the property. Each of the strata lots has a large area and there is significant separation between dwellings on adjoining lots. The form is similar to that of a rural community. The shared access within the strata is gravel and relatively narrow. This creates a slow speed environment where vehicles would be travelling with caution. The road is a private road and users would generally be familiar with the area and the use of the road by pedestrians. There is also a "shared road" warning sign on the approach to the area.

**Representations**

One (1) representation was received (see attached documents). An extract from the representation is as follows:

*"Water from this property flows to the road on Wiiteena Road directly across from our property. The road guttering (which currently is non existent) leads to a culvert that flows water directly onto our driveway and property and not to Bowmans Creek.*

*We are concerned that we would receive an extraneous amount of water on our driveway that would cause unnecessary erosion.*

*We feel that the solution for this is to 1) divert the water to the private road that comes off Wiiteena Road that actually leads to Bowmans Creek. 2) create road guttering on this private road so the water can flow to Bowmans Creek. 3) create guttering on Wiiteena Road in case of excess runoff."*

**Comment:**

The management of stormwater from developments is primarily controlled through the Building Act 2016 and the Building Regulations. The planning

assessment is limited to ensuring that the development does not concentrate stormwater into the groundwater system in consideration of the karst. In some circumstances Council has required the installation of a spreader on downpipes in order to disperse stormwater in a similar manner to natural overland flows. However, the waste water assessment submitted with the application demonstrates very good soil coverage and there are no known karst features in the vicinity.

The applicant has indicated that stormwater will be directed to Bowmans Creek. An onsite visit confirms that there is a high point to the east of the driveway, which would likely prohibit the flow of water in this direction, forcing concentrated water to the west, along the roadside, towards Bowmans Creek. The existing road drainage, although ill-defined is the established means of directing stormwater runoff from the shared driveway and land uphill of the road to this creek. This is considered an acceptable means of disposing of concentrated flows without concentrating the flows into the groundwater system.

As such additional measures are not warranted and the requirements of the Building Regulations are considered to be sufficient to manage stormwater appropriately.

By nature, strata schemes include shared systems which often pass through individual strata lots. Concerns regarding the standard of private road construction, the adequacy of the shared stormwater system and the route of the system are concerns that should be raised with the Body Corporate. This infrastructure is privately owned and is not maintained or managed by Council.

### **Conclusion**

In conclusion, it is considered that the application for Use and Development for a Multiple Dwelling and Residential Outbuildings (x3) is an appropriate development in the General Residential Zone and should be approved.

**AUTHOR:** Justin Simons  
TOWN PLANNER

### **12) Recommendation**

***That the application for Use and Development for Multiple Dwelling and Residential Outbuildings (x3) on land located at 7/318 Wiiteena Road,***

***Jackeys Marsh (CT: 157619/7) by Designful, requiring the following discretions:***

- Existing Non-Conforming Use

**be APPROVED, generally in accordance with the endorsed plans:**

- a) Designful, Drawing No.: 1608, Sheets: 301 & 302**
- b) Designful, Drawing No.: 1613, Sheets: 303, 304, 305 & 306**
- c) Environmental Service and Design, On-Site Waste Water and Storm Water Disposal Assessment**

and subject to the following conditions:

- 1. The use of outbuildings is not permitted for human habitation and is limited to residential storage and related residential activities only.**

**Note:**

- 1. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: [mail@mvc.tas.gov.au](mailto:mail@mvc.tas.gov.au)**
- 2. This permit does not imply that any other approval required under any other by-law or legislation has been granted. The following additional approvals may be required before construction commences:**
  - a) Building approval**
  - b) Plumbing approval**

**All enquiries should be directed to Council's Permit Authority on 6393 5322 or Council's Plumbing Surveyor on 0419 510 770.**

- 3. This permit takes effect after:**
  - a) The 14 day appeal period expires; or
  - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
  - c) Any other required approvals under this or any other Act are granted.

4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au)
5. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
7. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
8. If any Aboriginal relics are uncovered during works;
  - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: [aboriginal@heritage.tas.gov.au](mailto:aboriginal@heritage.tas.gov.au)); and
  - c) The relevant approval processes will apply with state and federal government agencies.

## **DECISION:**

**PROJECT DETAILS**

NEW HOME  
 RUSSELL & JEANETTE CROSS  
 7/318 WIITEENA ROAD  
 JACKEYS MARSH  
 TITLE: VOLUME: 157619 FOLIO:7

ALL DIMENSIONS & LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. FIGURED DIMENSIONS SHALL TAKE PREFERENCE TO SCALE.

CONTRACTOR TO SITE CHECK ALL SHOP DRAWINGS AGAINST EXISTING STRUCTURES BEFORE COMMENCING FABRICATION.

ALL WORK SHALL BE IN ACCORDANCE AND COMPLY WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

**PRELIMINARIES**

CONTRACTORS TO SITE CHECK EXISTING ELEMENTS AND DIMENSIONS, DIMENSIONS AND LEVELS PRIOR TO COMMENCING WORK. ENSURE SITE AND WORKS ARE KEPT CLEAN AT ALL TIMES.

**ITEMS SUPPLIED BY OWNERS AND INSTALLED BY BUILDER**

TO BE CONFIRMED WITH OWNER AND BUILDER

**DRAWING SCHEDULE**

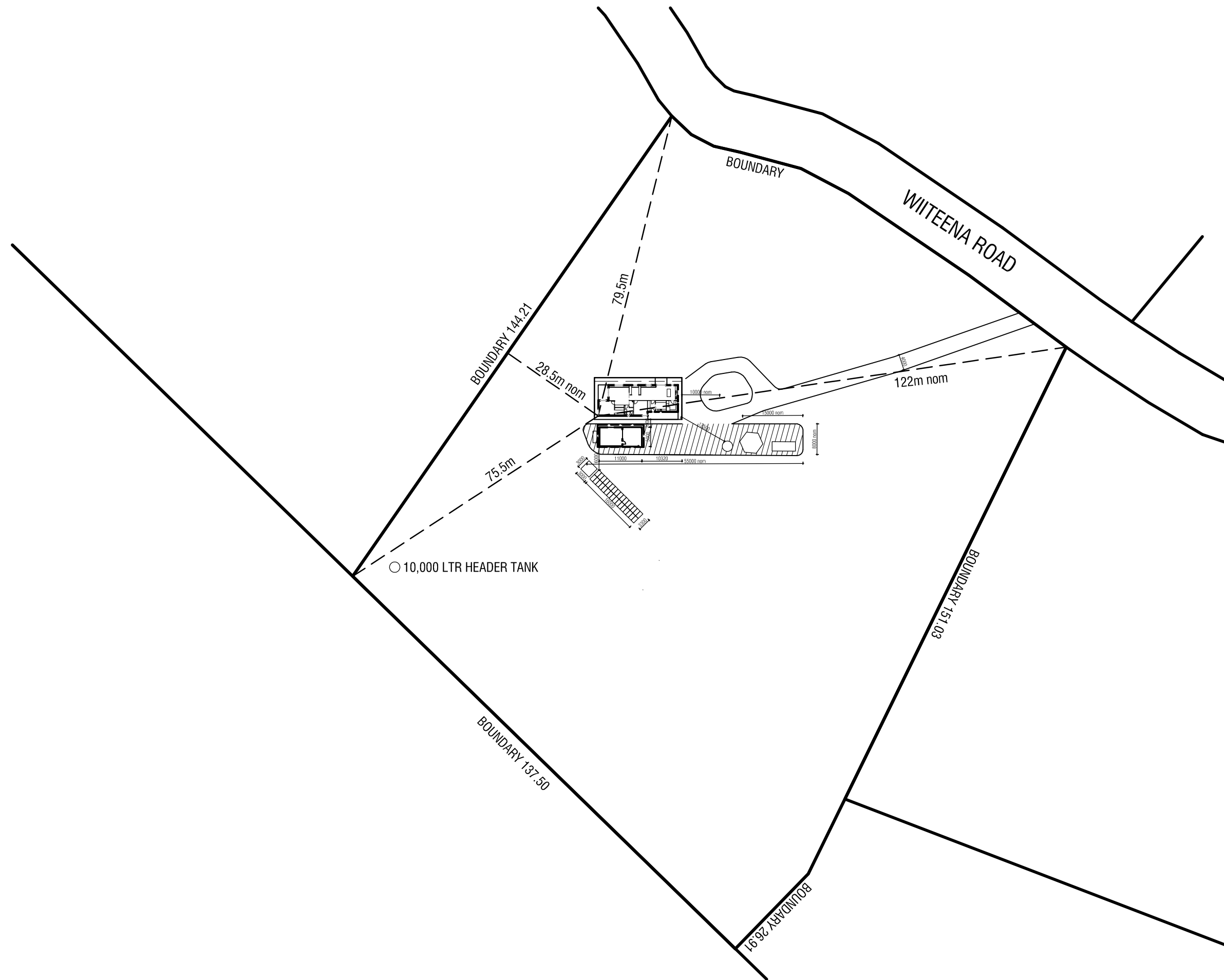
COVER PAGE	1608-300
LOCATION PLAN	1608-301
OVERALL SITE PLAN	1608-302
PROPOSED FLOOR PLAN	1608-303
ELEVATIONS 1	1608-304
ELEVATIONS 2	1608-305
ELEVATIONS & PLAN - SHED	1608-306

<u>FLOOR AREAS M2</u>	
SITE	21132.2nom
NEW DWELLING	146.75
HEW SHED	30
NEW CARPORT	25
TOTAL FOOTPRINT	201.75
DECK	83
SITE COVERAGE	1%

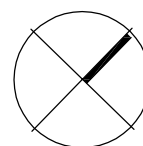


7/318 WIITEENA ROAD JACKEYS MARSH	RUSSELL & JEANETTE CROSS JANE HILLIARD (CC6237 H) jane@designful.com.au 0438 578 518 www.designful.com.au	<b>COVER PAGE</b>	A	9-03-17	N/A	<b>1613-300</b>
PROJECT	OWNER	DESIGNER	ISSUE	DATE	SCALE	DWG NO.





○ 10,000 LTR HEADER TANK



**DESIGNFUL**  
CREATIVE MINDFUL RESOURCEFUL

7/318 WIITEENA ROAD  
JACKEYS MARSH  
PROJECT

RUSSELL & JEANETTE  
CROSS  
OWNER

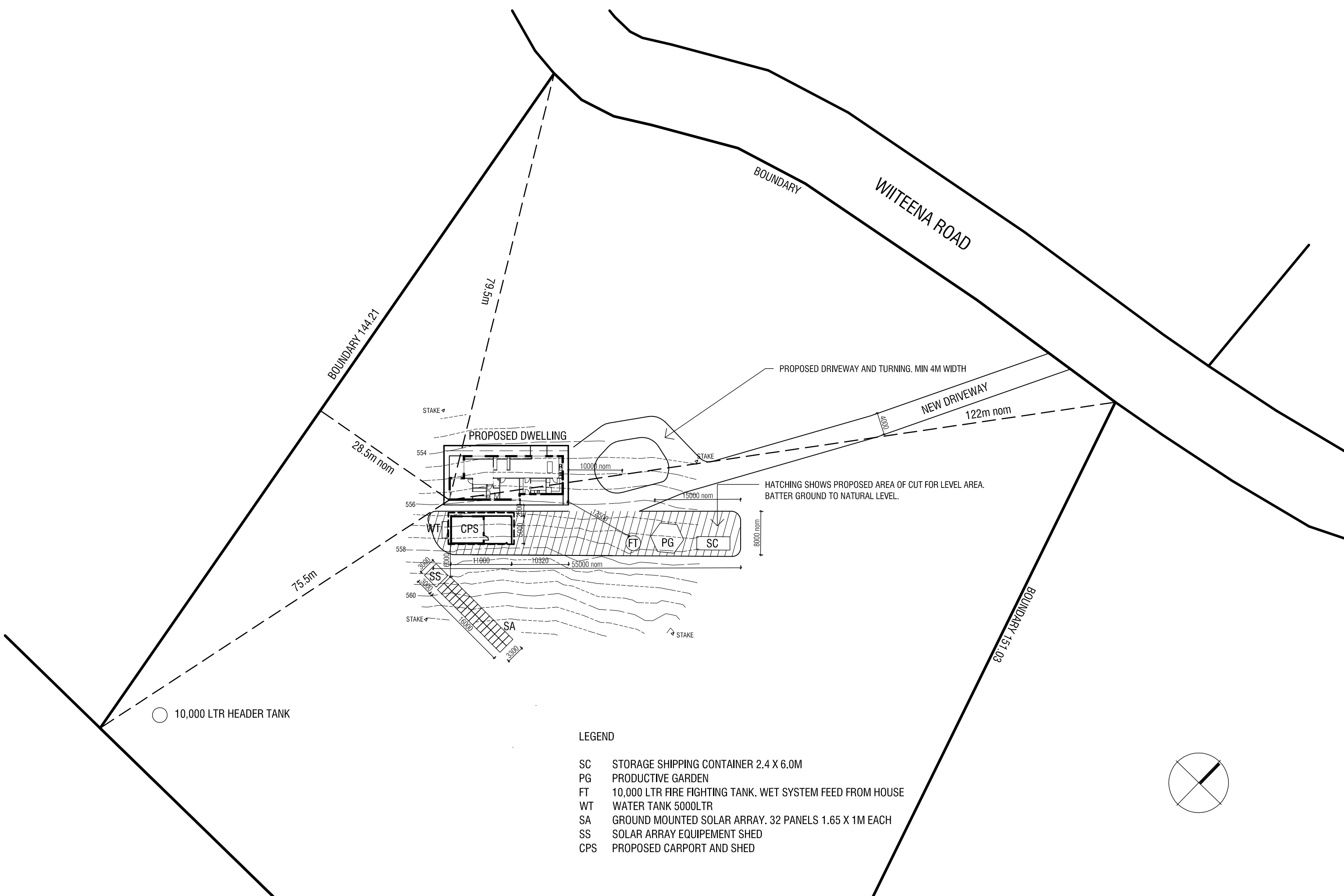
JANE HILLIARD (CC6237 H) jane@designful.com.au 0438 578 518 www.designful.com.au  
DESIGNER

**LOCATION SITE PLAN**  
DRAWING

A 9-03-17  
ISSUE DATE

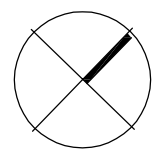
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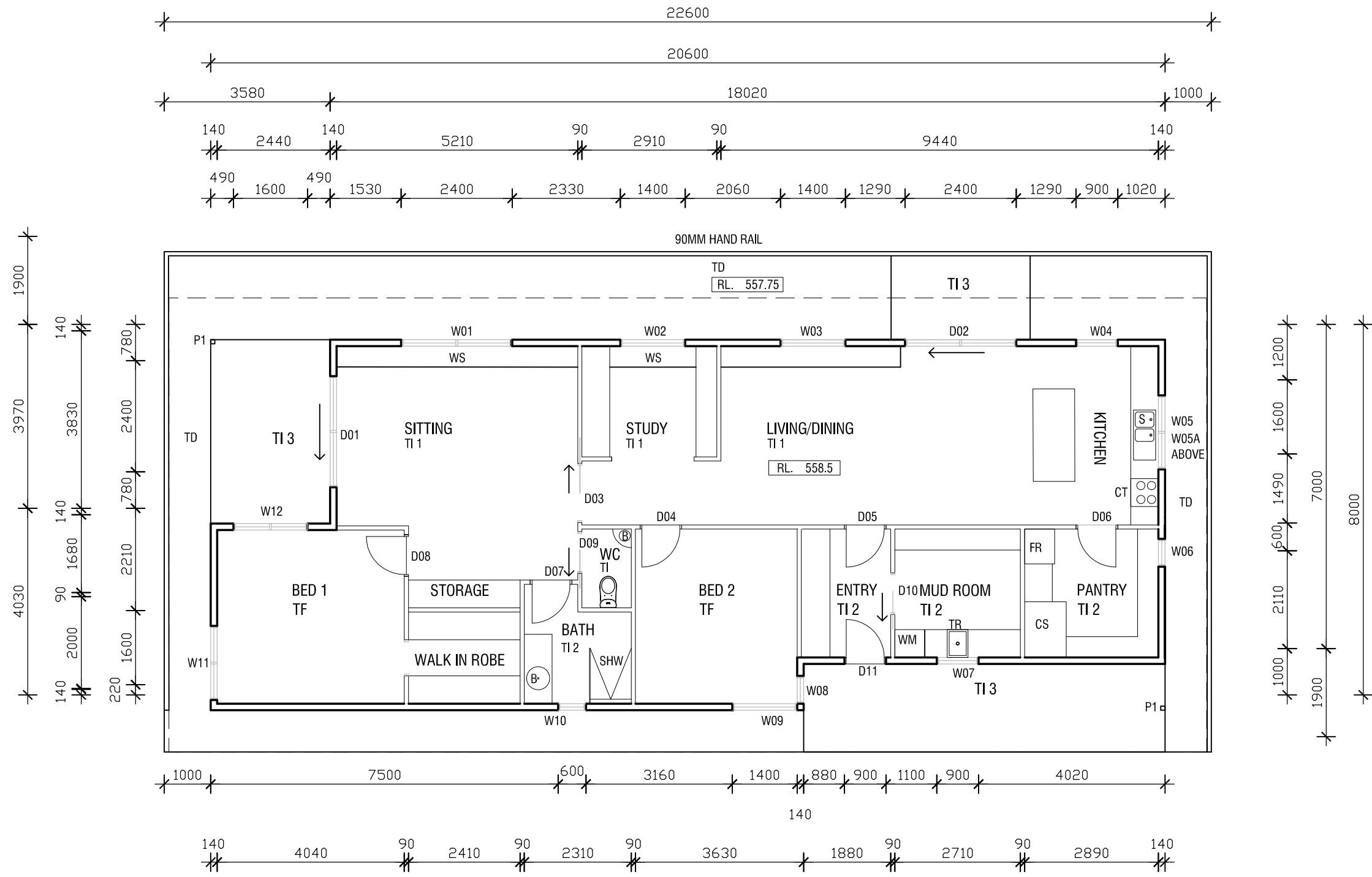
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DWG NO.



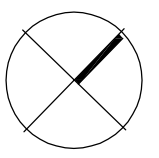
**LEGEND**

- SC STORAGE SHIPPING CONTAINER 2.4 X 6.0M
- PG PRODUCTIVE GARDEN
- FT 10,000 LTR FIRE FIGHTING TANK. WET SYSTEM FEED FROM HOUSE
- WT WATER TANK 5000LTR
- SA GROUND MOUNTED SOLAR ARRAY. 32 PANELS 1.65 X 1M EACH
- SS SOLAR ARRAY EQUIPEMENT SHED
- CPS PROPOSED CARPORT AND SHED





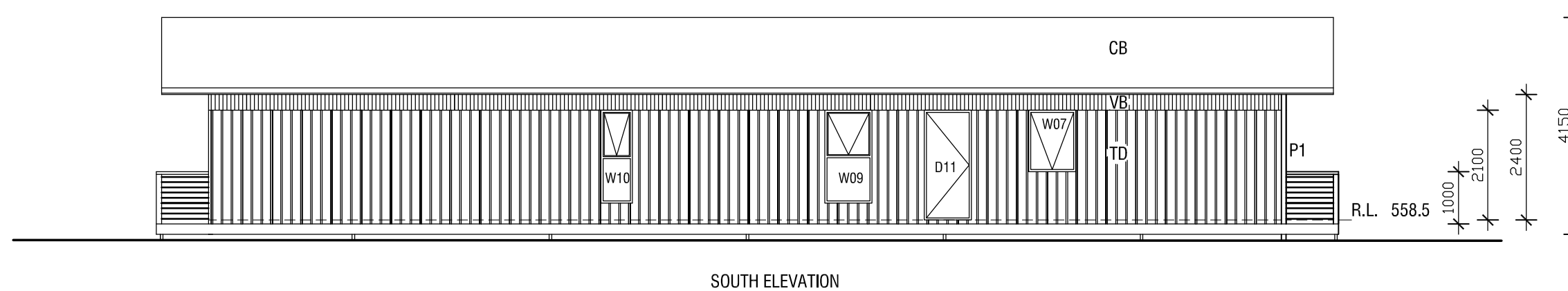
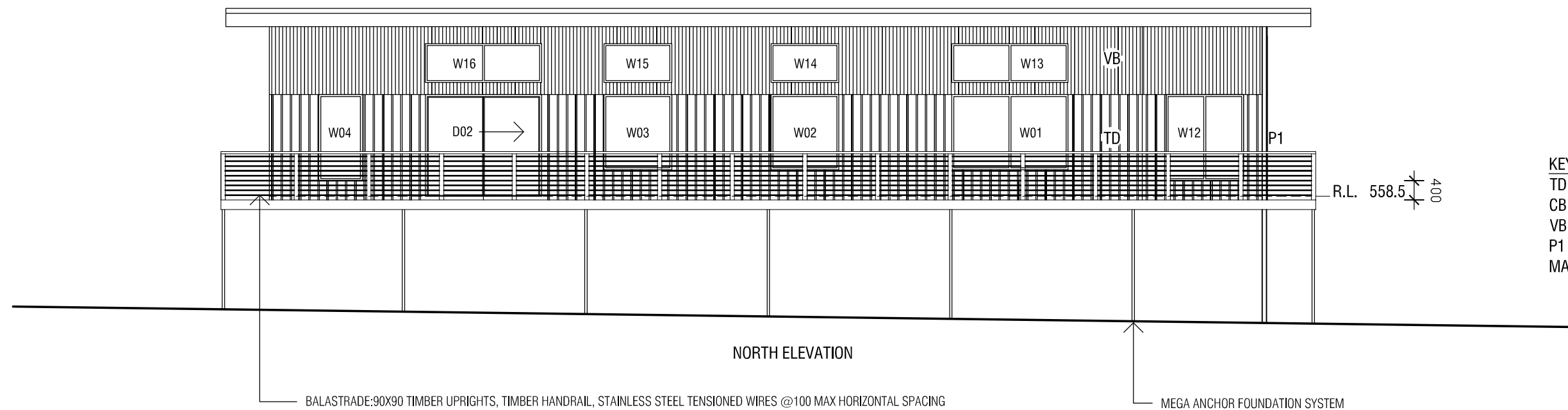
- |            |                 |
|------------|-----------------|
| <b>KEY</b> |                 |
| B          | HAND BASIN      |
| S          | SINK            |
| TR         | TROUGH          |
| CT         | COOK TOP        |
| FR         | FRIDGE          |
| CS         | COOL STORE      |
| P1         | 90X3.5 SHS POST |
| WS         | WINDOW SEAT     |
| P1         | 90x3.5 SHS POST |
| SHR        | SHOWER          |
| TF         | TIMBER FLOOR    |
| TI 1       | TILE (DARK)     |
| TI 2       | TILE (LIGHT)    |
| TI 3       | TILE EXTERIOR   |
| CA         | CARPET          |
| WC         | TOILET          |
| WM         | WASHING MACHINE |
| TD         | TIMBER DECKING  |

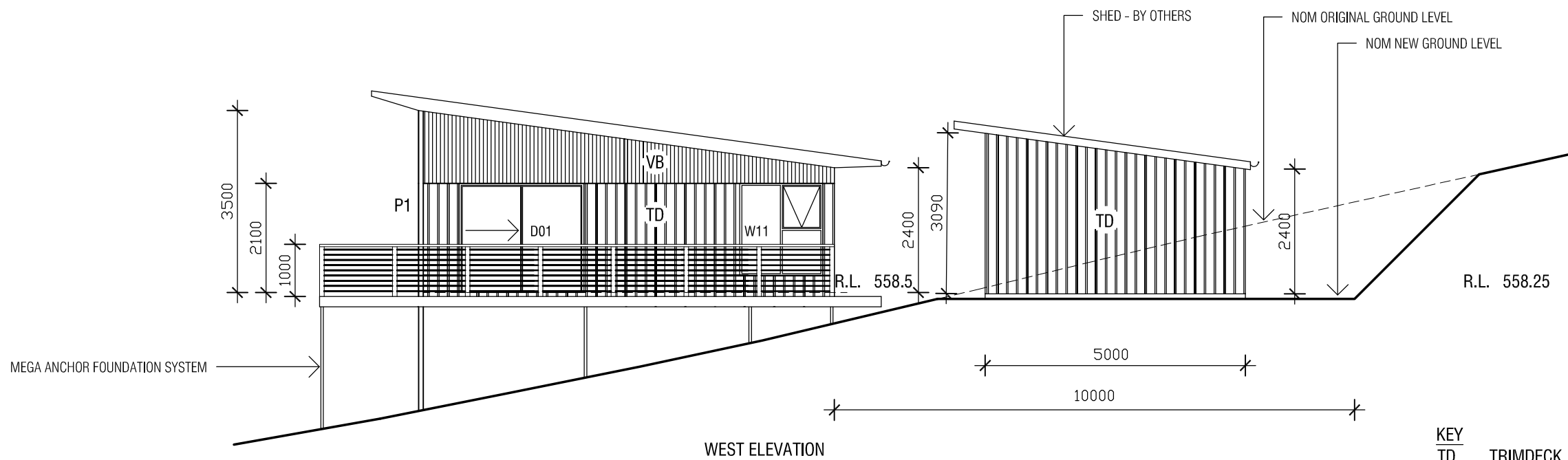
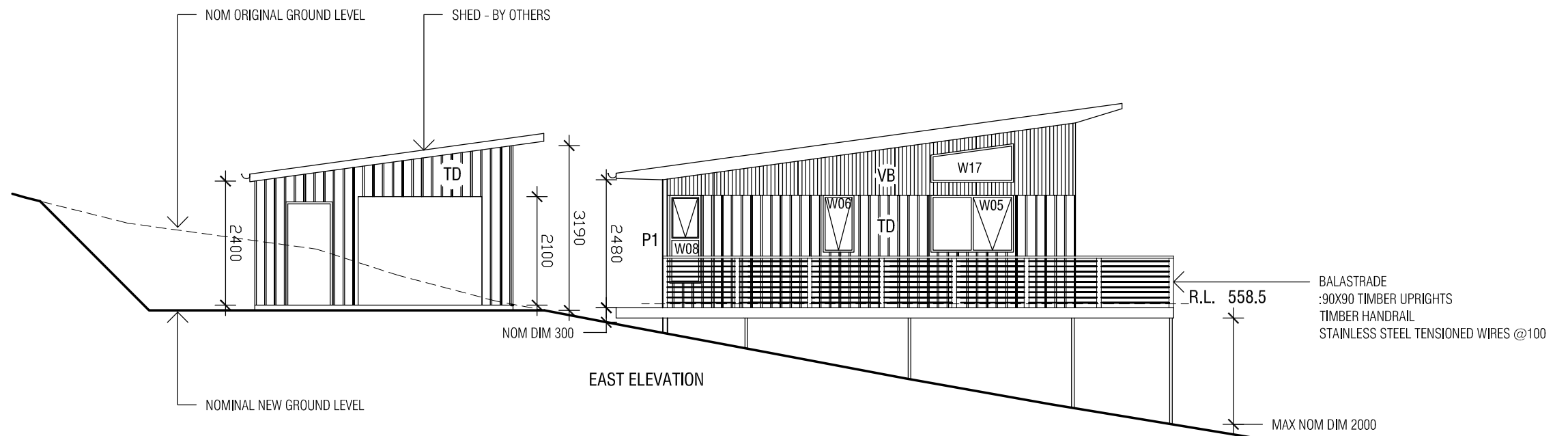


7/318 WIITEENA ROAD JACKEYS MARSH	RUSSELL & JEANETTE CROSS JANE HILLIARD (CC6237 H) jane@designful.com.au 0438 578 518 www.designful.com.au
PROJECT	OWNER
	DESIGNER

<b>PROPOSED FLOOR PLAN</b>	A	9-03-17	1:100	<b>1613-303</b>
DRAWING	ISSUE	DATE	SCALE	DWG NO.

THE BUILDER/CONTRACTOR SHALL VERIFY JOB DIMENSIONS PRIOR TO COMMENCING WORK. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR OTHERWISE DEALT WITH, WITHOUT THE WRITTEN CONENT OF DESIGNFUL/ JANE HILLIARD.





- KEY**
- TD TRIMDECK
  - CB COLORBOND SHEETING
  - VB VERTICAL BOARD
  - P1 90X3.5 SHS POST
  - MA MEGA ANCHOR

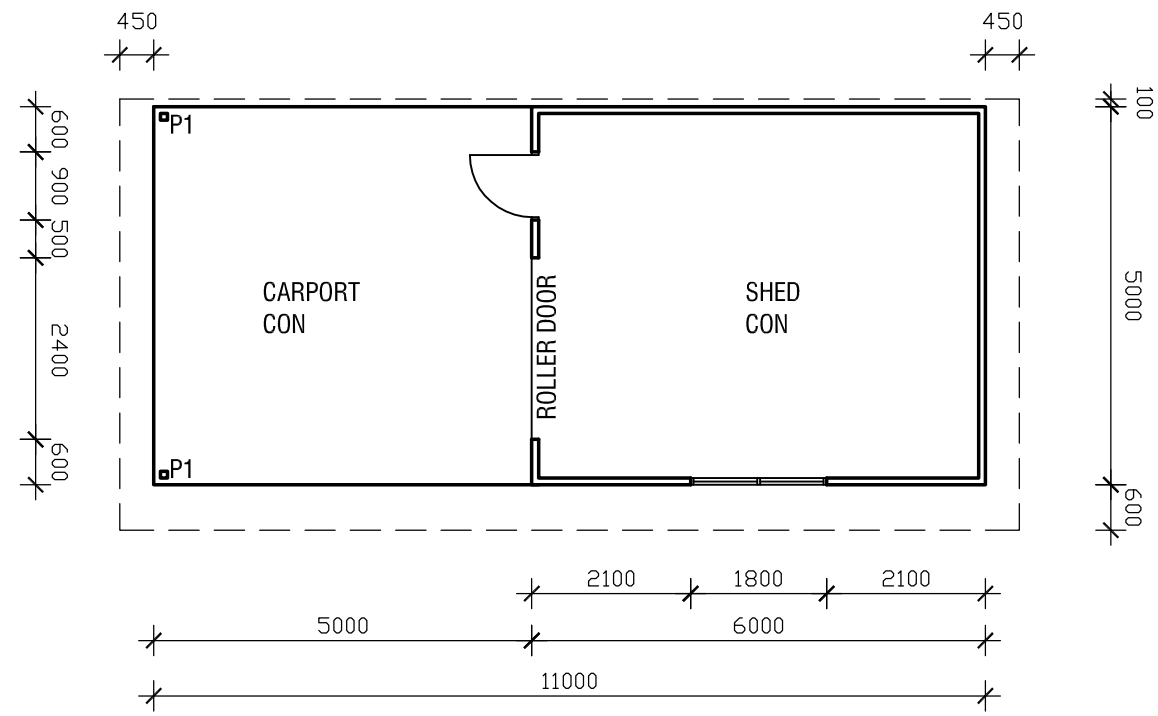


7/318 WIITEENA ROAD JACKEYS MARSH	RUSSELL & JEANETTE CROSS	JANE HILLIARD (CC6237 H) jane@designful.com.au 0438 578 518 www.designful.com.au
PROJECT	OWNER	DESIGNER

<b>ELEVATIONS 2</b>
DRAWING

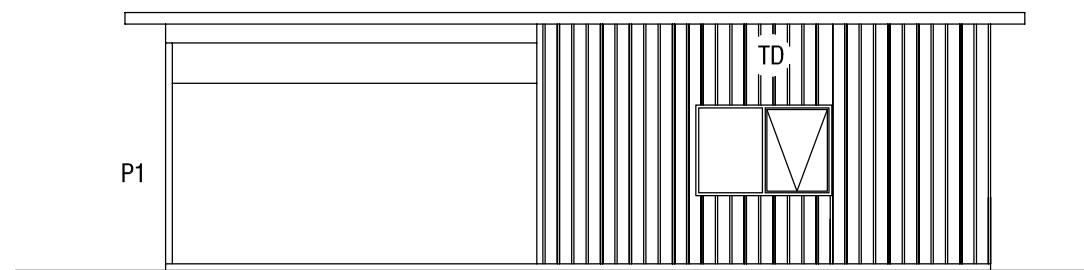
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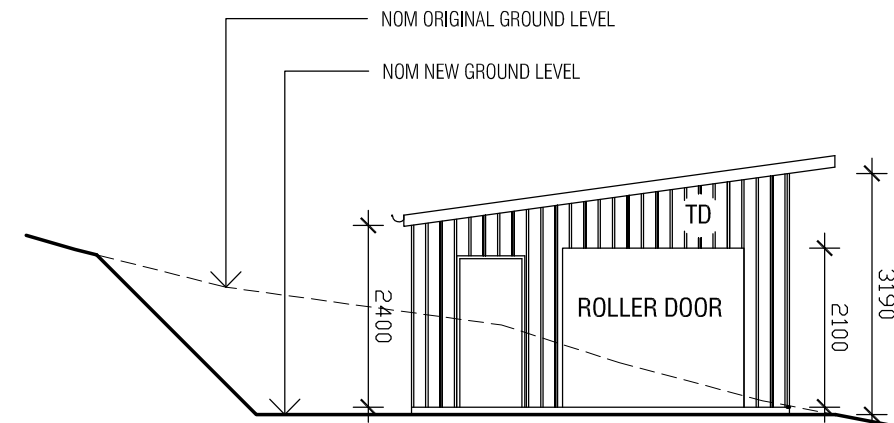


FLOOR PLAN

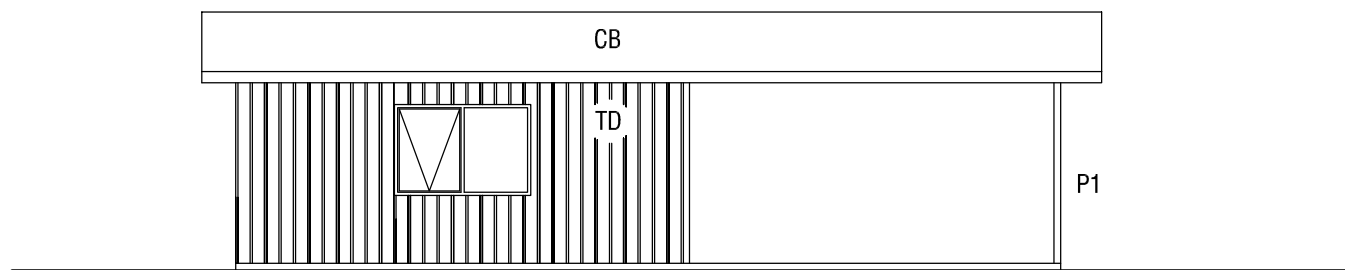
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 TD TRIMDECK  
 CB COLORBOND SHEETING  
 P1 90X3.5 SHS POST  
 CON CONCRETE



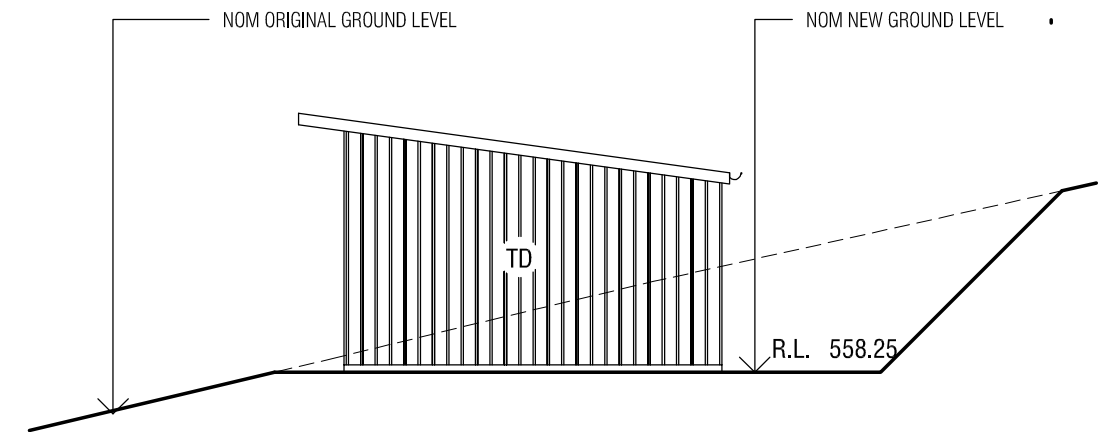
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



7/318 WIITEENA ROAD  
 JACKEYS MARSH

PROJECT

RUSSELL & JEANETTE CROSS

OWNER

JANE HILLIARD (CC6237 H) jane@designful.com.au 0438 578 518 www.designful.com.au

DESIGNER

**FLOOR PLAN &  
 ELEVATIONS SHED**

DRAWING

A 9-03-17

ISSUE DATE

1:100

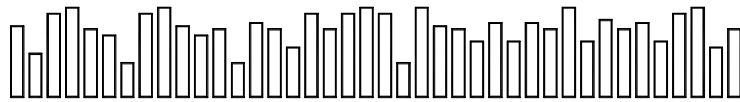
SCALE

**1613-306**

DWG NO.

# CSE TASMANIA PTY LTD

civil & structural engineering



28<sup>th</sup> March 2017

**Client:** Russell and Jeanette Cross  
**Site Address:** 7/318 Wiiteena Road Jackeys Marsh  
**Title Reference:** 157619/7  
**PID:** 2982554

## SITE CLASSIFICATION

### INTRODUCTION

Environmental Services and Design Pty Ltd were commissioned to conduct a site classification under AS2870-2011 and wind loading assessment under AS4055 for the subject property based on construction of a new dwelling on piers.

All field work, calculations and the soil profile logs have been completed by Bruce Harpley from Environmental Services and Design Pty Ltd. Verification of the fieldwork and site classification is provided by Chris Martin from CSE Tasmania Pty Ltd.



ABN 98 118 678 667

p 03 6428 3994 • f 03 6428 3995 • m 0429 418 739 • [chris@csetas.com.au](mailto:chris@csetas.com.au)

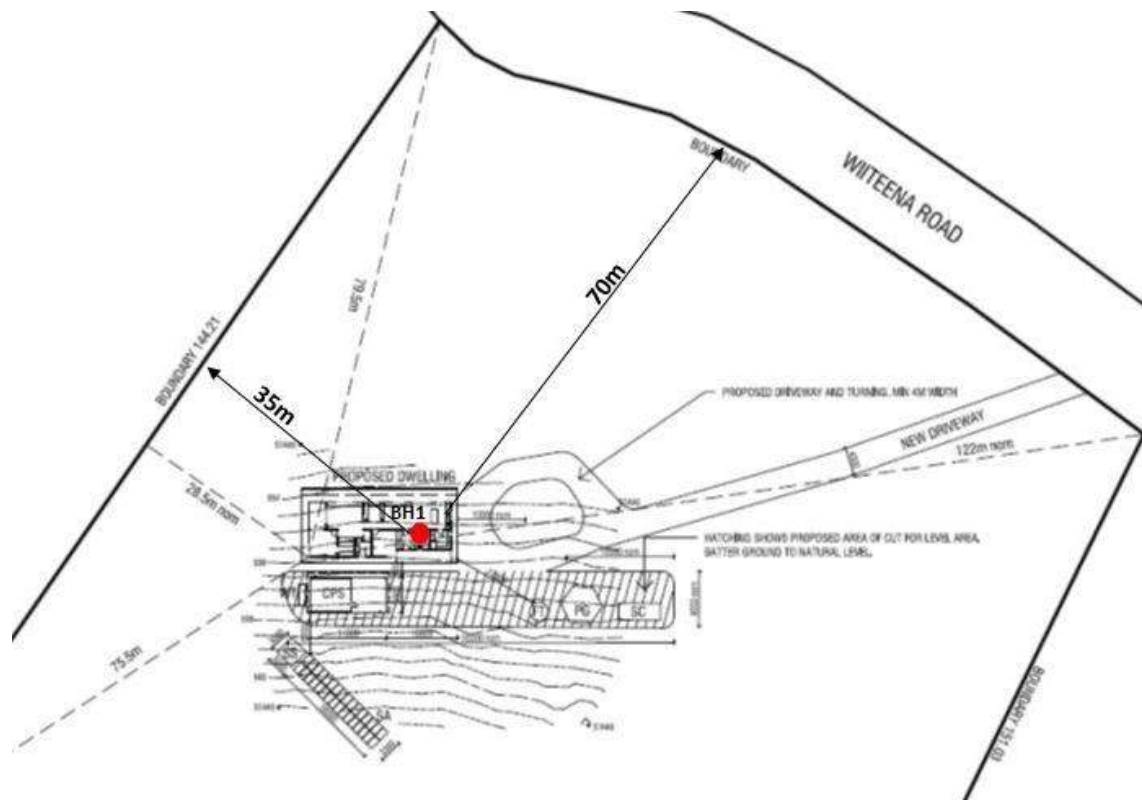
Office Address – 127 Leith Road, Leith • Mailing Address PO Box 49, Turners Beach 7315

## Bore Hole

A soil sample was taken using an auger to a depth of 1100mm to determine soil classification and profile. The soil sample collected from the bore hole was subjected to visual inspection and classification.

Dynamic cone penetrometer testing was conducted adjacent to the borehole site.

The soil profile log and penetrometer test results are attached to and form part of this report.



## General Findings

**Fill** - No fill was evident in the bore hole.

**Geology** – Unfossiliferous pebbly siltstone, siltstone and sandstone (MRT Geological Atlas 1:25,000). The silt type soil can be expected to be slightly more reactive with regard to soil volume changes due to soil moisture variations.

**NOTE:** With the exception of the north western corner, the lot is within a low risk landslip hazard band. Mineral Resources Tasmania notes that there are no known active landslips and is not within a 'proclaimed' landslip zone.

Dependent upon sub-surface conditions and construction methods further investigation may be required by a geotechnical engineer.

**Topography** - The proposed site has a 10 degree slope to the north.



**Surrounding Building Conditions** – There are no adjacent buildings within the new subdivision as yet.

### **Site Classification (AS2870-2011)**

Based on the absence of fill and silty soil profile and type, in accordance with AS2870-2011 the site is classified: **CLASS M**

### **Wind Classification (AS4055-2012)**

Wind Region	A	Topography/Location	T1
Terrain Category	TC3	Shielding	Partial
Design Wind Gust Speed Vu:	40m/s		

The wind classification is **N2** and the Builder must use the appropriate type and number of bracing units, tie-downs and fixings as specified in **AS 1684.4-2006 Residential Timber-Framed Construction**.

### **NOTES**

1. Test holes were excavated in the locations listed above, and the site classification is based on the soil profiles revealed at those locations, together with geological mapping and knowledge of the local area. Because of the normal variability of soils, local anomalies may occasionally be encountered during site excavation, and in this event it is the responsibility of the client to obtain further advice from CSE.
2. CSIRO Building and Technology File 18 – Foundation Maintenance and Footing Performance – A Homeowners Guide details the Owners responsibilities and provides recommendations on slab maintenance. This guide is available through the CSIRO website.

Yours sincerely



Chris Martin BE(Hons), MBA (Tech Mgt), MIEAust, CPEng, RPEQ  
Senior Civil & Structural Engineer  
Director – CSE Tasmania Pty Ltd

# Environmental Service and Design Pty Ltd

ABN 97 107 517 144 ACN 107 517 144

14 Cattley Street BURNIE TAS 7320

Phone (03) 6431 2999 Fax (03) 6431 2933 [www.esandd.com.au](http://www.esandd.com.au)



## SOIL PROFILE LOG

<b>CLIENT:</b> Russell and Jeanette Cross	<b>PAF NUMBER:</b> 5691
<b>PROJECT:</b> 7/318 Wiiteena Road JACKEYS MARSH	<b>PID</b> 2982554 <b>Title</b> 157619/7
<b>LOCATION:</b> 472106E 5381550N GDA94	<b>HOLE NO:</b> 1
<b>METHOD:</b> Auger	<b>DATE LOGGED:</b> 19 December 2016

Depth (m)	Sample	Test	Graphic Log	Moisture	Particle Size	Plasticity	Density	Consistency	Symbol	Soil Description	Comments
0.0 - 0.5	H	D P C C	[Red shaded area]	D	M	M		F	MC	Silty clay with gravel (trace of sand) Light Brown	Gravel to max 10mm (20%)
0.5 - 1.1			[Red shaded area]	SM	F	M		F	MC	Silty Clay (traces of gravel) Light Brown	Gravel to max 5mm (10%)
1.1 - 1.10										<u>END OF HOLE 1.10m</u>	

**Sample:**

U50 - 50mm tube

H - hand

**Test:**

V - shear vane

HP - Hand penetrometer

UCS

**Moisture:**

D - dry

SM - slightly moist

M - moist

VM - very moist

S - saturated

W - free water

**Consistency**

**Cohesive:**

VS - very soft

S - soft L - loose

F - firm

St - stiff

VSt - very stiff

H - hard

**Consistency**

**Noncohesive:**

VL - very loose

L - loose

MD - medium dense

D - dense

VD - very dense

**Density:**

VL - very loose

MD - medium dense

D - dense

VD - very dense

**Soils:**

G - gravel

C - clay

S - sand

M - silt

XW, DW, SW, FR, (ROCK)

**DYNAMIC CONE PENETROMETER - RESULT SHEET** AS1289.6.3.2



**Client:** Russell and Jeanette Cros  
**Project:** New Dwelling  
**Location:** 7/318 Wiiteena Road Jackeys Marsh  
**Operator:** BH  
**Date:** 19/12/2016  
**Job No:** 5691

**Site No:** 1  
**Location:** House site

**Site No:**  
**Location:**

Depth mm	Blows / 100 mm	Est CBR	Est q(all)
100	1	2	55
200	2	3.5	97
300	2	3.5	97
400	3	6	166
500	3	6	166
600	3	6	166
700	2	3.5	97
800	3	6	166
900	3	6	166
1000	3	6	166
1100			
1200			
1300			
1400			
1500			
1600			

Depth mm	Blows / 100 mm	Est CBR	Est q(all)





**DYNAMIC CONE PENETROMETER - RESULT SHEET** AS1289.6.3.2



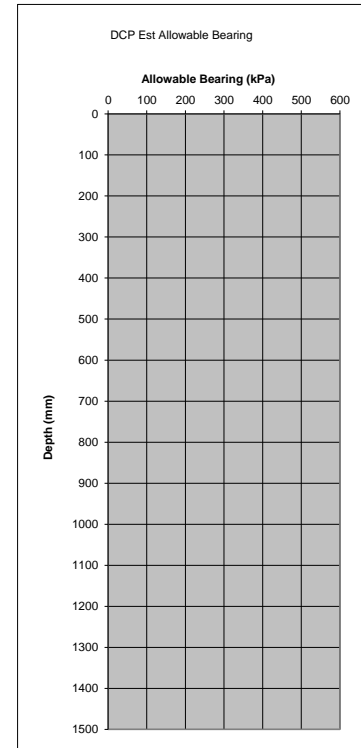
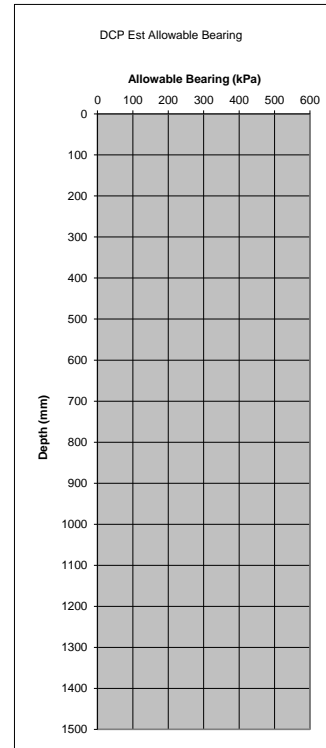
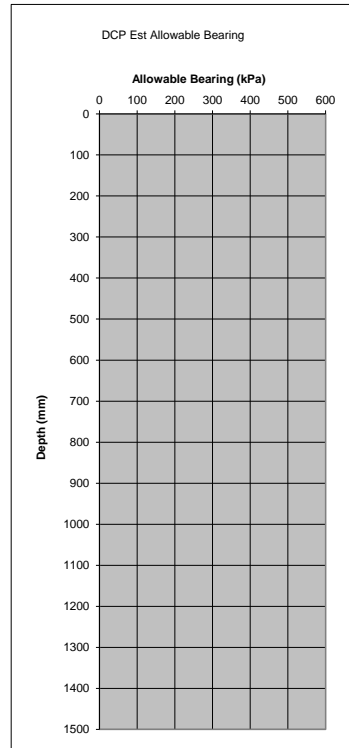
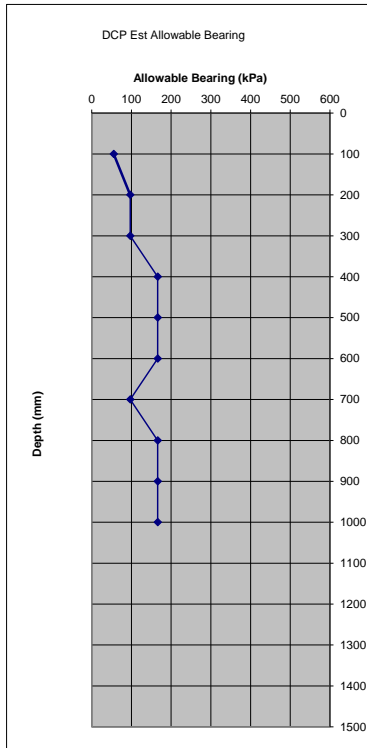
**Client:** Russell and Jeanette Cross  
**Project:** Dwelling  
**Location:** 7/318 Wiiteena Road Jackeys Marsh  
**Operator:** BH  
**Date:** 19/12/2016  
**Job No:** 5691

**Site No:** BH1  
**Location:** House site

**Site No:**  
**Location:**

**Site No:** BH3  
**Location:**

**Site No:** BH4  
**Location:**



**Note:** The Allowable Bearing Capacity data applies to cohesive soils only and is based on bearing capacity factor  $N_c = 5$  and  $FOS = 4$ . Approximate  $C_u = 0.8 \times$  allowable bearing capacity.  
**Caution:** The Allowable Bearing derived using this method should be used with care and consideration should be made of soil moisture condition at the time of the test in relation to that expected during service life of the foundation.

Using DCP tests for determining soil strength and allowable bearing capacity is generally considered to be of limited applicability (Ref Campanella & Robertson, 1983).



**DYNAMIC CONE PENETROMETER - RESULT SHEET** AS1289.6.3.2



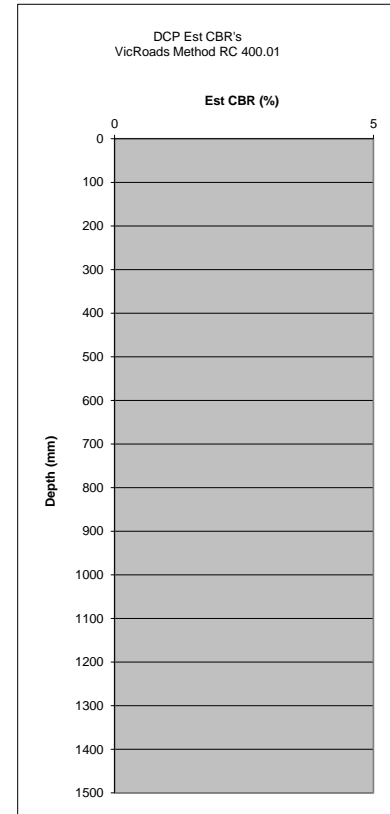
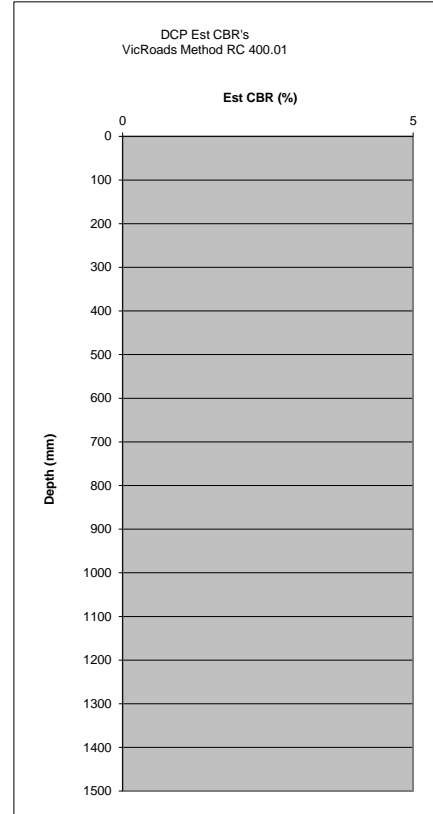
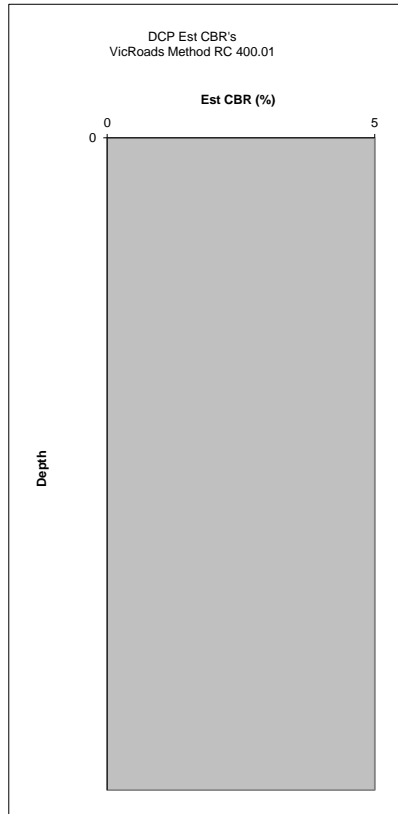
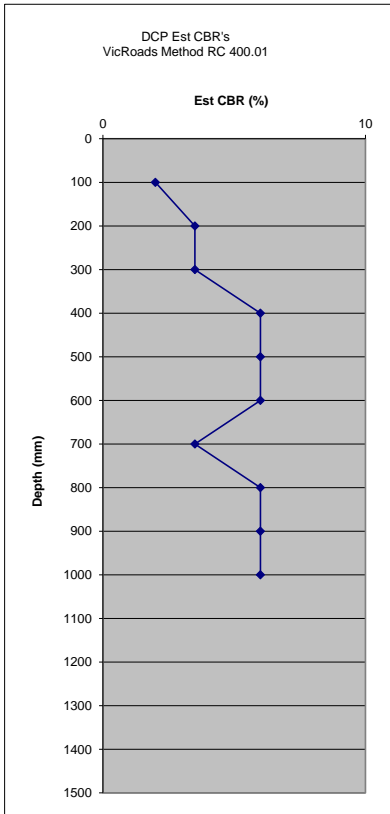
**Client:** Russell and Jeanette Cross  
**Project:** New Dwelling  
**Location:** 7/318 Wiiteena Road Jackeys Marsh  
**Operator:** BH  
**Date:** 19/12/2016  
**Job No:** 5691

**Site No:** 1  
**Location:** house site

**Site No:**  
**Location:**

**Site No:** 3  
**Location:**

**Site No:** 4  
**Location:**



**VicRoads Test Method 402.01 - Estimated California Bearing Ratio Using Dynamic Cone Penetrometer Tests**  
 This method covers the calculation of the estimated California Bearing Ratio (CBR) of cohesive soils from the penetration results obtained using the dynamic cone penetrometer described in AS 1289.6.3.2

**Caution:** The CBR data derived using this method should be used with care and due consideration should be made of soil moisture condition at the time of the test in relation to that expected during service life of the pavement.



## Environmental Service and Design Pty Ltd

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### Postal

PO Box 651  
Burnie TAS 7320

# Bushfire Hazard Management Report

**7/318 Wiiteena Road JACKEYS MARSH**



Applicant:

**Russell and Jeanette Cross  
PO Box 157  
BRIGHTON TAS 7030**

Prepared by:

Bruce Harpley  
Environmental Service and Design Pty Ltd  
Version 1: 28 March 2017

Contact Phone Number:

0429 355 259

E- Mail:

[bharpley@esandd.com.au](mailto:bharpley@esandd.com.au)



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## Scope of Assessors Accreditation

**Bruce Harpley (BFP-140)** is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for scope of works:

1. Certify a Bushfire Attack Level Assessment for **Building Work**
2. Certify an **Exemption** from a Bushfire Hazard Management Plan
- 3A. Certify Acceptable Solutions for **Buildings or Extensions**
- 3B. Certify Acceptable Solutions for **Small Subdivisions** (less than 10 Lots or a single stage)

Works performed by **Bruce Harpley (BFP-140)** that require Tasmania Fire Service endorsement:

- 3C. Certify Acceptable Solutions for **Large Subdivisions** (10 lots or more or in multiple stages)
4. Certify a Bushfire Hazard Management Plan meets performance criteria (clauses E1.5 & E1.6 of the *Bushfire-Prone Areas Code*).

## Disclaimer

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Bushfires in Tasmania are an unpredictable natural phenomenon and preparing a Bushfire Hazard Management Plan increases your chances of defending your property and assists in the protection the people whom frequent it. This Fire Hazard Management Plan in no way guarantees immunity from a bushfire in or around your property or the effects thereof.

Any measures implemented based on the advice from *Environmental Services and Design Pty Ltd*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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## Re-Certification – Ability to Re-Evaluate

If in the event that the land owner requests a re-assessment of this plan due to a reduced or eliminated bushfire risk in the future; an Accredited Bushfire Assessor can over-ride any or all of the requirements or provisions of this plan. This provision serves to formally expunge any Part 5 Agreement with a Council Planning Authority (if placed on a Title as a condition of Permit) or to reduce the construction standards required under *AS3959 Construction of Buildings in Bushfire Prone Areas* (as amended) if the bushfire risk is reduced to **BAL – LOW** or a threat no longer exists.

## Section 1

### 1. Introduction

Environmental Services and Design Pty Ltd has been engaged by the property owner to complete a bushfire hazard management assessment for a proposed 2 bedroom class 1a habitable building.

The purpose of this report is to document the assessment, bushfire attack level and associated hazard management areas under the Tasmanian Building Regulations, Directors Determination – Requirements for Building in Bushfire-Prone Areas (February 2017) and AS3959-2009.

## Section 2

### 2.1 Property Details

Property Address	7/318 Wiiteena Road JACKEYS MARSH
Certificate of Title	157619/7
Type of Application	New Dwelling
Area	2.1ha
Zoning	Rural Living
Surrounding Zoning	North, west and east - Rural Living. West – Rural Resource
Planning Scheme	Meander Valley Interim Planning Scheme 2013
Existing land Use	Vacant lot

### 2.2 Surrounding land use

To the north are two established residential uses and vacant lots of the approved subdivision. To the east is one residential use and vacant lots. To the west is a vacant lot and established residential use. To the south is the slope above and forested vacant land

### 2.3 Vegetation

Vegetation surrounding the property, from the respective boundaries is assessed as:

- North – Forest >1ha ;
- South – Forest >1ha;
- East – Grassland 60m then forest >1ha;
- West – Grassland 130m then forest >1ha.

## 2.4 Topography

The slope of the lot varies from 10° north at the northern portion of the lot to 16° at the southern end of the lot.

## 2.5 Access

Access to the property is from the existing Wiiteena Road which is a 4.3m wide Council maintained and approved public road exiting to Sugarloaf Road, to Jackeys Marsh Road and then East Meander Road.

Access is greater than 30m length and will be required for firefighting appliances.

Access to the existing dwelling is via a 4m wide and 80m long all-weather driveway with a 20m x 16m x 4m wide turning circle. Private access from the public road is shown on the site plan prepared by Designful drawing number 1608-302 dated 21/02/2017.

Access complies with the requirements of Table 4.2 B of the Directors Determination 'Requirements for Building in Bushfire-Prone Areas' (February 2017) and AS3959-2009.

## 2.6 Water Supply

Property is on a stored water supply. There is no reticulated water supply or fire hydrants in the area. Static water supply for firefighting will be required.

The site plan indicates a 10,000L firefighting tank situated on hardstand 12.5m southeast of the proposed dwelling. The hardstand area for access to the static water supply measures 12m x 8m and can be accessed from the driveway and the turning circle. This complies with Table 4.3B A and E.

Provided the static water supply tank complies with all other requirements of Table 4.3B B, C and D of Directors Determination dated February 2017 the supply will comply.

## 3.0 Site Assessment

A site assessment was carried out on 19 December 2016 and desktop assessment was conducted on 28 March 2017. Site plan, prepared by Designful is attached. Relevant site photographs are below.

### 3.1 Fire Danger Index

The fire danger index as per Table 2.1 AS3959-2009 for Tasmania is 50.

BAL Assessment: 7/318 Wiiteena Road PAF 5691



North to residence and forest vegetation



Northeast – grassland and forest vegetation



Northwest – grassland and forest vegetation

### 3.2 BAL Assessment

Vegetation classification (refer Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South West <input type="checkbox"/>	South East <input type="checkbox"/>	North West <input type="checkbox"/>
Group A Forest	<b>X</b>	<b>X</b>		
Group B Woodland				
Group C Scrub land				
Group D Scrub				
Group E Mallee/Mulga				
Group F Rainforest				
Group G Grassland			<b>X</b>	<b>X</b>
Managed Land				
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2			
	(e)			
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	Show distance in metres			
	64m	70m	78m	22m
Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>
	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South West <input type="checkbox"/>	South East <input type="checkbox"/>	North West <input type="checkbox"/>
	Downslope			
	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>
	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>
	>10 to 15 <input checked="" type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>
	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>
BAL Value for each side of site	<b>12.5</b>	<b>12.5</b>	<b>LOW</b>	<b>12.5</b>

### 3.3 Risk Assessment

The bushfire risk assessment at section 3.2 assesses the risk as Low to the east and as BAL 12.5 to the north, south and east. The following factors must be considered:

- Access is greater than 30m and access is required for firefighting vehicles - access meets requirements of Table 4.2B of the Directors Determination 'Requirements for Building in Bushfire-Prone Areas' (February 2017); and
- Static water supply is required and position and hardstand area comply with requirements of Table 4.3B A and E of the Directors Determination 'Requirements for Building in Bushfire-Prone Areas' (February 2017): and
- Static water supply must comply with remaining requirements 4.3B B, C and D of the Directors Determination 'Requirements for Building in Bushfire-Prone Areas' (February 2017).

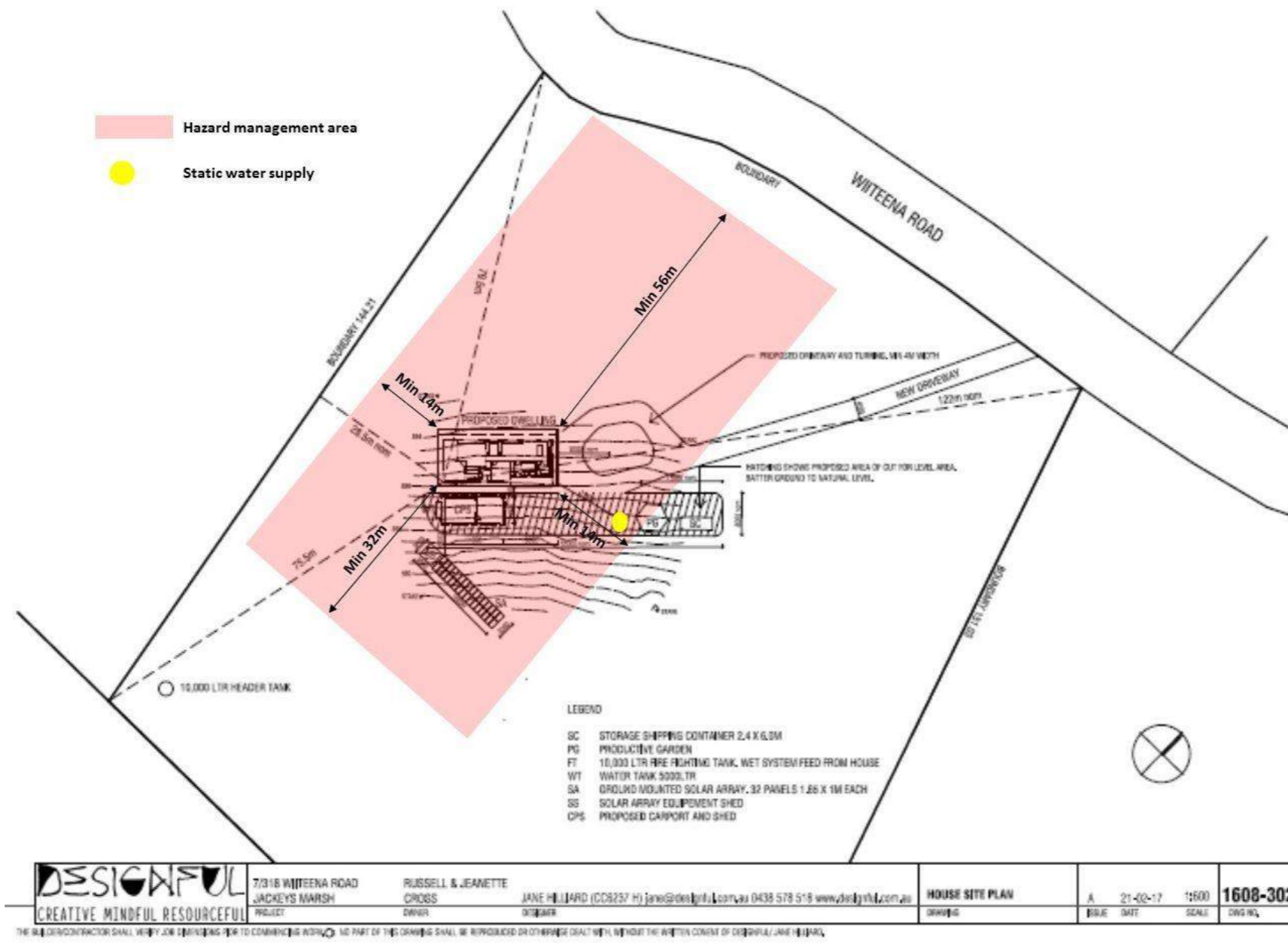
The proposal meets the requirements of the Directors Determination 'Requirements for Building in Bushfire-Prone Areas' (February 2017) and AS3959-2009.

A hazard management area and plan will be required are detailed in section 4.

# Bushfire Hazard Management Plan

## Plan and Specifications





This plan has been prepared only for the purpose of complying with E1 Bushfire-Prone Areas Code and the information shown hereon must not be used for any other purpose. All dimensions and areas are in meters.	Scale: NTS	Drawing No: 5691-1
Drawn: Bruce Harpley BFP-140	Date: 28 March 2017	Revision No: 0
This Bushfire Hazard Management Plan must be read in conjunction with the requirements detailed in <b>Attachment B</b> of this plan		



## Bushfire Hazard Management Plan

### Specification

#### 7/318 Wiiteena Road Jackeys Marsh Title Reference 157619/7

**1.1 Introduction**

The Bushfire Attack Level (BAL) assessment is for the proposed house extension at **7/318 Wiiteena Road Jackeys Marsh**.

The development will have a Hazard Management Area (HMA) surrounding the features identified on Drawing No: **5691-1**.

Vegetation greater than 1Ha within 100m (50m grassland) of the proposal site was assessed against the Acceptable Solutions Criteria of the municipal planning scheme. AS3959-2009 was used to assign a BAL level to the development utilising a range of data specific to the subject site.

**1.2 Water Supply**

The subject land is not connected to municipal water supply. A fire hydrant is not located within the subject area. The development will require a static water supply for firefighting.

**1.3 Access**

Road access is via a crossover and access from **Wiiteena Road** which is a Council maintained public roadway that complies with municipal standards. Access to the site for fire appliances is accommodated by the compliant private access with provision for sufficient room for the suitable manoeuvrability of vehicles..

Egress from the site is via **public road** which is constructed to Council requirements enabling safe passage for a variety of vehicle sizes through to a State road.

**1.4 Landscaping**

It is the responsibility of the land owner to maintain the landscaping in accordance with the Bushfire Hazard Management Plan.

All paths and pedestrian areas within 1m of any habitable structure on the subject site must be constructed of non- combustible materials (i.e. stone, paving, concrete, pebbles etc.).

Vegetation along pathways should be of a low flammability type and in accordance with the Tasmania Fire Services' brochure - Fire Retardant garden plants. Plants that produce a lot of debris or fine fuels should be avoided. Trees and shrubs that retain dead material in branches, or which shed long strips of bark, or rough fibrous bark, or large quantities of leaves should be avoided.

Vines on walls or tree canopies over roofed areas should be avoided. Timber, woodchip and flammable mulches cannot be used and brush and timber fencing should be avoided.

**1.5 Hazard Management Area (HMA)**

A bushfire Hazard Management Area (HMA) will be developed within and up to the property boundaries. Refer to the Drawing No **5691-1**.

The specified width of the HMA is to enable the existing habitable building to comply to **BAL 12.5** and **BAL Low** in the position shown on the site plan.

This area is to be regularly maintained and managed and in particular between the months of September and March in each calendar year. Landscaping in the HMA is to be minimised, grass maintained to a maximum height of 50mm with fuel loads not exceeding 2 tonnes per hectare.

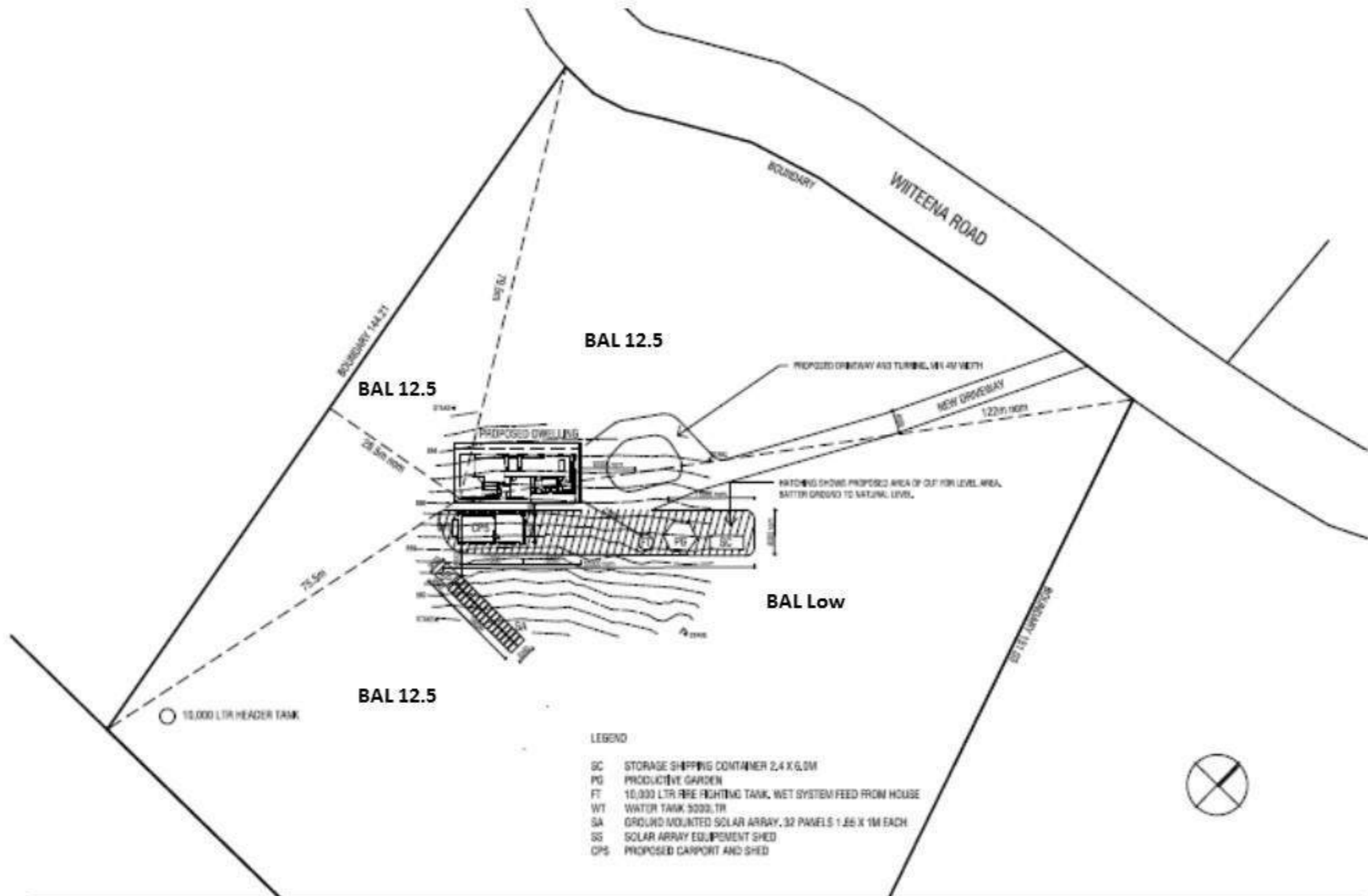
Pathways and landscaping material surrounding any habitable structures must be of non-combustible elements for a minimum of 1m from any external walls or decks.

This BHMP is achieved by:

- Pathways located on the subject land to be of non-combustible materials
- Fuel loads to be kept to less than 2 tonnes per hectare
- Total shrub cover is to be kept to a maximum of 20% of the available area.
- Clear space from any habitable structures of at least 4 times the mature height of any shrubs planted
- Shrubs must not be planted in cluster forms or clumps
- Remove ground level fuels and trim the bottom of tree canopies to at least a height of 2m off ground level
- Minimise ground level fuels wherever possible.

**1.6 Maintenance prior to the onset of each fire season**

- Guttering on all habitable structures must be inspected and cleared of debris annually
- Ensure all hoses and brass connections are in good working order
- All valley and wall/roof junctions are inspected and debris removed
- Roof sheeting inspected for damages or dislodged roofing materials (replace if necessary)
- Painted surfaces are in good condition and decaying timbers given particular attention to repair
- Screens/shutters on windows and doors are in good working condition and fit well without breaks, holes or tears
- Door mats to be of non-combustible materials
- Woodpiles, garden sheds and other combustible materials to be kept well away from habitable structures.



- LEGEND
- SC STORAGE SHIPPING CONTAINER 2.4 X 6.0M
  - PG PRODUCTIVE GARDEN
  - FT 10,000 LTR FIRE FIGHTING TANK, WET SYSTEM FEED FROM HOUSE
  - WT WATER TANK 5000 LTR
  - SA GROUND MOUNTED SOLAR ARRAY, 32 PANELS 1.66 X 1M EACH
  - SS SOLAR ARRAY EQUIPMENT SHED
  - CPS PROPOSED CARPORT AND SHED

<p>CREATIVE. MINDFUL. RESOURCEFUL.</p>	7/316 WITTEENA ROAD JACKEYS MARSH NSW 2232	RUSSELL & JEANETTE CROSS OWNER	JANE HILLIARD (CD8237 H) jane@designful.com.au 0438 578 518 www.designful.com.au DESIGNER	HOUSE SITE PLAN DRAWING	A	21-02-17	1:1000	1608-302
					DATE	SCALE	DWG NO.	

THE DESIGN CONTRACTOR SHALL VERIFY JOB DIMENSIONS PRIOR TO COMMENCING WORK. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR OTHERWISE DEALT WITH WITHOUT THE WRITTEN CONSENT OF DESIGNFUL/JANE HILLIARD.

## Proposed residential development – 7/318 Wiiteena Road Jackeys Marsh

### Background:

The proposal is for construction of a 2 bedroom residence on a lot previously subdivided and approved by Council. There is a requirement to demonstrate the waste water disposal system and stormwater overflow from proposed domestic drinking water and firefighting tanks meets the acceptable solutions of Code E15 Karst Management Code of the Meander Valley Interim Planning Scheme 2013.

The proposed use and development are within a low sensitivity area, as shown on map 16 of the Karst Mapbook.

The relevant use standards are E15.5 A2 and A7. The relevant development standards are E15.6 A2.2 and A3.

### Assessment against Acceptable Solutions E15 Karst Management Code

#### E15.5 Use Standards

##### Objective:

To ensure that use managed to minimise adverse impacts on the Karst System.

**A2** *Wastewater disposal fields must be setback to sinkholes and caves the following distances:*

##### *Upslope*

$<5^{\circ}$  40m

$5^{\circ}$ - $10^{\circ}$  50m

$10^{\circ}$ - $15^{\circ}$  60m

$15^{\circ}$ - $20^{\circ}$  70m

*Add 10m for every additional  $5^{\circ}$  of slope*

##### *Downslope All slopes 40m*

The waste water disposal area is situated on a slope of  $10^{\circ}$  to the northwest. During the site assessment there were no sinkholes or caves identified by the owners within 100m of the proposed development.

The waste water disposal area is positioned 15m from the western boundary and 45m from the northern boundary. There are no sinkholes or caves within the property.

The distance required for a  $10^{\circ}$  slope is 50m. As there are no sinkholes or caves within the property and none within 100m the proposal meets the acceptable solutions in A2 above.

**A7** *The use does not involve the abstraction of water.*

The proposal involves the installation of water storage tanks for both domestic and firefighting uses. There is no intent for the abstraction of water for any purpose.

This meets the acceptable solution of E15.5 A7.

## **E 15.6 Development Standards**

### **Objective:**

*To ensure that the impacts of development are managed to minimise erosion and to prevent sediment and pollution entering the Karst System.*

**A2.2** *Runoff from buildings and access ways (not including forestry and plantation forestry) does not concentrate water flows into the groundwater system.*

Overflow from domestic and firefighting water tanks and stormwater from access way is directed to the existing stormwater drain on Wiiteena Road. The existing stormwater drain diverts surface water to Bowmans Creek.

This meets the acceptable solutions of A2.2

**A3** *Vegetation must be retained surrounding sinkholes and caves for the following distances (not including forestry and plantation forestry):*

#### *Upslope*

*<5° 40m*

*5°-10° 50m*

*10°-15° 60m*

*15°-20° 70m*

*Add 10m for every additional 5° of slope*

*Downslope All slopes 40m*

There are no sinkholes or caves on the property. Waste water design requires that native/endemic vegetation be planted over trenches following installation. This meets the acceptable solutions of A3.



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# On-Site Waste Water and Stormwater Disposal Assessment

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7/318 Wiiteena Road  
JACKEYS MARSH

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For: J & R Cross

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Project No: 5691

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## Document Control

Prepared & Published by: ES&D

Version: 1

File: 5691

Contact: Bruce Harpley

Phone No: (03) 6431 2999

Prepared For: Jeanette & Russell  
Cross

---

Version:			Date:
DRAFT 1	Bruce Harpley	ES&D	28/03/2017
FINAL	Bruce Harpley	ES&D	30/03/2017

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## Executive Summary

Municipality	Meander Valley
Location	7/318 Wiiteena Road
Client	J & R Cross
Design Site Plan	ES&D
Date of Inspection	19 December 2017
Desktop Study	28 March 2017
Water Supply	Tank Water



## 1 Background

This assessment and system design is for on-site waste water disposal system for a proposed two bed room dwelling with study. The size and configuration of the study cannot be considered a bed room under the Director's Guidelines for On-site Waste Water Management Systems. The size of the second bed room is suitable for one person only.

Assuming 2 persons for the first bed room and 1 person for the remaining bedroom results in a potential occupancy of 3 persons. However, the Director's Guidelines for On-site Waste Water Management Systems requires a two bed room dwelling to be assessed as a potential occupancy of 4 persons.

A site visit was conducted on 19 December 2016 to determine soil category and potential areas for waste water disposal.

It was noted during the site assessment that the position of the dwelling of the lot and the clay soil type would not meet the setbacks for an on-site waste water system designed in accordance with the Director's Guidelines for On-site Waste Water Management Systems.

The proposed development is also within a Karst management area and on-site waste water design must address the requirements of Code E15 of the Meander Valley Interim Planning Scheme 2013.

For these reasons, a design under AS14547-2012 is required and a risk assessment has been carried out under AS1547-2012 and the risk treatments have been considered and included in the design where appropriate. Risk assessment table is at attachment A of this report. System sizing utilising 'Trench' assessment software incorporates risk management principals and has been used for calculation of system sizing.

## 2 Site Information

**Land Use Zone:** Rural Living

**Method of Testing:** A core sample was taken, to refusal at 1100mm, to assess the soil category for waste water disposal. Soil category, for disposal of waste water, is assessed as category 5 light clay. The indicative permeability under from Table L1 is 0.12 to 0.5m/day.

**Waterways:** Wiiteena Creek is 204m to the north and Bowmans Creek is 353m to the west.

**Groundwater Bores:** There are no groundwater bores within 5000m of the site (DPIPWE – Groundwater Information Access Portal). Assessment of bores to the west of the site indicates a standing water level of between 7.6m and 27.4m. As a conservative assessment a groundwater level of 7.6m will be utilised for risk assessment.

**Climate:** Annual mean rainfall for the area is 1427mm (Refer BOM Site 1995-2016).

### 3 Soil Category

Soil category, for disposal of waste water, is assessed as category 5 light clay.

#### 4 Site assessment factors (AS1547-2012 table D1)

Assessment date: 19 December 2016

Weather: Fine.

**Table 1 Site Assessment Factors (AS1547-2012 table D1)**

<i>Item</i>	<i>Site Factor</i>	<i>Comments</i>
1	Slope	10° northwest in proposed disposal area.
2	Shape	Linear
3	Aspect	North west
4	Exposure	Area exposed to sun to approximately 3pm. Will be affected by winds.
5	Erosion/mass movement/landslip	Not within proclaimed landslip zone
6	Boulders/rock outcrops	None visible.
7	Vegetation	Grass
8	Watercourses	Creek 204m north and 353m west
9	Soil water regime	Water table appears <2.0m. Standing water level in distant bores 7.6m.
10	Fill	None noted in core sample
11	Run-on/flooding potential	Disposal area above flood line.
12	Channelled (concentrated) runoff	Stormwater to be directed away from proposed disposal area.
13	Soil surface condition	Uniform in vicinity of proposed disposal area.
14	Salinity	None evident
15	Soil type/category	Category 5 light clay.
16	Other relevant site specific factors	Gypsum and cut-off drain required.

**Table 2 Subsurface Conditions**

<i>Depth (mm)</i>	<i>Description</i>
0-1100	Light Clay (strong structure)

## 5 Site specific factors

### 5.1 Vegetation

The proposed disposal area is currently grassed. There are no flora of conservation significance.

### 5.2 Surface Water

Wiiteena Creek 204m north and Bowmans Creek 353m west. Table R2 of AS1547-2012 recommends that disposal areas should be >50m from surface waters.

### 5.3 Slope

The proposed disposal area has a linear slope of 10 degrees to the north west. A cut-off drain upslope of the disposal bed will be required.

### 5.4 Groundwater

There are no active groundwater bores within 5000m of the proposed disposal area. Table R2 of AS1547-2012 recommends a setback of between 15m to 50m from a bore or well. Standing water levels in these bores are between 7.6m and 27.4m as recorded on the DPIPWE groundwater site. Utilising the lowest standing water level of 7.6m results in a minimum vertical separation of 7.0m for a 0.6m depth of disposal area.

Based on the horizontal and minimum of the vertical separation distances the potential for groundwater effects is minimal.

## 6 Setbacks

Both disposal trenches are setback 15.0m from the western boundary. Downslope boundary is 45m from the edge of the disposal area.

Viral die-off distance, based on the soil type and slope of the lot has been calculated at a travel distance of 15.0m. A viral die-off distance of 15.0m allows for a reduced boundary setback and a low risk of pollution of the water draining to either Wiiteena Creek or Bowmans Creek.

A risk assessment, conducted in accordance with AS1547-2012, is at attachment A which also addresses the reduced boundary setback distances.

## 7 Summary of results

Treatment regime: Based on the 10<sup>0</sup> slope of the lot, the soil type and siting constraints noted above the site is considered suitable for on-site waste water disposal.

### System Sizing:

Design flow allowance has been derived from Table H2 of AS1547-2012 at 120L/per/day. Potential occupancy required to be assessed as 4 persons.

4 people x 120L/per/day = **480L/day design daily flow.**

System sizing has been based on 'trench' land suitability and system sizing calculations with a conservative permeability of 0.2m/day.

Resulting system dimensions for standard arch trenches = 36.0m x 0.6m x 0.6m. It is recommended that the system size be varied to:

2 x 20.0m x 0.6m x 0.6m standard arch trenches giving a total of 40.0m.

## 8 Design Influences

The design has been based on the following;

- Dwelling must use AAA rated water saving fixtures (aerated taps, low flow shower fittings, dual flush cisterns),
- Lot utilises tank water,
- Daily flow rate calculated at 480L/day,
- Site has a slope of 10<sup>0</sup> slope in area proposed for disposal,
- Position of the dwelling requires variation to a side and front boundary setbacks.

## 9 System Recommendations

- It is recommended that effluent treatment be achieved through a 3000L septic tank gravity fed to a distribution box;
- Distribution box to gravity feed standard arch trenches as 2 x 20.0m x 0.6m x 0.6m;
- Gypsum must be applied to the base of the trenches at a rate of 1kg/m<sup>2</sup>,
- Cut-off drain (200mm x 200mm) must be installed, and maintained, upslope of the disposal area to divert surface water away from the area;
- Top of trenches must be mounded to a height of 100mm to shed rain water from the top of the trenches;
- Trenches must be planted with native vegetation to assist with evapotranspiration;
- Trenches to be installed level and follow natural contour of land.

## 10 Stormwater

Stormwater overflow from the domestic drinking water tanks and the firefighting static water supply tank must be diverted to ensure it does not directly enter the groundwater nor interfere with the waste water disposal area.

With a carport and residence roof area of approximately 165m<sup>2</sup> providing 1 litre of water per square meter and mean rainfall of 1427mm/year the harvest would be 235455 litres. The waste water system design is based on a usage of 480L/day. Annual domestic water usage would be 175200 litres. This leaves an average of 60255 litres per year or an average of 5021 litres per month to be disposed of to the existing stormwater drain.

Taking into account the stormwater from the surrounding area entering the existing drain to Bowmans Creek, the volume of stormwater overflow from the storage tanks would not create an excessive amount of flow to the existing drain.

The tank overflows should be directed to a 90mm stormwater pipe to discharge to the existing roadside drain. The pipe outlet area should have large blue metal scour protection to ensure the existing drain is not eroded.

The stormwater pipe to the existing drain is shown on the waste water design plan.

## 11 Limitations

Site and soil evaluation according to AS 1547-2012. Land application system design and sizing according to water budgeting in AS 1547-2012.

Valid for site and soil conditions at time of inspection. Valid for the loading rate assigned from proposed fixtures in the dwelling and the information supplied by or on behalf of the owners being true and correct. The system designed will in the future require additional maintenance to keep it operational.

## 12 Inspections

The Australian Standard requires a commissioning certificate and/or 'as constructed' plan for lodgement with Council. It is the responsibility of the owner or their agent to ensure adequate notice is given for the site inspection.

Failure to arrange the site inspection and certificate may result in Council refusing to issue a plumbing completion certificate.

Unless carried out by the installing plumber, the inspection for the commissioning certificate and 'as constructed' plan are an additional cost above the initial design. This will be invoiced separately on completion of the inspection.



### 13. Supporting Attachments

- Design Site Plan Drawing No 5691-1 dated 29 March 2017;
- 'Trench' Assessment Report dated 29 March 2017;
- Loading Certificate dated 30 March 2017;
- AS1547-2012 Risk Assessment;
- E15 Karst Management Code Assessment;
- Form 35B – Certificate of Responsible Designer – Plumbing Work dated 30 March 2017



Signed: B Harpley

Building Services Designer – Hydraulic Domestic  
CC6481

**LOADING CERTIFICATE**

**To:**

Owner/Agent	Jeanette & Russell Cross	Certificate Reference
Address	PO Box 157	AS/NZS1547:2012 Sect 7.4.2
Suburb/Post Code	BRIGHTON TAS 7030	PAF No: 5691

**Details of Work**

Address	7/318 Wiiteena Road
Suburb/Post Code	JACKEYS MARSH TAS
Work related to this certificate	On-site waste water system design for new dwelling

**Certificate Details**

In issuing this certificate the following matters are relevant –

Documents	Site Assessment and Design Report PAF 5691 30 Mar 2017 Waste Water Design Plan- DWG number 5691-1 dated 29 Mar 2017 Risk assessment dated 29 Mar 2017 Code E15 Karst Management Code dated 30 March 2017
Calculations	Refer Design report dated 30 Mar 2017 and 'Trench' Land Suitability and System Sizing Report 29/3/17
References	AS/NZS1547:2012 On-site Domestic Wastewater Management

**Substance of Certificate**

This certificate sets out the design criteria and the limitations associated with use of the system.

<b>Wastewater Characteristics</b>	
Population equivalent	4
Wastewater volume (L/day)	480
Approximate blackwater volume (L/day)	120
Approximate greywater volume (L/day)	360

<b>Soil characteristics/Design Criteria</b>	
Texture (Table E4 from AS/NZS 1547)	Light Clay
Soil category (Table E1 from AS/NZS 1547)	5
Soil structure (Table E4 from AS/NZS 1547)	Strong
Indicative permeability (Table 5.1 from AS/NZS 1547)	0.12m-0.5m/day
Measured permeability	
Adopted permeability	0.2m/day
Adopted Design Loading Rate	5.0mm/day
Soil thickness for disposal	>2.0m
Minimum depth (m) to water	>7.0m

<b>Design and dimensions for On-Site Treatment System</b>	
Disposal and treatment methods	3000L dual purpose septic tank and 2 arched trenches
Site modification and specific design	Gypsum to base of bed, cut-off drain
Trench Length	20.0m
Trench Width	0.6m
Trench Depth	0.6m
Primary disposal area required	148m <sup>2</sup>
Reserve disposal area required	148m <sup>2</sup>
Location and use of Reserve area	East of primary
Is there sufficient area available on site for disposal (including reserve)	Yes

**NOTE:**

*The purpose of the reserve area is to allow for future extension of the land application system to allow a factor of safety against unforeseen malfunction or failure, perhaps following increased household occupancy or inadvertent misuse of the system.*

*The land application area may be reduced to account for flow reductions by water-saving devices, provided the organic loading rate is not higher than it would have been without the flow reduction.*

**Allowable Variation from Design Flow**

Based on a AWTs tank capacity of 3000L/day and wastewater design volume of 480L/day the allowable variation from design flow (peak loading events) would be an additional 520L/day (Total flow of 1000L/day).

## **System Limitations**

### *Consequences of overloading the system:*

Overloading the system can result in failure of the septic tank and land application system. This is a serious health and environmental hazard and can lead to any one or more of the following: Spread of infectious disease; breeding of mosquitoes and attraction of flies and rodents; nuisance and unpleasant odours; pollution of waterways; contamination of bores, wells and groundwater; and alteration to local ecology.

### *Consequences of underloading the system:*

Underloading the system may result in the bacteria ceasing to work and system failure.

## **Operation Requirements**

For an on-site wastewater system to work well the following is required:

- Reduce sludge building up through scraping all dishes to remove fats/grease; don't use a food waste disposal unit; and don't put sanitary napkins into the system.
- To keep bacteria working in the septic tank use biodegradable soaps; use a low phosphorous detergent; don't use powerful bleaches and disinfectants; and don't put chemicals or paint down the drain.
- Conservation of water will reduce the volume of effluent requiring disposal to the land application area, make it last longer and improve its performance.

Refer to Section T5.2.1 of AS/NZS 1547:2012 for additional requirements.


## Maintenance Requirements

Maintenance of the system should include the following:

- Septic tank must be de-sludged at regular intervals via pump out regularly once the scum and sludge occupy two thirds of the tank volume. Typically at least every 3 to 5 years or more frequently depending on usage.
- Grease traps, where installed, must be inspected at least quarterly and cleaned out regularly.
- Deep rooting trees or shrubs should not be grown over absorption beds or pipes.
- Surface water diversion drains, if required, must be maintained upslope of and around the land application area and kept clean to reduce seepage of rainwater into the trenches.
- Maintain disposal area by maintaining plants and mowing grass to ensure that plants/grasses take up nutrients with maximum efficiency.
- Check disposal area for blockages such as wet spots and uneven grass colour.

Refer to Section T5.2.2 of AS/NZS 1547:2012 for additional requirements.

I certify the details in this loading certificate:

Signed: 	Date: 30 March 2017	Certificate Number: 001/5691/2017
Bruce Harpley		

**Assessment Report**  
**On-site waste water system for 2 bedroom residence**

Assessment for Russell and Jeanette Cross	Assess. Date	29-Mar-17
PO Box 157 Brighton 7030	Ref. No.	5691
Assessed site(s) 7 318 Wiiteena Road Jackeys Marsh	Site(s) inspected	19-Dec-16
Local authority Meander Valley	Assessed by	Bruce Harpley

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

**Wastewater Characteristics**

Wastewater volume (L/day) used for this assessment = 480 (using a method independent of the no. of bedrooms)  
 Septic tank wastewater volume (L/day) = 160  
 Sullage volume (L/day) = 320  
 Total nitrogen (kg/year) generated by wastewater = 2.3  
 Total phosphorus (kg/year) generated by wastewater = 2.3

**Climatic assumptions for site**

(Evapotranspiration estimated using mean max. daily temperatures)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	91	58	78	95	133	148	191	201	156	100	90	86
Adopted rainfall (R, mm)	91	58	78	95	133	148	191	201	156	100	90	86
Retained rain (Rr, mm)	73	46	82	76	106	118	153	161	125	80	72	69
Max. daily temp. (deg. C)	21	23	17	13	11	10	11	13	15	15	18	20
Evapotrans (ET, mm)	78	73	51	35	29	36	41	48	54	56	65	74
Evapotr. less rain (mm)	5	26	-12	-41	-78	-82	-112	-112	-71	-24	-7	8
Annual evapotranspiration less retained rain (mm) =												-503

**Soil characteristics**

Texture = Light Clay	Category = 5	Thick. (m) = 1.1
Adopted permeability (m/day) = 0.2	Adopted LTAR (L/sq m/day) = 16	Min depth (m) to water = 7.6

**Proposed disposal and treatment methods**

Proportion of wastewater to be retained on site:	All wastewater will be disposed of on the site
The preferred method of on-site primary treatment:	In dual purpose septic tank(s)
The preferred method of on-site secondary treatment:	In-ground
The preferred type of in-ground secondary treatment:	Trench(es)
The preferred type of above-ground secondary treatment:	None
Site modifications or specific designs:	Are needed

**Suggested dimensions for on-site secondary treatment system**

Total length (m) = 36  
 Width (m) = 0.6  
 Depth (m) = 0.6  
 Total disposal area (sq m) required = 170  
 comprising a Primary Area (sq m) of: 84  
 and a Secondary (backup) Area (sq m) of: 84

Sufficient area is available on site

Comments

**Environmental Service and Design Pty Ltd**  
**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Site Capability Report**  
**On-site waste water system for 2 bedroom residence**

Assessment for Russell and Jeanette Cross  
PO Box 157 Brighton 7030  
Assessed site(s) 7 318 Wiiteena Road Jackeys Marsh  
Local authority Meander Valley

Assess. Date 29-Mar-17  
Ref. No. 5691  
Site(s) inspected 19-Dec-16  
Assessed by Bruce Harpley

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	3,600			Very low	
	Density of disposal systems	/sq km	3			Very low	
	Slope angle	degrees	10			Moderate	
	Slope form	Convex spreading				Very low	
	Surface drainage	Imperfect				Moderate	
	Flood potential	Site floods <1:100 yrs				Very low	
	Heavy rain events	Infrequent				Moderate	
	Aspect (Southern hemi.)	Faces NE or NW				Low	
	Frequency of strong winds	Infrequent				Moderate	
	Wastewater volume	L/day	480			Low	
	SAR of septic tank effluent		1.4			Low	
	SAR of sullage		2.0			Moderate	
	Soil thickness	m	1.1			Very low	
	Depth to bedrock	m	59.0			Very low	
	Surface rock outcrop	%	0			Very low	
	Cobbles in soil	%	10			Low	
	Soil pH		6.5			Very low	
	Soil bulk density	gm/cub. cm					Factor not assessed
AA	Soil dispersion	Emerson No.	2			Very high	
	Adopted permeability	m/day	0.2			Very low	
	Long Term Accept. Rate	L/day/sq m	16			Very low	

Comments

**Environmental Service and Design Pty Ltd**  
**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Environmental Sensitivity Report**  
**On-site waste water system for 2 bedroom residence**

Assessment for Russell and Jeanette Cross  
PO Box 157 Brighton 7030  
Assessed site(s) 7 318 Wiiteena Road Jackeys Marsh  
Local authority Meander Valley

Assess. Date 29-Mar-17  
Ref. No. 5691  
Site(s) inspected 19-Dec-16  
Assessed by Bruce Harpley

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
A	Cation exchange capacity	mmol/100g	50		High		Factor not assessed
A	Phos. adsorp. capacity	kg/cub m	0.2		High		
A	Annual rainfall excess	mm	503		High		
	Min. depth to water table	m	7.6		Very low		
	Annual nutrient load	kg	4.7		Very low		
	G'water environ. value	Agric sensit/dom irrig			Moderate		
	Min. separation dist. required	m	15		Low		
	Risk to adjacent bores						
	Surf. water env. value	Agric non-sensit			Low		
	Dist. to nearest surface water	m	204		Moderate		
	Dist. to nearest other feature	m	60		Low		
	Risk of slope instability		Very low		Very low		
	Distance to landslip	m	150		Low		

Comments



**CERTIFICATE OF THE RESPONSIBLE DESIGNER  
(PLUMBING WORK)**

**Section  
80(1)(b)**

To:  Owner name

Address

Suburb/postcode

Form

**35B**

**Designer details:**

Name:  Category:

Business name:  Phone No:

Business address:   
  Fax No:

Accreditation Licence No: or  Email address:

**Details of the proposed work:**

Owner/Applicant  Designer's project reference No.

Address: Lot No:

Type of work:    
(e.g. new installation/ alteration/ addition/ repair/ other)  
New installation

**Description of the Design Work (Scope, limitations or exclusions):**

Deemed-to-Satisfy:   Alternative Solution:  (tick  the appropriate box)  
Installation of on-site waste water system for new dwelling

**Design documents provided:**

The following documents are provided with this Certificate – *Document description:*

Drawing numbers: 5691-I	Prepared by: Bruce Harpley	Date: 29 Mar 2017
Schedules: N/A	Prepared by:	Date:
Specifications: Design Report	Prepared by: Bruce Harpley	Date: 30 Mar 2017

Computations: Design report and 'Trench' assessment report	Prepared by: Bruce Harpley	Date: 30 Mar 2017 29 Mar 2017
Alternative solution proposals: N/A	Prepared by:	Date:
Test reports: N/A	Prepared by:	Date:

Director of Building Control - date approved 1 April 2014:

Building Act 2000 - Approved Form No 35B

<b>Standards, codes or guidelines relied on in design process:</b>	
AS/NZS 1547-2012	

<b>Any other relevant documentation:</b>	
AS1547-2012 Risk Assessment	

<b>Attribution as designer:</b>	
---------------------------------	--

I, Bruce Harpley, being an accredited building practitioner am responsible for the design of that part of the plumbing work or plumbing installation as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2000* and sufficient detail for the plumber or builder to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance of this design with the requirements of the Plumbing Code of Australia (PCA) and is evidence of suitability under Clause A2.2 of the PCA.

Designer: Signed: Date:

	30 Mar 2017
---	-------------

Director of Building Control - date approved 1 April 2014:

Building Act 2000 - Approved Form No 35B

## AS1547-2012 Risk Assessment – 7/318 Wiiteena Road

### Context

The system design is for a 2 bedroom dwelling on tank water. The available area and position for waste water disposal is restricted due to steeper upper slopes to the south. The proposed dwelling is within a Karst Management Area and design must address the requirements of Code E15 of the Meander Valley Interim Planning Scheme 2013

In addition to the risk reduction measures below, the design report and choice of system includes risk reduction measures from Table K1 AS1547-2012 and considers the requirements and site constraints from Table R1 and R2 of AS1547-2012.

### Risks (potential harm to public health or environment)

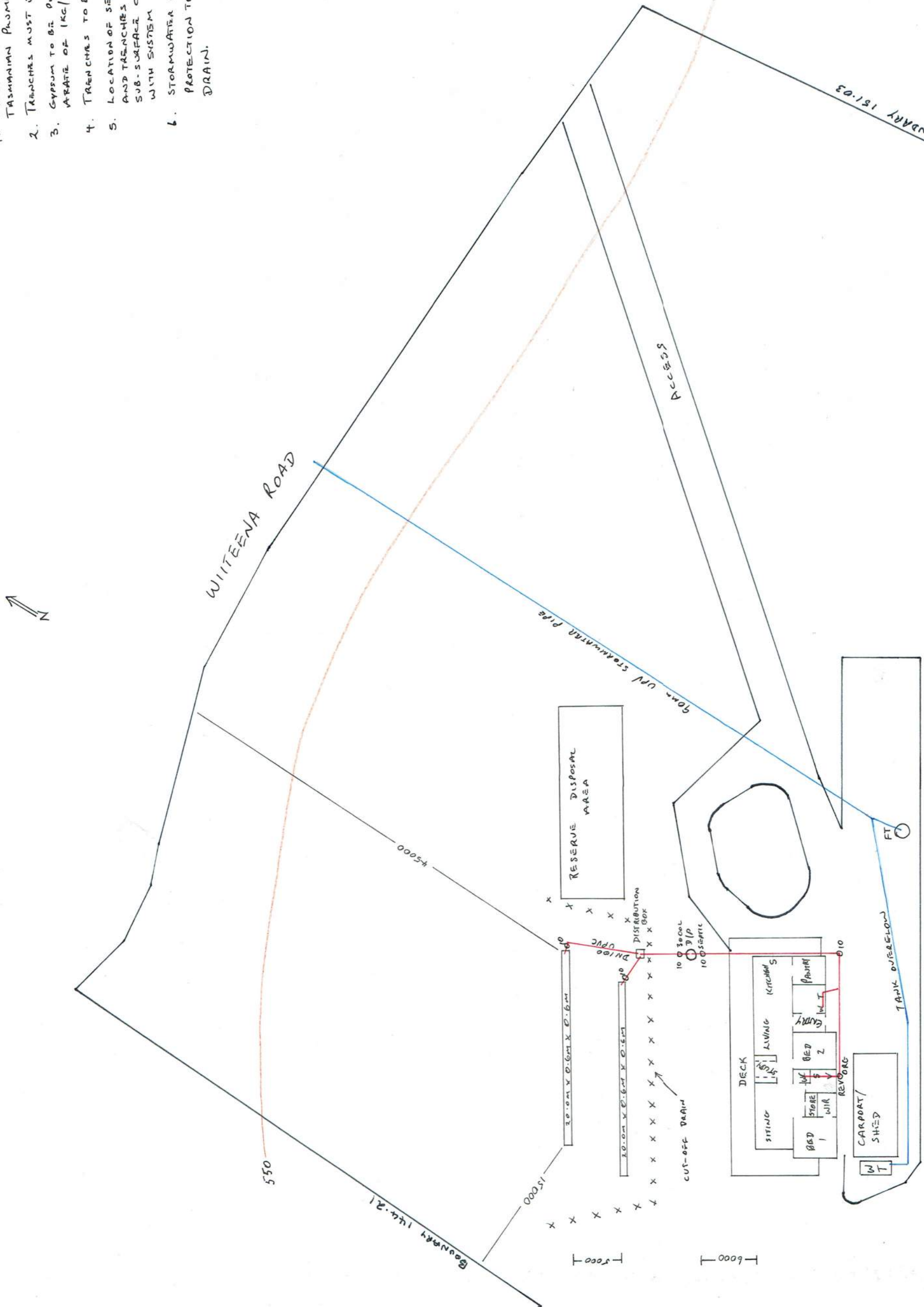
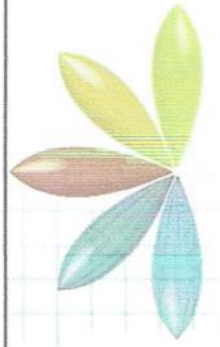
Identified Risks	Risk Level (Likelihood x Consequence)	Risk Reduction
Hydraulic failure (excess)	Medium	<ol style="list-style-type: none"> <li>1. Water saving devices must be used in design and construction of dwelling.</li> <li>2. Conservative design loading rate utilised.</li> <li>3. Calculated trench area increased.</li> </ol>
Marginal soil conditions	Low (conditions known and included in design)	<ol style="list-style-type: none"> <li>1. Treat base of bed with gypsum to extend life.</li> <li>2. Plant species endemic to the area to be planted on trenches to aid evapotranspiration.</li> </ol>
Site constraints	Low (conditions known and included in design)	<ol style="list-style-type: none"> <li>1. Position trenches to allow maximum possible setback from property boundary.</li> </ol>
High rainfall events	Medium	<ol style="list-style-type: none"> <li>1. Cut-off mound required upslope of disposal bed.</li> </ol>
Clogged distribution box or pipes	Medium	<ol style="list-style-type: none"> <li>1. Regular maintenance by owner.</li> </ol>
Solids block tank	Medium	<ol style="list-style-type: none"> <li>1. Regular maintenance and pump out by owner</li> </ol>
Biological failure by chemicals	Low	<ol style="list-style-type: none"> <li>1. Owner required to reduce chemical use.</li> </ol>
Effluent escape to adjacent properties	Medium	<ol style="list-style-type: none"> <li>1. Position disposal bed maximum distance from boundary based on restrictions.</li> <li>2. Cut-off drain reduces ingress of storm water.</li> <li>3. Trench lengths increased to allow for increased evapo-transpiration.</li> </ol>

Surface Water pollution	Low	1. Wiiteena Creek 204m north and Bowmans Creek 353m northwest.
Groundwater pollution	Low	1. Highest standing water level of bores over 5000m distant is 7.6m – trench depth of 0.6m gives a 7.0m vertical separation.
Uneven distribution of effluent to disposal trenches	Medium	1. Distribution box must be installed level. 2. Area of disposal field must not be used as traffic area for vehicles.
Installation	Low	1. System must be installed by licenced experienced installer. 2. System must be installed in accordance with design report and plan
Operation/Maintenance	Low	1. Septic tank must be pumped out on a regular basis – usually every 3-5 years dependent upon usage.

NOTES:

1. SYSTEM TO BE INSTALLED IN ACCORDANCE WITH TASMANIAN PLUMBING CODE AND DESIGN REGRAD TRENCHES MUST BE INSTALLED ALONG CONTOUR.
2. TRENCHES MUST BE INSTALLED ALONG CONTOUR.
3. GYPSON TO BE PLACED ON BASE OF TRENCH AT RATE OF 1KG/M<sup>2</sup>.
4. TRENCHES TO BE LAID LEVEL.
5. LOCATION OF SEPTIC TANK, DISTRIBUTION BOX AND TRENCHES MAY BE ALTERED DUE TO SUB-SURFACE CONDITIONS - IN CONSULTATION WITH SYSTEM DESIGNER AND PERMIT AUTHORITY.
6. STORMWATER OUTLET MUST HAVE SCOUR PROTECTION TO REDUCE EROSION OF EXISTING DRAIN.

Client:	Jeanette & Russell Cross
Location:	7/318 Wiiteena Road Jackeys Marsh
Project:	On-site Waste Water
Project Number:	5691
Waste Water Design Plan	
Dwg No:	5691-1
Scale:	1: 400 A3
Date:	29 March 2017
Revision:	0
Environmental Service and Design Pty Ltd PO Box 651 BURNIE TAS 7320 www.esandd.com.au	



# CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

## TORRENS TITLE

VOLUME		FOLIO
157619		7
EDITION	DATE OF ISSUE	
3	02-Mar-2015	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

*Alice Kawa*

Recorder of Titles.



### DESCRIPTION OF LAND

Parish of NOIA Land District of WESTMORLAND  
Lot 7 on Strata Plan 157619 and a general unit entitlement  
operating for all purposes of the Strata Scheme being a 1  
undivided 1/10 interest  
Derived from Strata Plan 157619  
Derivation : Lot 14957 Gtd to J Peterwood the Younger

### SCHEDULE 1

M481075 TRANSFER to RUSSELL FREDERICK CROSS and JEANETTE MARY  
CROSS Registered 02-Mar-2015 at 12.01 PM

### SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
The registered proprietor holds the lot and unit entitlement  
subject to any interest noted on common property  
Folio of the Register volume 157619 folio 0

TOWN Jackeys Marsh  
SUBURB  
DILIO REFERENCE C.T.208351-1

# STRATA PLAN

REGISTERED NUMBER

## 157619

SHEET 1 OF 4 SHEETS

SITE COMPRISES THE WHOLE OF  
LOT 1 ON PLAN No. P208351

NAME OF STRATA SCHEME

Wiiteena

STRATA TITLES ACT 1998

REGISTERED 13 AUG 2009

*Alice Kawa*  
Recorder of Titles.

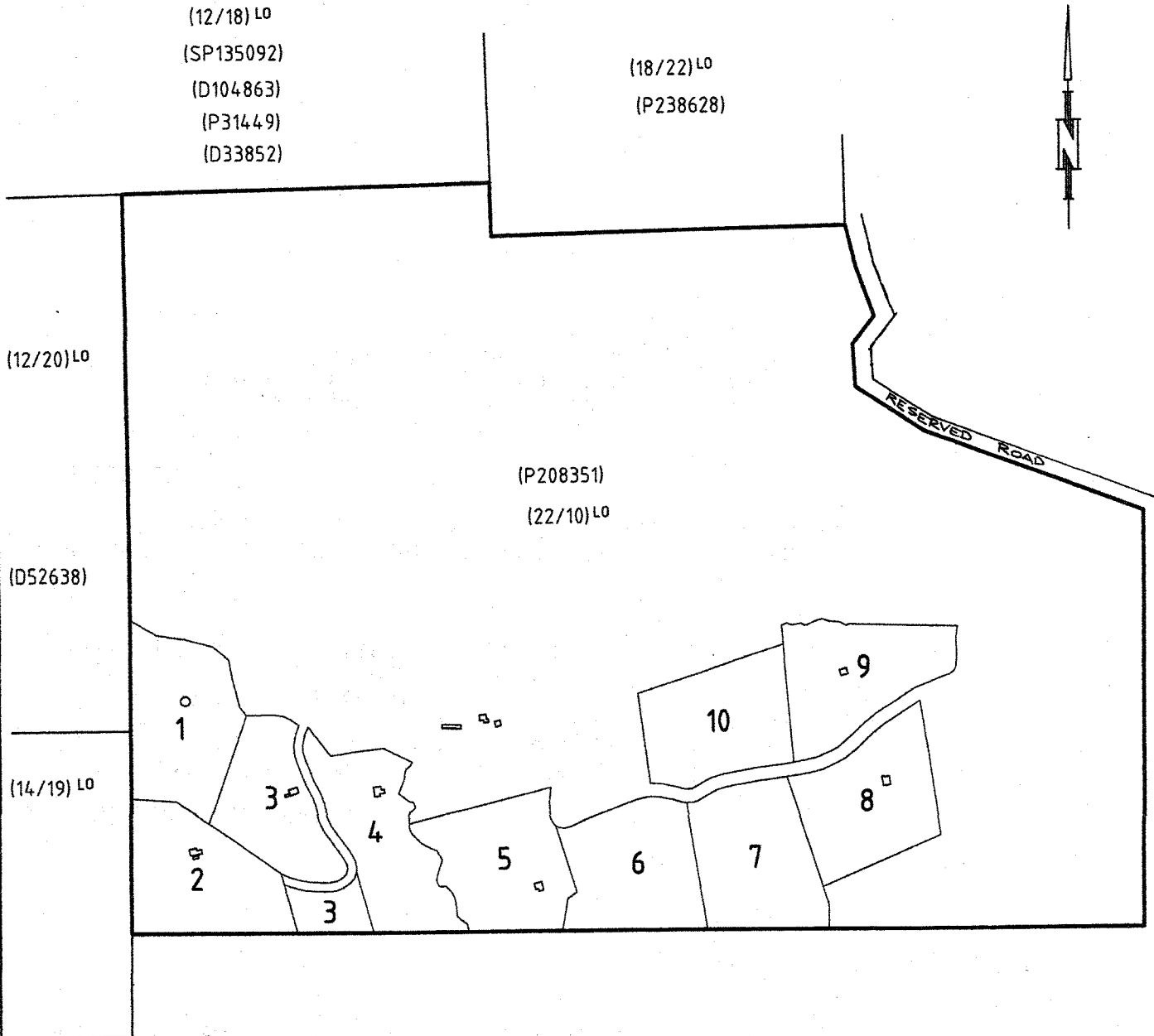
MAPSHEET MUNICIPAL  
CODE No 121

LAST UPI No. 4501354

SCALE 1:5000

LENGTHS IN METRES

### SITE PLAN



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1-  
(ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAT  
2.00 METRES TO BE SHOWN ON SHEET 1-

*[Signature]* 8/4/09 *[Signature]* 18/6/07  
Council Delegate Date Registered Land Surveyor Date

STAGE/COMMUNITY DEVELOPMENT-  
SCHEME No- (IF APPLICABLE)

LODGED BY O'ROURKE & KELLY

*[Signature]* 3/4/09  
Council Delegate Date

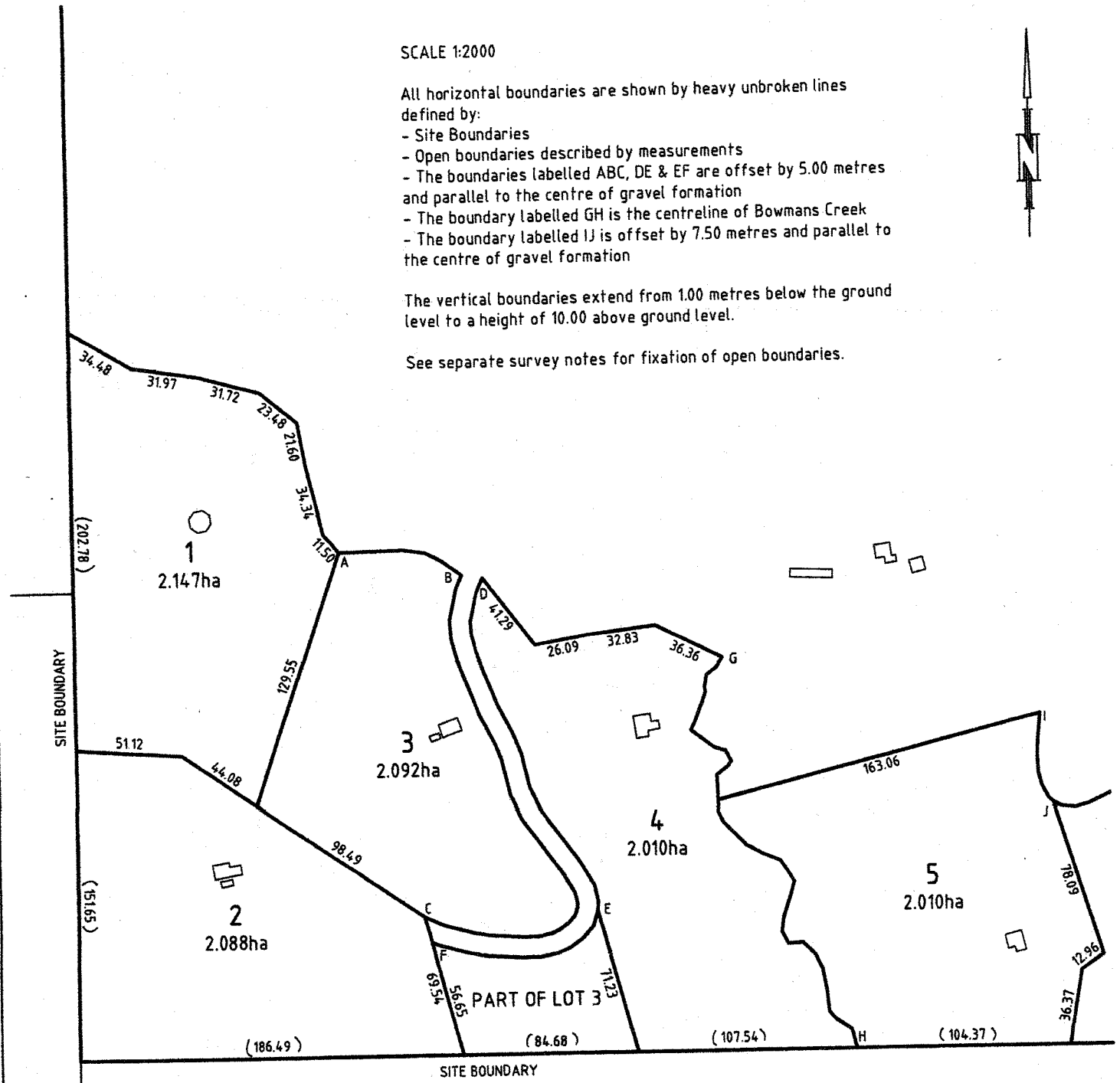
SCALE 1:2000

All horizontal boundaries are shown by heavy unbroken lines defined by:

- Site Boundaries
- Open boundaries described by measurements
- The boundaries labelled ABC, DE & EF are offset by 5.00 metres and parallel to the centre of gravel formation
- The boundary labelled GH is the centreline of Bowmans Creek
- The boundary labelled IJ is offset by 7.50 metres and parallel to the centre of gravel formation

The vertical boundaries extend from 1.00 metres below the ground level to a height of 10.00 above ground level.

See separate survey notes for fixation of open boundaries.



*[Signature]* 18/6/07  
Registered Land Surveyor Date



# STRATA PLAN

SHEET 3 OF 4 SHEETS

STRATA TITLES ACT 1998

Registered Number

157619

*[Signature]*  
Council Delegate Date

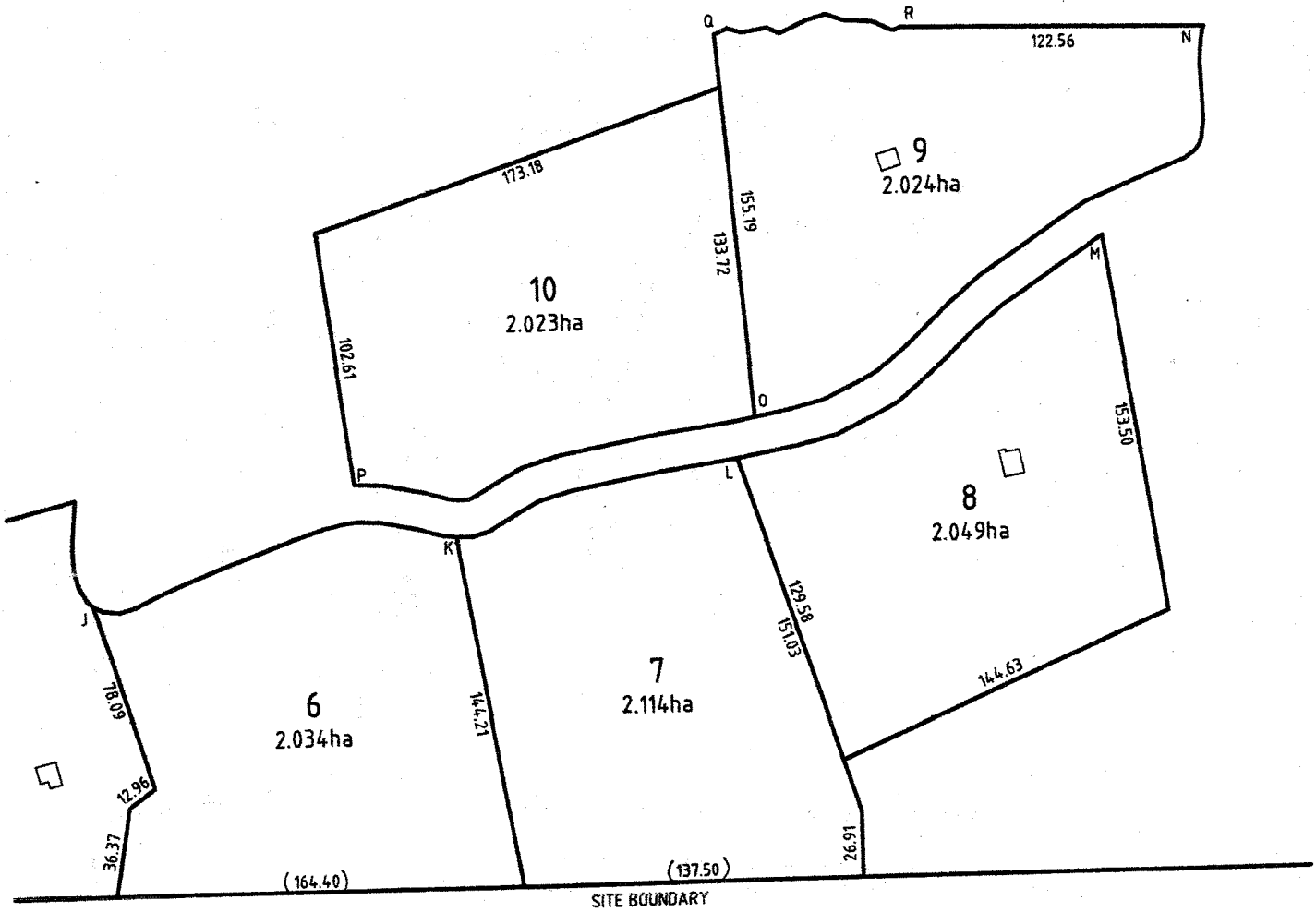
SCALE 1:2000

All horizontal boundaries are shown by heavy unbroken lines defined by:

- Site Boundaries
- Open boundaries described by measurements
- The boundaries labelled JK, KL, LM, NO & OP are offset by 7.50 metres and parallel to the centre of gravel formation
- The boundary labelled QR is the centreline of Wiiteena Creek

The vertical boundaries extend from 1.00 metres below the ground level to a height of 10.00 above ground level.

See separate survey notes for fixation of open boundaries.



*[Signature]*  
Registered Land  
Surveyor  
Date  
12/6/07



## Krista Palfreyman

---

**From:** krsna das <omholycow@yahoo.com>  
**Sent:** Wednesday, 19 April 2017 12:24 PM  
**To:** Planning @ Meander Valley Council  
**Subject:** Development applicaiton pa 17/0158

April 19, 2017  
Planning Officer  
Meander Valley Council

RE: Development Application for PA 17/0158

To the Planning Office:

We are writing in response to the Development Application for PA 17/0158 318, Wiiteena Road lot 7. First off, we did not receive a notice in the post about this development.

We are directly across the road from this new development. We have an issue with part E 15.6 Development Standards, section A2.2; Runoff from buildings and access ways...does not concentrate water flows into the groundwater system

It states in the application that "Overflow from domestic and firefighting tanks and stormwater from access is directed to the existing stormwater drain on Wiiteena Road. The existing stormwater drain diverts surface water to Bowmans Creek."

Water from this property flows to the road on Wiiteena Road directly across from our property. The road guttering (which currently is non existent) leads to a culvert that flows water directly onto our driveway and property and not to Bowmans Creek.

We are concerned that we would receive an extraneous amount of water on our driveway that would cause unnecessary erosion.

We feel that the solution for this is to 1) divert the water to the private road that comes off Wiiteena Road that actually leads to Bowmans Creek. 2) create road guttering on this private road so the water can flow to Bowmans Creek. 3) create guttering on Wiiteena Road in case of excess runoff.

We want to see a solution to this issue before building commences.

Feel free to contact us on 0449140739.

Regards,

Christopher Tunks and Leah Kuperstein

## Krista Palfreyman

---

**From:** Russell and Jeanette <rcandjc@skymesh.com.au>  
**Sent:** Sunday, 7 May 2017 11:42 AM  
**To:** Justin Simons  
**Subject:** Development Application for PA 17/0158 318, Wiiteena Road Lot 7  
**Attachments:** Re: Objection to our PA.eml

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello Justin

We refer to your email to Jane Hilliard (Designful) dated April 24, in particular to the representation received with regard to the Development Application.

As you will know 318, Wiiteena Road is a property that comprises 10 parcels of land, each having clear title, and an area of approximately 54 ha controlled under a strata title by the Wiiteena Community Body Corporate (BC). Each of the 10 lots has representation in the BC.

Between Lot 7 and Lot 10 runs a strip of land 15 metres wide comprising the main private road access to all of the lots in 318 Wiiteena Road and a wide "nature strip" between the edge of the road and each lot boundary. This strip of land and the private road is owned, managed and maintained by the BC.

To address the representor's concerns directly..... we think it is fair to say that in a period of heavy rain it is likely that the amount of run off from Lot 7 that would reach the private roadway would be roughly the same whether Lot 7 is developed or not. The difference will be that if the development goes ahead some of that run off will be concentrated at two points. Firstly, a channel running on the upslope side of the newly cut access driveway on Lot 7 and, secondly, the outlet from the 90mm stormwater overflow pipe from the rainwater tanks. The driveway channel will flow on to the private road very close to the junction of Lots 7 and 8. The output of the 90mm overflow pipe will run onto the private road approximately halfway along the Lot 7 boundary adjacent to the private road. We have checked levels at these points on the private road and stormwater from these points will indeed run west towards Bowmans Creek (This fact is borne out by reports already provided to Council by Bruce Harpley). The driveway into Lot 10 is approximately 110 metres further down the private road from where our driveway and the associated channel would be located and approximately 50 metres from where the 90mm overflow outlet emerges.

It is therefore our contention that:

- \* Our stormwater channel outlet at the exit of our new driveway onto the private road is too far away from the driveway of Lot 10 to have a direct impact
- \* The amount of stormwater coming from the 90mm tank overflow pipe, estimated by Bruce Harpley in his report, averages 5021 litres per month. Bruce Harpley, in his report to Council, also considers that this volume of stormwater overflow from the storage tanks "would not create an excessive amount of flow to the existing drain".

We feel that, though the owners of Lot 10 may have a genuine grievance concerning drainage issues on or around their driveway, these issues should be raised with the appropriate persons responsible. How stormwater behaves and where it runs or does not run on the private road and land bordering Lot 10, which is owned, managed and maintained by the BC, is an issue that should be raised with the BC.

We also include with our submission here an email from the owners of Lot 5, Darryl and Shannon Peacock (Shannon is currently chair of the BC), long standing residents of the Wiiteena Community. We believe the information provided by Darryl and Shannon supports our position.

Justin, we hope this submission assists Council in their final determination on this application.

We look forward to hearing the outcome of the Development Application following the meeting on June 13.

Thank you.

Russell & Jeanette Cross (PO Box 157, Brighton 7030) Lot 7, 318 Wiiteena Road, Jackeys Marsh.  
RC mobile: 0438 686 530

## **C&DS 4 4 COOK STREET & 12 TAMIKA TERRACE, HADSPEN - SUBDIVISION**

### **1) Introduction**

This report considers application PA\17\0182 for Subdivision (3 lots) on land located at 4 Cook Street, Hadspen CT:102737/1 & 12 Tamika Terrace, Hadspen CT: 168133/36.

### **2) Background**

#### **Applicant**

PDA Surveyors obo A Pennington

#### **Planning Controls**

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

#### **Use & Development**

The proposal is to subdivide a property at 4 Cook Street, Hadspen into 3 lots. To provide for stormwater and sewerage services, a 4 metre wide easement is proposed along the southern side boundary of 12 Tamika Terrace, Hadspen.

4 Cook Street is a rectangular-shaped 8094m<sup>2</sup> lot and contains a house and outbuilding. 12 Tamika Terrace is a rectangular-shaped 871m<sup>2</sup> vacant lot.

The proposal:

<b>Lot</b>	<b>Area (m<sup>2</sup>)</b>	<b>Frontage (m)</b>	<b>Feature</b>
1	4262	7.5	Internal lot
2	3260	12.5	House and outbuilding, internal lot
3	1000	20.4	
12 Tamika Terrace			4m wide easement



**Figure 1: proposed subdivision**



**Photo 1: view from Cook Street**

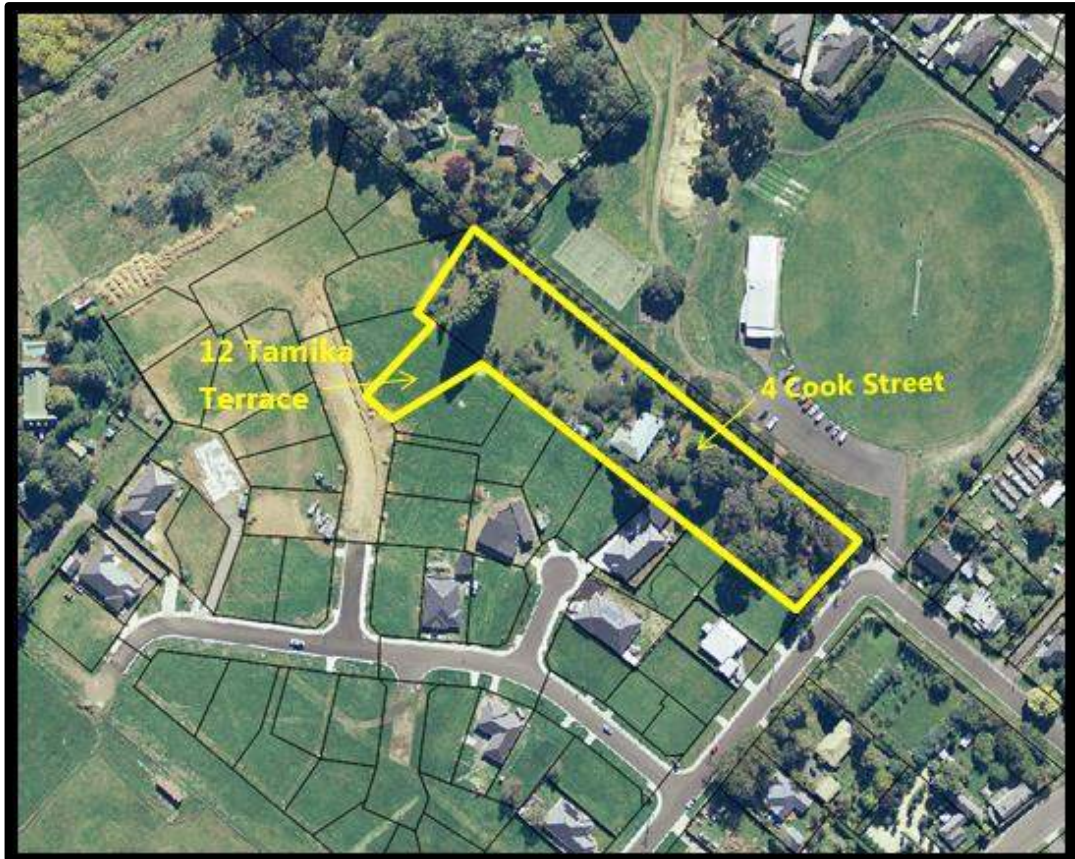


**Photo 2: view from Cook Street showing existing crossover**



**Photo 3: view from Tamika Terrace**





**Photo 4: aerial photo**

### **Site & Surrounds**

The properties are located within the township of Hadspen.

4 Cook Street is a large lot, surrounded by smaller residential lots. The Hadspen Recreation Ground and river walking track are nearby.

12 Tamika Terrace is located within the Glenmore Estate residential area. 14 Tamika Terrace contains a house. 10 Tamika Terrace is a vacant lot.



**Photo 5: aerial view of Hadspen**

**Statutory Timeframes**

Date Received:	19 April 2017
Request for further information:	3 May 2017
Information received:	18 May 2017
Advertised:	29 April 2017
Closing date for representations:	15 May 2017
Extension of time granted:	Not applicable.
Extension of time expires:	Not applicable.
Decision due:	13 June 2017

**3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.

**4) Policy Implications**

Not applicable.

## **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

## **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

## **7) Consultation with State Government and other Authorities**

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA 2017/00524-MVC) was received on 26 April 2017 (attached document).

## **8) Community Consultation**

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

## **9) Financial Impact**

Not applicable.

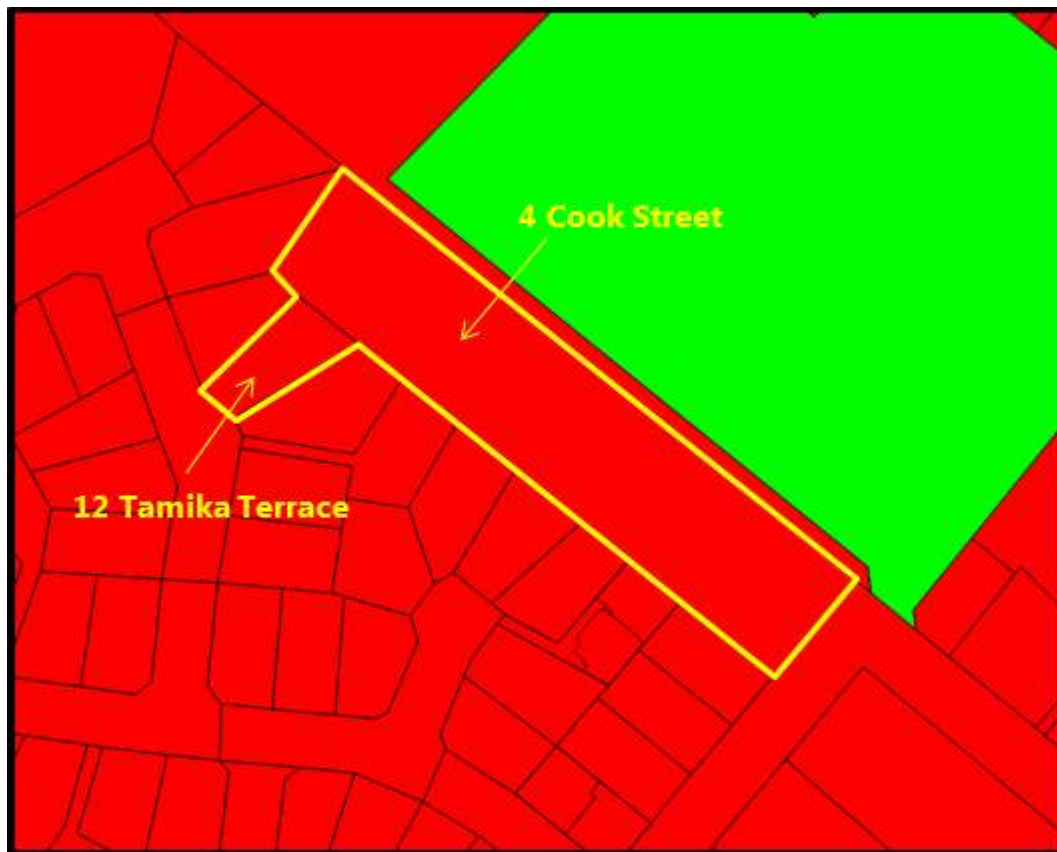
## **10) Alternative Options**

Council can either approve, with amended conditions, or refuse the application.

## **11) Officers Comments**

### **Zone**

The subject property is located in the General Residential zone. The land surrounding the site is located in the General Residential and Recreation zones.



**Figure 2: zone mapping**

### **Use Class**

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential

### **Applicable Standards**

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the General Residential zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

### **Compliance Assessment**

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

<b>General Residential Zone</b>			
Scheme Standard		Comment	Assessment
<b>10.3.1 Amenity</b>			
A1	If for permitted or no permit required uses.	Residential is a No Permit Required use class	Complies
A2	Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	Not applicable	
<b>10.4.15.1 Subdivision - General Suitability</b>			
A1	No Acceptable Solution		Relies on Performance Criteria
<b>10.4.15.2 Subdivision - Lot Area, Building Envelopes and Frontage</b>			
A1	Lots must: <ul style="list-style-type: none"> <li>a) have a minimum area of at least 700m<sup>2</sup> which:               <ul style="list-style-type: none"> <li>a) is capable of containing a rectangle measuring 10m by 15m; and</li> <li>ii) has new boundaries aligned from buildings that satisfy the relevant acceptable solutions for</li> </ul> </li> </ul>	Lot 1 = 4262m <sup>2</sup> , Lot 2 = 3260m <sup>2</sup> , Lot 3 1000m <sup>2</sup> . The outbuilding located on Lot 2 is abutting the shared boundary with Lot 1. The minimum rear setback standard is 4m.	Relies on Performance Criteria

	<p>setbacks; or</p> <p>b) be required for public use by the Crown, an agency, or a corporation all the shares of which are held by Councils or a municipality; or</p> <p>c) for the provision of utilities; or</p> <p>d) for the consolidation of a lot with another lot with no additional titles created; or</p> <p>e) to align existing titles with zone boundaries and no additional lots are created.</p>		
A2	Each lot must have a frontage of at least 4 metres.	Lot 1 - 7.5m, Lot 2 - 12.5m, Lot 3 - 20.4m	Complies
<b>10.4.15.3 Provision of Services</b>			
A1	Each lot must be connected to a reticulated: <p>a) water supply; and</p> <p>b) sewerage system.</p>	All lots are to be connected to water and sewerage services. Lots 2 and 3 will require pump stations to connect to the sewerage system at Cook Street. Lot 1 will connect to the sewerage system at Tamika Terrace via an easement through 12 Tamika Terrace.	Complies
A2	Each lot must be connected to a reticulated stormwater system.	Stormwater for lot 2 to be managed on site.	Relies on Performance Criteria

		All other lots to connect to the stormwater system.	
<b>10.4.15.4 Solar Orientation of Lots</b>			
A1	At least 50% of lots must have a long axis within the range of: a) north 20 degrees west to north 30 degrees east; or b) east 20 degrees north to east 30 degrees south.	The proposed lots do not comply with the Acceptable Solution.	Relies on Performance Criteria
A2	The long axis of residential lots less than 500m <sup>2</sup> must be within 30 degrees east and 20 degrees west of north.	Not applicable	
<b>10.4.15.5 Interaction, Safety and Security</b>			
A1	Subdivisions must not create any internal lots.	Lots 1 and 2 are internal lots.	Relies on Performance Criteria

<b>Road and Railway Assets Code</b>			
Scheme Standard		Comment	Assessment
<b>E4.7.2 Management of Road Accesses and Junctions</b>			
A1	For roads with a speed limit of 60km/h or less the development must include one access providing both entry and exit, or two accesses providing separate entry and exit.	The proposal requires 2 new accesses – one each for Lots 2 and 3.	Relies on Performance Criteria
A2	For roads with a speed limit of more than 60km/h the development must not include a new access or junction.	Not applicable	

<b>Car Parking and Sustainable Transport Code</b>			
Scheme Standard		Comment	Assessment
<b>6.6.1 Car Parking Numbers</b>			
A1	The number of car parking spaces must not be less than the requirements of: g) Table E6.1; or h) a parking precinct plan.	Each lot has ample space to meet their car parking requirements.	Complies

### **Performance Criteria**

<b>General Residential Zone</b>	
10.4.15.1 Subdivision - General Suitability	
<b>Objective</b>	
<i>The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the General Residential Zone.</i>	
<b>Performance Criteria P1</b>	
<i>Each new lot on a plan must be suitable for use and development in an arrangement that is consistent with the Zone Purpose, having regard to the combination of:</i>	
<ul style="list-style-type: none"> <li><i>a) slope, shape, orientation and topography of land;</i></li> <li><i>b) any established pattern of use and development;</i></li> <li><i>c) connection to the road network;</i></li> <li><i>d) availability of or likely requirements for utilities;</i></li> <li><i>e) any requirement to protect ecological, scientific, historic, cultural or aesthetic values; and</i></li> <li><i>f) potential exposure to natural hazards.</i></li> </ul>	
<b>Comment:</b>	
<p>The subject property is a long rectangular lot with frontage onto Cook Street. The land is generally level. The property contains a dwelling and outbuilding. Existing vehicle access is off Cook Street.</p> <p>The purpose of the proposed subdivision is for residential use. The surrounding land use is primarily residential. In close proximity are the Hadspen Recreation Ground and the Red Feather Inn (accommodation and functions).</p>	



The proposed lot sizes range from 1000m<sup>2</sup> to 4262m<sup>2</sup>. The lot sizes are indicative only, and will be confirmed at the time of final survey. Regardless, considering the shape of the lots, all lots are consistent with the surrounding landscape.

Lots 1-3 have access to Cook Street. Lots 1 & 2 are internal lots. Internal lots are not uncommon in Hadspen.

All lots will be connected to water, stormwater and sewerage services. The land is not heritage listed. There are no known natural hazards affecting the land.

The Zone Purpose statements are:

*10.1.1.1 To provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided.*

*10.1.1.2 To provide for compatible non-residential uses that primarily serve the local community.*

*10.1.1.3 Non-residential uses are not to be at a level that distorts the primacy of residential uses within the zones, or adversely affect residential amenity through noise, activity outside of business hours traffic generation and movement or other off site impacts.*

*10.1.1.4 To encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity.*

The lot layout provides for a range of dwelling types, which are all serviced. The size and shape of the lots are consistent with the surrounding landscape. The proposed layout is considered in keeping with the zone purpose.

#### 10.4.15.2 Subdivision - Lot Area, Building Envelopes and Frontage

##### **Objective**

*To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, private open space, vehicle access and parking, easements and site features.*

**Performance Criteria P1**

Each lot for residential use must provide sufficient useable area and dimensions to allow for:

- a) a dwelling to be erected in a convenient and hazard-free location; and
- b) on-site parking and manoeuvrability; and
- c) adequate private open space.

**Comment:**

Lot 2 contains a house and outbuilding. The proposed boundary between Lots 1 and 2 will result in the outbuilding being located adjacent to that boundary.

The outbuilding is existing, as such the assessment is restricted to potential impacts onto Lot 1 only. The Acceptable Solution for rear setbacks is 4.5m. The outbuilding will create some morning shadows onto Lot 1.

Excluding the access strip, Lot 1 is approximately 80m x 41m in size. It is considered that there is sufficient space on Lot 1 to construct a dwelling and not be impacted on by the existing outbuilding. No further action is required.

10.4.15.3 Provision of Services

**Objective**

To provide lots with appropriate levels of utility services.

**Performance Criteria P2**

Each lot created must be capable of disposal of storm water to a legal discharge point.

**Comment:**

The original proposal showed:

Lot	Stormwater
1	Connect to stormwater system in Tamika Terrace via an easement.
2	On site disposal.
3	Connect to stormwater system in Cook Street.

During the assessment process, concerns were raised regarding the current on-site management of stormwater at 4 Cook Street. To mitigate future impacts, Council commenced discussions with the applicant. The outcome

of these discussions is that the stormwater from Lot 2 will be directed through Lot 1 to Tamika Terrace. An easement will be required to connect Lot 2 to Tamika Terrace.

As the current plan of subdivision does not reflect the agreed stormwater outcome, a condition needs to be placed on the permit.

#### 10.4.15.4 Solar Orientation of Lots

##### **Objective**

*To provide for solar orientation of lots and solar access for future dwellings.*

##### **Performance Criteria P1**

*Dimensions of lots must provide adequate solar access, having regard to the likely dwelling size and the relationship of each lot to the road.*

##### **Comment:**

Lot 1 and 3 are of sufficient dimensions to provide adequate solar access to a future dwelling. No further action is required.

#### 10.4.15.5 Interaction, Safety and Security

##### **Objective**

*To provide a lot layout that contributes to community social interaction, personal safety and property security.*

##### **Performance Criteria P1**

*Subdivisions that create internal lots must provide for adequate levels of visibility and surveillance.*

##### **Comment:**

Lots 1 and 2 are internal lots. The subject property is located within an established residential area of Hadspen. To the south/south-west, the lots are adjacent to the rapid growth area of Glenmore Estate. To the north/north-east, the lots are adjacent to the internal driveway of 2 Cook Street, and beyond is the Hadspen Recreation Ground.

It is noted that the internal driveway to Lot 1 is approximately 131m. However, based on the surrounding land use, adequate levels of visibility and surveillance can be achieved. No further action is required.

## Road and Railway Assets Code

### E4.7.2 Management of Road Accesses and Junctions

#### **Objective**

*To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.*

#### **Performance Criteria P1**

*For roads with a speed limit of 60km/h or less, the number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.*

#### **Comment:**

*A Traffic Assessment was undertaken by Council's Director Infrastructure Services. The assessment stated:*

*The proposed subdivision is located at the northern end of Cook Street where there is a 90 degree bend in the road at the junction of Clare Street. The speed zone applicable to this section of residential road is 50km/hr. The safe intersection sight distance for this 50km/hr zone for vehicles travelling 60km/hr or less is 80m in accordance with TSD-RF01-v1.*

*The available sight distance from the proposed entrances to Lot 1 and Lot 2 along Cook Street in a south westerly direction, and along Clare Street in a south easterly direction meets the requirement of the standard. The sight distance from Lot 3 in a south westerly direction along Cook Street is acceptable, however, depending on the location of the driveway to Lot 3, the full sight distance may not be available in the other direction along Clare Street to the south east.*

*It is noted that the vehicle approach and departure speeds from the 90 degree bend in the road will be less than 50km/hr, and therefore a reduced sight distance to Lot 3 is not considered to present an unreasonable risk for traffic and is typical of the build urban environment.*

*Therefore the proposed access points to the new allotments are considered to be acceptable considering the low speed environment. It is not considered that the new accesses and traffic to and from the new allotments would adversely impact on the safety or efficiency of the road network.*

Based on the above, the proposed crossovers maintain an acceptable level of safety. No further action is required.

One representation was received during the advertising period.

S Campton  
10 Tamika Terrace

A summary of the concerns raised are:

1. Concerns regarding easement along the side boundary of 12 Tamika Terrace.
2. Do you foresee any implications if we were to seek a waiver of setback along the side boundary in due time?
3. Would limitations be imposed as to the type of fence built? Can a concrete plinth be used?

**Comment:**

The subject application proposes a 4m wide easement along the south-eastern side boundary of 12 Tamika Terrace. This easement will be located adjacent to the shared boundary with 10 Tamika Terrace. Currently, 10 Tamika Terrace is a vacant lot.

The focus of the representation is future development options for 10 Tamika Terrace. As part of the future design process for 10 Tamika Terrace, the planning scheme standards for setbacks and the location of any easements (if approved) should be considered.

It is noted that a stormwater easement connecting Lot 2 to Tamika Terrace will be required. The potential location of this easement is adjacent to the rear boundaries of 3 Kealey Court, 8 and 10 Tamika Terrace, Hadspen.

Planning Scheme

Any proposed building located on 10 Tamika Terrace, within 1.5m of the side boundary and/or within 4m of the rear boundary will trigger the requirement for a Discretionary Planning Permit. The assessment will consider impacts onto adjoining land and the established pattern of development. To date, Council has not received any applications for development on 10 Tamika Terrace and the property is currently vacant.

Side and rear boundary fences (not within 4.5m of the front boundary) (including a plinth) can be constructed up to 2.1m high without the need for a planning permit.

### Easement

The proposed easement will contain both stormwater and sewerage infrastructure.

Council's Director Infrastructure Services provided the following advice:

*The proposed stormwater drain is shown to be on the north side of the proposed sewer in the common easement, so comment on the impact of the easement on any future building or fence work on the adjoining property will need to be provided from TasWater, as this would take precedence given the position of the services.*

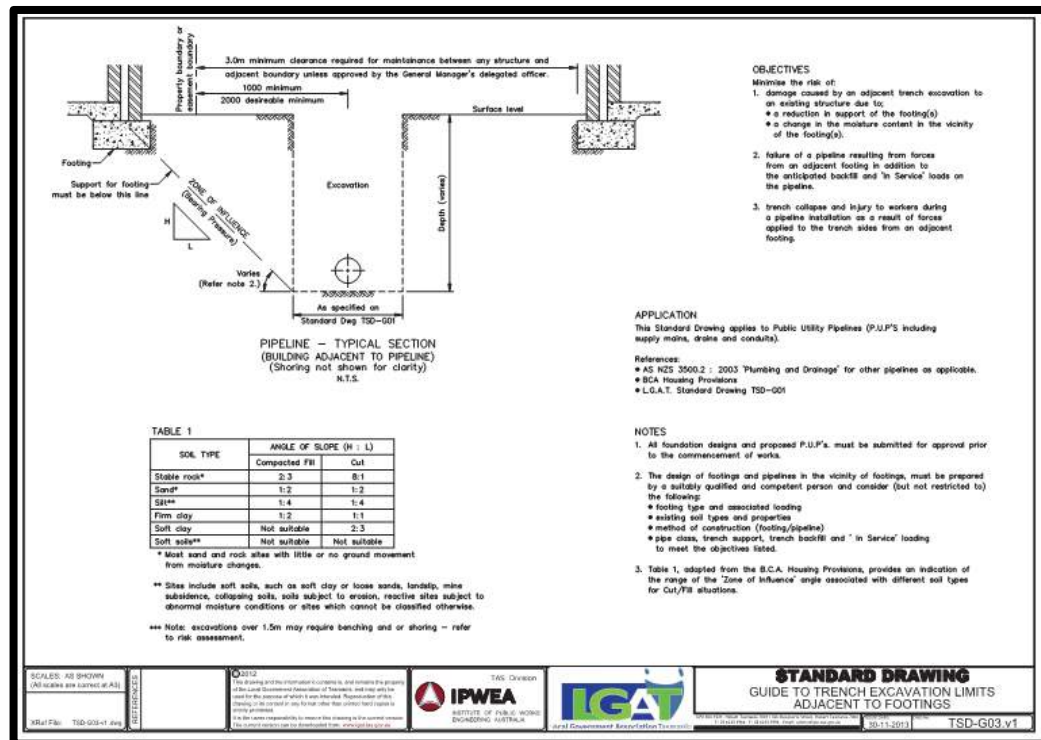
TasWater had provided the following advice:

*The proposed subdivision plan L17063-P01 shows a proposed easement containing both a stormwater and a 150mm diameter sewer main. The sewer main is shown nearest to the shared boundary and future development at 10 Tamika Tce would be subject to Section 56W of the Water and Sewerage Industry Act 2008 which requires TasWater consent for prescribed structures (dwellings, sheds, carports etc.) to be constructed within TasWater easements (not applicable for 10 Tamika Tce) and/or over or within 2.0m of TasWater pipes. In response the two dot point questions I offer the following;*

- 1. TasWater will allow a prescribed structure to be constructed at 10 Tamika Tce if it is no closer than 1.0m from the TasWater sewer main on the condition that the footings are designed to be sufficiently deep not to transfer loads to the sewer pipe.*
- 2. Fences and walls constructed of masonry or concrete less than 1.2m high and non-masonry/concrete fences not greater than 2.1m high are deemed to be minor structures and do not require TasWater consent to be constructed.*

*Further information regarding TasWaters standards for development/building and plumbing can be obtained from our website [www.taswater.com.au](http://www.taswater.com.au) under the development tab.*

The proposed easement is 4m wide. At this stage, the exact location of the sewerage pipe within that easement is unknown. The LGAT Standard Drawing shows a 1m minimum/2m desirable minimum separation between the pipe and the boundary. Within a 4m wide easement, a 2m separation is considered reasonable.



**Figure 2: LGAT Standard Drawing – guide to trench excavation limits adjacent to footings**

With a 2m separation, the proposed easement will not limit the ability for a developer for 10 Tamika Terrace applying for a planning permit to construct a building abutting the shared boundary.

As such, it is recommended that a condition be placed on the permit stating that both sewer and stormwater pipelines within any easement must be located at least 2m from the shared boundary with 10 Tamika Terrace and all other abutting titles.

**Conclusion**

In conclusion, it is considered that the application for Use and Development for a 3 lot subdivision is acceptable in the General Residential zone.

**AUTHOR:** Leanne Rabjohns  
 TOWN PLANNER

## 12) Recommendation

***That the application for Use and Development for Subdivision (3 lots) on land located at 4 Cook Street, Hadspen CT 102737/1 & 12 Tamika Terrace, Hadspen CT 168133/36 by PDA Surveyors obo A Pennington, requiring the following discretions:***

- 10.4.15.1 General Suitability
- 10.4.15.2 Lot Area, Building Envelopes and Frontage
- 10.4.15.3 Provision of Services
- 10.4.15.4 Solar Orientation of Lots
- 10.4.15.5 Interaction, Safety and Security
- E4.7.2 Management of Road and Accesses and Junctions

***be APPROVED, generally in accordance with the endorsed plans:***

**a) PDA Surveyors – Proposed Subdivision - Job Number: L17063-P01;**

and subject to the following conditions:

- 1. Covenants or similar restrictive controls must not be included on or otherwise imposed on the titles to the lots created by the subdivision, permitted by this permit unless:
  - a) Such covenants or controls are expressly authorised by the terms of this permit; or**
  - b) Such covenants or similar controls are expressly authorised by the consent in writing of Council.**
  - c) Such covenants or similar controls are submitted for and receive written approval by Council prior to submission of a Plan of Survey and associated title documentation is submitted to Council for sealing.****
- 2. The vehicular crossover servicing proposed Lots 2 & 3 must be constructed and sealed in accordance with LGAT standard drawing TSD-RO9-V1 (attached) and to the satisfaction of Council’s Director Infrastructure Services (see Note 1).**
- 3. The stormwater from the existing dwelling and outbuilding must be directed to Council’s stormwater system in Tamika Terrace, to the satisfaction of Council’s Director Infrastructure Services. A stormwater easement is required through Lot 1 in favour of Lot 2.**



- 4. Prior to the commencement of works, design drawings are to be submitted showing:**
  - a) The means of connection to Council's stormwater mains (including location of all easements), to the satisfaction of Council's Director Infrastructure Services.**
  - b) Both sewer and stormwater pipelines within an easement must be located at least 2m from any shared boundary with another title, to the satisfaction of Council's Director Infrastructure Services.**
  
- 5. Prior to the sealing of the final plan of survey, the following must be completed to the satisfaction of Council:**
  - a) The developer must pay Council \$7,618.00, a sum equivalent to 5% of the unimproved value of the approved lots.**
  - b) Crossovers for Lots 2 & 3 completed (as per Condition 2).**
  - c) All stormwater works completed in accordance with the endorsed stormwater design drawings (as per Condition 3). The "as constructed" documentation for stormwater must be lodged with Council, to the satisfaction of Council's Director of Infrastructure Services.**
  
- 6. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/00524-MVC attached).**

**Note:**

- 1. Prior to the construction of any vehicle accesses (e.g. a driveway crossover) separate consent is required by the Road Authority. A Driveway Crossover Application Form is enclosed. All enquiries should be directed to Council's Technical Officer on 6393 5312.**
  
- 2. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: [mail@mvc.tas.gov.au](mailto:mail@mvc.tas.gov.au).**
  
- 3. This permit takes effect after:**
  - a) The 14 day appeal period expires; or**

- b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
  - c) Any other required approvals under this or any other Act are granted.
4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au).
5. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
7. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
8. If any Aboriginal relics are uncovered during works;
- a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: [aboriginal@heritage.tas.gov.au](mailto:aboriginal@heritage.tas.gov.au)); and
  - c) The relevant approval processes will apply with state and federal government agencies.

## **DECISION:**

**LAUNCESTON**

J.W. Dent, OAM, B. SURV. (Tas.), M.SSSI. (Director)

**HOBART**

C.M. Terry, B. SURV. (Tas.), M.SSSI. (Director)

D. Panton, B.E. M.I.E. AUST., C.P.ENG. (Director)

H. Clement, B. SURV. (Tas.), M.SSSI (Director)

A.M. Peacock, B. APP. SC. (SURV), M.SSSI. (Consultant)

M. McQueen, B.E., M.I.E. AUST., C.P.ENG. (Associate)

M.S.G. Denholm, B. GEOM. (Tas.), M.SSSI (Associate)

L.H. Kiely, Ad. Dip. Civil Eng, Cert IV I.T., (Associate)

A. Collins, Ad. Dip. Surv & Map, (Associate)

**KINGSTON**

A.P. (Lex) McIndoe, B. SURV. (Tas.), M.SSSI. (Director)

**BURNIE/DEVONPORT**

A.J. Hudson, B. SURV. (Tas.), M.SSSI. (Director)

A.W. Eberhardt, B. GEOM. (Tas.), M.SSSI (Director)



# PDA Surveyors

ABN 71 217 806 325

## Surveying, Engineering & Planning

PO Box 284 (3/23 Brisbane Street)  
Launceston Tasmania, 7250  
Phone (03) 6331 4099

ABN 71 217 806 325  
Fax (03) 6334 3098  
Email: pda.ltn@pda.com.au  
www.pda.com.au

*Our Ref: 17063*

11<sup>th</sup> April, 2017.

Meander Valley Council  
PO Box 102  
WESTBURY TAS 7303

Attention: Mrs J. Richardson

Dear Jan,

**RE: SUBDIVISION – 4 COOK STREET, HADSPEN**

We submit herewith an application on behalf of Mr A. Pennington to subdivide an existing title into 3 separate lots. The land is owned by P. & T. Nish and is under contract with Allan Pennington. We also include CT168133/36 in this subdivision as it provides services for Lot 1. Straight Up Constructions is owned by Allan Pennington.

We will now address the provisions of the Planning Scheme as it relates to the General Residential Zone.

**10.4.15.1 GENERAL SUITABILITY**

Each lot meets the Performance Criteria and will be outlined below in relation to the specific requirements of the Planning Scheme.

**10.4.15.2 LOT AREA, BUILDING ENVELOPES AND FRONTAGE**

All lots are over the 700m<sup>2</sup> minimum lot size and each lot has more than 4.5m frontage to a road.

**10.4.15.3 PROVISION OF SERVICES**

Each lot is capable of being connected to the existing water supply in Cook Street as shown on the plan and connection to the sewerage service will require a short extension to the existing manhole in Cook Street as shown on our plan and will require pump stations for lots 2 and 3. Lot 1 will be served by a new connection through CT168133/36 fronting onto Tamika Terrace as shown on the plan.

Acceptable Solution A2 is met in that Lot 3 can connect to the existing stormwater in Cook Street and Lot 1 can be serviced by a new stormwater line out to Tamika Terrace as shown on the plan. Lot 2 will need on site absorption.

.../2...

**OFFICES ALSO AT:**

- 16 Emu Bay Road, Deloraine, 7304 (03) 6362 2993
- 6 Queen Street, Burnie, 7320 (03) 6431 4400
- 63 Don Road, Devonport, 7310 (03) 6423 875

- 127 Bathurst Street, Hobart, 7000 (03) 6234 3217
- 6 Freeman Street, Kingston, 7050 (03) 6229 2331
- 8/16 Main Road, Huonville, 7109 (03) 6264 1277

**C&DS 4**

#### **10.4.15.4 SOLAR ORIENTATION OF LOTS**

The existing shape of the lot does not lend itself to meet the Acceptable Solution however as the lots are large there is adequate solar access for each of the 3 lots. This will meet the Performance Criteria P1.

#### **10.4.15.5 INTERACTION, SAFETY AND SECURITY**

Lot 1 is an internal lot however it can be provided with adequate levels of visibility and surveillance as it adjoins the recreation ground.

10.4.15.6, 10.4.15.7, 10.4.15.8 are not relevant as no new roads are being created by this subdivision.

The only Code that is applicable is the Open Space and Recreation Code and we would ask that no Public Open Space be provided for this subdivision and that the General Manager provides the appropriate consent that no Open Space is required and that a cash payment be provided in lieu of open space.

We enclose the following to enable you to assess the application;

- 3 copies of the Proposal Plan.
- Copy of the title.
- Completed Development Application form.

Could you please send your Council's invoice for the fees for the subdivision to [john.dent@pda.com.au](mailto:john.dent@pda.com.au) made out to Mr A. Pennington and we will arrange for payment to be made direct to your Council. Please contact us if you have any questions or if you need any further information.

Yours faithfully  
PDA Surveyors

Per: 

JOHN DENT



- existing water main
- proposed stormwater
- existing sewer
- proposed sewer

lots 2 & 3 will be served by sewer pump systems  
 lot 2 stormwater disposed by absorption trenches  
 wm - new water meter  
 ps - sewer pump station

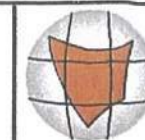
**IMPORTANT NOTE:**

This plan was prepared for land of the above owner as a proposed subdivision to accompany a subdivision application to the Local Government Authority and should not be used for any other purpose. The dimensions, area as and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation. In particular no reliance should be placed on the information on this plan for any financial dealings involving the land. This note is an integral part of this plan.

# PROPOSED SUBDIVISION

SURVEYOR	SECTOR
SRL	L16043
DRAWN	CHECKED
SRL	Ⓢ
DATE	
	5-4-2017

**PROPOSED SUBDIVISION**  
 4 COOK STREET, HADSPEN  
 P & T NISH UNDER CONTRACT TO  
 ALLAN PENNINGTON -CT.102737/1



**PDA Surveyors**

325 Brisbane Street (PO Box 264)  
 Launceston Tasmania 7250  
 www.pda.com.au  
 Also at Hobart, Kingston, Burnie & Deloraine  
 Previously Trading as CSPP (Campbell Smith & Phelps Practice)

PHONE: 01 63 636 1 4009  
 FAX: 01 61 03 0354 5026  
 EMAIL: cspp@pda.com.au

SCALE	PAPER
1: 1000	(A3)
JOB NUMBER	DRAWING
1065	P01

**C&DS-4**

## Leanne Rabjohns

---

**From:** Dino De Paoli  
**Sent:** Friday, 28 April 2017 11:00 AM  
**To:** Leanne Rabjohns  
**Cc:** Natasha Whiteley; Sandi Scott  
**Subject:** PA\17\0182 4 Cook Street Hadspen, 3 Lot subdivision - Traffic Assessment

The proposed subdivision is located at the northern end of Cook Street where there is a 90 degree bend in the road at the junction of Clare Street. The speed zone applicable to this section of residential road is 50km/hr. The safe intersection sight distance for this 50km/hr zone for vehicles travelling 60km/hr or less is 80m in accordance with TSD-RF01-v1.

The available sight distance from the proposed entrances to Lot 1 and Lot 2 along Cook Street in a south westerly direction, and along Clare Street in a south easterly direction meets the requirement of the standard. The sight distance from Lot 3 in a south westerly direction along Cook Street is acceptable, however, depending on the location of the driveway to Lot 3, the full sight distance may not be available in the other direction along Clare Street to the south east.

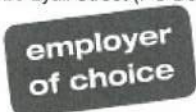
It is noted that the vehicle approach and departure speeds from the 90 degree bend in the road will be less than 50km/hr, and therefore a reduced sight distance to Lot 3 is not considered to present an unreasonable risk for traffic and is typical of the build urban environment.

Therefore the proposed access points to the new allotments are considered to be acceptable considering the low speed environment. It is not considered that the new accesses and traffic to and from the new allotments would adversely impact on the safety or efficiency of the road network.

Kind regards

**Dino De Paoli** | Director Infrastructure Services  
**Meander Valley Council**  
*working together*

T: 03 6393 5340 | F: 6393 1474 | M: 0409 547 797 | E: [Dino.DePaoli@mvc.tas.gov.au](mailto:Dino.DePaoli@mvc.tas.gov.au) | W: [www.meander.tas.gov.au](http://www.meander.tas.gov.au)  
26 Lyall Street (PO Box 102), Westbury, TAS 7303



Please consider the environment before printing this email.

SEARCH OF TORRENS TITLE

VOLUME 102737	FOLIO 1
EDITION 2	DATE OF ISSUE 28-Jan-1993

SEARCH DATE : 12-Apr-2016

SEARCH TIME : 10.46 AM

DESCRIPTION OF LAND

Town of HADSPEN

Lot 1 on Diagram 102737

Being the land described in Conveyance 41/1656

Derivation : Part of 1000 Acres Gtd. to Alexander Clerk

Derived from Application No. 11,401 C.T.

SCHEDULE 1

B618687 TRANSFER to PETER DAVID NISH and TRACY ANNE NISH  
Registered 28-Jan-1993 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

B618688 MORTGAGE to Commonwealth Bank of Australia

Registered 28-Jan-1993 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

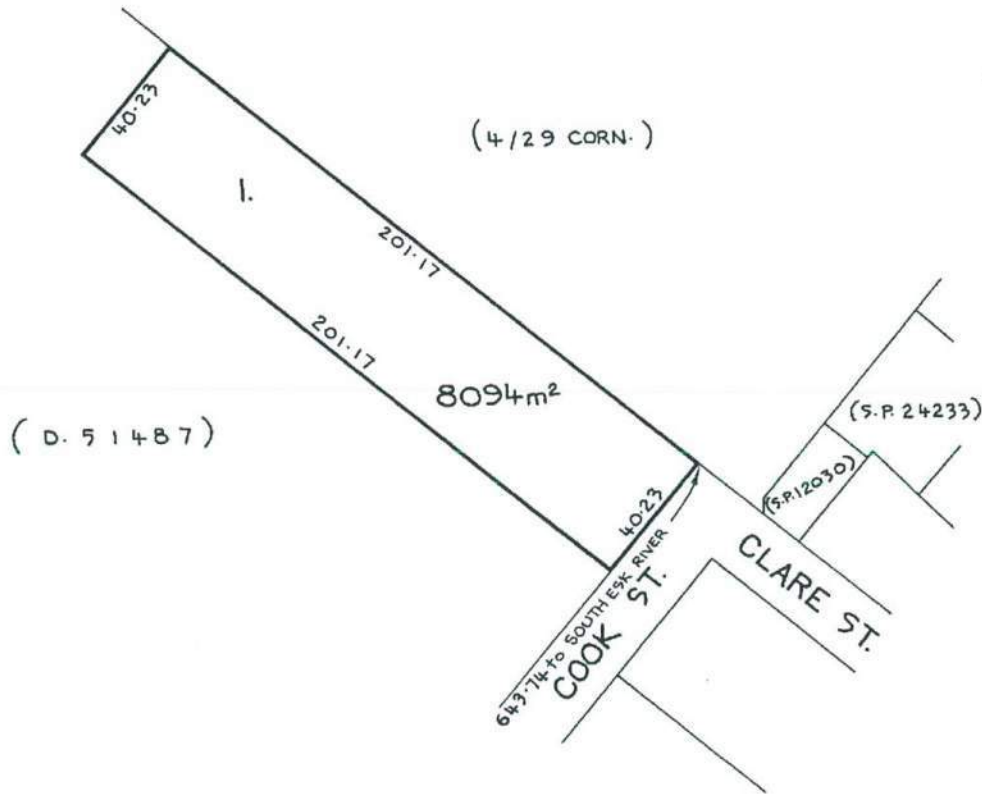
No unregistered dealings or other notations

APPROVED 26 OCT 1992 <i>Michael Olin</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 41/1656	REGISTERED NUMBER <b>D.102737</b>
FILE NUMBER A. 11401	GRANTEE: PART OF 1000 ACRES GTD. TO ALEXANDER CLERK	DRAWN C. FRA 23-10-92

SKETCH BY WAY OF ILLUSTRATION ONLY

~~CITY/TOWN OF HADSPEN~~  
~~LAND-DISTRICT OF~~  
~~PARISH OF~~  
LENGTHS ARE IN METRES. NOT TO SCALE.  
~~LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.~~

TASHAP MUNICIPAL CODE NO. 65	LAST TASHAP UPI NO. 1745	LAST SURVEY PLAN NO.
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		





SEARCH OF TORRENS TITLE

VOLUME 168133	FOLIO 36
EDITION 4	DATE OF ISSUE 01-Mar-2017

SEARCH DATE : 10-Apr-2017

SEARCH TIME : 05.04 PM

DESCRIPTION OF LAND

Town of HADSPEN  
 Lot 36 on Sealed Plan 168133  
 Derivation : Part of 1000 Acres Gtd. to Alexander Clerk  
 Prior CT 166560/202

SCHEDULE 1

M617542 STRAIGHT UP CONSTRUCTIONS (TASMANIA) PTY LTD  
 Registered 01-Mar-2017 at noon

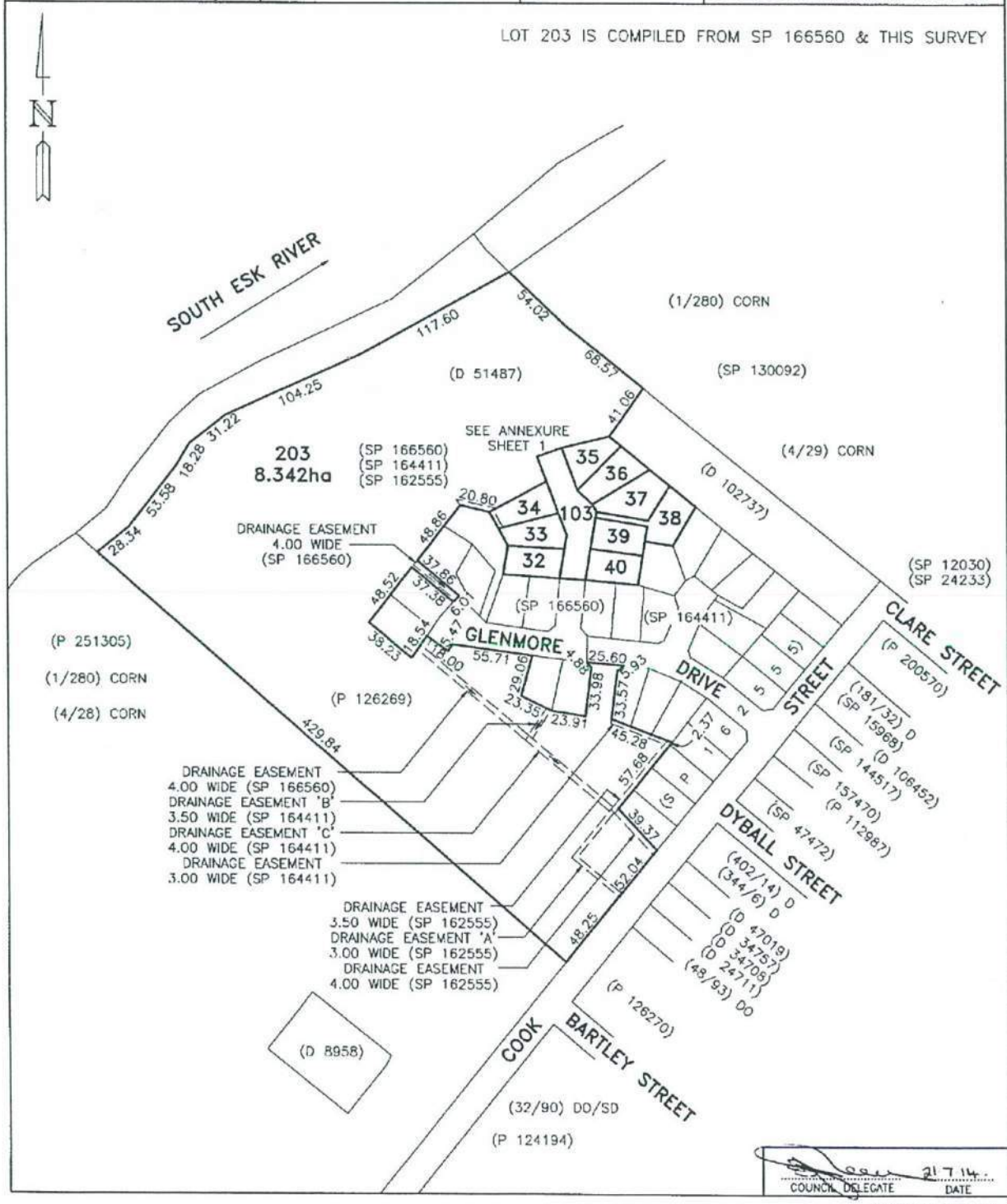
SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP168133 FENCING COVENANT in Schedule of Easements  
 SP162555, SP164411 & SP166560 FENCING COVENANT in Schedule of  
 Easements

UNREGISTERED DEALINGS AND NOTATIONS

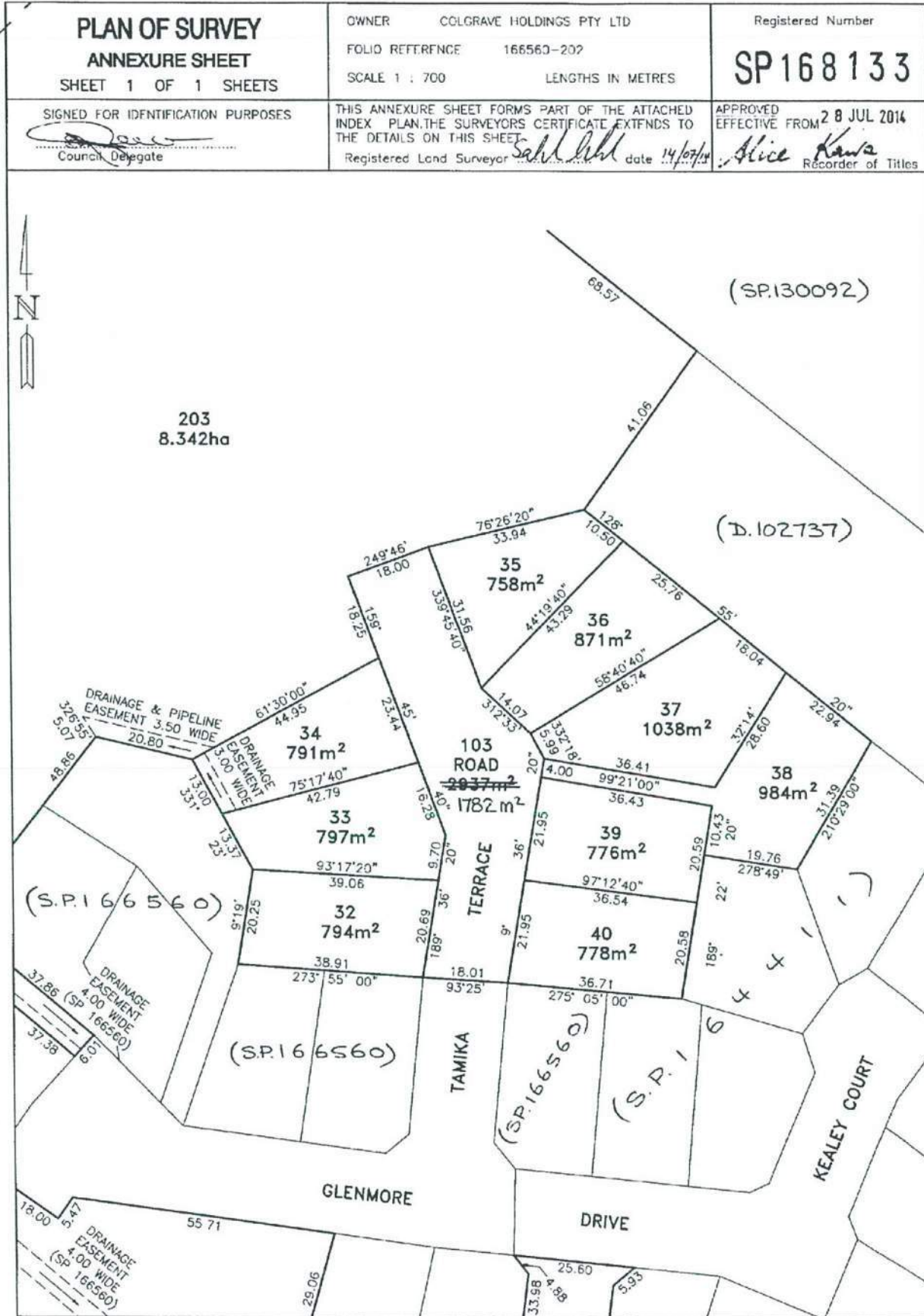
No unregistered dealings or other notations

OWNER COLGRAVE HOLDINGS PTY LTD	<p><b>PLAN OF SURVEY</b> COHEN &amp; ASSOCIATES PTY LTD, LAUNCESTON</p>	REGISTERED NUMBER <b>SP168133</b>
FOLIO REFERENCE 166560-202		APPROVED EFFECTIVE FROM 28 JUL 2014 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF 1000-D-D GTD TO ALEXANDER CLERK	LOCATION <b>TOWN OF HADSPEN</b>	BY SURVEYOR: S.P. VERBEETEN
MAPSHEET MUNICIPAL CODE No 121 (5040)	SCALE 1 : 2500	LENGTHS IN METRES
LAST UPI No	LAST PLAN No (SP166560)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



204/50 (8753) 14/7/2014 16:13

C&DS 4



204/50 (6753) 14/7/2014 16-13

## Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0182	Council notice date	19/04/2017
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2017/00524-MVC	Date of response	26/04/2017
TasWater Contact	Phil Papps	Phone No.	(03) 6237 8246
<b>Response issued to</b>			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
<b>Development details</b>			
Address	4 COOK ST, HADSPEN	Property ID (PID)	7020610
Description of development	3 lot subdivision		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
PDA	Plan of Subdivision / L17063-P01	--	05/04/2017
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections / sewerage system and connections to each lot of the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost.</li> </ol> <p><b>ASSET CREATION &amp; INFRASTRUCTURE WORKS</b></p> <ol style="list-style-type: none"> <li>3. TasWater’s existing sewerage systems must be extended to serviced the proposed development.</li> <li>4. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.</li> <li>5. Prior to applying for a Permit to Construct new infrastructure the developer must obtain Engineering Design Approval from TasWater. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater’s satisfaction.</li> <li>6. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater’s satisfaction.</li> <li>7. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater’s requirements.</li> <li>8. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater’s water and sewerage infrastructure required to service the development, are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.</li> </ol>			

9. After testing to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
10. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
  - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
  - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
  - c. At TasWater's discretion security for the twelve (12) month defects liability period to the value of 10% of the works may be required to be lodged with TasWater. This security must be in the form of a bank guarantee;
  - d. As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
11. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
12. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
13. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

#### **FINAL PLANS, EASEMENTS & ENDORSEMENTS**

14. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater and the certificate must be submitted to the Council as evidence of compliance with these conditions when application for sealing is made.
15. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.
16. In the event that the property sewer connection for affected lots cannot control the lot for a gravity connection, the Plan of Subdivision Council Endorsement Page for those affected lots is to note, pursuant to Section 83 of the Local Government (Building and Miscellaneous Provisions) Act 1993, that TasWater cannot guarantee sanitary drains will be able to discharge via gravity into TasWater's sewerage system. *Advice: Refer to section 4.6.5 of the Sewerage Code of Australia.*
17. Prior to the issue of a Consent to Register a Legal Document from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement(s) over the adjoining lot CT 168133/36 to cover proposed TasWater infrastructure.

## DEVELOPMENT ASSESSMENT FEES

18. The applicant or landowner as the case may be, must pay a development assessment and Consent to Register a Legal Document fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:

- a. \$467.40 for development assessment; and
- b. \$221.40 for Consent to Register a Legal Document

The payment is required within 30 days of the issue of an invoice by TasWater.

## Advice

### **Works on adjoining land**

*TasWater advises that civil law requires that prior to the commencement of any works on adjoining land (CT 168133/36) by the developer or the developer's authorised agents, the developer must obtain permission from the adjoining land owner(s). TasWater's understanding is that no works can commence on adjoining property without permission and any possible issues which may arise as a result of their refusal to grant permission is a civil matter between the developer and the adjoining property owner(s).*

### **General**

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

*The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.*

### **Advice to Planning Authority (Council) and developer on fire coverage**

*TasWater cannot guarantee the location of existing fire hydrants will meet Tasmania Fire Service minimum hose lay requirements for Lots 1 & 2 on the plan of subdivision.*

## Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

### **Authorised by**



**Jason Taylor**

Development Assessment Manager

## TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

## Leanne Rabjohns

---

**From:** Dale McGuire <Dale.McGuire@pda.com.au>  
**Sent:** Tuesday, 9 May 2017 12:55 PM  
**To:** Dino De Paoli  
**Cc:** John Dent; Steve Jordan; Leanne Rabjohns  
**Subject:** RE: 4 Cook Street Hadspen - 3 Lot subdivision \_ Stormwater Drainage

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dino,

The minimum grade on an internal/private stormwater lines is 1.25%.

Discharge to Tamika Terrace is the best option to connect the existing house. The permit condition should be that the house lot ( lot 2)connection to be installed though to Tamika Terrace. The developer owns No. 12 so it makes it easier in terms of access & easements.

The alignment for stormwater line in No.12 Tamika Terrace needs to be along the southern boundary as it gives the greatest depth at the boundary to the house lot . Taking the line along the northern boundary will decrease the depth by approx. 200mm.

Regards,

**Dale McGuire**  
ENGINEERING DESIGN MANAGER

PDA Surveyors  
PHONE: +61 63 314 099  
FAX: + 61 63 343 098  
[dale.mcguire@pda.com.au](mailto:dale.mcguire@pda.com.au)  
MOBILE: 0467259496  
PO Box 284,  
3/23 Brisbane St, Launceston, TAS 7250  
[www.pda.com.au](http://www.pda.com.au)



**PDA Surveyors**

ABN 71 217 606 325

Surveying, Engineering & Planning

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**From:** Dino De Paoli [mailto:Dino.DePaoli@mvc.tas.gov.au]  
**Sent:** Tuesday, 9 May 2017 12:26 PM  
**To:** Dale McGuire  
**Cc:** Steve Jordan; John Dent; Leanne Rabjohns  
**Subject:** RE: 4 Cook Street Hadspen - 3 Lot subdivision \_ Stormwater Drainage

Hello Dale

Mrs Sheree Campton  
124 South Esk Drive  
Hadspen Tas 7290

Ph: 0417 058 353  
Email: sjc7306@bigpond.com

11<sup>th</sup> May 2017

General Manager  
PO Box 102  
Westbury Tas 7303

**Re: Planning Application PA\17\0182 (PDA Surveyors obo A Pennington)**

As the owner of an adjoining property to this application I am writing to seek clarification on an easement matter.

Can you please advise if the easement which is planned to run along our side boundary is likely to have any ramification to future developments planned for our vacant block. Eg:

- Do you foresee any implications if we were to seek a Waiver of Setback along the side boundary in due time?
- Would limitations be imposed as to the type of fence built? Can a concrete plinth be used?

I look forward to receiving your response to the questions I have raised.

Yours sincerely,



SHEREE CAMPTON.



# **C&DS 5 17 CARLWOOD PLACE, PROSPECT VALE** **RESIDENTIAL - MULTIPLE DWELLING (2 UNITS)**

## **1) Introduction**

This report considers application PA\17\0184 for Residential - Multiple dwellings (2 Units) on land located at 17 Carlwood Place, Prospect Vale (CT:172720/4).

## **2) Background**

### **Applicant**

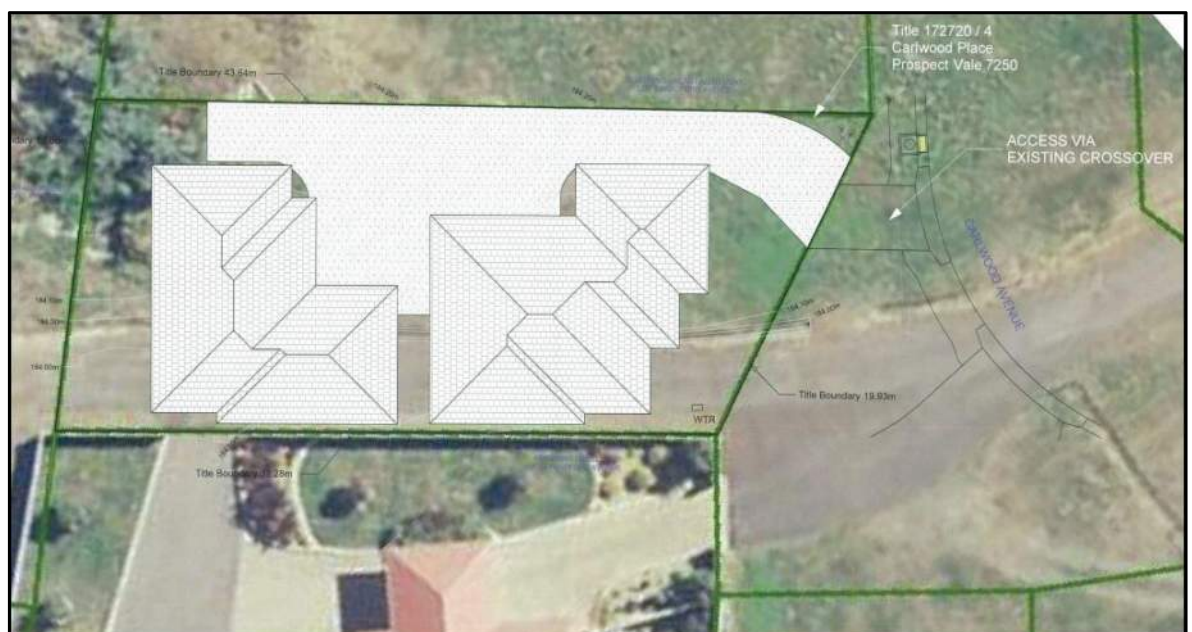
Douglas Design & Drafting Pty Ltd

### **Planning Controls**

The subject site is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

### **Use & Development**

The proposal is seeking approval to construct multiple dwellings (2 units) on the subject site (refer to Image 1). The two dwellings identified as Unit 1 and Unit 2 are detailed on the proposal plans submitted with the application. A servicing plan and shadow diagrams are provided with the application.



**Image 1: The proposed multiple dwellings on the subject site - 17 Carlwood Place, Prospect Vale (CT:172720/4)**

**Unit 1**, orientated towards the frontage of Carlwood Place, is setback 4.5m from the northern lot boundary. The two bedroom dwelling has the garage set behind the main facade with living areas having a northerly aspect.

Private open space of approximately 62m<sup>2</sup> is located between the dwelling and the frontage of Carlwood Place. A fence will be established along the frontage to separate the private open space of Unit 1 from Carlwood Place as shown on the Site Plan, layout A0.03, drawing number 170306. The fence will have a height of 1.8m and will comprise solid construction up to a height of 1.2m. The construction of the fence between 1.2m and 1.8m will have a transparency of not less than 30%.

**Unit 2** is a two bedroom dwelling which is set behind Unit 1. The two bedroom dwelling has a single bay garage and is located to ensure that the living areas of the dwelling can maximise its solar access.

Private open space of approximately 121m<sup>2</sup> is located on the north-eastern side of Unit 2 which is directly accessible from the living area of the dwelling.

**Access** to the subject site is depicted on the Site Plan, layout A0.03, drawing number 170306. The dwellings will be serviced by a shared driveway. The access will provide both entry and exit to the subject site.



**Image 2: Aerial photograph of the subject site (outlined in yellow) – Lot 4, 17 Carlwood Place, Prospect Vale (CT:172720/4)**

### **Site & Surrounds**

The subject site, identified on Certificate of Title CT: 172720/4, comprises an area of 740m<sup>2</sup> and has a frontage to Carlwood Place of approximately 19.84m. The irregular shaped lot, forms part of a recently subdivided area of Prospect Vale and adjoins the original dwelling contained on the parent title of the subject site (CT: 172720/34).

The subject site (refer to Image 2 and Image 3) shares its lot boundaries with land identified on:

- CT:172720/5 – Multiple Dwellings (2) currently under construction;
- CT:172720/32 – Vacant, approved for multiple dwellings (3);
- CT:172720/34 - Single Dwelling.



**Image 3: Subject site – 17 Carlwood Place, Prospect Vale. The land identified on CT:172720/34, CT:172720/32, and CT:172720/5 in view**

The topography is relatively flat land. The subject site is connected to all reticulated services, including mains water, sewer, and stormwater. The subject site is also connected to all required communication services. Access is provided via the existing crossover from Carlwood Place.

The subject site is not identified as being subject to a landslide hazard or flooding and is not located within the Karst Management Area. The subject site, however, is identified as being within the Greater Launceston Urban Salinity Management Area.

### **Surrounds**

The subject site is situated within the residential area of Prospect Vale between Westbury Road and Bass Highway (refer to Image 4). This residential area comprises single detached dwellings interspersed with multiple dwellings.

The residential area is closely located to services with the Prospect Market Place (350-364 Jardine Crescent, Prospect Vale) being located within a 500m radius of the subject site. The Prospect High School is also in short walking distance from the subject site.

Public transportation can be accessed on Westbury Road and is in walking distance to the subject site. Public transportation along Westbury Road

provides linkages to the CBD of Launceston as well as the Prospect Market Place.



**Image 4: Aerial photograph of the residential area of Prospect Vale. The subject site is shown with a red outline - (source:theLIST)**

### **Statutory Timeframes**

Date received:	21 April 2017
Request for further information:	4 May 2017
Information received:	4 May 2017
Advertised:	29 April 2017
Closing date for representations:	15 May 2017
Extension of time granted:	16 May 2017
Extension of time expires:	14 June 2017
Decision due:	14 June 2017

### **3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.

#### **4) Policy Implications**

Not applicable.

#### **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approvals Act (1993 LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

#### **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

#### **7) Consultation with State Government and other Authorities**

The application was referred to TasWater and imposes conditions on the permit (TWDA 2017/00576-MVC).

#### **8) Community Consultation**

The application was advertised for the statutory 14-day period. Advertising of the application commenced on 29 April 2017 and closed on 15 May 2017.

1 representation was received (refer to attached document).

The representation is discussed in the assessment below.

#### **9) Financial Impact**

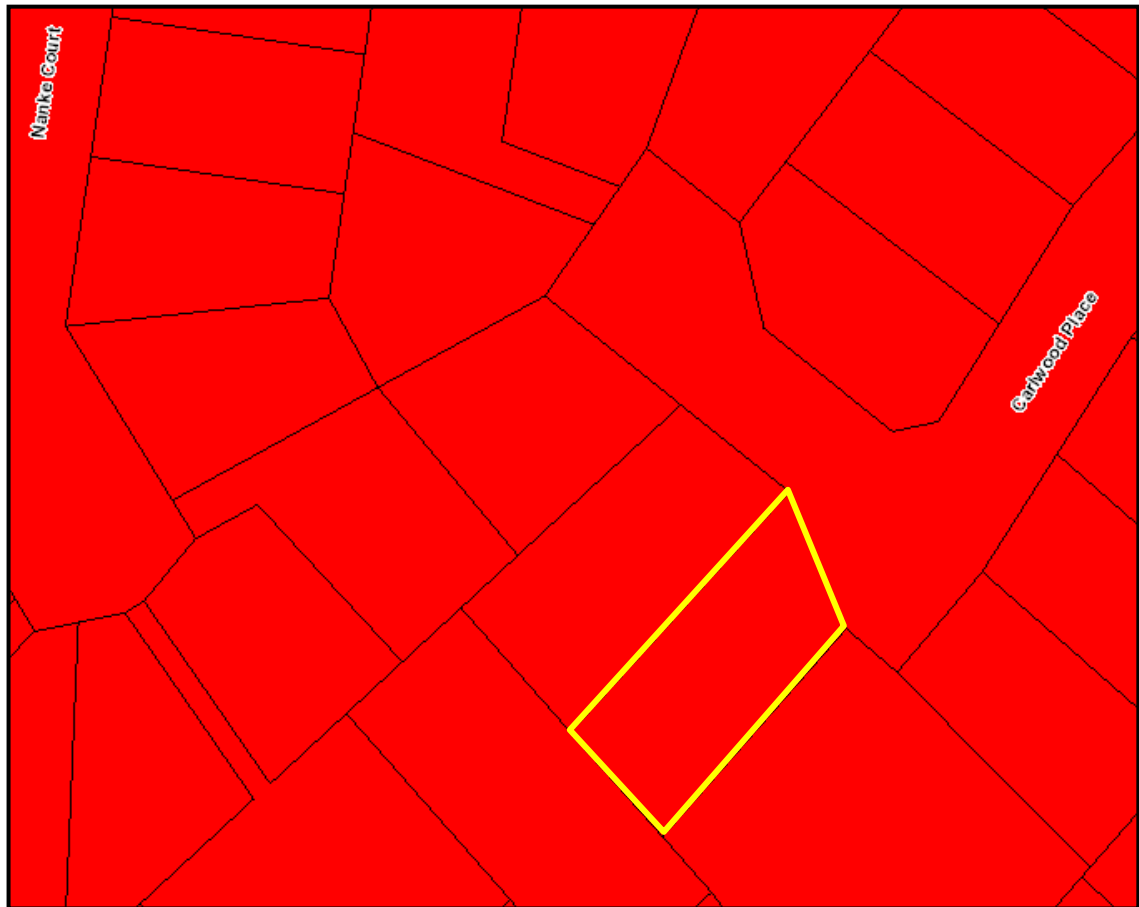
Not applicable.

#### **10) Alternative Options**

Council can either approve, with amended conditions, or refuse the application.

#### **11) Officers Comments**

The subject site is in the General Residential zone (refer to Image 5). The subject site is identified on the Overlay Maps to be within the Greater Launceston Urban Salinity Management Area (refer to Image 6).



**Image 5: Zoning Map – Lot 4, 17 Carlwood Place, Prospect Vale (source: theLIST)**

## **Use Class**

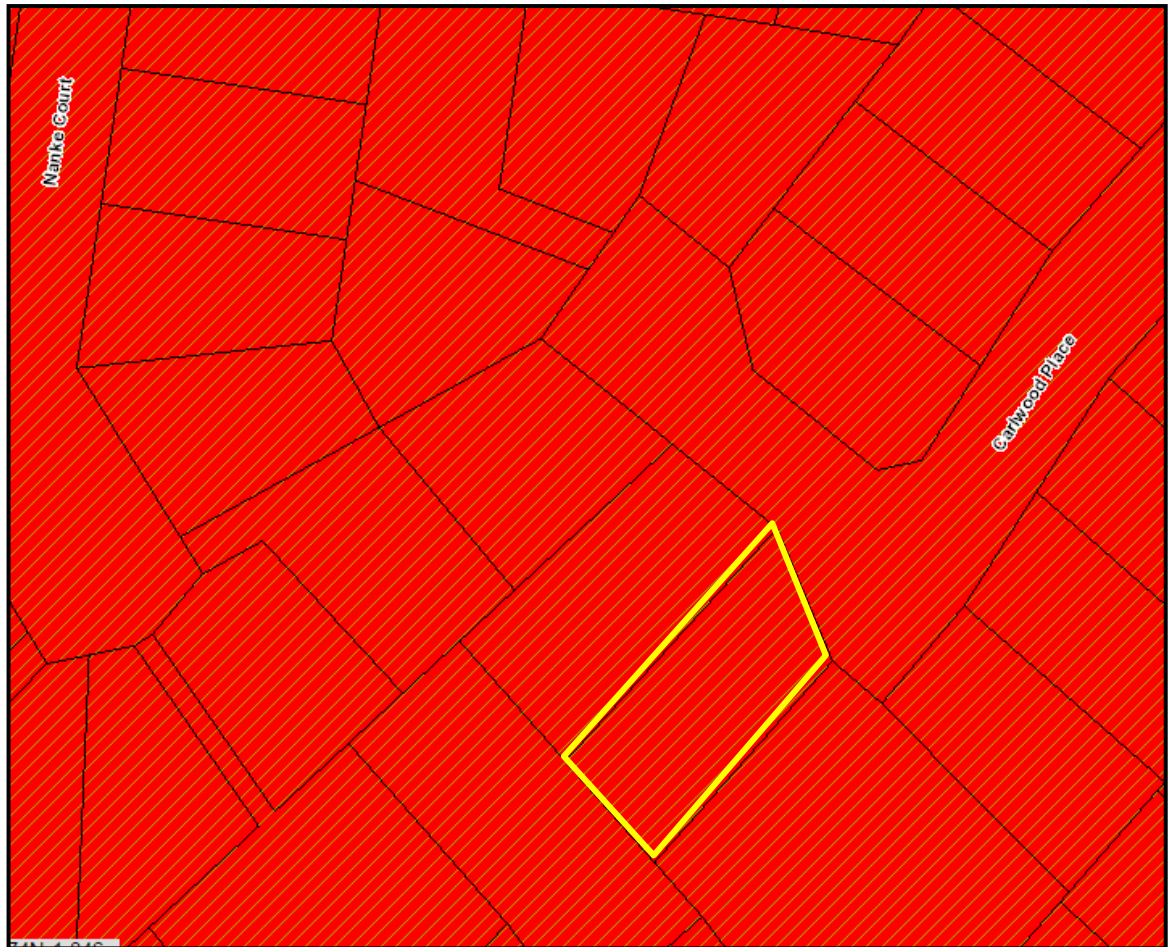
### **8.1 Use Class**

In accordance with Table 8.2 in the Scheme the proposed Use Class is:

- Residential.

The use class is specified in Table 10.2. Residential, if not for a single dwelling, is listed as being *Permitted*. However the development does not comply with all the requirements and standards of the zone.

The development relies on Performance Criteria and as such, is subject to a Discretionary permit process.



**Image 6: Overlay Map – Lot 4, 17 Carlwood Place, Prospect Vale is shown with a yellow outline (source: theLIST). Hatching represents the Greater Launceston Urban Salinity Management Area**

## **10.1 Zone Purpose**

### *10.1.1 Zone Purpose Statements*

*10.1.1.1 To provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided.*

*10.1.1.2 To provide for compatible non-residential uses that primarily serve the local community.*

*10.1.1.3 Non-residential uses are not to be at a level that distorts the primacy of residential uses within the zones, or adversely affect residential amenity through noise, activity outside of business hours traffic generation and movement or other off site impacts.*



10.1.1.4 *To encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity.*

**Comment:**

The application proposes multiple dwellings within the residential area of Prospect Vale. The residential area of Prospect Vale comprises a mix of single detached dwellings and multiple dwelling developments. The subject site is fully serviced and will be developed for multiple dwellings at an allowable density that is consistent with the standards of the zone.

There are no non-residential uses proposed.

The multiple dwellings respect the neighbourhood character in that Unit 1 and 2 are reflective of use and development anticipated in the zone. Setbacks from the frontage, orientation, and the bulk and scale of the dwellings ensure that the proposal provides for a high standard of residential amenity.

The application is consistent with the zone purpose.

**16.1.2 Local Area Objective**

**Prospect Vale**

*a) Prospect Vale will be maintained as a key centre of urban expansion. Where areas currently zoned General Residential adjoin the Particular Purpose Zone, development is to provide for the long term strategic outcomes in the design of urban environment;*

*b) Promote opportunities to alter the urban environment to make more efficient use of alternative modes of transport.*

*a) Subdivision design is to consider the relationship and connectivity to future urban growth areas.*

*b) Development design is to complement any public works to provide improved connectivity for alternative modes of transport.*

**Comment:**

The subject site is within the residential area of Prospect Vale which is identified as a key centre of urban expansion. The proposed multiple

dwellings will see the development of an existing vacant residential lot within a 500m radius of the shopping centre, Prospect Vale Market Place, Prospect High School and public transportation.

The subject site does not adjoin land zoned as Particular Purpose.

The application does not propose subdivision.

The proposal is consistent with the local area objective of Prospect Vale

### **10.1.3 Desired Future Character Statements**

*Dwellings are to maintain as the predominant form of development with some higher densities encouraged near services and the business area. Some redevelopment sites may also be appropriate for higher density development. Typical residential and non residential development is to be detached, rarely exceeding two storeys and be setback from the street and property boundaries.*

#### **Comment:**

The proposal is consistent with the pattern of development within the residential area of Prospect Vale. The multiple dwellings are at a density that meets the development standards of the zone. The subject site is in walking distance to public transportation and the Prospect Market Place.

The multiple dwellings will not exceed two storeys and will provide appropriate setback from the frontage of Carlwood Place.

The proposal is consistent with the desired future character statements.

#### **Applicable Standards**

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable

Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion

should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

An assessment against all applicable Acceptable Solutions of the General Residential Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

<b>Scheme Standard</b>	<b>Comment</b>	<b>Assessment</b>
<b>10.3.1 Amenity</b>		
A1	Residential – multiple dwelling is a permitted use in the zone.	Complies with the Acceptable Solution
A2	Residential – multiple dwelling is a permitted use in the zone.	Not Applicable
<b>10.3.2 Residential Character – Discretionary Uses</b>		
A1	The application is a permitted use in the zone.	Not Applicable.
A2	The application is a permitted use in the zone.	Not Applicable
<b>10.4.1 Residential Density for multiple dwellings</b>		
A1	<p>The subject area has an area of 740m<sup>2</sup>.</p> <p>There are no density areas specified at Table 10.4.1 that apply to the subject site.</p> <p>A site area of 370m<sup>2</sup> is provided per dwelling. This exceeds the standard requirement of 325m<sup>2</sup> per dwelling.</p>	Complies with the Acceptable Solution
<b>10.4.2 Setbacks and building envelope for all dwellings</b>		
A1	The subject site has a primary frontage to Carlwood Place. The subject site has no other frontage to a road.	Complies with the Acceptable Solution

	<p>The subject site is vacant and there are existing dwellings on the adjoining sites (CT:172720/5 and CT:172720/34) which have frontages to Carlwood Place. The dwelling on CT:172720/5 is setback 4.5m from the frontage. The dwelling on CT:172720/34 is setback approximately 8.5m from the frontage.</p> <p>There are no roads prescribed in Table 10.4.2.</p> <p>Unit 1 is setback 4.649m from the primary frontage.</p> <p>The setback of Unit 1 from the frontage is not more or less than the setback of the dwellings on the adjoining sites.</p> <p>The proposal has demonstrated compliance with A1(c).</p>	
A2	<p>Garages are provided for both Unit 1 and 2.</p> <p>A portion of gross floor area of Unit 1 or Unit 2 is <u>not</u> located above the garage.</p> <p>The natural ground level of the subject site does not slope up or down at a gradient steeper than 1 in 5.</p> <p>Garages are setback more than 5.5m from the primary</p>	Complies with the Acceptable Solution

	frontage. The proposal has demonstrated compliance with A2(a).	
A3	<p>Dwelling Units 1 and 2 are within the building envelope in accordance with Diagram 10.4.2A. However, the southern walls of Unit 1 and Unit 2 are within 1.5m of the side boundary shared with CT:172720/34. The southern wall length of Unit 1 and Unit 2 are 9.26m and 7.85m respectively.</p> <p>A single dwelling is contained on land identified on CT:172720/34. This dwelling is setback a minimum of 4.5m from the shared lot boundary of the subject site.</p> <p>The wall of Unit 2 exceeds 9m in length and therefore is reliant on the corresponding performance criteria for its approval.</p>	Relies on Performance Criteria
<b>10.4.3 Site coverage and Open space for all dwellings</b>		
A1	<p>The subject site has a land area of 740m<sup>2</sup>.</p> <p>Unit 1 has an area of 157.11m<sup>2</sup>. Unit 2 has an area of 140.12m<sup>2</sup>.</p> <p>Roofed buildings on the subject site have a total area of 297.23m<sup>2</sup> as shown on the cover page, drawing number 170206.</p>	Complies with the Acceptable Solution.

	<p>Site Coverage = 40.1 %. This is less than 50%.</p> <p>Unit 1 and Unit 2 have private open space areas of approximately 62m<sup>2</sup> and 121m<sup>2</sup> respectively. This exceeds 60m<sup>2</sup> for each dwelling.</p> <p>The total impervious area on the subject site is 528.21m<sup>2</sup>. 28.6% of the subject site is free from impervious surfaces. This is greater than 25% as required by the standard.</p>	
A2	<p>Unit 1 and Unit 2 both having private open space of 24m<sup>2</sup> each with a minimum horizontal distance of 4m.</p> <p>The private open space for Unit 1 is:</p> <ul style="list-style-type: none"> <li>• Directly accessible from the kitchen via sliding doors;</li> <li>• Not located to the south, south-east or south-west of the dwelling;</li> <li>• Located between the dwelling and the frontage. The frontage is orientated 30 degrees west of north;</li> <li>• Has a gradient not steeper than 1 in 10; and</li> <li>• Not used for vehicle parking.</li> </ul> <p>The private open space for Unit 2 is:</p> <ul style="list-style-type: none"> <li>• Directly accessible from the living area via sliding</li> </ul>	Complies with the Acceptable Solution

	<p>doors;</p> <ul style="list-style-type: none"> <li>• Not located to the south, south-east or south-west of the dwelling;</li> <li>• Not located between the dwelling and the frontage;</li> <li>• Has a gradient not steeper than 1 in 10; and</li> <li>• Not used for vehicle parking.</li> </ul>	
<b>10.4.4 Sunlight and overshadowing for all dwellings</b>		
A1	Unit 1 or Unit 2 does not provide a window that faces between 30 degrees west of north and 30 degrees east of north.	Relies on the Performance Criteria
A2	There are no habitable room windows contained within the elevation of Unit 2 which are north of Unit 1.	Not Applicable
A3	The location of private open space of Unit 2 is on the western side of the dwelling. Unit 1 is not north of the private open space of Unit 2.	Not Applicable
<b>10.4.5 Width of openings for garages and carports for all dwellings</b>		
A1	<p>The garage of Unit 1 is not orientated towards the frontage of Carlwood Place.</p> <p>The garage for Unit 2 is set behind Unit 1.</p> <p>There are no openings facing the primary frontage.</p>	Complies with the Acceptable Solution
<b>10.4.6 Privacy for all dwellings</b>		
A1	There are no balconies, decks parking space or carport	Not Applicable

	proposed that has a finished floor level more than 1m.	
A2	No windows or glazed doors to a habitable room of Unit 1 or Unit 2 have a floor level more than 1m above natural ground level.	Not Applicable
A3	<p>Unit 1 and Unit 2 are serviced by a shared driveway. There is a shared parking space between Unit 1 and Unit 2.</p> <p>The shared driveway adjacent to Unit 1 is not separated by a horizontal distance of 1m from the two living room windows located in the western elevation of the dwelling. While these windows have a sill height of 1.7m, the application relies on the corresponding performance criteria.</p>	Relies on the Performance Criteria
<b>10.4.7 Frontage fences for all dwellings</b>		
A1	<p>A fence is proposed for Unit 1 which is within 4.5m of the frontage. The fence will comprise solid construction to a height of 1.2m. The construction fence above 1.2m will provides a uniform transparency of not less than 30%.</p> <p>The fence height does not exceed 1.8m.</p>	Complies with the Acceptable Solution
<b>10.4.8 Waste storage for multiple dwellings</b>		
A1	A waste storage is provided for the exclusive use of each	Complies with the Acceptable Solution



	dwelling of 1.5m <sup>2</sup> as shown on Layout A0.04 drawing number A170306.	
<b>10.4.9 Storage for multiple dwellings</b>		
A1	Each dwelling has access to at least 6m cubic metres of secure storage within the garage of Unit 1 and Unit 2.	Complies with the Acceptable Solution
<b>10.4.10 Common Property for multiple dwellings</b>		
A1	The proposal plans clearly delineate private and public areas, including driveways, site services and bin areas.	Complies with the Acceptable Solution
<b>10.4.11 Outbuildings for multiple dwellings</b>		
A1	There are no outbuildings proposed.	Not Applicable
<b>10.4.12 Site Services for multiple dwellings</b>		
A1	Provision for mailboxes is made at the frontage as shown on Site Plan, drawing number 170306.	Complies with the Acceptable Solution
Clauses 10.4.13.1 -10.4.13.9 only apply to development within the Residential Use Class that is not a dwelling. The application proposes a home-based business as part of an existing dwelling. These clauses are not applicable.		
Clause 10.4.14 Non-Residential Development is not applicable for this use.		
Clauses 10.4.15 apply to subdivision only and are not applicable		

## Codes

The applicable Codes are as follows:

- E4 *Road and Railway Assets Code;*
- E6 *Car Parking and Sustainable Transport Code;*

The following Codes are not assessed as these are not applicable for the reasons stated below.

E1	Bushfire Hazard Code	Not applicable, the application does not propose subdivision, a hazardous use or a vulnerable use.
E2	Potentially Contaminated Land Code	Not applicable, the site previously contained a residential use. The subject site is not identified as potentially contaminated land.
E3	Landslip Code	Not applicable, the subject site is not located within any proclaimed landslip area and is not identified on the Premier and Cabinet Landslide Hazard Maps as being subject to landslip.
E5	Flood Prone Areas Code	Not applicable, the subject site is not identified on in a flood prone area.
E7	Scenic Management Code	Not applicable, the subject site is not identified to be located within a scenic management area.
E8	Biodiversity Code	No applicable, there is no removal of native vegetation proposed.
E9	Water Quality Code	Not applicable, the use and development of the subject site is not within 50m of a wetland or a waterway.
E10	Recreation and Open Space Code	Not applicable, the application does not propose subdivision.
E12	Airports Impact Management Code	Not applicable, the subject site is not within Australian noise exposure forecast contours or within prescribed air space
E13	Heritage Code	Not applicable, there are no heritage places listed as part of this Code.
E14	Signage Code	Not applicable, there is no signage proposed.
E15	Karst Management Code	The subject site is not identified to be within a Karst Management Area
E16	Urban Salinity Code	Not applicable, as there are less than three dwellings on a title connected to a reticulated stormwater system is exempt.

An assessment of the applicable Codes is provided below.

<b>E4 Road and Railway Asset Code</b>		
Scheme Standard	Comment	Assessment
<b>E4.6.1 Use and road or rail infrastructure</b>		
A1	Carlwood Place has a speed limit of 50km/h and is not located within 50 metres of a Category 1 or 2 road, railway or future road.	Not Applicable
A2	The proposed use will generate an average of 9 vehicle entry and exit movements per dwelling per day.  A total of 18 vehicle entry and exit movements per day are anticipated. The proposed use and development will not generate more than 40 vehicle entry and exit movements per day.	Complies with the Acceptable Solution
A3	Carlwood Place does not have a speed limit of more than 60km/hr.	Not Applicable
<b>E4.7.1 Development on and adjacent to Existing and Future Arterial Roads and Railways</b>		
A1	The subject site is accessed from Carlwood Place. This has a speed limit of less than 60km/hr.	Not applicable
<b>E4.7.2 Management of Road Accesses and Junctions</b>		
A1	The subject site will be serviced with one access providing entry and exit.	Complies with the Acceptable Solution
A2	Carlwood Place does not have a speed limit of more than 60km/h.	Not Applicable

<b>E4.7.3 Management of Rail Level Crossings</b>		
This clause is not applicable as there is no management of rail level crossings required.		
<b>E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings</b>		
A1	The sight distances for the accesses can be achieved in accordance with Table E4.7.4.  There are no rail crossings or temporary access required.	Complies with the Acceptable Solution

<b>E6 Car Parking and Sustainable Transport Code</b>		
Scheme Standard	Comment	Assessment
<b>E6.6.1</b>		
A1	There are 2 parking spaces provided per dwelling on the subject site in addition to a visitor parking space.  This is in accordance with the parking spaces prescribed by Table E6.1.	Complies with the Acceptable Solution
<b>E6.6.3 Taxi Drop-off and Pickup</b>		
Clause E6.5.3 does not apply to dwelling in the General residential zone.		
<b>E6.6.4 Motorbike Parking Provisions</b>		
A2	The subject site has sufficient space within the access to provide for motorbike parking.	Complies with the Acceptable Solution.
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>		
A1	The car parking, access strips, manoeuvring and circulation spaces will be:	Relies on the Performance Criteria

	<p>a) Formed to an adequate level and drained as shown on A0.05 drawing number 170306; and</p> <p>b) Provided with an impervious all weather seal.</p> <p>The visitor parking space proposed between Unit 1 and Unit 2 does not propose to line mark or use some other means to delineate car spaces.</p> <p>The application cannot comply with A1(c) and therefore relies on the corresponding performance criteria for its approval.</p>	
E6.7.2 Design and Layout of Car Parking		
A1.1	The car parking spaces for dwellings are contained within the garages. The visitor space is located behind the building line of Unit 1.	Complies with the Acceptable Solution
A1.2	Provision for turning is not located in the front setback of the multiple dwellings.	Complies with the Acceptable Solution
A2.1	<p>The car parking and manoeuvring spaces for the proposed use and development:</p> <p>a) Has a gradient of less than 10%;</p> <p>b) Allows vehicles to enter and exit the subject site</p>	Relies on the Performance Criteria

	<p>in a forward facing direction; and</p> <p>c) Has a vehicle access width of not less than 3m and not more than 10% as prescribed in accordance Table E6.2.</p> <p>The visitor car parking space is at a 90 degree angle to the access strip. There are more than three car parking spaces on the subject site.</p> <p>The access strip width prescribed by Table E6.3 is 6.4m. The access strip falls short of this requirement</p>	
A2.2	<p>The layout of car spaces and access ways must be designed in accordance with Australian Standards AS 2890.1 - 2004 Parking Facilities, Part 1: Off Road Car Parking.</p> <p>The application within the supporting submission states that it complies with the requirements of A2.2.</p>	Complies with the Acceptable Solution
E6.7.3 Car Parking Access, Safety and Security		
A1	<p>The application is for residential use and does not require more than 20 spaces.</p>	Not Applicable
E6.7.4 Parking and Persons with a Disability		
A1-A2		

E6.7.6 Loading and Unloading of Vehicles, Drop-off and Pickup		
A1	The application proposes a residential use.	Not Applicable
E6.8.1 Pedestrian Walkway		
A1	No separate access required by Table E6.5.	Complies with the Acceptable Solution.

### **Performance Criteria**

10.4.2 Setbacks and building envelope for all dwellings	
<p><b>Objective:</b></p> <p><i>To control the siting and scale of dwellings to:</i></p> <ul style="list-style-type: none"> <li><i>a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and</i></li> <li><i>b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and</i></li> <li><i>c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and</i></li> <li><i>d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.</i></li> </ul>	
P3	<p><i>P3 The siting and scale of a dwelling must:</i></p> <ul style="list-style-type: none"> <li><i>a) not cause unreasonable loss of amenity by: <ul style="list-style-type: none"> <li><i>i. reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i></li> <li><i>ii. overshadowing the private open space of a dwelling on an adjoining lot; or</i></li> <li><i>iii. overshadowing of an adjoining vacant lot; or</i></li> <li><i>iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i></li> </ul> </i></li> <li><i>b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.</i></li> </ul>
<p><b>COMMENT:</b></p> <p>The southern wall of Unit 2 has a length of 9m and is within 1.5m of the lot</p>	

boundary and therefore cannot comply with the acceptable solution. Accordingly, the proposal relies on the corresponding performance criteria P3.

The subject site shares its southern lot boundary with adjoining site identified on CT:172720/34 (refer to image below). The adjoining site contains a single dwelling with a setback of approximately 4.5m from this shared boundary with the living areas of the dwelling setback more than 10m. The private open space of this dwelling is located on its northern side. The proposed multiple dwellings will not impact on private open space associated with the existing dwelling (refer to Image 8).

The application is supported by Shadow Diagrams. These diagrams demonstrate that there will be no loss of amenity to this adjoining property. These diagrams also demonstrate that the proposal will not cause unreasonable loss of amenity by reduction in sunlight to a habitable room of the dwelling on Lot 34.



Unit 2 is single storey and is of a bulk, scale and proportions of dwellings on adjoining lots is consistent with the built form of the adjoining development.

The irregular shaped lot and its orientation will ensure that adequate separation between existing and future dwellings are achieved which is consistent with the surrounding area.



The proposal complies with the objectives.

#### 10.4.4 Sunlight and overshadowing for all dwellings

**Objective:**

*To provide:*

- a) the opportunity for sunlight to enter habitable rooms (other than bedrooms) of dwellings; and*
- b) separation between dwellings on the same site to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.*

*P1*

*A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).*

**COMMENT:**

The units do not have a window of a habitable room orientated between 30 degrees east and west of north and therefore cannot comply with the acceptable solution. Accordingly, the application relies on the corresponding performance criteria P1.

The living and dining area of Unit 1 has a north-western to north-eastern aspect with many windows and sliding doors providing reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.

The living and dining area of Unit 2 also has a north-western to north-eastern aspect with many windows and sliding doors providing reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.

Each dwelling unit has living areas that can gain solar access of the living areas.

The proposal complies with the objectives.

#### 10.4.6 Privacy for all dwellings

**Objective:**

*Objective: To provide reasonable opportunity for privacy for dwellings.*

*P3*

*A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise detrimental impacts of vehicle noise or vehicle light intrusion to a habitable room*

*of a multiple dwelling.*

**COMMENT:**

Unit 1 and Unit 2 are serviced by a shared driveway. The shared driveway adjacent to Unit 1 is not separated by a horizontal distance of 2.5m from the living area windows. While the window sill height is more than 1.7m above the shared driveway a 1m separation cannot be achieved and therefore cannot comply with the acceptable solution A3 (b). The proposal relies on the corresponding performance criteria P3.

The proposed window locations to the living area of Unit 1 are considered not to have a detrimental impact of vehicle noise or vehicle light intrusion to a habitable room for the following reasons:

- The window sill of the dining room has a height of 1.7m above the shared driveway ensuring minimising light intrusion from vehicles accessing Unit 1 in the evening; and
- There is only one other unit located on the subject site ensuring the vehicle movements will not exceed on average 9 vehicle movements to and from the subject site.

The proposal complies with the objectives.

**E6.7.1 Construction of Car Parking Spaces and Access Strips**

**Objective:**

*To ensure that car parking spaces and access strips are constructed to an appropriate standard.*

*P1*

*All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.*

**COMMENT:**

The proposed visitor parking is located between Unit 1 and Unit 2. The application does not propose to line mark or provide some other physical means to delineate the visitor parking space and accordingly cannot comply with the acceptable solution A1(c). The proposal relies on the corresponding performance criteria P1.

The multiple dwelling development is provided with a concrete driveway and

turning area which will be useable in all weather conditions. The proposal plans Layout A0.05 drawing number 170306 shows that the driveway will be formed to an adequate level and drained to the reticulated stormwater system.

The access strip will be readily identifiable for any person visiting the subject site. However, the visitor parking is obscured from view by Unit 1 from a motorist entering the subject site.

Accordingly, to bring the use and development into conformity, it is recommended that a condition of the approval is to line mark the visitor parking space provided on the subject site.

The proposal complies with the objectives.

### **E6.7.2 Design and layout of car parking**

#### **Objective:**

*To ensure that car parking and manoeuvring space are designed and laid out to an appropriate standard.*

*P2*

*Car parking and manoeuvring space must:*

- a) be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and*
- b) provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.*

#### **COMMENT:**

The combined access width behind the visitor parking does not meet the requirements of the acceptable solution as prescribed in Table E6.3. Accordingly the application cannot comply with the acceptable solution and relies on the corresponding performance criteria P2.

The units are accessed via a crossover from the sealed pavement of Carlwood Place. While the access width behind the visitor parking space falls short of the requirement in Table E6.3, there is sufficient width to allow a vehicle parked in the visitor space to reverse and leave the subject site in a forward-facing direction.

The proposal complies with the objectives.

## **Representations**

One representation was received (see attached documents). The issues raised in the representations have been summarised below.

Objection to the Proposed Application	
Issue	Comment
The proposed development will impact greatly on my peace, enjoyment and privacy of my home.	The General Residential zone under the Scheme controls use and development to ensure that appropriate privacy and separation is achieved between the subject site and the adjoining property.
<p>There will be multiple dwellings on every fence line of my property, 9 in total. Concern expressed that this is unfair particularly as it is not on land zoned high density housing.</p> <p>The high density of proposed units in the street does not keep in character with the established homes in the area.</p>	<p>The General Residential zone under the Scheme controls use and development. The development of the subject site for two dwellings complies with the density standard of the zone. This concern is addressed through the assessment of the multiple dwelling against the use and development standards of the General Residential zone.</p> <p>Preceding assessment demonstrates that the multiple dwellings have demonstrated compliance with all applicable use and development standards.</p>
The proposal will result in an increase in traffic from numerous multiple dwelling developments with the associated noise causing further immediate disturbance to myself and the neighbourhood.	<p>The E4 Road and Railway Asset Code applies to all use and development and is concerned with traffic generated from the subject site.</p> <p>The preceding assessment demonstrates that the multiple dwellings complies with the requirements of the Code as it</p>

	relates to vehicle movements.
Development will obscure the views of the mountain that they enjoy from their property.	Views of mountains and other scenery is not regulated by the General Residential zone.
Drainage not adequate to prevent excess water being shed onto their property from hard surfaces and driveway resulting in collecting and channelling water.	In recognition of the concern raised in this representation, a note will be added to the permit to notify the applicant of the requirement to provide stormwater detention on the subject site for this development.
Council has a responsibility under the Human Rights Act, in particular Protocol 1. This states that a person has a right to peaceful enjoyment of all their possessions, which includes home and other land.	<p>The process for the assessment of use and development is set out pursuant to s57 of the <i>Land Use Planning and Approvals Act 1993</i>.</p> <p>The Council, as the planning authority, is not required to have regard to <i>the Human Rights Act 2004</i> in their assessment of the proposed use and development.</p>
Article 8 of the Human Rights Act states that a person has the substantive right to respect for their private and family life.	

## Conclusion

In conclusion, it is considered that the application for Residential - Multiple Dwellings is a permitted use in the zone. The proposed use and development is reliant on a number of discretions for its approval. The assessment has demonstrated compliance with all aspects of the Scheme. Approval subject to a number of conditions is recommended.

**AUTHOR:** Heidi Goess  
CONSULTANT TOWN PLANNER

## 12) Recommendation

***That the application for Residential – Multiple Dwellings (2 units), for land located at 17 Carlwood Place, Prospect Vale (CT: 172720/4), by Douglas Design & Drafting Pty Ltd, requiring the following discretions:***

- 10.4.2 Setbacks and building envelope for all dwellings
- 10.4.4 Sunlight and overshadowing for all dwellings
- 10.4.6 Privacy for all dwellings
- E6.7.1 Construction of Car Parking Spaces and Access Strips
- E6.7.2 Design and layout of car parking

***be APPROVED, generally in accordance with the endorsed plans:***

- a) Douglas Design & Drafting Pty Ltd, drawing number 170306 dated 21 April 2017;**

and subject to the following conditions:

- 1. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/00576-MVC attached).**
- 2. The visitor parking space between Unit 1 and Unit 2 as shown on Layout A0.04 drawing number 170306 is to be line marked or otherwise physically delineated to the satisfaction of Council's Town Planner. Spaces must be clearly dedicated, through line marking or incidental signage.**

Note:

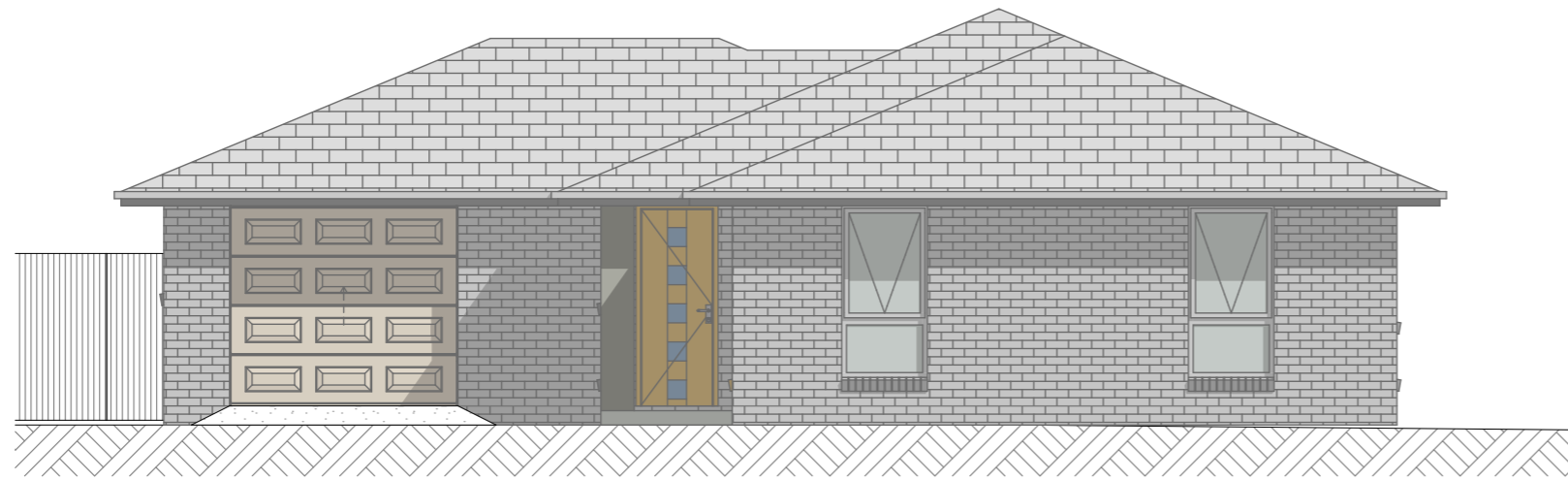
- 1. The applicant will be required to provide stormwater detention on site for this development. Please refer to separate correspondence issued by Council's Infrastructure Department.**
- 2. This permit does not imply that any other approval required under any other by-law or legislation has been granted. At least the following additional approvals may be required before construction commences:**
  - a) Building permit**
  - b) Plumbing permit**

**All enquiries should be directed to Council's Permit Authority on 6393 5322 or Council's Plumbing Surveyor on 0419 510 770.**

3. This permit takes effect after:
  - a) The 14 day appeal period expires; or
  - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
  - c) Any other required approvals under this or any other Act are granted.
4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au) .
5. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received at least 6 weeks prior to the expiration date.
7. In accordance with the legislation, all permits issued by the planning authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
8. If any Aboriginal relics are uncovered during works;
  - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: [aboriginal@heritage.tas.gov.au](mailto:aboriginal@heritage.tas.gov.au)); and
  - c) The relevant approval processes will apply with State and Federal government agencies.

**DECISION:**





**SITE INFORMATION**

Local Government Authority	Meander Valley Council
Lot No.	4
Title No.	172720
Zoning	General Res.
Property ID	3402320
Wind Class. Region	A
Wind Classification	N1
Soil Classification (ref report.)	'H1' ref. report
Site Classification by	Geoton
Energy Rating	TBA
Corrosive Environment	Med
Bushfire Attack Level	Bal Low

**PROJECT INFORMATION**

Site Area	740 m2
Unit 1 Floor Area (Building Footprint.)	154.91 m2
Unit 1 Porch	02.20 m2
Unit 1 Total	157.11 m2
Unit 2 Floor Area (Building Footprint.)	137.12 m2
Unit 2 Porch	03.00 m2
Unit 2 Total	140.12 m2
Total Building Area (Building Footprint.)	297.23 m2
Site Coverage (Building / Site)	40.17 %
Impervious Paving Area	230.98 m2
Total Impervious Area	528.21 m2 (71.38%)

**DRAWING INDEX**

Layout Name	No.
Cover Sheet	A0.01
Location Plan	A0.02
Site Plan	A0.03
Site Plan - Planning	A0.04
Site Plan - Plumbing	A0.05
Shadow Diagrams	A0.06
Unit 1 Floor Plan	A1.1
Unit 1 Elevations	A1.2
Unit 1 Elevations	A1.3
Unit 2 Floor Plan	A2.1
Unit 2 Elevations	A2.2
Unit 2 Elevations	A2.3

Proposed Unit Development  
 at Lot 4, No. 17 Carlwood Place,  
 Prospect Vale TAS 7248,  
 for D. & B. GOODYER DEVELOPMENTS

DOUGLAS DESIGN &  
 DRAFTING PTY LTD

PH 0437 00 33 02

dale@douglasdesignanddrafting.com

Acc No. CC7092  
 ABN 56 614 751 521

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**ATTACHMENTS**


**REVISIONS**

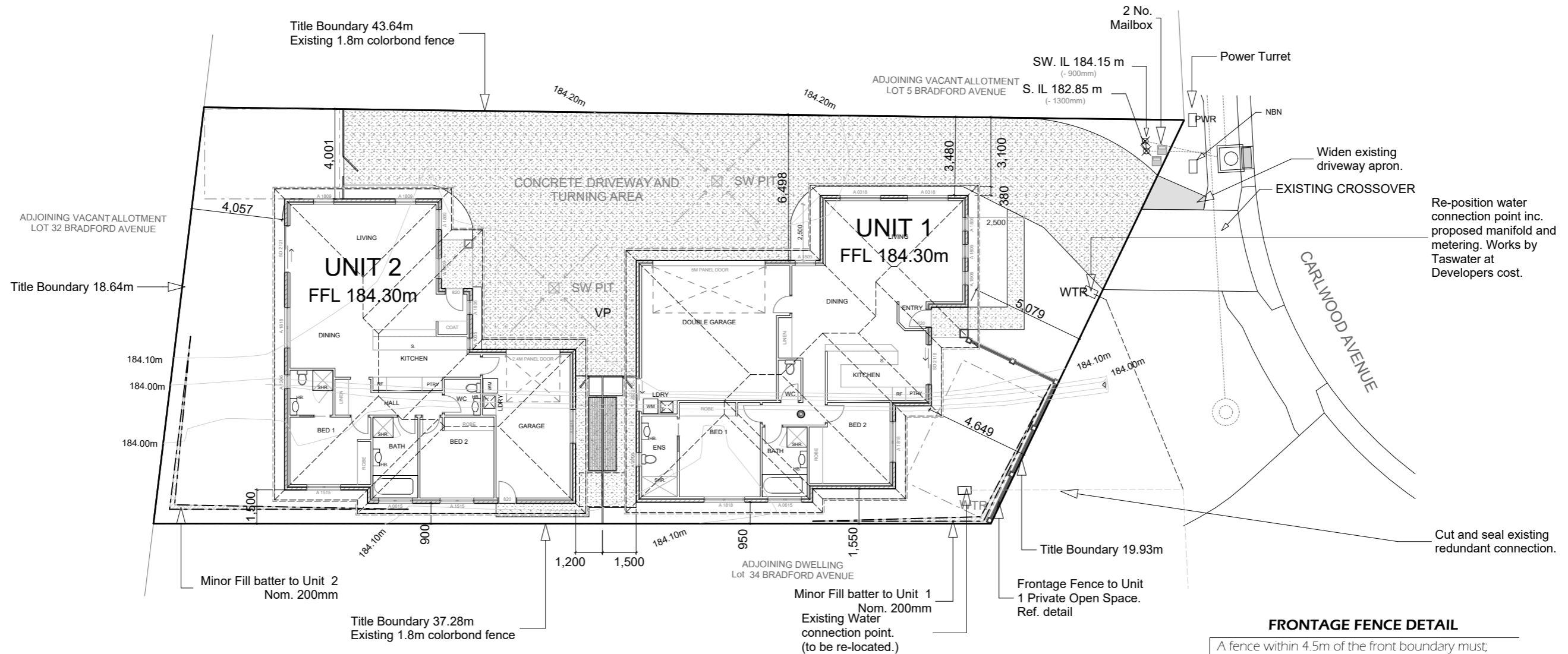
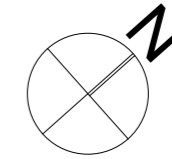
Rev A - Re-position water meter. 4/5/2017


Date 04/05/2017

Issue Planning

Drawing No. 170306



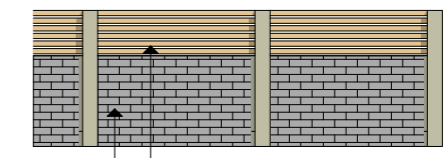


Re-position water connection point inc. proposed manifold and metering. Works by Taswater at Developers cost.

Cut and seal existing redundant connection.

**FRONTAGE FENCE DETAIL**

- A fence within 4.5m of the front boundary must:
  - Max 1.2m in height where solid.
  - Max 1.8m in height where 1.2m to 1.8m has a transparency of not less than 30%.

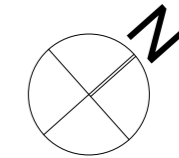


Min. 30% transparency screening  
Solid construction to 1.2m high



dale@douglasdesignanddrafting.com	Revision Rev A 4/5/2017	Project Address	Proposed Unit Development Lot 4, No. 17 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Scale Date Issue	1:200 04/05/2017 Planning	Layout Drawing No.	A0.03 OF 12 Site Plan 170306
DOUGLAS DESIGN & DRAFTING PTY LTD	PH 0437 00 33 02	Client					
	Acc No. CC7092 ABN 56 614 751 521						

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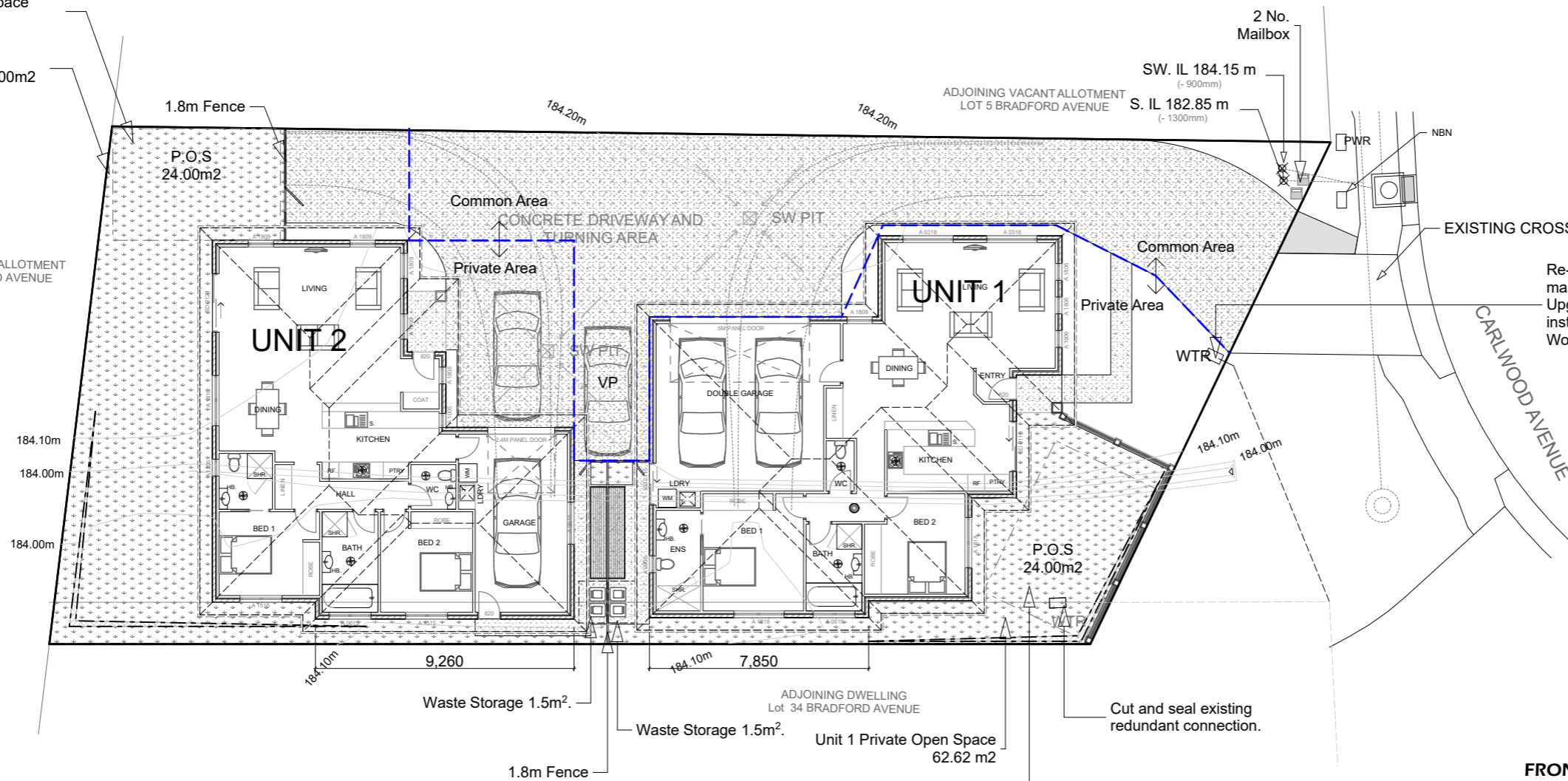
Unit 2 Private Open Space  
121.12 m<sup>2</sup>

Unit 2 Private Open Space to 10.4.3 (A2) 24.00m<sup>2</sup>

1.8m Fence

P.O.S  
24.00m<sup>2</sup>

ADJOINING VACANT ALLOTMENT  
LOT 32 BRADFORD AVENUE

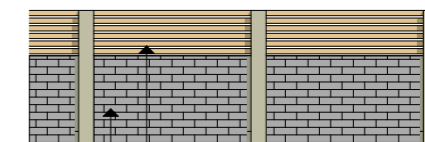


Re-position water connection point inc. proposed manifold and metering.  
Upgrade existing 20mm water connection to 25mm & install 2 x water meters via manifold.  
Works by Taswater at developers cost.

**FRONTAGE FENCE DETAIL**

A fence within 4.5m of the front boundary must:

- Max 1.2m in height where solid.
- Max 1.8m in height where 1.2m to 1.8m has a transparency of not less than 30%.



Min. 30% transparency screening  
Solid construction to 1.2m high



dale@douglasdesignanddrafting.com  
PH 0437 00 33 02  
Acc No. CC7092  
ABN 56 614 751 521

Revision  
Rev A 4/5/2017  
Project  
Address  
Client

Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
D. & B. GOODYER DEVELOPMENTS

Scale 1:200  
Date 04/05/2017  
Issue Planning

Layout A0.04 OF 12  
Site Plan - Planning  
Drawing No. 170306

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**LEGEND**

- HB. HAND BASIN
- S. SINK
- T. TUB
- VB. VANITY BASIN
- RF. REFRIGERATOR
- DW. DISHWASHER
- WM. WASHING MACHINE
- RF. REFRIGERATOR
- AJ. ARTICULATION JOINT
- MB. METER BOX
- DP. DOWNPIPE
  
- FFL. FINISHED FLOOR LEVEL
- FGL. FINISHED GROUND LEVEL
- NGL. NATURAL GROUND LEVEL
- FCL. FINISHED CEILING LEVEL

90mm Class 6 UPVC Storm water drain to a min. 1 in 100 grade.

100mm Class 6 UPVC Sewer drain at min 1 in 60 grade.

**DP** 90mm PVC Downpipe connected to SW system.

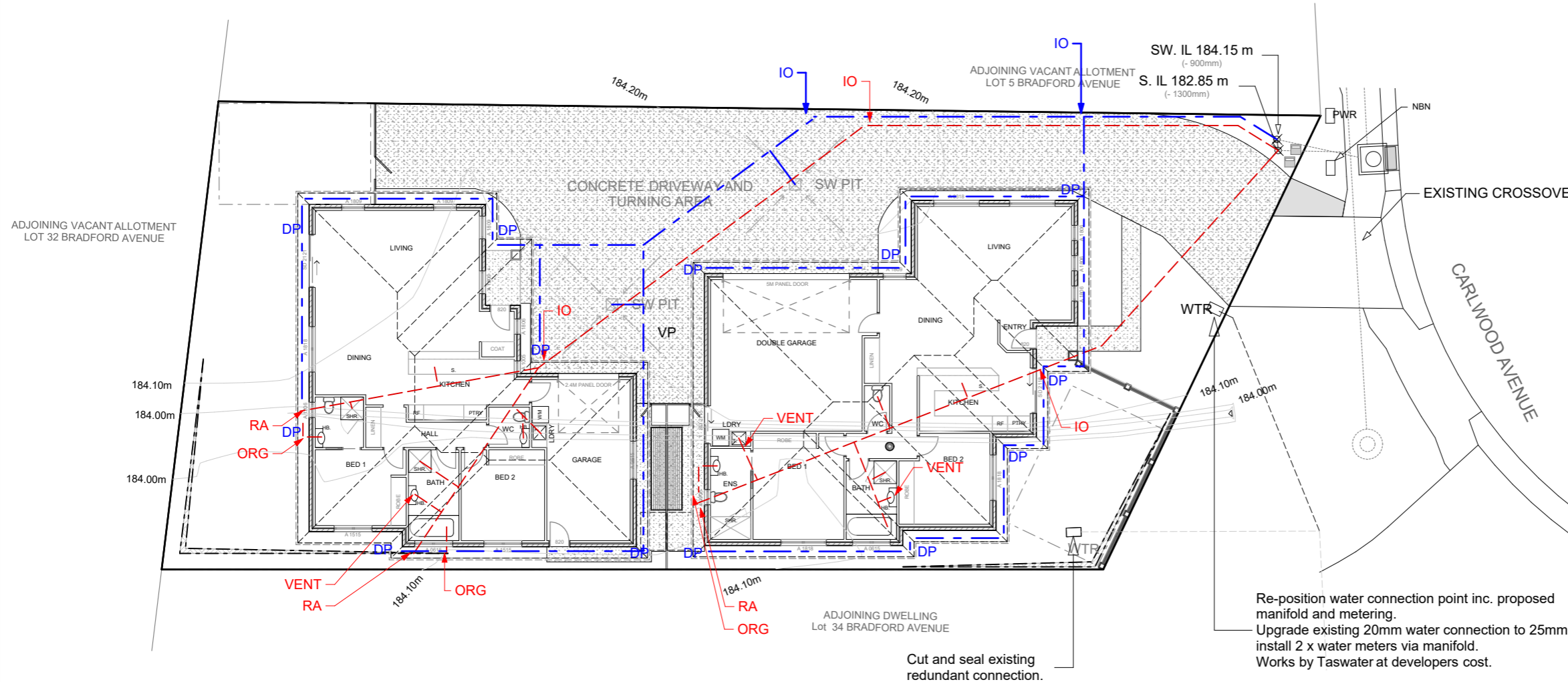
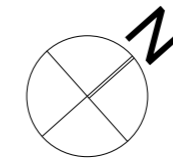
Installation and commission of any gas appliance to be

- Performed by a qualified person
  - In accordance with manufacturers instructions
  - In compliance with all local codes and regulatory authorities
  - In compliance with AS/NZS 3500.4, AS 5601 or AS5601.1 as applicable
- All plumbing works to comply with the associated Australian Standards and Local Government Authority requirements.

AS/NZS 3500 Plumbing & Drainage  
 AS/NZS 3500.3:2015 Storm water Drainage  
 AS/NZS 3500.4:2003/2015 Heated Water Services  
 AS/NZS 3500.5:2012 Housing Installations

Modifications to the plumbing layout may be made by a licenced plumber providing all modifications are compliant to relative standards.

Where a drain is in proximity to a building footing, ensure this does not encroach within the footing line of influence. Alternative footing system may be sought should this occur.



Re-position water connection point inc. proposed manifold and metering.  
 Upgrade existing 20mm water connection to 25mm & install 2 x water meters via manifold.  
 Works by Taswater at developers cost.

Cut and seal existing redundant connection.



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Revision  
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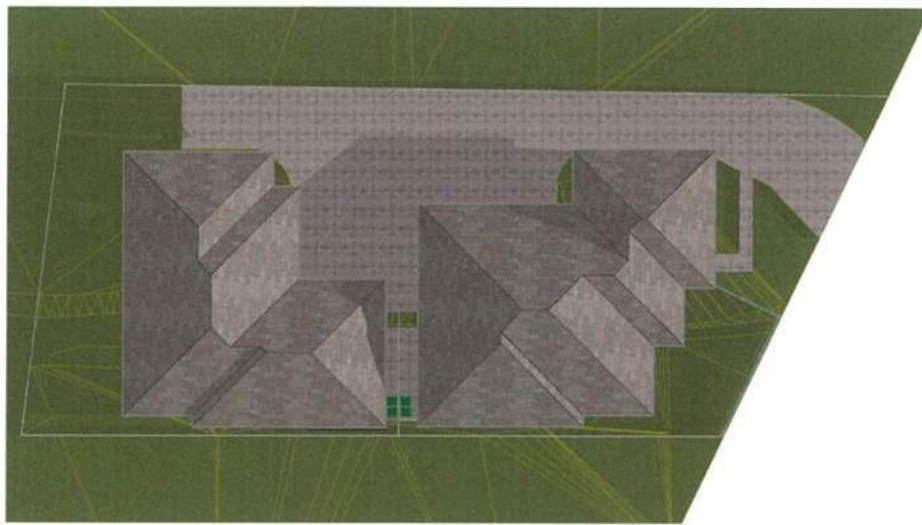
Proposed Unit Development  
 Lot 4, No. 17 Carlwood Place,  
 Prospect Vale TAS 7248,  
 D. & B. GOODYER DEVELOPMENTS

Scale 1:200  
 Date 04/05/2017  
 Issue Planning

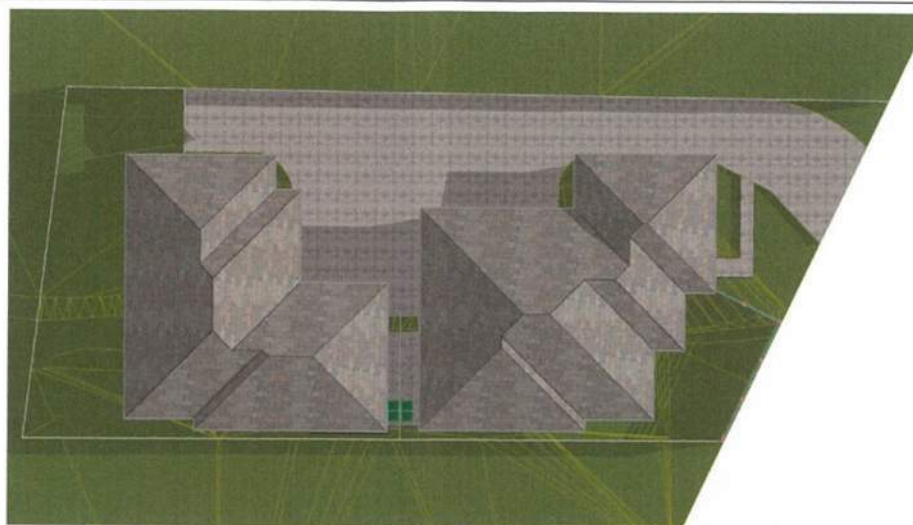
Layout A0.05 OF 12  
 Drawing No. 170306

Site Plan - Plumbing

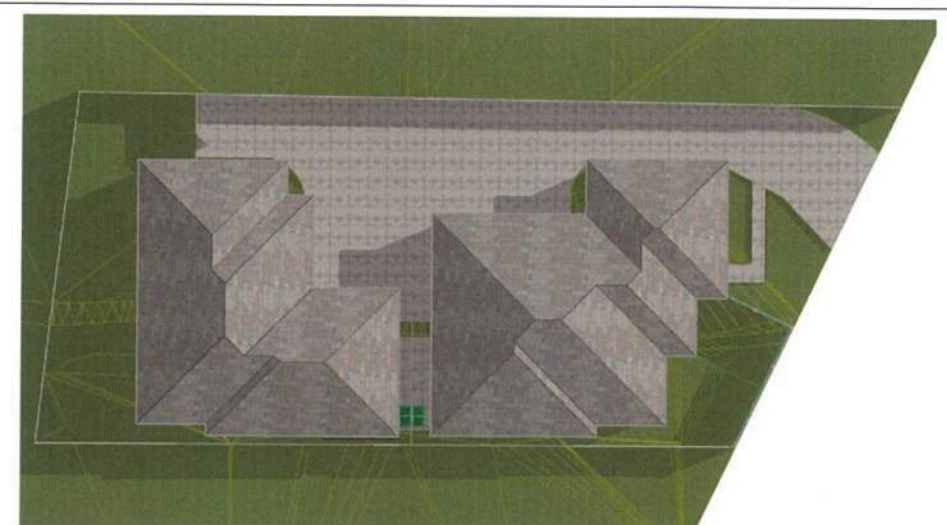
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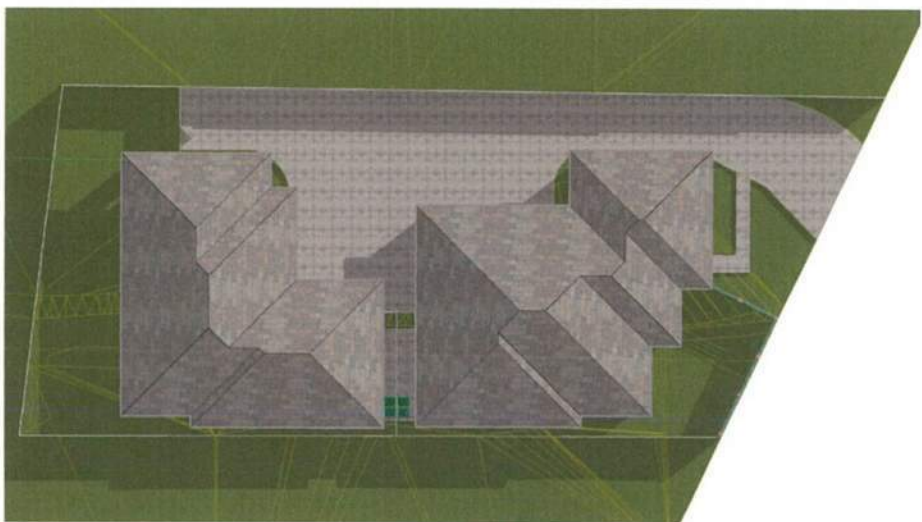
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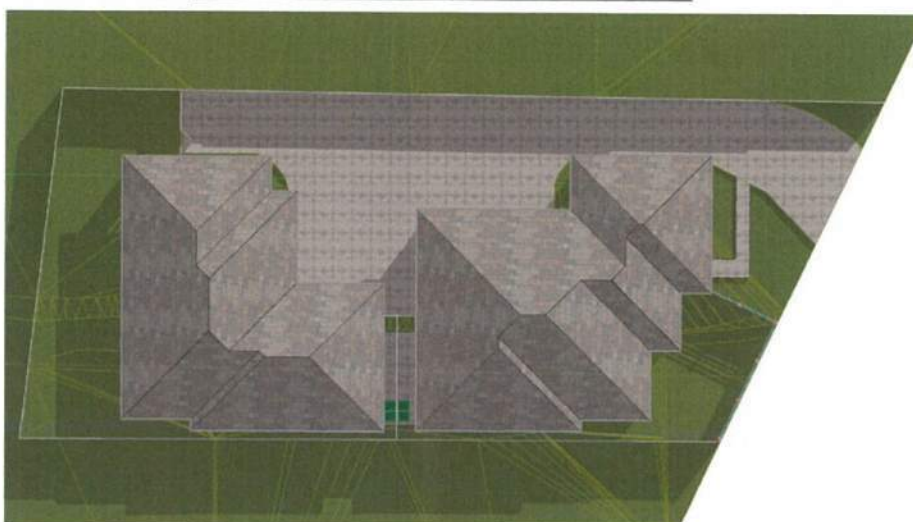
21st June 10.00am



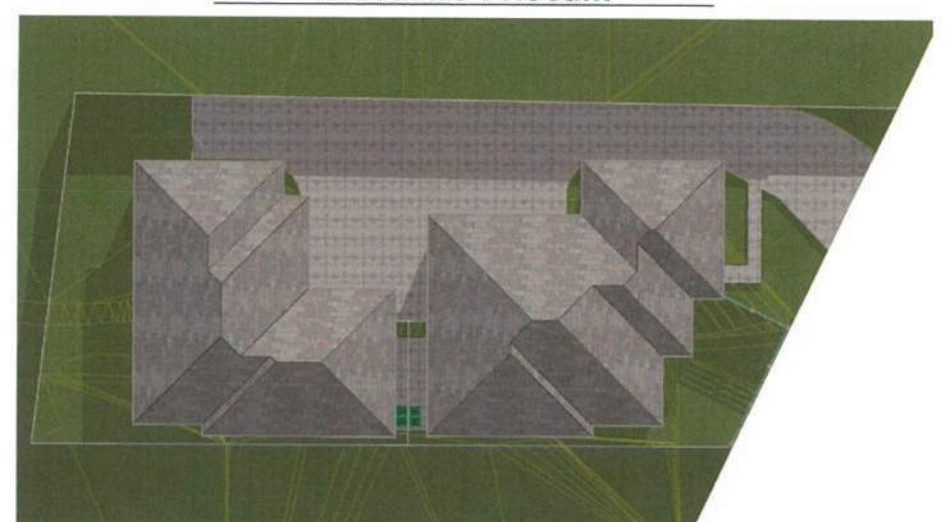
21st June 11.00am



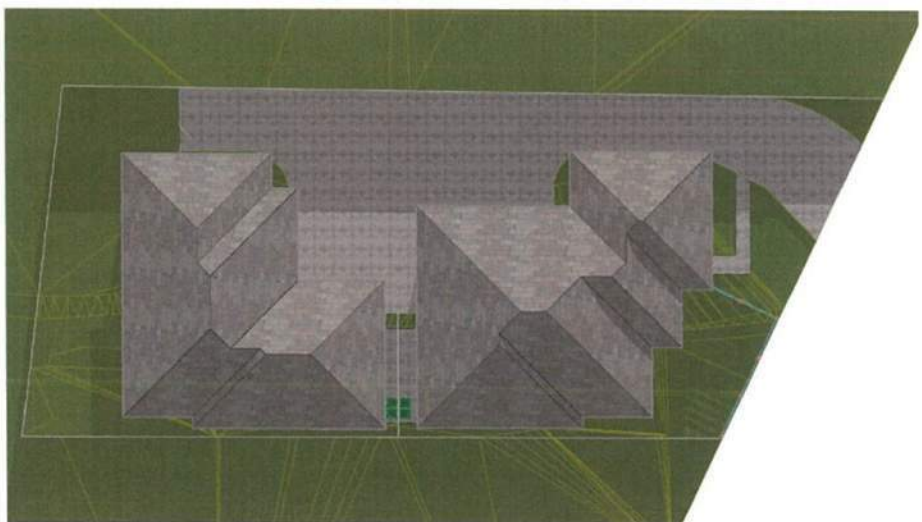
21st June 12.00am



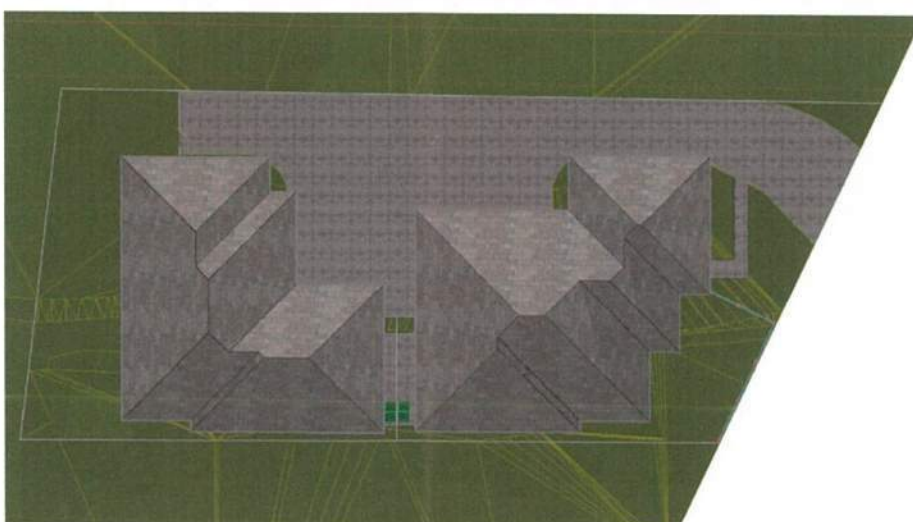
21st June 1.00pm



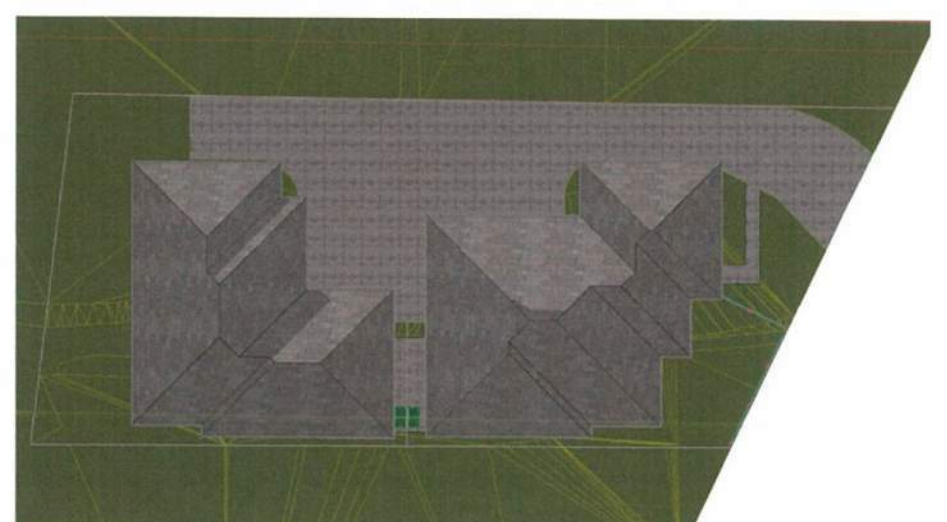
21st June 2.00pm



21st June 3.00pm



21st June 4.00pm



21st June 5.00pm



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Acc No. CC7092  
ABN 56 614 751 521

Revision

Project  
Address

Client

Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
D. & B. GOODYER DEVELOPMENTS

Scale NTS

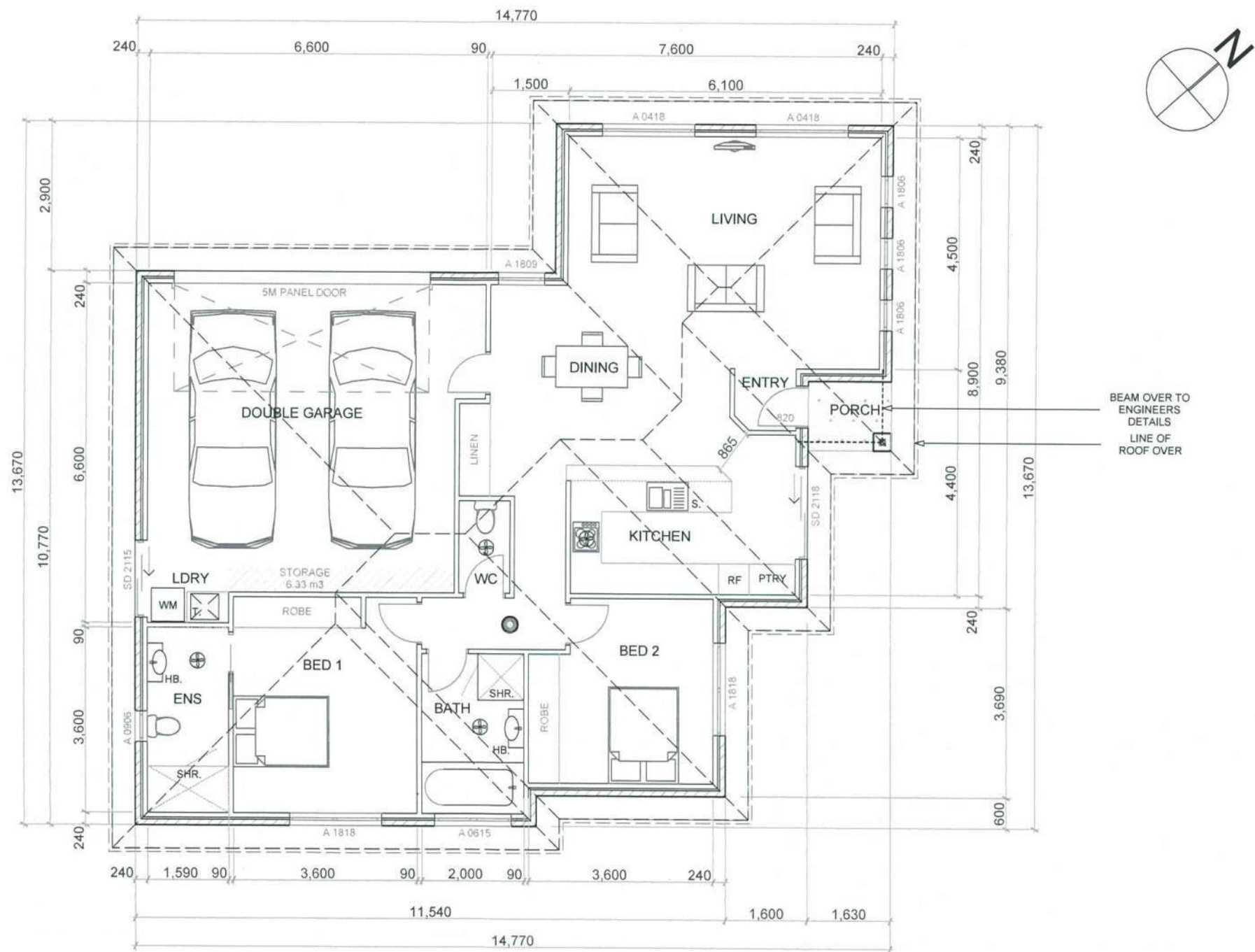
Date 21/04/2017

Issue Planning

Layout A0.06 OF 12

Shadow Diagrams

Drawing No. 170306



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ABN 56 614 751 521

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Revision

Project

Address

Client

Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
D. & B. GOODYER DEVELOPMENTS

Scale 1:100

Date 21/04/2017

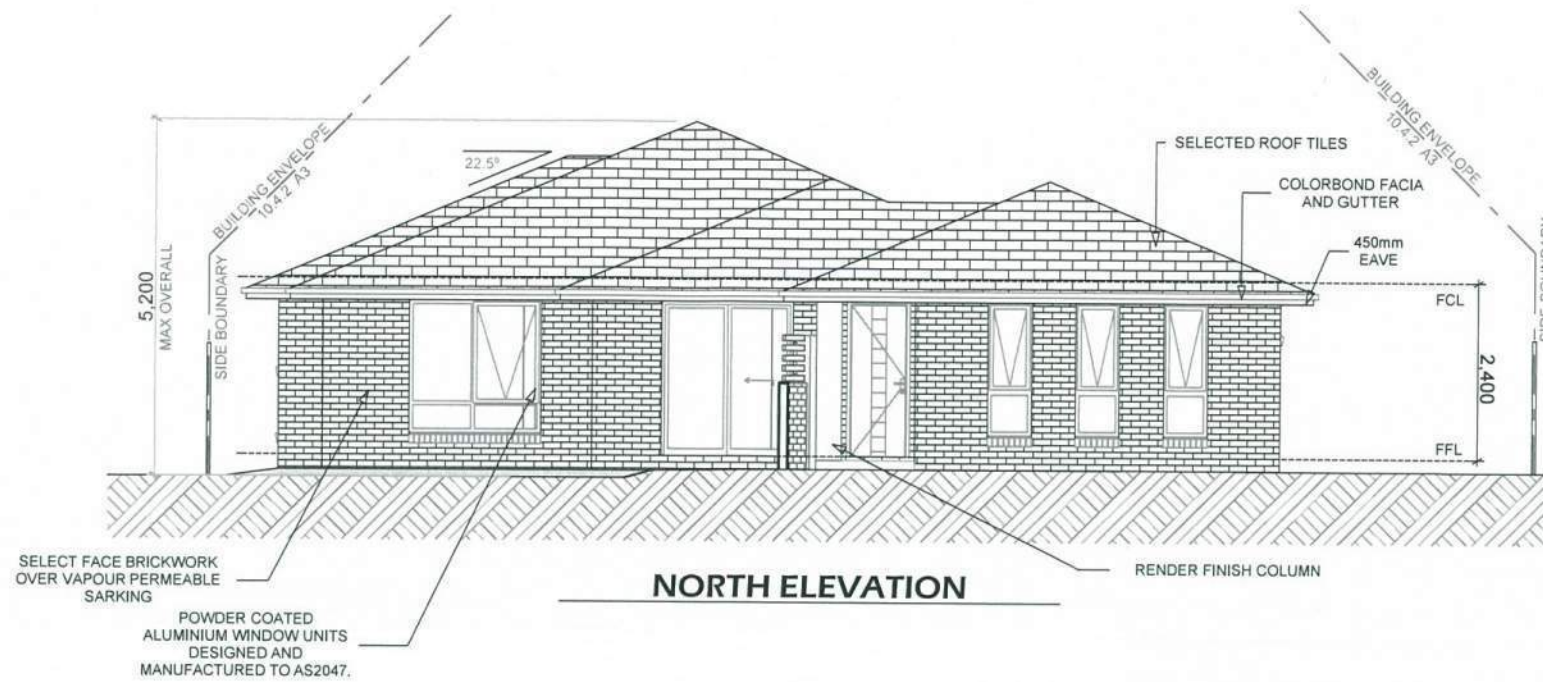
Issue Planning

Layout A1.1 OF 12

Unit 1 Floor Plan

Drawing No. 170306

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PH 0437 00 33 02

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Revision

Project

Address

Client

Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
D. & B. GOODYER DEVELOPMENTS

Scale 1:100

Date 21/04/2017

Issue Planning

Layout A1.2 OF 12

Unit 1 Elevations

Drawing No. 170306

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**SOUTH ELEVATION**



**EAST ELEVATION**



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ABN 56 614 751 521

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Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
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Date 21/04/2017

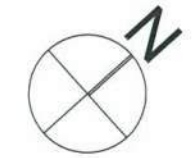
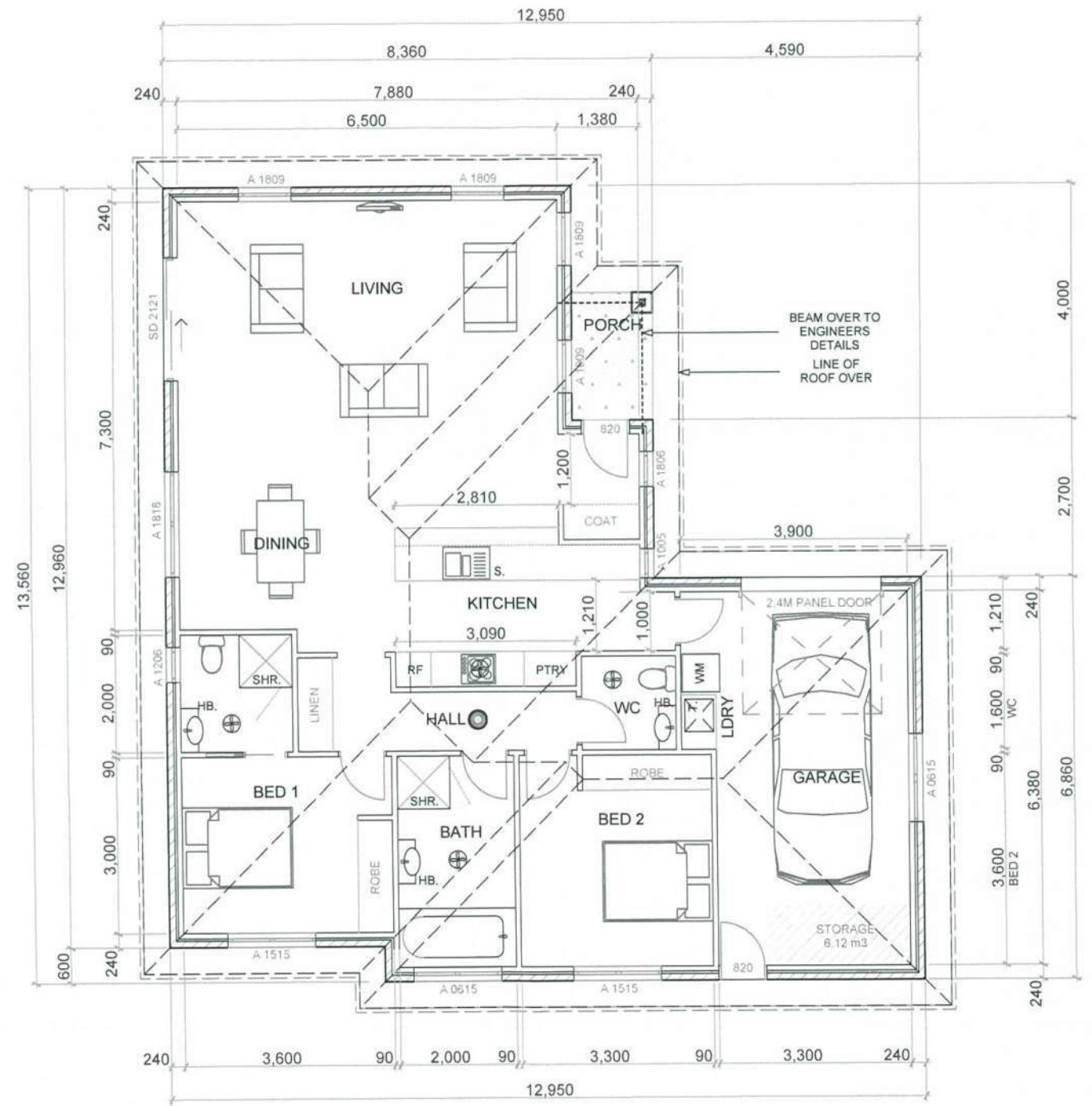
Issue Planning

Layout A1.3 OF 12

Unit 1 Elevations

Drawing No. 170306

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DOUGLAS DESIGN & DRAFTING PTY LTD		Address	Lot 4, No. 17 Carlwood Place, Prospect Vale TAS 7248,	Date	21/04/2017	Unit 2 Floor Plan	
PH 0437 00 33 02		Client	D. & B. GOODYER DEVELOPMENTS	Issue	Planning	Drawing No.	170306
Acc No. CC7092							
ABN 56 614 751 521							

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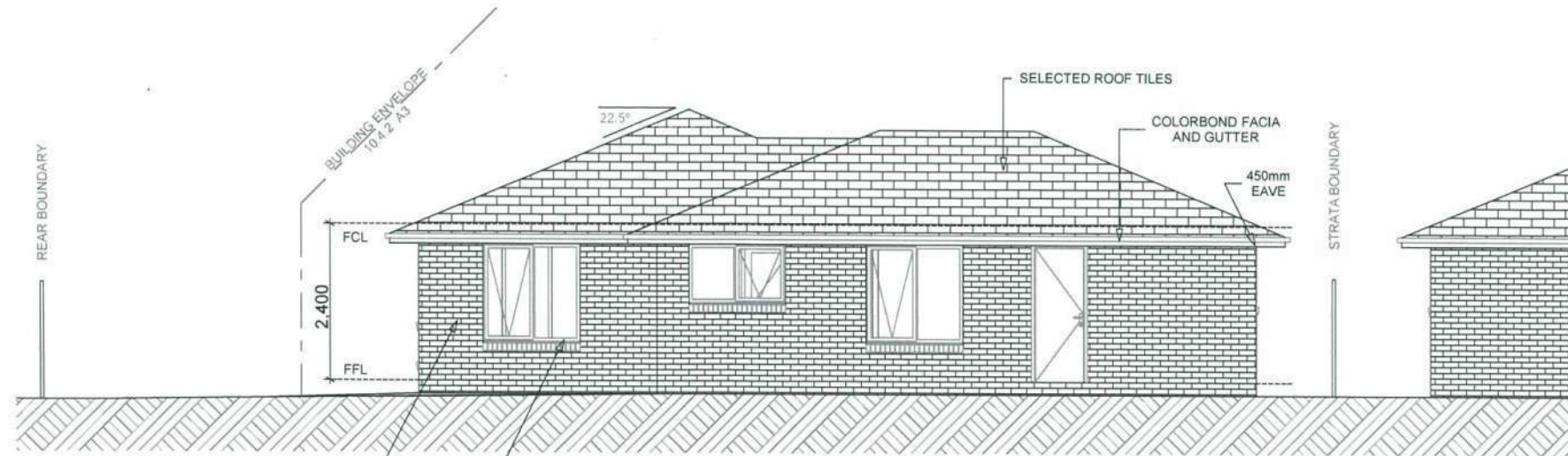
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dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	1:100	Layout	A2.2 OF 12
PH 0437 00 33 02		Address	Lot 4, No. 17 Carlwood Place, Prospect Vale TAS 7248,	Date	21/04/2017	Unit 2 Elevations	
Acc No. CC7092		Client	D. & B. GOODYER DEVELOPMENTS	Issue	Planning	Drawing No.	170306
ABN 56 614 751 521							



**SOUTH ELEVATION**

SELECT FACE BRICKWORK OVER VAPOUR PERMEABLE SARKING  
POWDER COATED ALUMINIUM WINDOW UNITS DESIGNED AND MANUFACTURED TO AS2047.



**EAST ELEVATION**

SELECT FACE BRICKWORK OVER VAPOUR PERMEABLE SARKING  
POWDER COATED ALUMINIUM WINDOW UNITS DESIGNED AND MANUFACTURED TO AS2047.



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PH 0437 00 33 02  
Acc No. CC7092  
ABN 56 614 751 521

Revision  
Project  
Address  
Client

Proposed Unit Development  
Lot 4, No. 17 Carlwood Place,  
Prospect Vale TAS 7248,  
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Scale 1:100  
Date 21/04/2017  
Issue Planning

Layout A2.3 OF 12  
Unit 2 Elevations  
Drawing No. 170306

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Planning Compliance Information to;  
Meander Valley Interim Planning Scheme 2013  
For Site: Lot 4, No.13 Carlwood Place Prospect Vale

**10.4 Development Standards**

**10.4.1 Residential density for multiple**

A1 Compliant – 2 dwellings to site area 740m<sup>2</sup>.

**10.4.2 Setbacks and building envelope for all dwellings**

A1 Compliant – ref drawings.

A2 Compliant – ref drawings.

A3 Compliant – ref drawings.

A3 (b) (ii) Building protrusions within 1500mm of the boundary are less than the 9m required for Unit 1. Unit 2 has a wall length of 9.26M within 1500mm of boundary.

**10.4.3 Site coverage and private open space for all dwellings**

A1 Compliant – ref drawings.

A2 Compliant – Unit 1 POS 4m x 6m, ref drawings. Located within frontage due to site solar orientation.

Unit 2 POS 4m x 6m, ref drawings. Ref. Shadows Diagrams.

**10.4.4 Sunlight and overshadowing for all dwellings**

A1 Ref P1. Due to the orientation of the allotment, A1 was not achieved.

Unit 1 & 2 - Windows have been positioned on both the North East and North West corners of the living areas to allow a broader arc of solar access.

A2 Compliant – ref drawings.

A3 Compliant – ref drawings.

**10.4.5 Width of openings for garages and carports for all dwellings**

A1 Compliant – ref drawings.

**10.4.6 Privacy for all dwellings**

A1 Compliant – No ffl above 1m.

A2 Compliant – No ffl above 1m.

A3 Compliant – Unit 1 Living room windows to the driveway are to be highlight windows. Window to the dining area meets required setback to driveway.

Unit 2 windows meet required setback to common area of driveway.

**10.4.7 Frontage fences for all dwellings**

A1 Compliant – (A1. B) Compliant front fence required to Unit 1.

**10.4.8 Waste storage for multiple dwellings**

A1 Compliant – Waste storage areas indicated on drawings.

**10.4.9 Storage for multiple dwellings**

A1 Compliant – Storage areas as indicated in garages.

**10.4.10 Common property for multiple dwellings**

A1 Compliant – Ref. drawing “Planning Compliance”

**10.4.11 Outbuildings for multiple dwellings**

A1 Compliant – Nil outbuilding proposed.

**10.4.12 Site services for multiple dwellings**

A1.1 Compliant – Combined mailbox area proposed.

**10.4.13.1 – 10.4.13.5**

N/A Not Applicable (to non-dwelling.)

**E6 Car Parking and Sustainability Code**

**E 6.6.1 Car Parking Numbers**

A1 Compliant – Ref. drawing “Planning Compliance”

**E 6.7.1 Construction of Car Parking Spaces and Access Strips**

A1 Compliant - A double garage providing two parking spaces for each unit is provided. Visitor parking is provided between Unit 1 & 2.

**E 6.7.1 Design and Layout of Car Parking**

A1.1 Compliant – Ref. drawing “Planning Compliance”

A1.2 Compliant – Ref. drawing “Planning Compliance”

A2.1 Compliant – Ref. drawing “Planning Compliance”

A2.2 Compliant – Ref. drawing “Planning Compliance”

E16 Urban Salinity Code  
E 16.6.1 Stormwater

- A1.1 Compliant Ref. Plumbing plan.
- A1.2 N/A

E 16.6.2 Excavation

- A1.1 Compliant - No excavations greater than .5m required

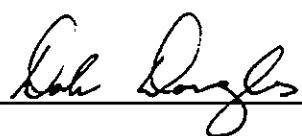
E 16.6.3 Vegetation Clearance

- P1 No clearing of vegetation is proposed. Site is clear.

E 16.6.4 Roads and Impervious Surfaces

- A1.1 N/A

Prepared By.

Dale Douglas:  21/04/2017

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ABN: 56 614 751 521

SEARCH OF TORRENS TITLE

VOLUME 172720	FOLIO 4
EDITION 2	DATE OF ISSUE 15-Mar-2017

SEARCH DATE : 21-Apr-2017

SEARCH TIME : 12.02 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE  
 Lot 4 on Sealed Plan 172720  
 Derivation : Part of Lot 971, 321A-3R-25P Gtd. to Henry Burrows  
 Prior CT 169751/410

SCHEDULE 1

M617049 TRANSFER to GOODSWOOD PTY LTD Registered  
 15-Mar-2017 at noon

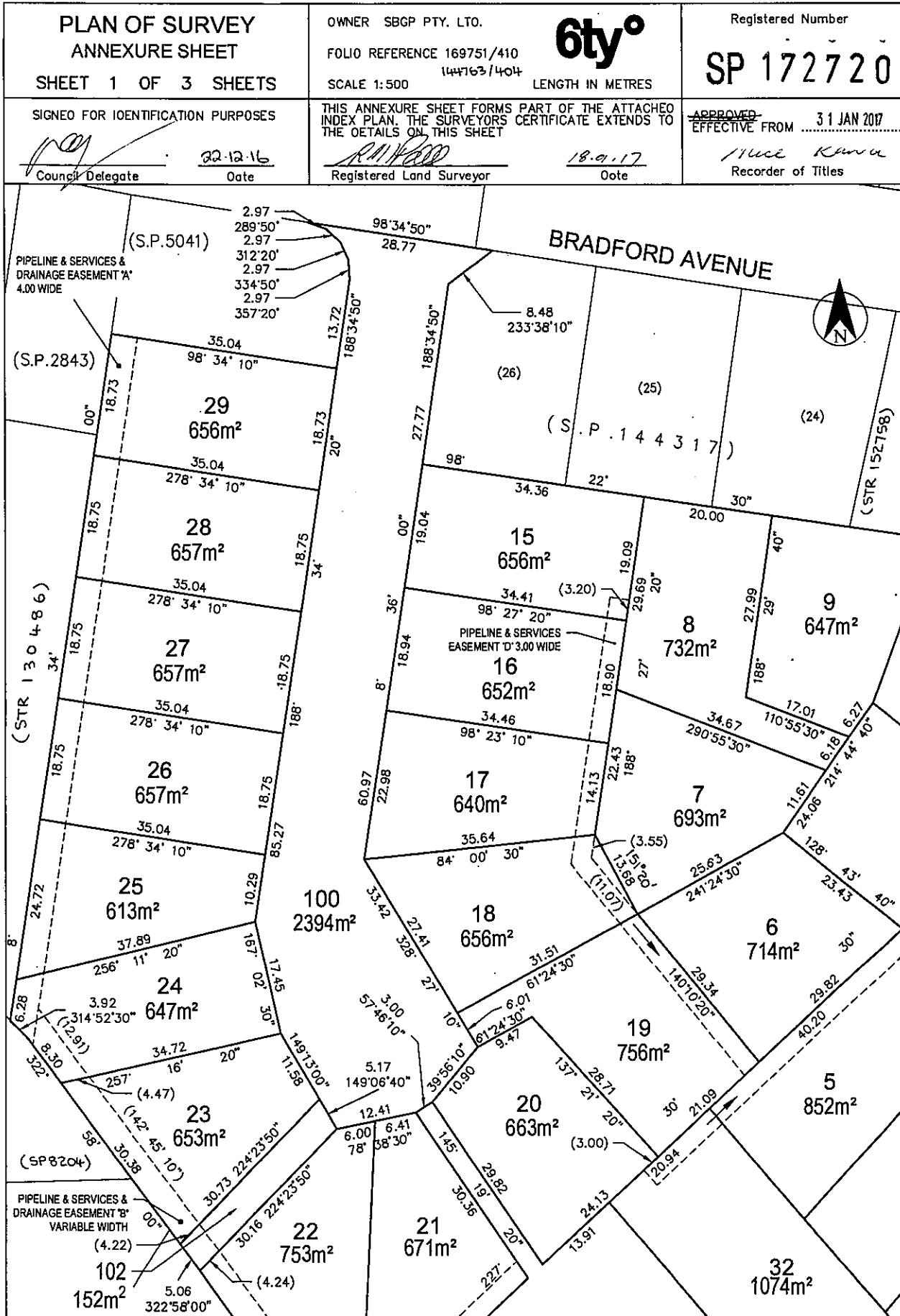
SCHEDULE 2

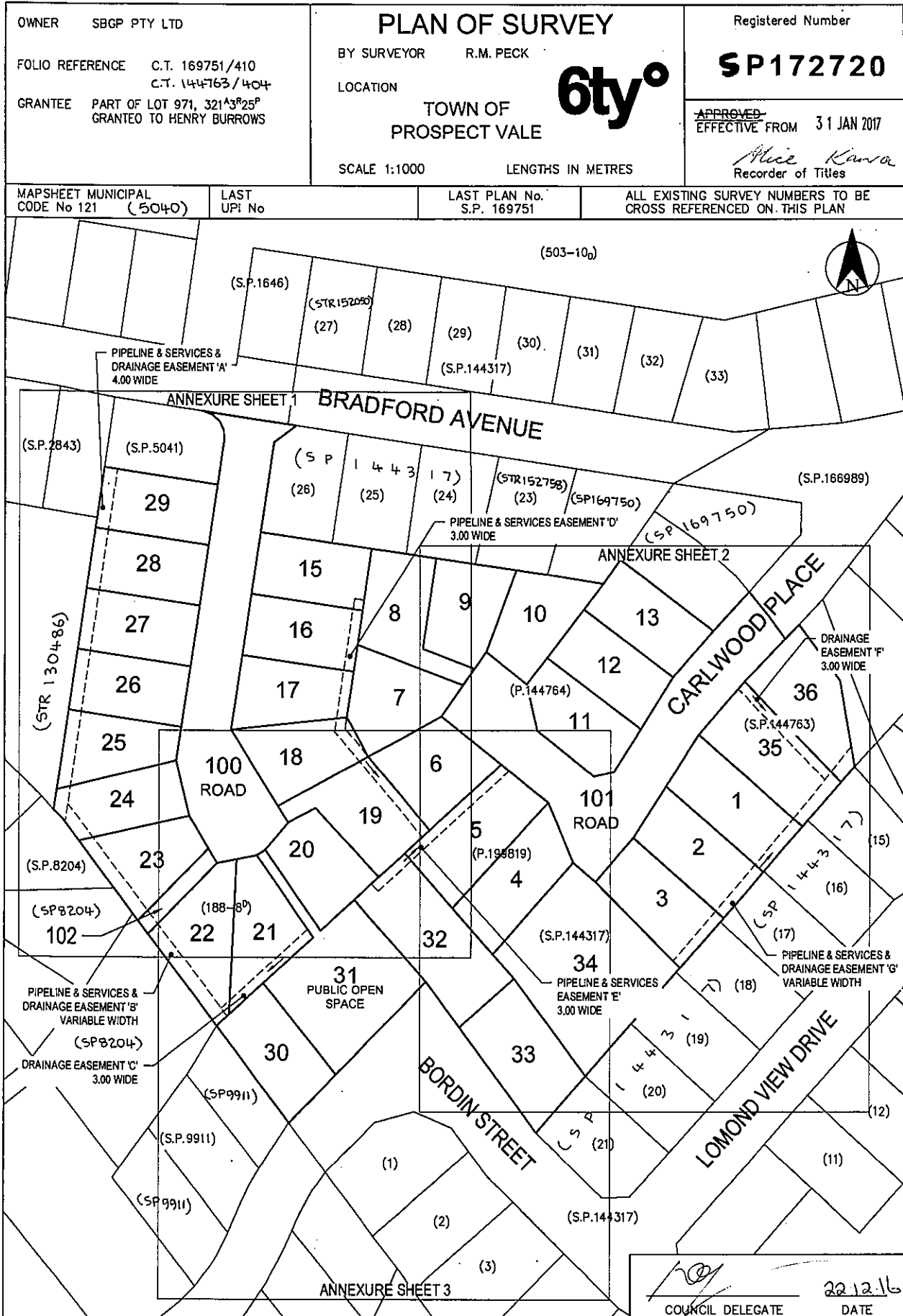
Reservations and conditions in the Crown Grant if any  
 SP172720 COVENANTS in Schedule of Easements  
 SP172720 FENCING COVENANT in Schedule of Easements  
 SP144317 COVENANTS in Schedule of Easements  
 SP144317 FENCING COVENANT in Schedule of Easements  
 M619879 MORTGAGE to Bendigo and Adelaide Bank Limited  
 Registered 15-Mar-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

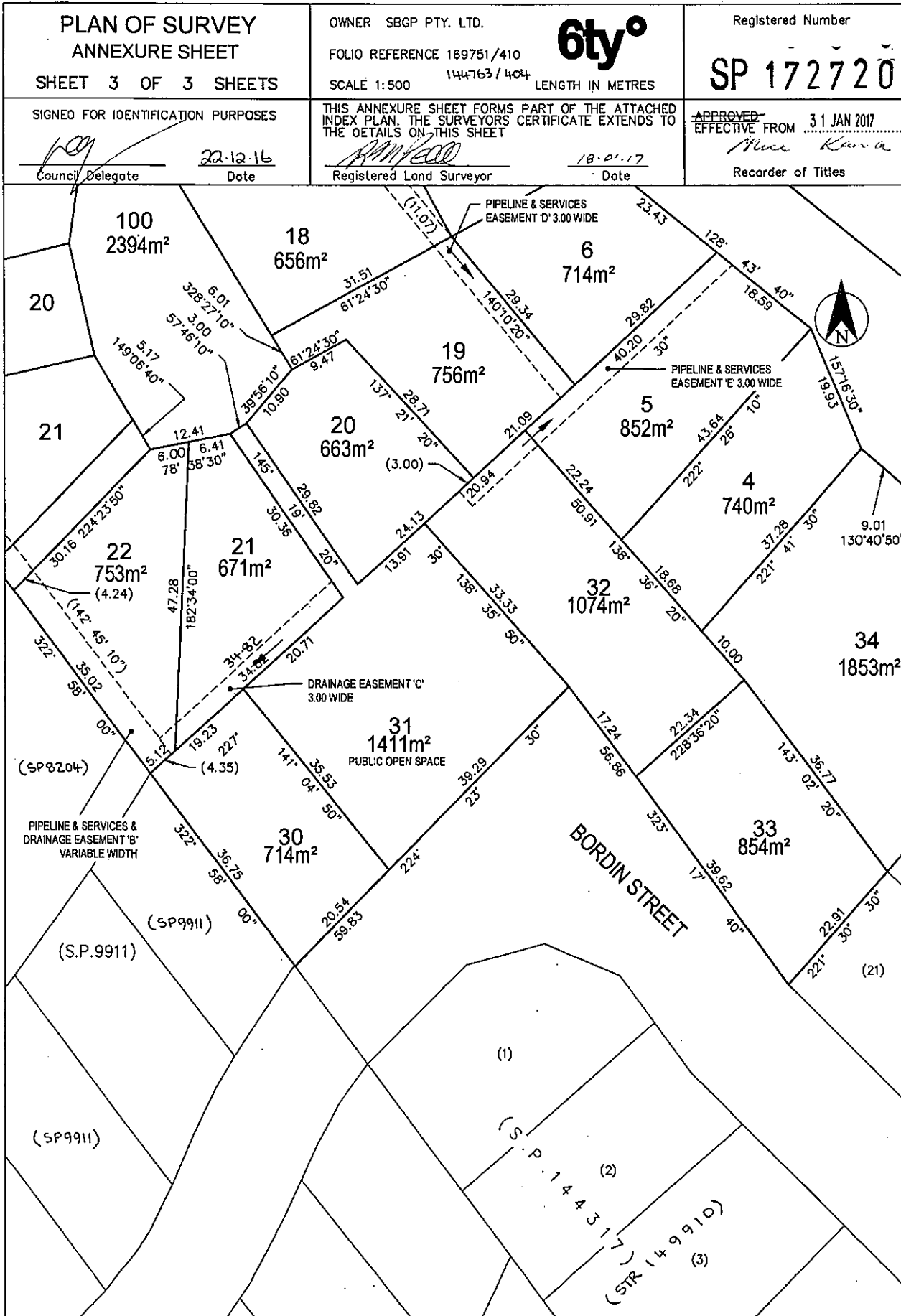
No unregistered dealings or other notations











## Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0184	Council notice date	26/04/2017
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2017/00576-MVC	Date of response	09/05/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
<b>Response issued to</b>			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
<b>Development details</b>			
Address	17 CARLWOOD PL, PROSPECT VALE	Property ID (PID)	3491378
Description of development	Multiple dwellings x 2		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Douglas Design & Drafting	170306 Sheets A0.03, A0.04 & A0.05		04/05/2017
<b>Conditions</b>			
<p><b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b></p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to commencing construction / use of the development, a boundary backflow prevention device and water meter must be installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:             <ol style="list-style-type: none"> <li>a. \$201.93 for development assessment.</li> </ol> <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p> </li> </ol>			

### Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

### Authorised by



**Jason Taylor**  
Development Assessment Manager

### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

## Krista Palfreyman

---

**From:** RHONDA GALE <gale51@bigpond.com>  
**Sent:** Wednesday, 10 May 2017 3:59 PM  
**To:** Planning @ Meander Valley Council  
**Subject:** General Manager Re development application PA\17\0184 at 17 Carlwood Place Prospect Vale CT:172720/4

My brother and I writing to object to the preposed development application PA\17\0184 at 17 Carlwood Place Prospect Vale CT:172720/4

The objection is on the grounds that the preposed development will impact greatly on our peace, enjoyment and privacy of our home. if this development is approved there would be 9 units in total surrounding our home and more planned for the rest of the street.

The Meander Council should consider this is a general residential area, not one zoned as high density housing. The large number of preposed units do not keep in character with the surrounding homes in the area or near by houses. The increased traffic from multiple residents in multiple dwellings and all their associated noise will cause further immediate disturbance to ourdelves and the neighbourhood peace and quite. It will most definitely impact directly on our privacy and enjoyment. Upon review of the plans we are concerned that there may not be adequate drainage to prevent excess water being shed into our yard due to all the hard surfaces driveways court yards etc collecting and channelling water the units being very close to our fence line.

We would again like to point out that it is one of the responsibilities of the council under the Human Rights Act, in particular Protocol 1, Article 1. This states that a person has the right to peaceful enjoyment of all their possessions, which includes the home and other land.

Additionally, Article 8 of the Human Rights Act states that a person has the substantive right to respect for their private and family life. In the case of Britton vs SOS the courts reappraised the purpose of the law and concluded that the protection of the countryside falls within the interests of Article 8. Private and family life therefore encompasses not only the home but also the surroundings.

Luke Gale and Mark Gale  
15 Carlwood Place Prospect Vale  
0417188029 or 0741595668

postal address  
51 Sea Esplanade Burnett Heads  
QLD 4670

# **C&DS 6 13 CARLWOOD PLACE, PROSPECT VALE – RESIDENTIAL MULTIPLE DWELLINGS (2 UNITS)**

## **1) Introduction**

This report considers application PA\17\0186 for Residential - Multiple dwellings (2 Units) on land located at 13 Carlwood Place, Prospect Vale (CT:172720/3).

## **2) Background**

### **Applicant**

Douglas Design & Drafting Pty Ltd

### **Planning Controls**

The subject site is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

### **Use & Development**

The proposal is seeking approval to construct multiple dwellings (2 units) on the subject site at 13 Carlwood Place, Prospect Vale (refer to Image 1). The two dwellings are identified as Unit 1 and Unit 2 and are detailed on the proposal plans submitted with the application. A servicing plan and shadow diagrams are provided with the application.





**Image 1: The proposed multiple dwellings on the subject site - 13 Carlwood Place, Prospect Vale (CT:172720/3)**

**Unit 1** is setback 4.5m from the frontage of Carlwood Place. The two bedroom dwelling has the garage set behind the main facade ensuring that living areas can maximise solar access.

Private open space of approximately 62m<sup>2</sup> is located between the dwelling and the frontage to achieve a northerly aspect. A fence will be established along the frontage to separate the private open space of Unit 1 from Carlwood Place (refer to Site Plan, layout A0.04 drawing number 170305). The fence will have a height of 1.8m and will comprise solid construction up to a height of 1.2m. The construction of the fence between 1.2 and 1.8m will have a transparency of not less than 30%.

**Unit 2** is a two bedroom dwelling which is set behind Unit 1. The two bedroom dwelling has a double bay garage with garage doors orientated towards Carlwood Place.

Private open space of approximately 140m<sup>2</sup> is provided for Unit 2. An area of 24.59m<sup>2</sup> is located on the north-eastern side of Unit 2.

**Access** to the subject site is depicted on the Site Plan, layout A0.04 drawing number 170305. The dwellings will be serviced by a shared driveway. The access will provide both entry and exit to the subject site.

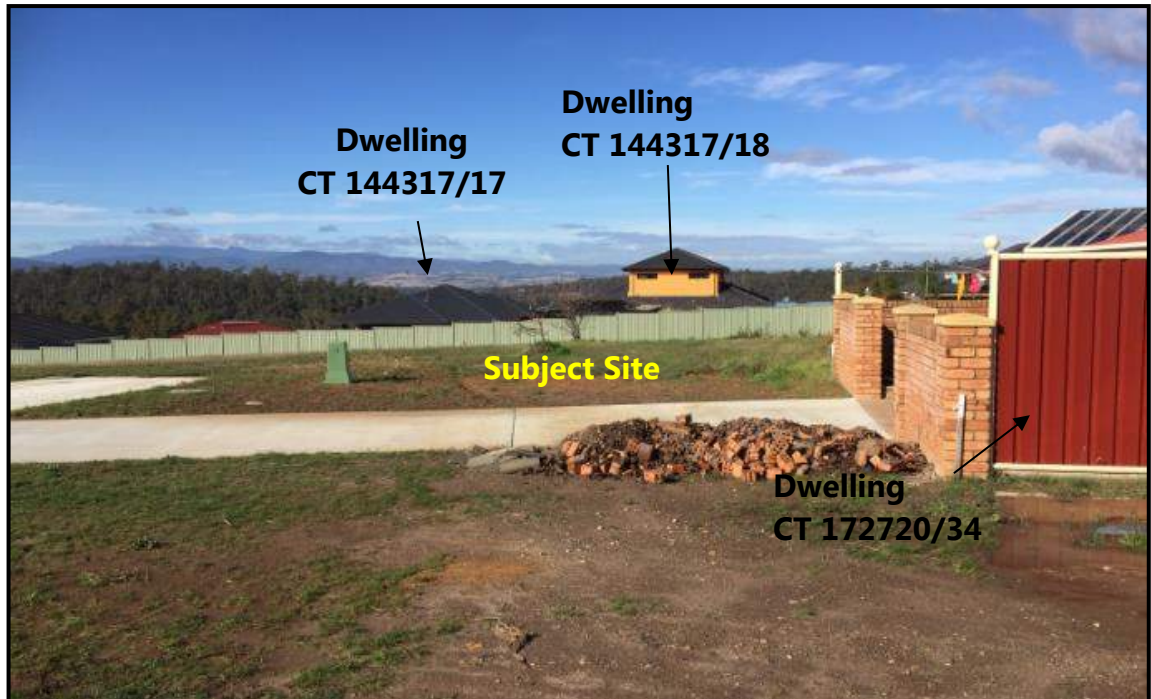


**Image 2: Aerial photograph of the subject site (red outline) – Lot 3, 13 Carlwood Place, Prospect Vale (CT:172720/3)**

### **Site & Surrounds**

The subject site, identified on Certificate of Title CT 172720/3, comprises an area of 701m<sup>2</sup> and has a frontage to Carlwood Place of approximately 17.70m. The lot, forms part of a recently subdivided area of Prospect Vale and adjoins the original dwelling contained on the parent title of the subject site (CT:172720/34).

The land identified on CT:172720/2 shares its southern lot boundary with the subject site. This land is currently vacant. The subject site also shares its rear lot boundary with land identified on CT:144317/17 and CT:144317/18. These lots both contain single dwellings (refer to Image 3).



**Image 3: Subject site – 13 Carlwood Place, Prospect Vale. The land identified on CT:172720/34, CT:144317/17, and CT:144317/18 in view**

The topography falls away from the frontage. The subject site is connected to all reticulated services, including mains water, sewer, and stormwater. An easement is located to the rear of the site. The subject site is also connected to all required communication services.

The subject site is not identified being subject to a landslide hazard or flooding and is not located within the Karst Management Area of the Scheme. The subject site, however, is identified as being within the Greater Launceston Urban Salinity Management Area.

### **Surrounds**

The subject site is situated within the residential area of Prospect Vale between Westbury Road and Bass Highway (refer to Image 4). This residential area comprises single detached dwellings interspersed with multiple dwellings.

The residential area is closely located to services with the Prospect Market Place (350-364 Jardine Avenue, Prospect Vale) being located within a 500m radius of the subject site. The Prospect High School is also in short walking distance from the subject site.



**Image 4: Aerial photograph of the residential area of Prospect Vale. The subject site is shown with a red outline (source:theLIST)**

Public transportation can be accessed on Westbury Road and is in walking distance to the subject site. Public transportation along Westbury Road provides linkages to the CBD of Launceston as well as the Prospect Market Place.

### **Statutory Timeframes**

Date received:	21 April 2017
Request for further information:	4 May 2017
Information received:	4 May 2017
Advertised:	29 April 2017
Closing date for representations:	15 May 2017
Extension of time granted:	16 May 2017
Extension of time expires:	14 June 2017
Decision due:	14 June 2017

### **3) Strategic/Annual Plan Conformance**

Council has a target under the Annual Plan to assess applications within statutory timeframes.

#### **4) Policy Implications**

Not applicable.

#### **5) Statutory Requirements**

Council must process and determine the application in accordance with the *Land Use Planning Approvals Act (1993 LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

#### **6) Risk Management**

Management of risk is inherent in the conditioning of the permit.

#### **7) Consultation with State Government and other Authorities**

The application was referred to TasWater and imposes conditions on the permit (TWDA 2017/00573-MVC).

#### **8) Community Consultation**

The application was advertised for the statutory 14-day period. Advertising of the application commenced on 29 April 2017 and closed on 15 May 2017.

1 representation was received (refer to attached document).

The representation is discussed in the assessment below.

#### **9) Financial Impact**

Not applicable.

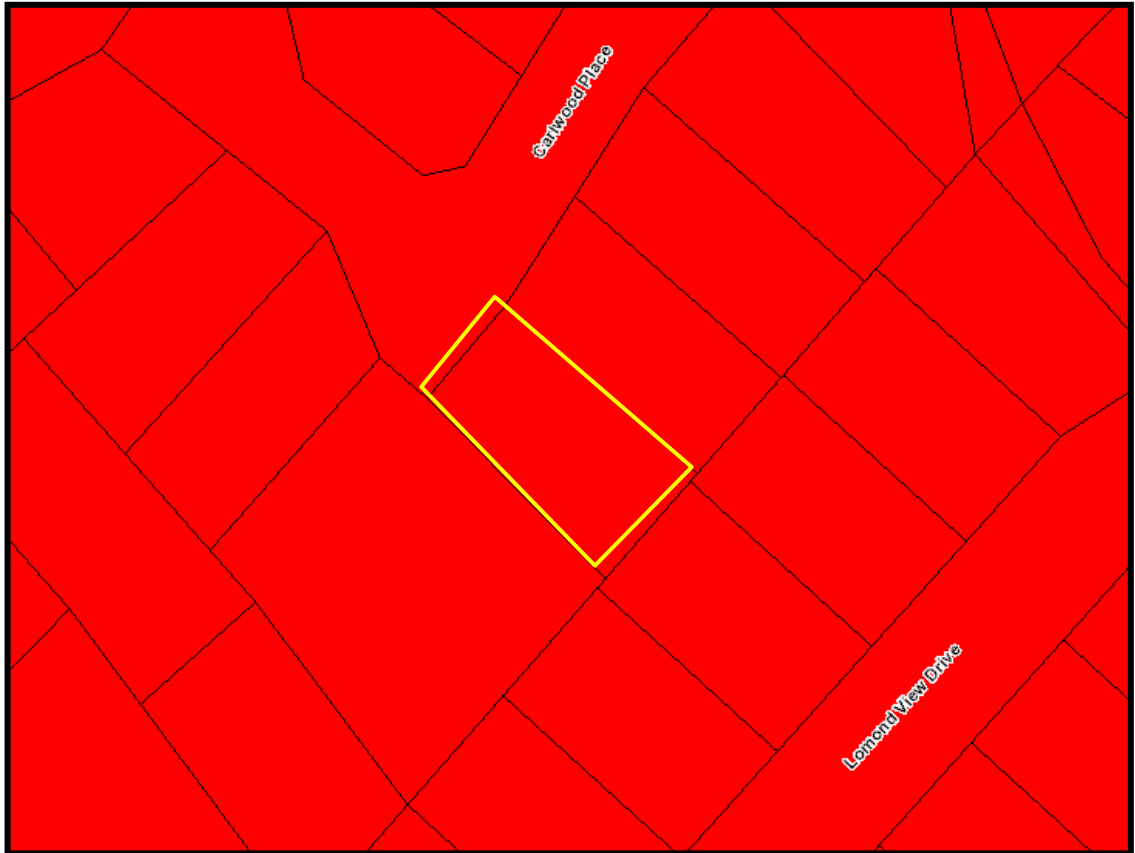
#### **10) Alternative Options**

Council can either approve, with amended conditions, or refuse the application.

#### **11) Officers Comments**

The subject site is in the General Residential zone (refer to Image 5). The subject site is identified on the Overlay Maps to be within the

Greater Launceston Urban Salinity Management Area (refer to Image 6).



**Image5: Zoning Map – Lot 3, 13 Carlwood Place, Prospect Vale (source: theLIST)**

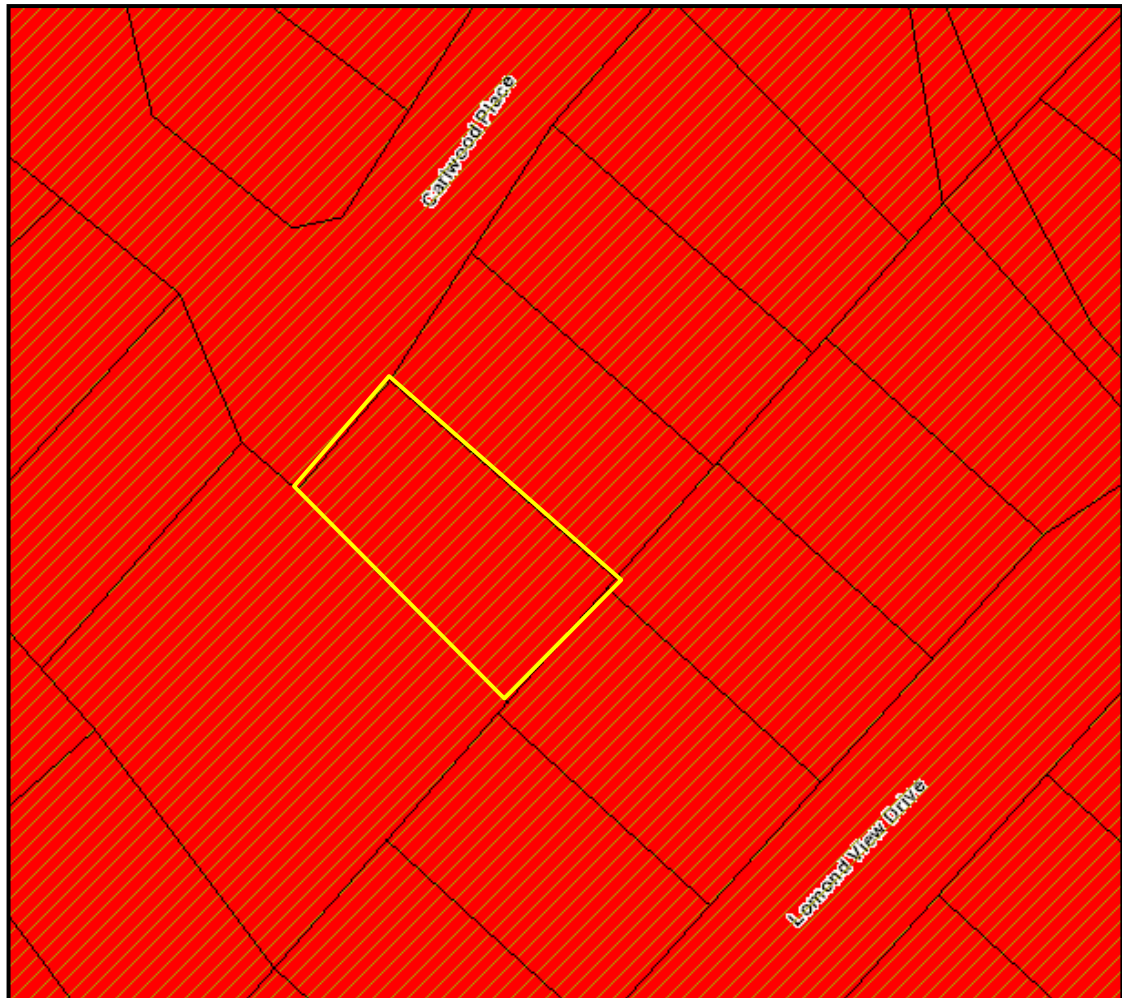
### **Use Class**

In accordance with Table 8.2 in the Scheme the proposed Use Class is:

- Residential.

The use class is specified in Table 10.2. Residential, if not for a single dwelling, is listed as being *Permitted*. The development, however, does not comply with all the requirements and standards of the zone.

The development relies on Performance Criteria and as such, is subject to a Discretionary permit process.



**Image 6: Overlay Map – Lot 3, 13 Carlwood Place, Prospect Vale is shown with a yellow outline (source: theLIST). Hatching represents the Greater Launceston Urban Salinity Management Area.**

## **10.1 Zone Purpose**

### *10.1.1 Zone Purpose Statements*

*10.1.1.1 To provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided.*

*10.1.1.2 To provide for compatible non-residential uses that primarily serve the local community.*

*10.1.1.3 Non-residential uses are not to be at a level that distorts the primacy of residential uses within the zones, or adversely affect residential amenity through noise, activity outside of business hours traffic generation and movement or other off site impacts.*

10.1.1.4 *To encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity.*

**Comment:**

The application proposes multiple dwellings within the residential area of Prospect Vale. The residential area of Prospect Vale comprises a mix of single detached dwellings and multiple dwelling developments. The subject site is fully serviced and will be developed for multiple dwellings at an allowable density that is consistent with the standards of the zone.

There are no non-residential uses proposed.

The multiple dwellings respect the neighbourhood character in that Unit 1 and 2 are reflective of use and development anticipated in the zone. Setbacks from the frontage, orientation, and the bulk and scale of the dwellings ensure that the proposal provides for a high standard of residential amenity.

The application is consistent with the zone purpose.

**16.1.2 Local Area Objective**

**Prospect Vale**

a) *Prospect Vale will be maintained as a key centre of urban expansion. Where areas currently zoned General Residential adjoin the Particular Purpose Zone, development is to provide for the long term strategic outcomes in the design of urban environment;*

b) *Promote opportunities to alter the urban environment to make more efficient use of alternative modes of transport.*

a) *Subdivision design is to consider the relationship and connectivity to future urban growth areas.*

b) *Development design is to complement any public works to provide improved connectivity for alternative modes of transport.*



**Comment:**

The subject site is within the residential area of Prospect Vale which is identified as a key centre of urban expansion. The proposed multiple dwellings will see the development of an existing vacant residential lot that is within a 500m radius of the shopping centre, Prospect Vale Market Place, Prospect High School and public transportation.

The subject site does not include the adjoining land zoned as Particular Purpose.

The application does not propose subdivision.

The proposal is consistent with the local area objective of Prospect Vale

**10.1.3 Desired Future Character Statements**

*Dwellings are to maintain as the predominant form of development with some higher densities encouraged near services and the business area. Some redevelopment sites may also be appropriate for higher density development. Typical residential and non residential development is to be detached, rarely exceeding two storeys and be setback from the street and property boundaries.*

**Comment:**

The proposal is consistent with the pattern of development within the residential area of Prospect Vale. The multiple dwellings are at a density that meets the development standards of the zone. The subject site is in walking distance to public transportation and the Prospect Market Place.

The multiple dwellings will not exceed two storeys and will provide appropriate setback from the frontage of Carlwood Place.

The proposal is consistent with the desired future character statements.

**Applicable Standards**

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning

Schemes (Planning Directive 1), where use or development meets the Acceptable

Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

An assessment against all applicable Acceptable Solutions of the General Residential Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

<b>Scheme Standard</b>	<b>Comment</b>	<b>Assessment</b>
<b>10.3.1 Amenity</b>		
A1	Residential – multiple dwelling is a permitted use in the zone.	Complies with the Acceptable Solution
A2	Residential – multiple dwelling is a permitted use in the zone	Not Applicable
<b>10.3.2 Residential Character – Discretionary Uses</b>		
A1	The application is a permitted use in the zone.	Not Applicable.
A2	The application is a permitted use in the zone.	Not Applicable
<b>10.4.1 Residential Density for multiple dwellings</b>		
A1	The subject area has an area of 701m <sup>2</sup> .  There are no density areas specified at Table 10.4.1 that apply to the subject site.	Complies with the Acceptable Solution

	A site area of 350m <sup>2</sup> is provided per dwelling. This exceeds the standard requirement of 325m <sup>2</sup> per dwelling.	
<b>10.4.2 Setbacks and building envelope for all dwellings</b>		
A1	<p>The subject site has a primary frontage to Carlwood Place. The subject site has no other frontage to a road.</p> <p>The subject site is vacant. The adjoining site identified on CT:172720/2 is also vacant. The adjoining site identified on CT:172720/34 contains a single dwelling.</p> <p>Unit 1 has a setback of 4.5m from the primary frontage.</p> <p>There are no roads prescribed in Table 10.4.2.</p> <p>The proposal has demonstrated compliance with A1(a).</p>	Complies with the Acceptable Solution
A2	<p>Garages are provided for both Unit 1 and 2.</p> <p>A portion of gross floor area of Unit 1 or Unit 2 is <u>not</u> located above the garage.</p> <p>The natural ground level of the subject site does not slope up or down at a gradient steeper than 1 in 5.</p> <p>The garages of both Unit 1 and Unit 2 are setback more</p>	Complies with the Acceptable Solution

	<p>than 5.5m from the primary frontage. The proposal has demonstrated compliance with A2(a).</p>	
A3	<p>Unit 1 and Unit 2 are within the building envelope in accordance with Diagram 10.4.2A.</p> <p>The northern wall of the garage of Unit 2 is within 1.5m of the side boundary.</p> <p>There is no building on the land identified on CT:172720/2 and accordingly subclause (b) (i) is not applicable.</p> <p>The garage wall with a setback within 1.5m of the boundary has a total length of 6.6m. This is less than 9m as required by the standard.</p>	Complies with the Acceptable Solution
<b>10.4.3 Site coverage and Open space for all dwellings</b>		
A1	<p>The subject site has a land area of 701m<sup>2</sup>.</p> <p>Unit 1 has an area of 162.63m<sup>2</sup>. Unit 2 has an area of 146.25m<sup>2</sup>.</p> <p>Roofed buildings on the subject site have a total area of 308.88m<sup>2</sup> as shown on the cover page, drawing number 170305.</p> <p>Site Coverage = 44.06 %. This is less than 50%.</p>	Complies with the Acceptable Solution

	<p>Unit 1 and Unit 2 have private open space areas of approximately 62.34m<sup>2</sup> and 145.99m<sup>2</sup> respectively. This exceeds 60m<sup>2</sup> for each dwelling.</p> <p>The total impervious area on the subject site is 493.65m<sup>2</sup>. 29.6% of the subject site is free from impervious surfaces. This is greater than 25% as required by the standard.</p>	
A2	<p>Unit 1 and Unit 2 both having private open space of 24m<sup>2</sup>.</p> <p>The private open space for Unit 1 is:</p> <ul style="list-style-type: none"> <li>• Has a minimum horizontal dimension of 4m;</li> <li>• Directly accessible from the living area via sliding doors;</li> <li>• Not located to the south, south-east or south-west of the dwelling;</li> <li>• Located between the dwelling and the frontage. The frontage is not orientated between 30 degrees west of north and 30 degrees east of north;</li> <li>• Has a gradient not steeper than 1 in 10; and</li> <li>• Not used for vehicle parking.</li> </ul> <p>The private open space for Unit 1 cannot comply with the acceptable solution.</p> <p>The private open space for</p>	Relies on the Performance Criteria

	<p>Unit 2 is:</p> <ul style="list-style-type: none"> <li>• Directly accessible from the living area via sliding doors;</li> <li>• Located not to the south, south-east or south-west of the dwelling;</li> <li>• Has a gradient not steeper than 1 in 10; and</li> <li>• Not used for vehicle parking.</li> </ul> <p>Private open space for Unit 2 complies with the acceptable solution.</p>	
<b>10.4.4 Sunlight and overshadowing for all dwellings</b>		
A1	Unit 1 or Unit 2 does not have a window that faces between 30 degrees west of north and 30 degrees east of north.	Relies on the Performance Criteria
A2	There are no habitable room windows contained within the elevation of Unit 2 which are north of Unit 1.	Not Applicable
A3	<p>The location of private open space of Unit 2 is on the western side of the dwelling.</p> <p>A small proportion of Unit 1 is north of the private open space of Unit 2. The separation of Unit 2 from the northern edge of private open space of Unit 1 falls short of the 3m requirement.</p> <p>The shadow diagrams, Layout A0.06, drawing number 170305 demonstrates that Unit 1 does not cause 50% of the private open space to</p>	Complies with the Acceptable Solution

	<p>receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>The proposal has demonstrated compliance with the acceptable solution A3(b).</p>	
<b>10.4.5 Width of openings for garages and carports for all dwellings</b>		
A1	<p>The garage of Unit 1 is within 12m of the frontage of Carlwood Place. The garage of Unit 1 does not have any openings facing Carlwood Place.</p> <p>The garage of Unit 2 has openings facing the frontage. This garage is setback more than 12m.</p>	Complies with the Acceptable Solution
<b>10.4.6 Privacy for all dwellings</b>		
A1	There are no balconies, decks parking space or carport that has a finished floor level more than 1m.	Not Applicable
A2	<p>Unit 1 does not contain a window or glazed door, to a habitable room that has a finished floor level more than 1m above natural ground level as shown on layout A1.2 and A1.3, drawing number 17305.</p> <p>There are no windows or doors to a habitable room of Unit 2 with a floor level more than 1m above natural ground level. The garage of Unit 2 has a finished floor</p>	Not Applicable

	<p>level of 1m above natural ground level (refer to layout A2.2 and A2.3, drawing number 17305). The garage, however, is not a habitable room and therefore this acceptable solution is not applicable.</p>	
A3	<p>Unit 1 and Unit 2 are serviced by a shared driveway. There is a shared parking space between Unit 1 and Unit 2.</p> <p>The shared driveway adjacent to Unit 1 is not separated by a horizontal distance of 2.5m from the dining room window.</p> <p>While the window of the dining room has a sill height of 1.7m above the shared driveway, this is not separated by a horizontal distance of 1m.</p>	Relies on the Performance Criteria
<b>10.4.7 Frontage fences for all dwellings</b>		
A1	<p>A fence is proposed for Unit 1 within 4.5m of the frontage.</p> <p>The fence will comprise solid construction to a height of 1.2m. The part of the fence above 1.2m will provide a uniform transparency of not less than 30%. The fence height does not exceed 1.8m.</p>	Complies with the Acceptable Solution
<b>10.4.8 Waste storage for multiple dwellings</b>		
A1	<p>A waste storage is provided for the exclusive use of each dwelling of 1.5m<sup>2</sup> as shown</p>	Complies with the Acceptable Solution



	on layout A0.04 drawing number 170305.	
<b>10.4.9 Storage for multiple dwellings</b>		
A1	Unit 1 and Unit 2 have access to at least 6m cubic metres of secure storage contained within the garage.	Complies with the Acceptable Solution
<b>10.4.10 Common Property for multiple dwellings</b>		
A1	The proposal plans clearly delineate private and public areas, including driveways, site services and bin areas.	Complies with the Acceptable Solution
<b>10.4.11 Outbuildings for multiple dwellings</b>		
A1	There are no outbuildings proposed.	Not Applicable
<b>10.4.12 Site Services for multiple dwellings</b>		
A1	Provision for mailboxes is made at the frontage as shown on Site Plan, layout A0.04, drawing number 170305.	Complies with the Acceptable Solution
Clauses 10.4.13.1 -10.4.13.9 only apply to development within the Residential Use Class that is not a dwelling. The application proposes a home-based business as part of an existing dwelling. These clauses are not applicable.		
Clause 10.4.14 Non-Residential Development is not applicable for this use.		
Clauses 10.4.15 apply to subdivision only and are not applicable		

## Codes

The applicable Codes are as follows:

- E4 *Road and Railway Assets Code;*
- E6 *Car Parking and Sustainable Transport Code;*

The following Codes are not assessed as these are not applicable for the reasons stated below.

E1	Bushfire Hazard Code	Not applicable, the application does not propose subdivision, a hazardous use or a vulnerable use.
E2	Potentially Contaminated Land Code	Not applicable, the site previously contained a residential use. The subject site is not identified as potentially contaminated land.
E3	Landslip Code	Not applicable, the subject site is not located within any proclaimed landslip area and is not identified on the Premier and Cabinet Landslide Hazard Maps as being subject to landslip.
E5	Flood Prone Areas Code	Not applicable, the subject site is not identified on in a flood prone area.
E7	Scenic Management Code	Not applicable, the subject site is not identified to be located within a scenic management area.
E8	Biodiversity Code	No applicable, there is no removal of native vegetation proposed.
E9	Water Quality Code	Not applicable, the use and development of the subject site is not within 50m of a wetland or a waterway.
E10	Recreation and Open Space Code	Not applicable, the application does not propose subdivision.
E12	Airports Impact Management Code	Not applicable, the subject site is not within Australian noise exposure forecast contours or within prescribed air space
E13	Heritage Code	Not applicable, there are no heritage places listed as part of this Code.
E14	Signage Code	Not applicable, there is no signage proposed.
E15	Karst Management Code	The subject site is not identified to be within a Karst Management Area
E16	Urban Salinity Code	Not applicable, as there are less than three dwellings on a title connected to a reticulated stormwater system is exempt.

An assessment of the applicable Codes is provided below.

<b>E4 Road and Railway Asset Code</b>		
Scheme Standard	Comment	Assessment

<b>E4.6.1 Use and road or rail infrastructure</b>		
A1	Carlwood Place has a speed limit of 50km/h and is not located within 50 metres of a Category 1 or 2 road.	Not Applicable
A2	The proposed use will generate an average of 9 vehicle entry and exit movements per dwelling per day.  A total of 18 vehicle entry and exit movements per day are anticipated. The proposed use and development will not generate more than 40 vehicle entry and exit movements per day.	Complies with the Acceptable Solution
A3	Carlwood Place does not have a speed limit of more than 60km/h.	Not Applicable
<b>E4.7.1 Development on and adjacent to Existing and Future Arterial Roads and Railways</b>		
A1	The subject site is accessed from Carlwood Place. This has a speed limit of less than 60km/h.	Not applicable
<b>E4.7.2 Management of Road Accesses and Junctions</b>		
A1	The subject site will be serviced with one access providing entry and exit.	Complies with the Acceptable Solution
A2	Carlwood Place does not have a speed limit of more than 60km/h.	Not Applicable
<b>E4.7.3 Management of Rail Level Crossings</b>		
This clause is not applicable as there is no management of rail level crossings required.		

<b>E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings</b>		
A1	<p>The sight distances for the accesses can be achieved in accordance with Table E4.7.4.</p> <p>There are no rail crossings or temporary access required.</p>	Complies with the Acceptable Solution

<b>E6 Car Parking and Sustainable Transport Code</b>		
Scheme Standard	Comment	Assessment
<b>E6.6.1</b>		
A1	<p>There 2 parking spaces provided for each dwelling unit and a visitor space. This is in accordance with Table E6.1.</p>	Complies with the Acceptable Solution
<b>E6.6.3 Taxi Drop-off and Pickup</b>		
Clause E6.5.3 does not apply to dwelling in the General residential zone.		
<b>E6.6.4 Motorbike Parking Provisions</b>		
A2	<p>The subject site has sufficient space within the access to provide for motorbike parking.</p>	Complies with the Acceptable Solution.
<b>E6.7.1 Construction of Car Parking Spaces and Access Strips</b>		
A1	<p>The car parking, access strips, manoeuvring and circulation spaces will be:</p> <p>c) Formed to an adequate level and drained as shown on A0.05 drawing number 170305; and</p> <p>d) Provided with an impervious all weather seal.</p>	Relies on the Performance Criteria

	<p>The visitor parking space proposed between Unit 1 and Unit 2 does not propose to line mark or use some other means to delineate the visitor space.</p> <p>The application cannot comply with A1(c) and therefore relies on the corresponding performance criteria for its approval.</p>	
E6.7.2 Design and Layout of Car Parking		
A1.1	<p>The car parking spaces for dwellings are contained within the garages. The visitor space is located behind the building line of Unit 1.</p>	Complies with the Acceptable Solution
A1.2	<p>Provision for turning is not provided within the front setback for the multiple dwellings.</p>	Complies with the Acceptable Solution
A2.1	<p>The car parking and manoeuvring spaces for the proposed use and development:</p> <ul style="list-style-type: none"> <li>d) Has a gradient of less than 10%;</li> <li>e) Allows vehicles to enter and exit the subject site in a forward facing direction; and</li> <li>f) Has a vehicle access width of not less than 3m as prescribed in accordance Table E6.2.</li> <li>g) The visitor car parking space is at a 90 degree</li> </ul>	Complies with the Acceptable Solution

	angle to the access strip. There are more than three car parking spaces on the subject site. The access strip meets the prescribed width in Table E6.3.	
A2.2	The layout of car spaces and access ways must be designed in accordance with Australian Standards AS 2890.1 - 2004 Parking Facilities, Part 1: Off Road Car Parking.  The application within the supporting submission states that it complies with the requirements of A2.2.	Complies with the Acceptable Solution
E6.7.3 Car Parking Access, Safety and Security		
A1	The application is for residential use and does not require more than 20 spaces.	Not Applicable
E6.7.4 Parking and Persons with a Disability		
A1-A2	The capacity on the subject site for disable parking.	Complies with the Acceptable Solution
E6.7.6 Loading and Unloading of Vehicles, Drop-off and Pickup		
A1	The application is for residential use.	Not Applicable
E6.8.1 Pedestrian Walkway		
A1	No separate access required by Table E6.5.	Complies with the Acceptable Solution.

## **Performance Criteria**

### **10.4.3 Site coverage and private open space for all dwellings**

#### **Objective:**

*To provide:*

- (a) for outdoor recreation and the operational needs of the residents; and*
- (b) opportunities for the planting of gardens and landscaping; and*
- (c) private open space that is integrated with the living areas of the dwelling; and*
- (d) private open space that has access to sunlight.*

*P2*

*A dwelling must have private open space that:*

- (a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and that is:*
  - (i) conveniently located in relation to a living area of the dwelling; and*
  - (ii) orientated to take advantage of sunlight.*

#### **COMMENT:**

The private open space of Unit 1 cannot comply with all the requirements of the acceptable solution. Accordingly, the application relies on the corresponding performance criteria P2.

The private open space of Unit 1 forms an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play. The private open space is conveniently located on the north-eastern side of the dwelling to take advantage of sunlight.

The application is supported by Shadow Diagrams. These diagrams demonstrate that this open space is orientated to take advantage of sunlight

The proposal complies with the objectives.

### **10.4.4 Sunlight and overshadowing for all dwellings**

#### **Objective:**

*To provide:*

- c) the opportunity for sunlight to enter habitable rooms (other than bedrooms) of dwellings; and*
- d) separation between dwellings on the same site to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.*

P1

*A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).*

**COMMENT:**

The dwelling units do not have a window of a habitable room orientated between 30 degrees east and west of north and therefore cannot comply with the acceptable solution. Accordingly, the application relies on the corresponding performance criteria P1.

The living and dining areas of Unit 1 has a north-eastern to north-western aspect with a number of windows and sliding doors providing sunlight to this living area.

The living and dining areas of Unit 2 has a northern and north-eastern aspect with several windows and sliding doors providing sunlight to the living areas.

Each dwelling unit has living areas that can gain solar access.

The proposal complies with the objectives.

#### 10.4.6 Privacy for all dwellings

**Objective:**

*Objective: To provide reasonable opportunity for privacy for dwellings.*

P3

*A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise detrimental impacts of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.*

**COMMENT:**

Unit 1 and Unit 2 are serviced by a shared driveway. The shared driveway adjacent to Unit 1 is not separated by a horizontal distance of 2.5m from the dining room windows. While the window sill height is more than 1.7m above the shared driveway a separation 1m cannot be achieved and therefore cannot comply with the acceptable solution A3 (b). The proposal relies on the corresponding performance criteria P3.

The location of the proposed windows to the dining room of Unit 1 are located



not to have a detrimental impact of vehicle noise or vehicle light intrusion to a habitable room for the following reasons:

- The window sill of the dining room has a height of 1.7m above the shared driveway ensuring minimising light intrusion from vehicles accessing Unit 1 in the evening; and
- There is only one other unit located on the subject site ensuring the vehicle movements will not exceed on average 9 vehicle movements to and from the subject site.

The proposal complies with the objectives.

### **E6.7.1 Construction of Car Parking Spaces and Access Strips**

#### **Objective:**

*To ensure that car parking spaces and access strips are constructed to an appropriate standard.*

*P1*

*All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.*

#### **COMMENT:**

The proposed visitor parking is located between Unit 1 and Unit 2. The application does not propose to line mark or provide some other physical means to delineate the visitor parking space and accordingly cannot comply with the acceptable solution A1(c). The proposal relies on the corresponding performance criteria P1.

The multiple dwelling development is provided with a concrete driveway and turning area which will be useable in all weather conditions. The proposal plans Layout A0.05 drawing number 170305 shows that the driveway will be formed to an adequate level and drained to the reticulated stormwater system.

The access strip will be readily identifiable for any person visiting the subject site. However, the visitor parking is obscured from view by Unit 1 from a motorist entering the subject site.

Accordingly, to bring the use and development into conformity, it is recommended that a condition of the approval is to line mark the visitor parking space provided on the subject site.

The proposal complies with the objectives.

### **Representations**

One representation was received (see attached documents). The issues raised in the representations have been summarised below.

Objection to the Proposed Application	
Issue	Comment
The proposed development will impact greatly on my peace, enjoyment and privacy of my home.	The General Residential zone under the Scheme controls use and development to ensure that appropriate privacy and separation is achieved between the subject site and the adjoining property.
<p>There will be multiple dwellings on every fence line of my property, 9 in total. Concern expressed that this is unfair particularly as it is not on land zoned high density housing.</p> <p>The high density of proposed units in the street does not keep in character with the established homes in the area.</p>	<p>The General Residential zone under the Scheme controls use and development. The development of the subject site for two dwellings complies with the density standard of the zone.</p> <p>This concern is addressed through the assessment of the multiple dwelling against the applicable use and development standards of the zone.</p> <p>Preceding assessment demonstrates that the multiple dwellings has demonstrated compliance with all applicable use and development standards.</p>
The proposal will result in an increase in traffic from numerous multiple dwelling developments with the associated noise causing further immediate disturbance to myself and the neighbourhood.	The E4 Road and Railway Asset Code applies to all use and development and is concerned with traffic generated from the subject site.

	The preceding assessment demonstrates that the multiple dwellings complies with the requirements of the Code as it relates to vehicle movements.
Development will obscure the views of the mountain that they enjoy from their property.	Views of mountains and other scenery is not regulated by the General Residential zone.
Drainage not adequate to prevent excess water being shed onto their property from hard surfaces and driveway resulting in collecting and channelling water.	In recognition of the concern raised in this representation, a note will be added to the permit to require the applicant to provide stormwater detention on the subject site for this development.
Council has a responsibility under the Human Rights Act, in particular Protocol 1. This states that a person has a right to peaceful enjoyment of all their possessions, which includes home and other land.	The process for the assessment of use and development is set out pursuant to s57 of the Land Use Planning and Approvals Act 1993.
Article 8 of the Human Rights Act states that a person has the substantive right to respect for their private and family life.	The Council, as the planning authority, is not required to have regard to the Human Rights Act in their assessment of the proposed use and development.

## Conclusion

In conclusion, it is considered that the application for Residential - Multiple Dwellings is a permitted use in the zone. The proposed use and development is reliant on a number of discretions for its approval. The assessment has demonstrated compliance with all aspects of the Scheme. Approval subject to a number of conditions is recommended.

**AUTHOR:** Heidi Goess  
CONSULTANT TOWN PLANNER

## 12) Recommendation

***That the application for Residential – Multiple Dwellings (2 units), for land located at 13 Carlwood Place, Prospect Vale (CT 172720/3), by Douglas Design & Drafting Pty Ltd, requiring the following discretions:***

10.4.3 Site coverage and private open space for all dwellings

10.4.4 Sunlight and overshadowing for all dwellings

10.4.6 Privacy for all dwellings

E6.7.1 Construction of Car Parking Spaces and Access Strips

***be APPROVED, generally in accordance with the endorsed plans:***

- a) Douglas Design & Drafting Pty Ltd, drawing number 170305 dated 21 April 2017;**

and subject to the following conditions:

- 1. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/00573-MVC attached).**
- 2. The visitor parking space between Unit 1 and Unit 2 as shown on Layout A0.04 drawing number 170305 is to be line marked or otherwise physically delineated to the satisfaction of Council's Town Planner. Spaces must be clearly dedicated, through line marking or incidental signage.**

Note:

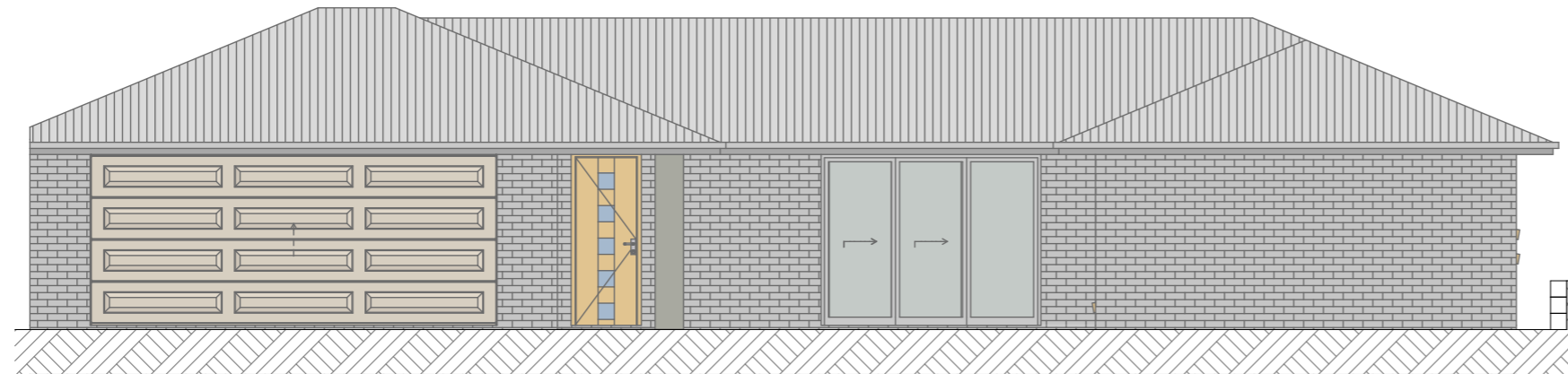
- 1. The applicant will be required to provide stormwater detention on site for this development. Please refer to separate correspondence issued by Council's Infrastructure Department.**
- 2. This permit does not imply that any other approval required under any other by-law or legislation has been granted. At least the following additional approvals may be required before construction commences:**
  - a) Building permit**
  - b) Plumbing permit**

**All enquiries should be directed to Council's Permit Authority on 6393 5322 or Council's Plumbing Surveyor on 0419 510 770.**

3. **This permit takes effect after:**
  - a) **The 14 day appeal period expires; or**
  - b) **Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.**
  - c) **Any other required approvals under this or any other Act are granted.**
  
4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website [www.rmpat.tas.gov.au](http://www.rmpat.tas.gov.au) .
  
5. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
  
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. An extension may be granted if a request is received at least 6 weeks prior to the expiration date.
  
7. In accordance with the legislation, all permits issued by the planning authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
  
8. If any Aboriginal relics are uncovered during works;
  - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
  - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: [aboriginal@heritage.tas.gov.au](mailto:aboriginal@heritage.tas.gov.au)); and

- c) The relevant approval processes will apply with State and Federal government agencies.

**DECISION:**



**SITE INFORMATION**

Local Government Authority	Meander Valley Council
Lot No.	3
Title No.	172720
Zoning	General Res.
Property ID	3402320
Wind Class. Region	A
Wind Classification	N1
Soil Classification (ref report.)	'M' ref.report
Site Classification by	Geoton
Energy Rating	TBA
Corrosive Environment	Med
Bushfire Attack Level	Bal Low

**PROJECT INFORMATION**

Site Area	701 m2
Unit 1 Floor Area (Building Footprint.)	161.47 m2
Unit 1 Porch	01.16 m2
Unit 1 Total	162.63 m2
Unit 2 Floor Area (Building Footprint.)	145.32 m2
Unit 2 Porch	00.93 m2
Unit 2 Total	146.25 m2
Total Building Area (Building Footprint.)	308.88 m2
Site Coverage (Building / Site)	44.06 %
Impervious Paving Area	184.77 m2
Total Impervious Area	493.65 m2 (70.42%)

**DRAWING INDEX**

Layout Name	No.
Cover Sheet	A0.01
Location Plan	A0.02
Site Plan	A0.03
Site Plan - Planning	A0.04
Site Plan - Plumbing	A0.05
Shadow Diagrams	A0.06
3D Projections	A0.07
Unit 1 Floor Plan	A1.1
Unit 1 Elevations	A1.2
Unit 1 Elevations	A1.3
Unit 2 Floor Plan	A2.1
Unit 2 Elevations	A2.2
Unit 2 Elevations	A2.3

DOUGLAS DESIGN & DRAFTING PTY LTD

PH 0437 00 33 02

dale@douglasdesignanddrafting.com

Acc No. CC7092  
ABN 56 614 751 521

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**ATTACHMENTS**

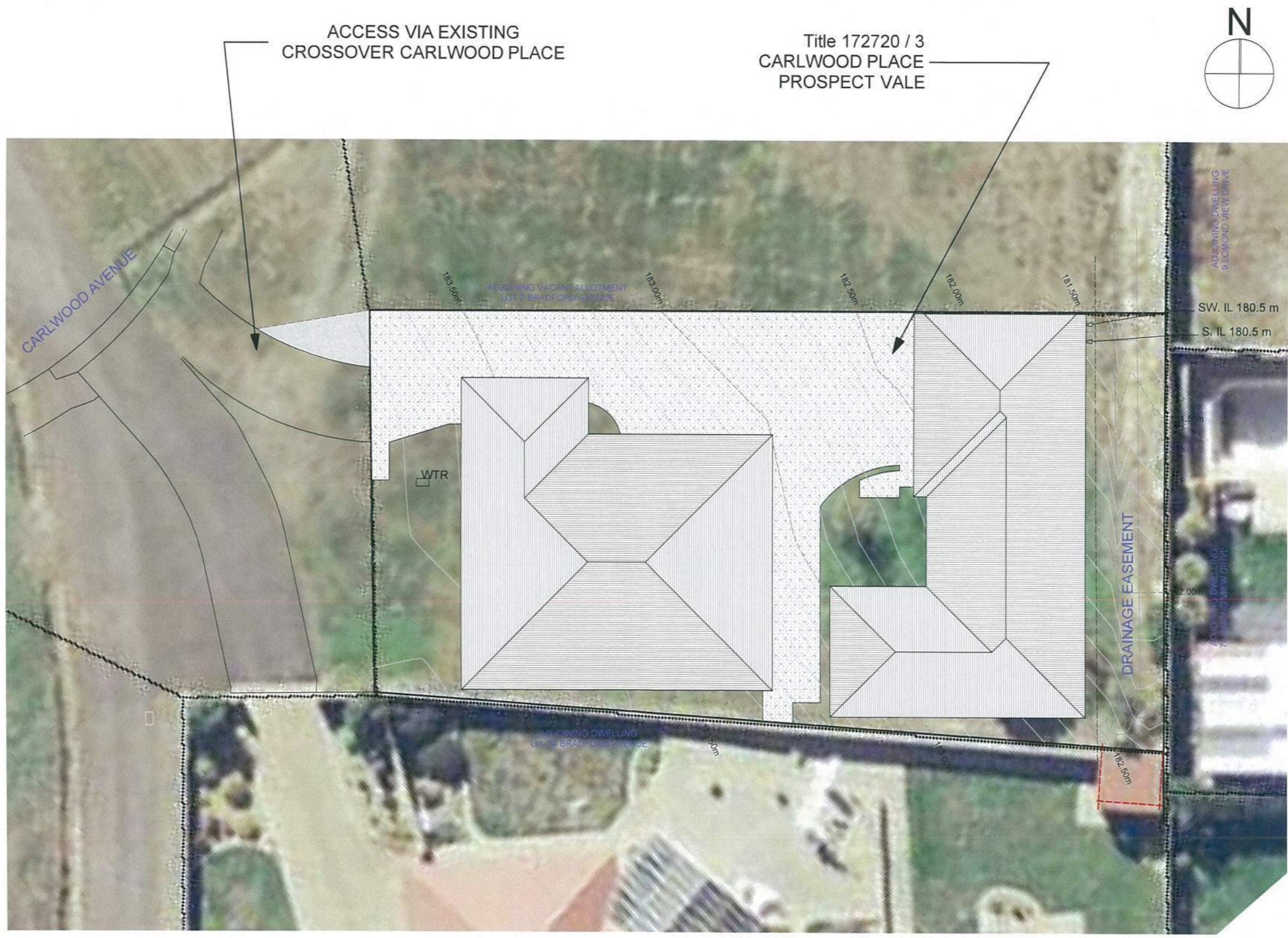

**REVISIONS**


Proposed Unit Development  
at Lot 3, No. 13 Carlwood Place,  
Prospect Vale TAS 7248,  
for D. & B. GOODYER DEVELOPMENTS

Date 21/04/2017

Issue Planning

Drawing No. 170305

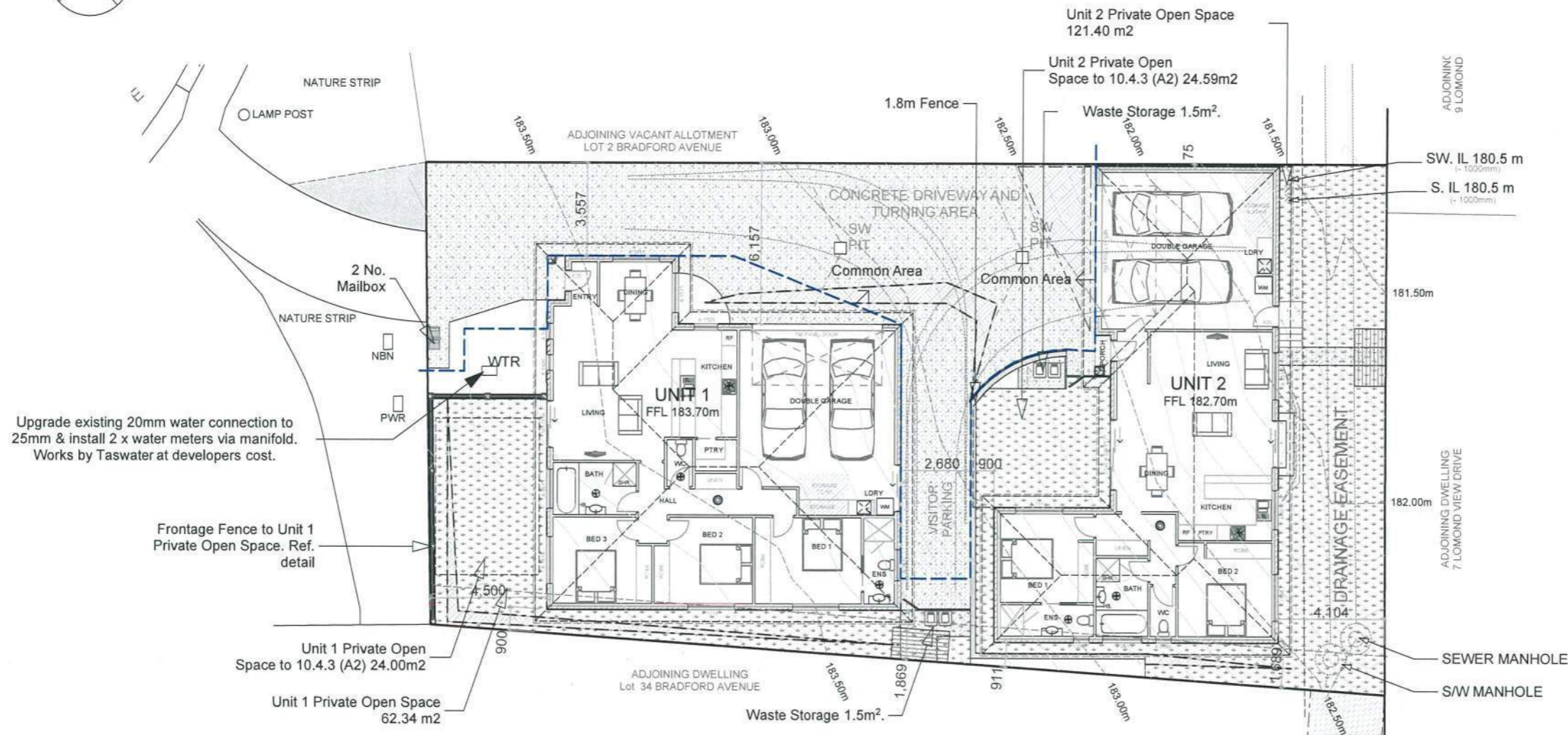
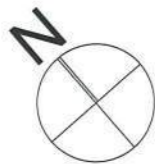


dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	NTS	Layout	A0.02 OF 12
PH 0437 00 33 02		Address	Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248,	Date	21/04/2017	Location Plan	
Acc No. CC7092		Client	D. & B. GOODYER DEVELOPMENTS	Issue	Planning	Drawing No.	170305
ABN 56 614 751 521							

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Upgrade existing 20mm water connection to 25mm & install 2 x water meters via manifold. Works by Taswater at developers cost.

Frontage Fence to Unit 1 Private Open Space. Ref. detail

**FRONTAGE FENCE DETAIL**

A fence within 4.5m of the front boundary must:

- Max 1.2m in height where solid.
- Max 1.8m in height where 1.2m to 1.8m has a transparency of not less than 30%.



Min. 30% transparency screening  
Solid construction to 1.2m high



dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	1:200	Layout	A0.04 OF 12
DOUGLAS DESIGN & DRAFTING PTY LTD		Address	Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Date	21/04/2017	Site Plan - Planning	
PH 0437 00 33 02		Client		Issue	Planning	Drawing No.	170305
Acc No. CC7092							
ABN 56 614 751 521							

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**LEGEND**

- HB. HAND BASIN
- S. SINK
- T. TUB
- VB. VANITY BASIN
- RF. REFRIGERATOR
- DW. DISHWASHER
- WM. WASHING MACHINE
- RF. REFRIGERATOR
- AJ. ARTICULATION JOINT
- MB. METER BOX
- DP. DOWNPIPE
  
- FFL. FINISHED FLOOR LEVEL
- FGL. FINISHED GROUND LEVEL
- NGL. NATURAL GROUND LEVEL
- FCL. FINISHED CEILING LEVEL

90mm Class 6 UPVC Storm water drain to a min. 1 in 100 grade.

100mm Class 6 UPVC Sewer drain at min 1 in 60 grade.

DP 90mm PVC Downpipe connected to SW system.

Installation and commission of any gas appliance to be

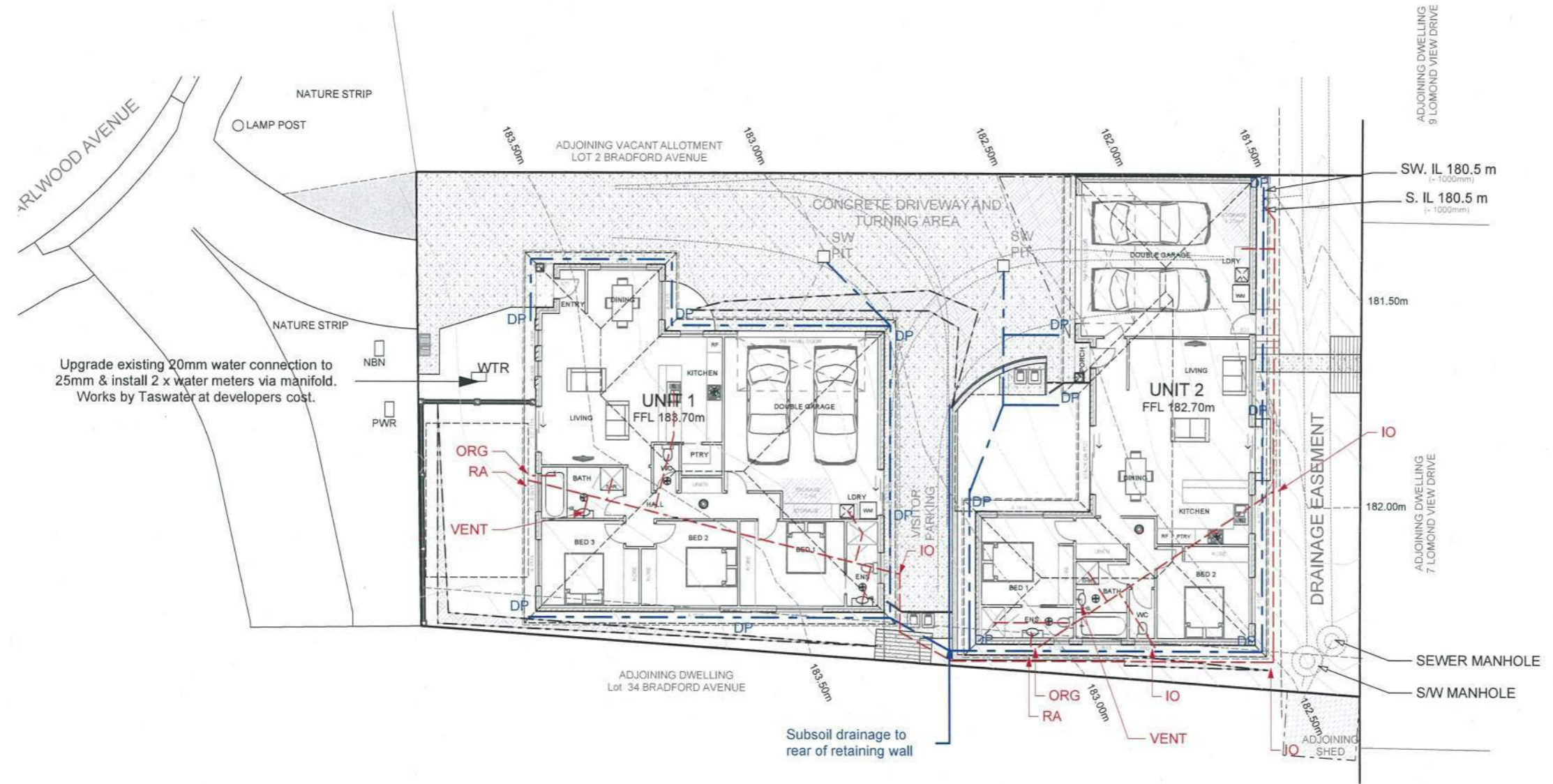
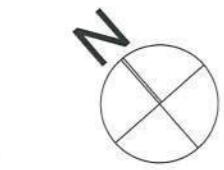
- Performed by a qualified person
- In accordance with manufacturers instructions
- In compliance with all local codes and regulatory authorities
- In compliance with AS/NZS 3500.4, AS 5601 or AS5601.1 as applicable

All plumbing works to comply with the associated Australian Standards and Local Government Authority requirements.

- AS/NZS 3500 Plumbing & Drainage
- AS/NZS 3500.3:2015 Storm water Drainage
- AS/NZS 3500.4:2003/2015 Heated Water Services
- AS/NZS 3500.5:2012 Housing Installations

Modifications to the plumbing layout may be made by a licenced plumber providing all modifications are compliant to relative standards.

Where a drain is in proximity to a building footing, ensure this does not encroach within the footing line of influence. Alternative footing system may be sought should this occur.



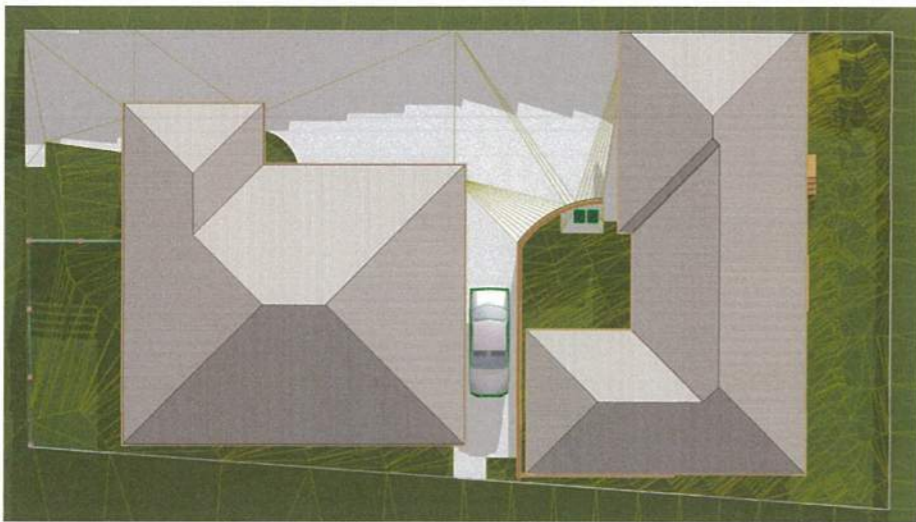
Upgrade existing 20mm water connection to 25mm & install 2 x water meters via manifold. Works by Taswater at developers cost.

Subsoil drainage to rear of retaining wall

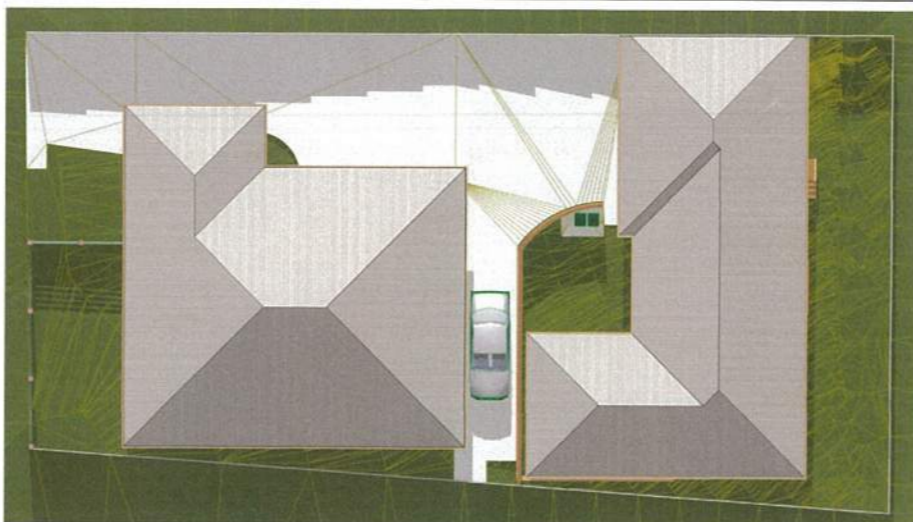


<b>DOUGLAS DESIGN &amp; DRAFTING PTY LTD</b>	PH 0437 00 33 02 Acc No. CC7092 ABN 56 614 751 521	Project Address Client	Proposed Unit Development Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Scale 1:200 Date 21/04/2017 Issue Planning	Layout A0.05 OF 12 Site Plan - Plumbing Drawing No. 170305
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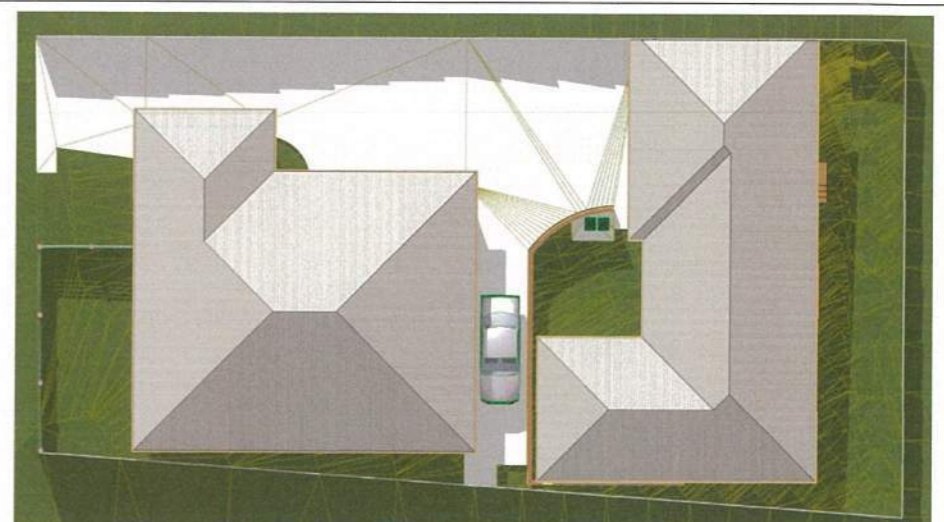
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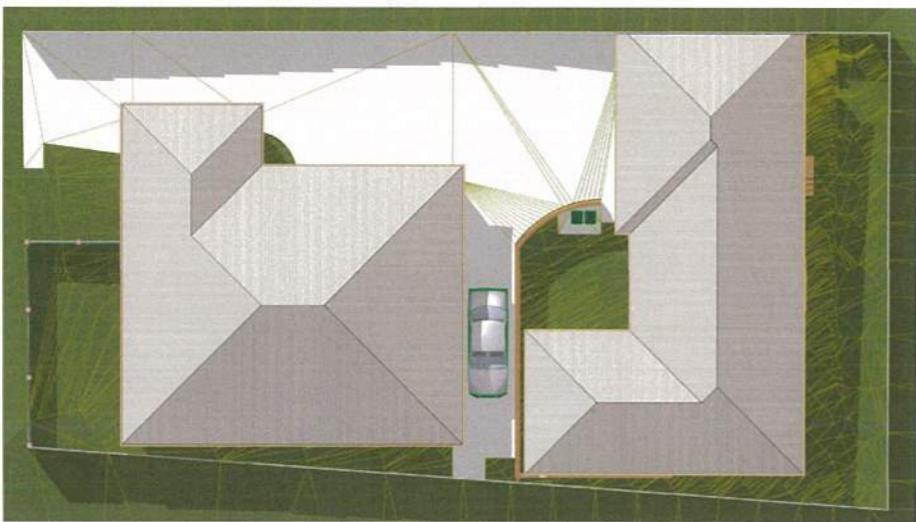
21st June 9.00am



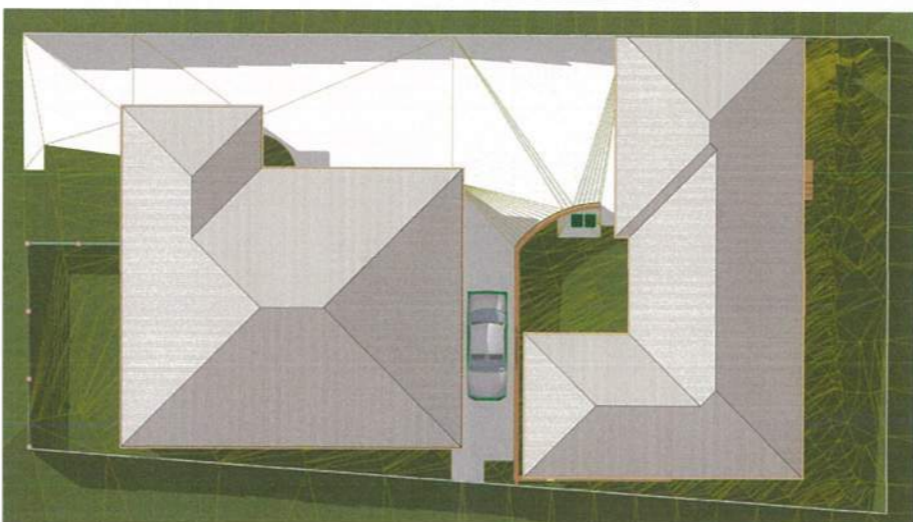
21st June 10.00am



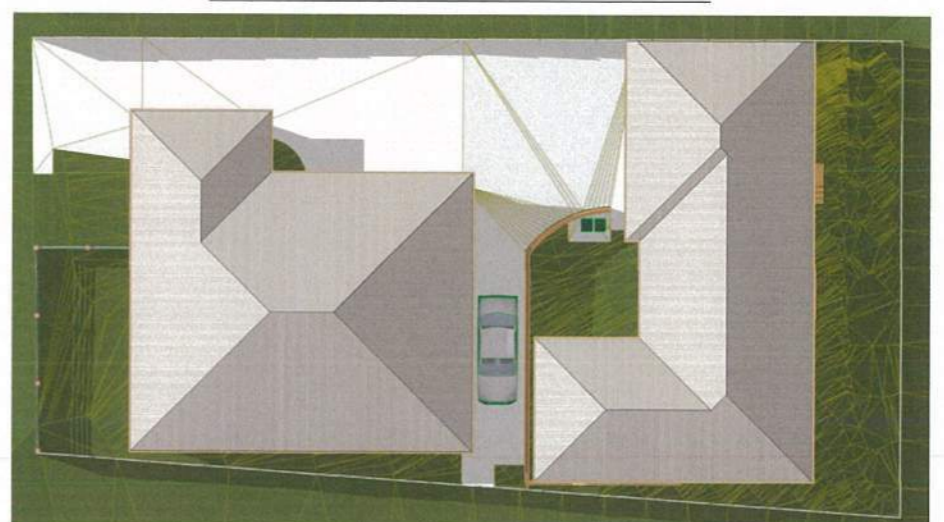
21st June 11.00am



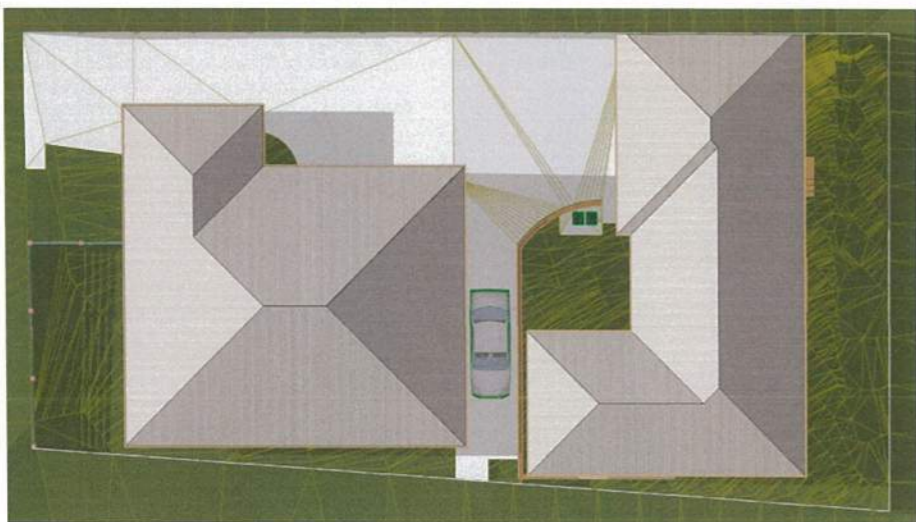
21st June 12.00am



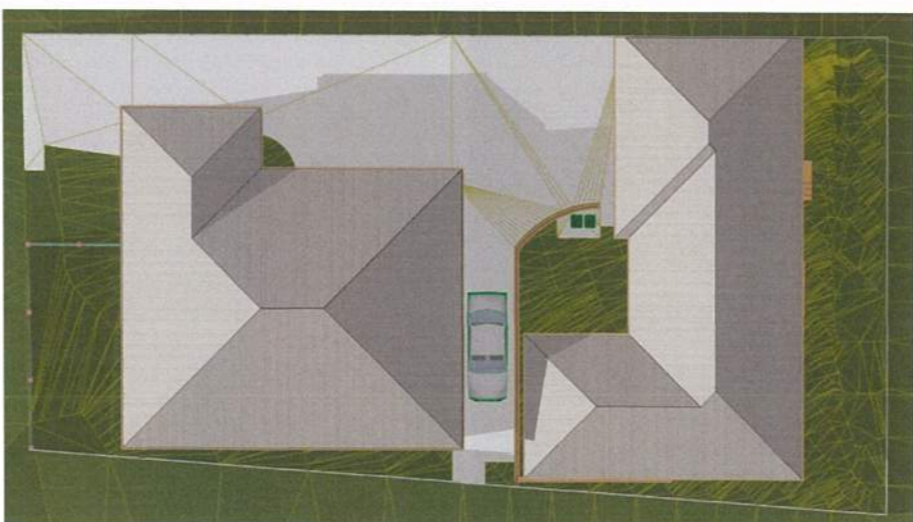
21st June 1.00pm



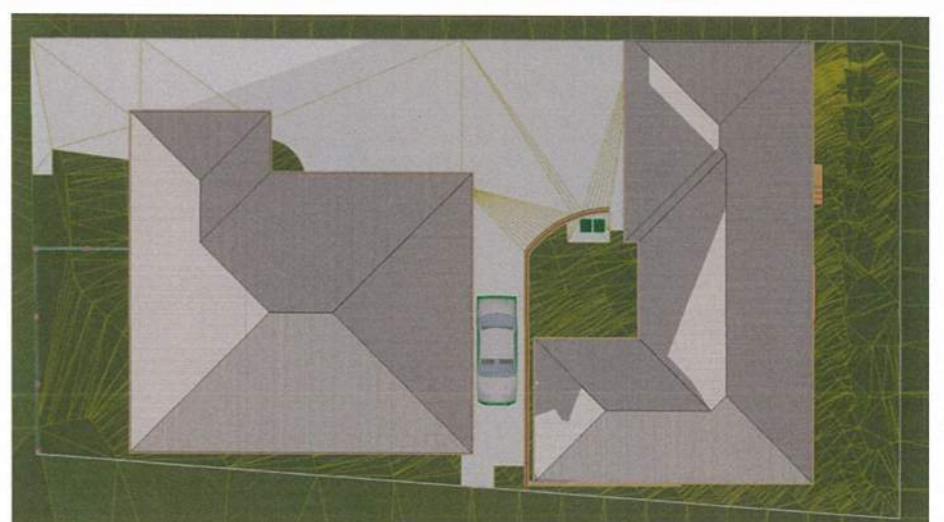
21st June 2.00pm



21st June 3.00pm



21st June 4.00pm



21st June 5.00pm



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PH 0437 00 33 02

Acc No. CC7092

ABN 56 614 751 521

Revision

Project

Address

Client

Proposed Unit Development  
 Lot 3, No. 13 Carlwood Place,  
 Prospect Vale TAS 7248,  
 D. & B. GOODYER DEVELOPMENTS

Scale NTS

Date 21/04/2017

Issue Planning

Layout A0.06 OF 12

Shadow Diagrams

Drawing No. 170305

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PROPOSED UNIT 1.



PROPOSED UNIT 2.

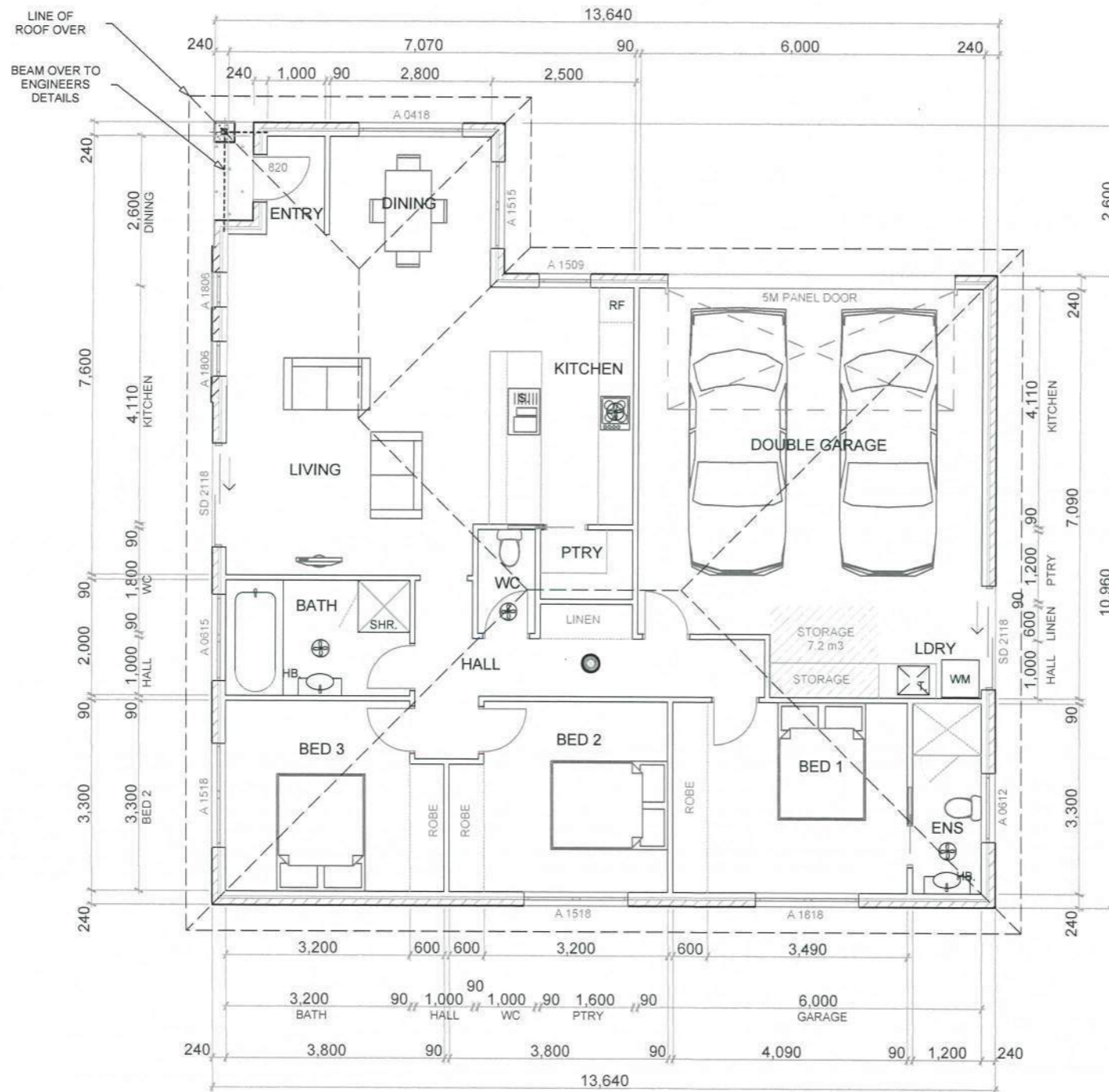


3D Projections represent form only  
- finishes subject to clarification.



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PH 0437 00 33 02	-----	Address	Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248,	Date	21/04/2017	3D Projections	
Acc No. CC7092 ABN 56 614 751 521	-----	Client	D. & B. GOODYER DEVELOPMENTS	Issue	Planning	Drawing No.	170305



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 PH 0437 00 33 02  
 Acc No. CC7092  
 ABN 56 614 751 521

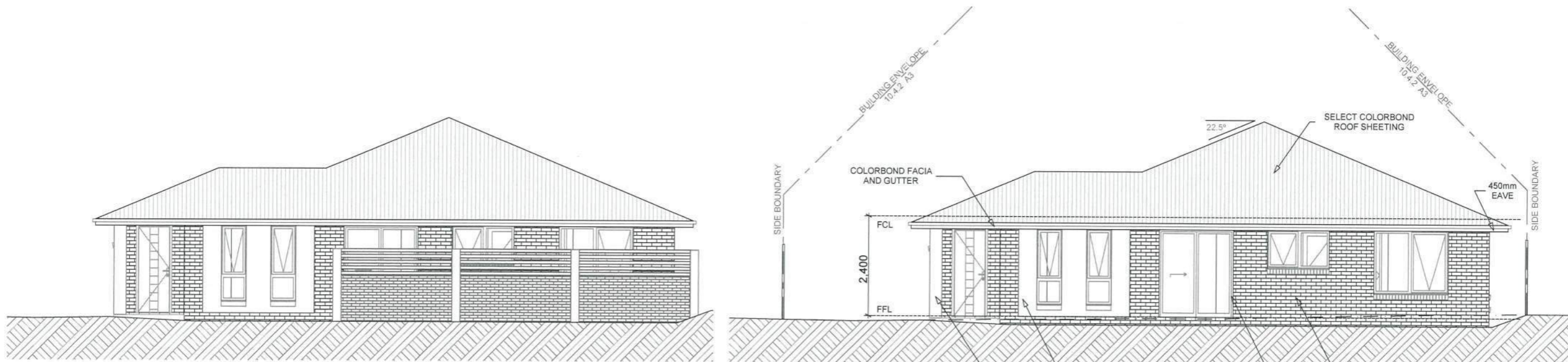
Revision \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Client \_\_\_\_\_

Project  
 Address  
 Proposed Unit Development  
 Lot 3, No. 13 Carlwood Place,  
 Prospect Vale TAS 7248,  
 D. & B. GOODYER DEVELOPMENTS

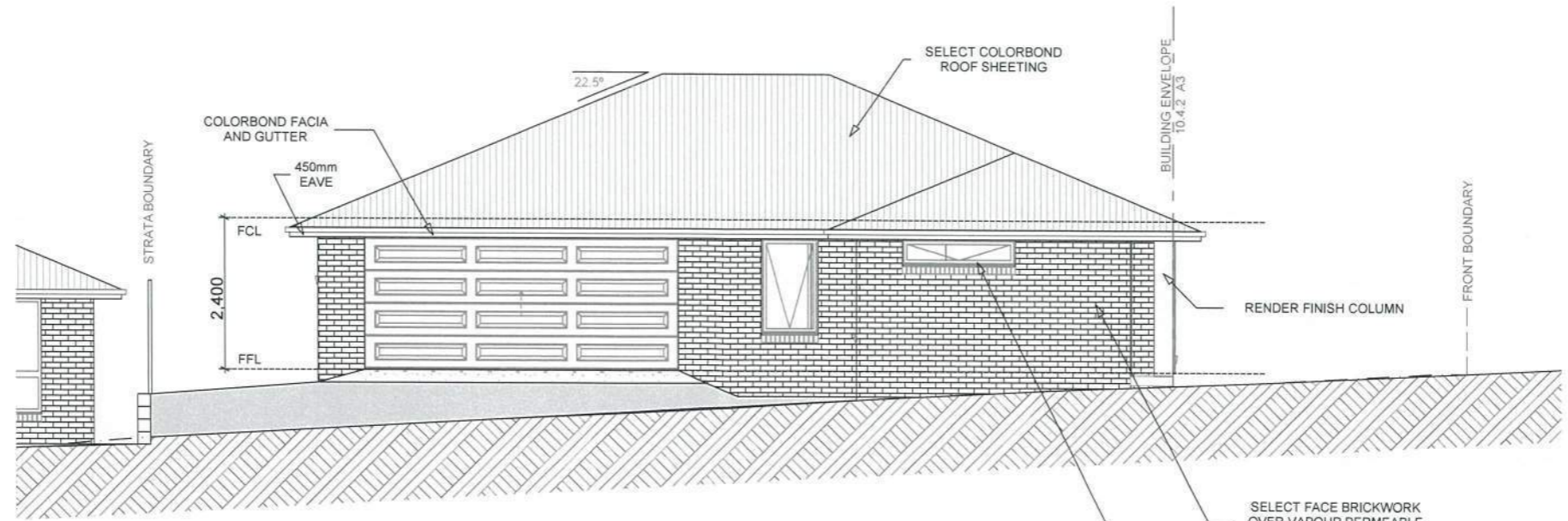
Scale 1:100  
 Date 21/04/2017  
 Issue Planning

Layout A1.1 OF 12  
 Unit 1 Floor Plan  
 Drawing No. 170305

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**WEST ELEVATION**

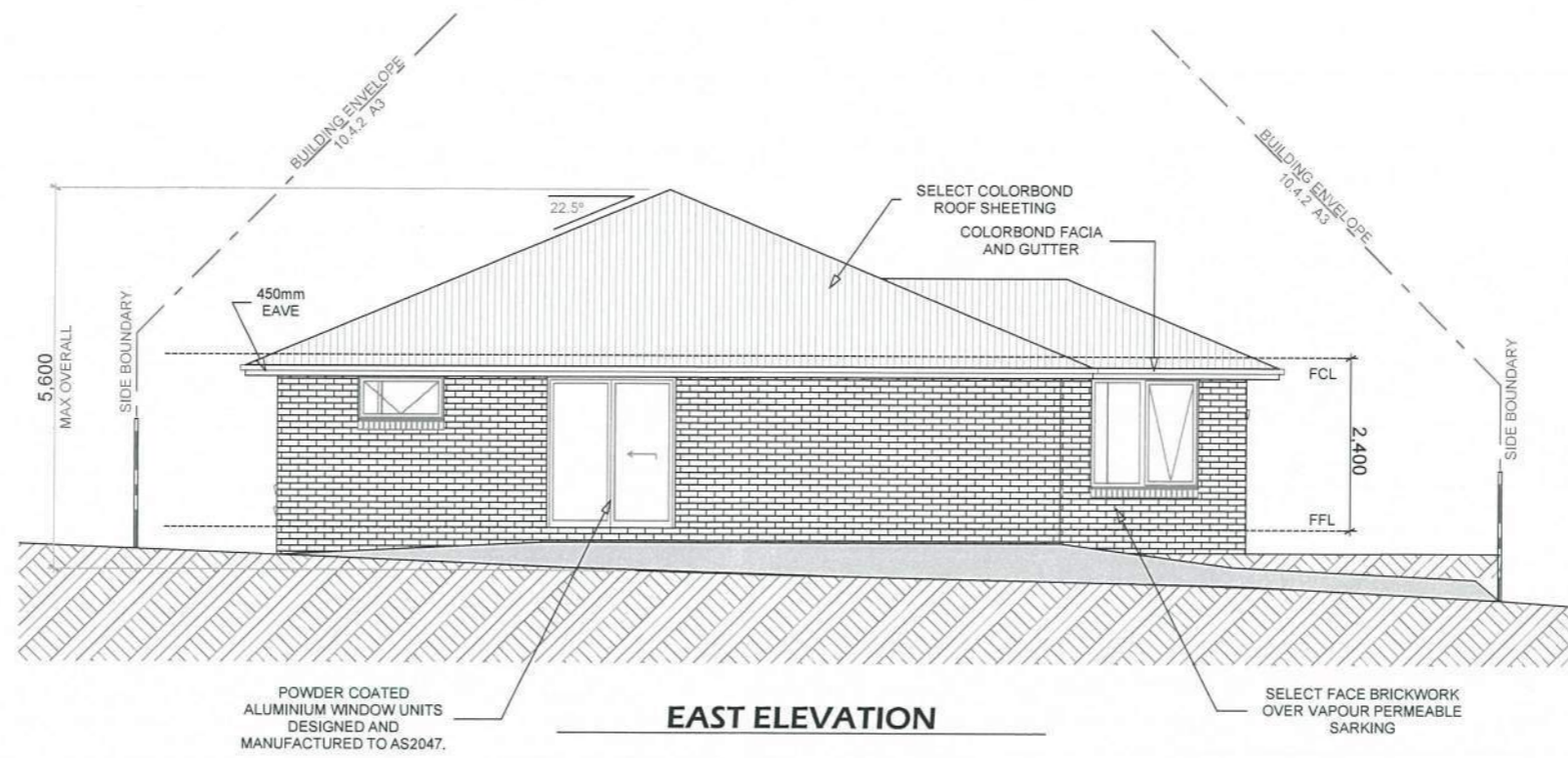


**NORTH ELEVATION**

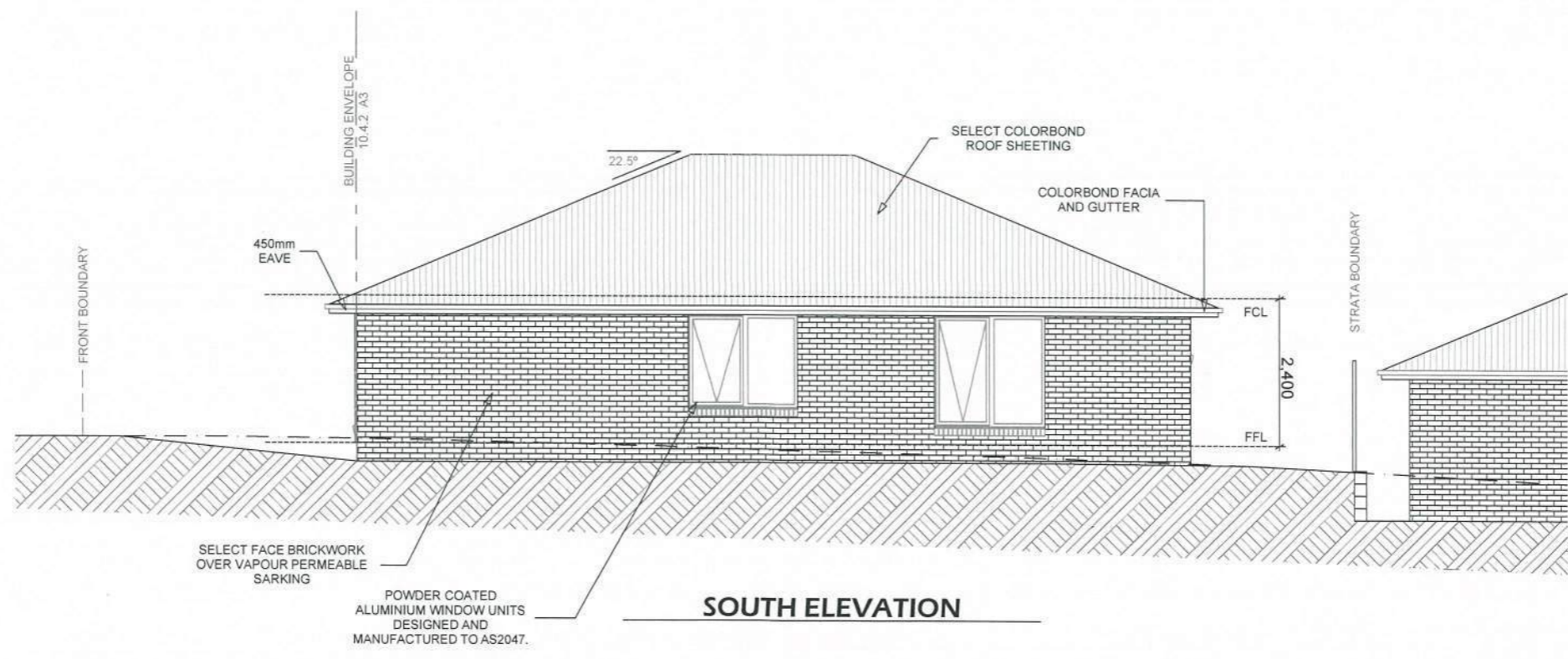


dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	1:100	Layout	A1.2 OF 12
DOUGLAS DESIGN & DRAFTING PTY LTD		Address	Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Date	21/04/2017	Unit 1 Elevations	
PH 0437 00 33 02		Client		Issue	Planning	Drawing No.	170305
Acc No. CC7092							
ABN 56 614 751 521							

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**EAST ELEVATION**



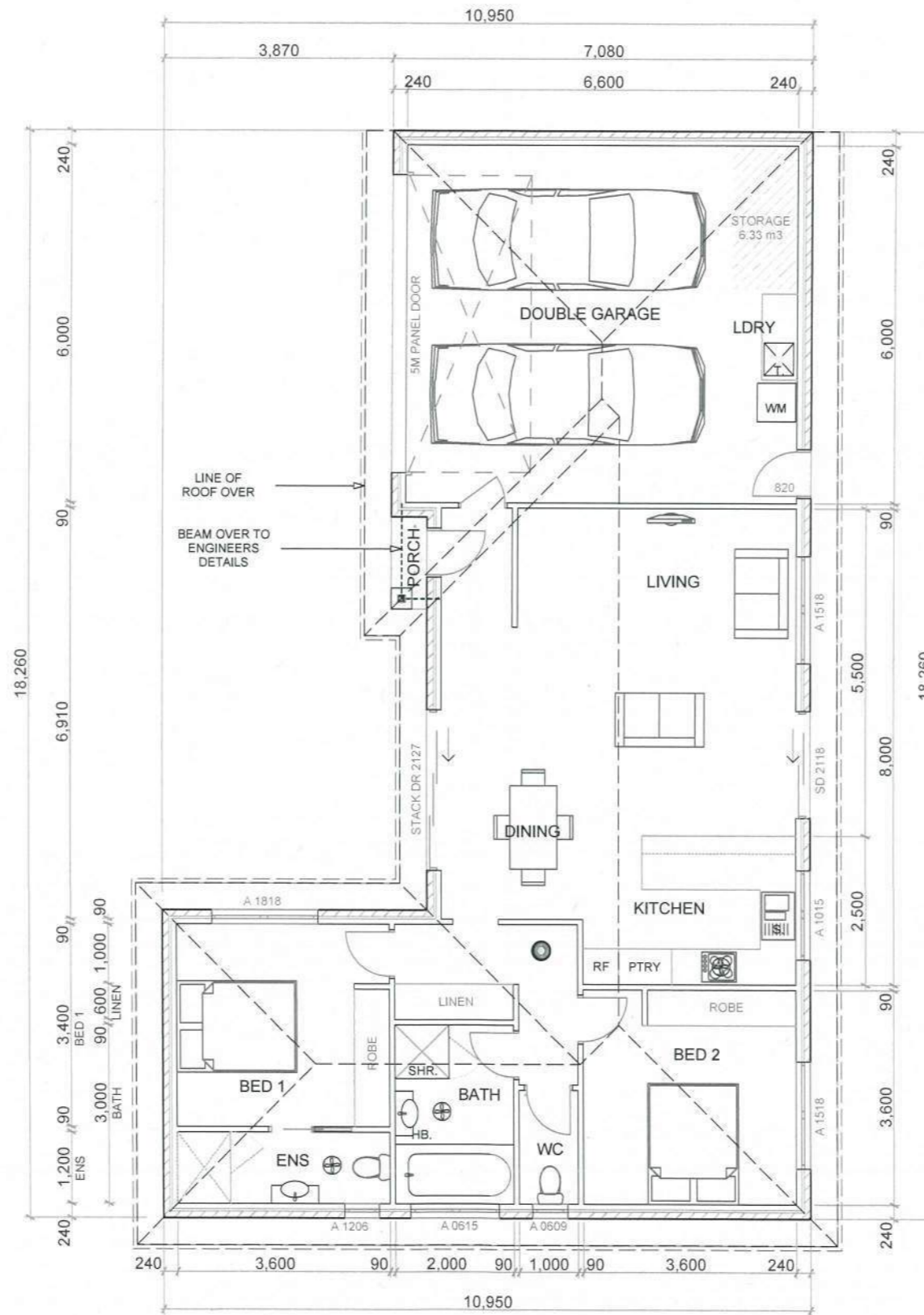
**SOUTH ELEVATION**



dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	1:100	Layout	A1.3 OF 12
DOUGLAS DESIGN & DRAFTING PTY LTD		Address	Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248,	Date	21/04/2017	Unit 1 Elevations	
PH 0437 00 33 02		Client	D. & B. GOODYER DEVELOPMENTS	Issue	Planning	Drawing No.	170305
Acc No. CC7092							
ABN 56 614 751 521							

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 PH 0437 00 33 02  
 Acc No. CC7092  
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Revision  
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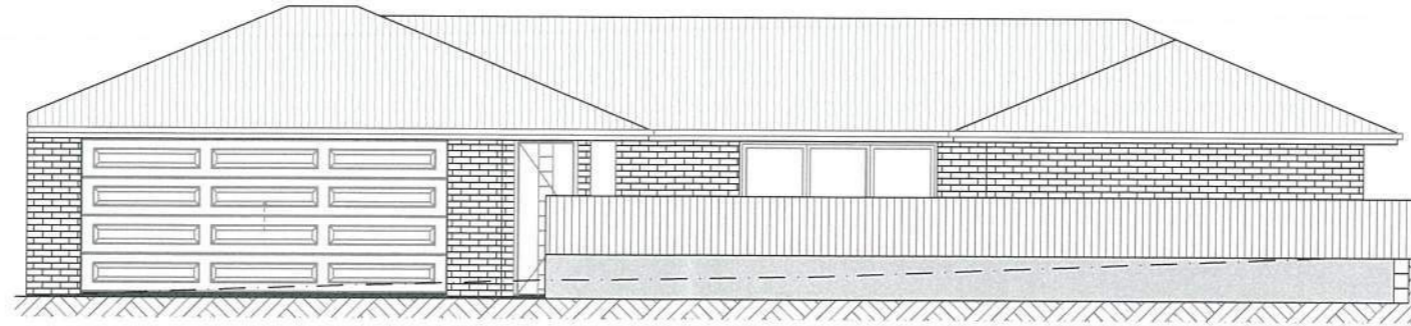
Project  
 Address  
 Client

Proposed Unit Development  
 Lot 3, No. 13 Carlwood Place,  
 Prospect Vale TAS 7248,  
 D. & B. GOODYER DEVELOPMENTS

Scale 1:100  
 Date 21/04/2017  
 Issue Planning

Layout	A2.1 OF 12
Unit 2 Floor Plan	
Drawing No.	170305

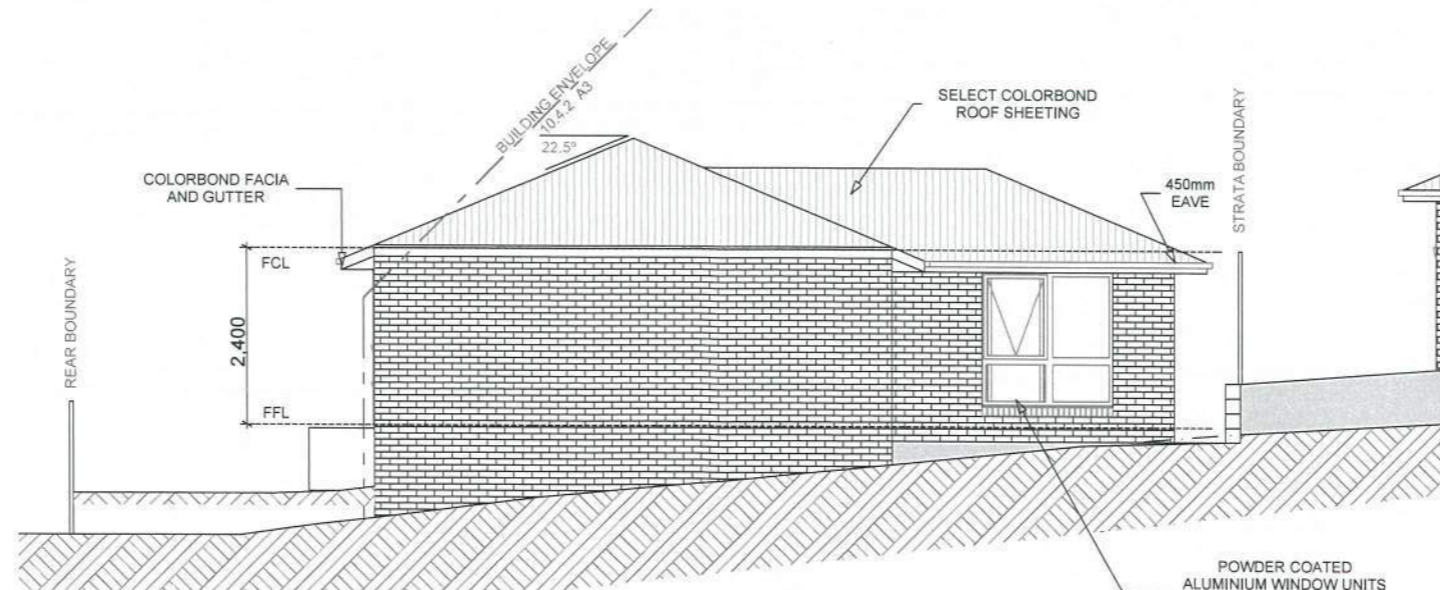
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**WEST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**



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PH 0437 00 33 02

Acc No. CC7092  
ABN 56 614 751 521

dale@douglasdesignanddrafting.com

Revision

Project

Address

Client

Proposed Unit Development  
Lot 3, No. 13 Carlwood Place,  
Prospect Vale TAS 7248,  
D. & B. GOODYER DEVELOPMENTS

Scale 1:100

Date 21/04/2017

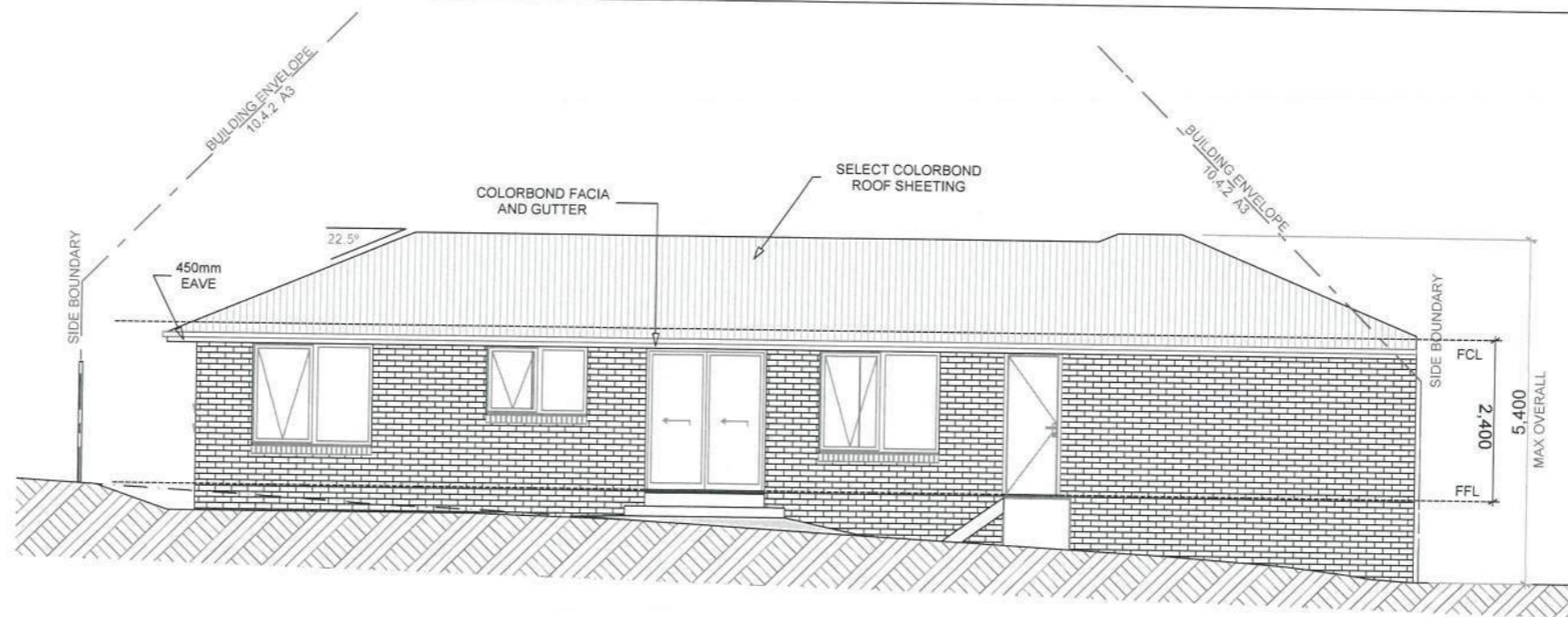
Issue Planning

Layout A2.2 OF 12

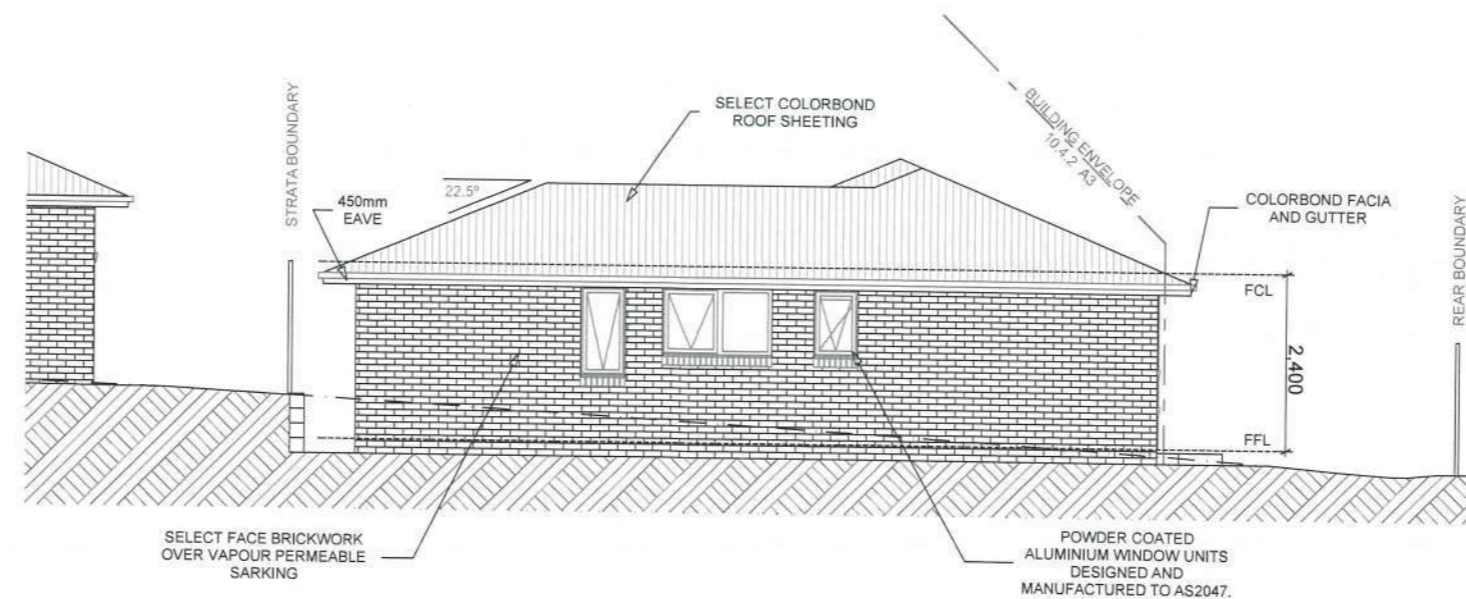
Unit 2 Elevations

Drawing No. 170305

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**EAST ELEVATION**



**SOUTH ELEVATION**



dale@douglasdesignanddrafting.com DOUGLAS DESIGN & DRAFTING PTY LTD PH 0437 00 33 02 Acc No. CC7092 ABN 56 614 751 521		Revision Project Address Client	Proposed Unit Development Lot 3, No. 13 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Scale 1:100 Date 21/04/2017 Issue Planning	Layout A2.3 OF 12 Unit 2 Elevations Drawing No. 170305
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Planning Compliance Information to;  
Meander Valley Interim Planning Scheme 2013  
For Site: Lot 3, No.13 Carlwood Place Prospect Vale

**10.4 Development Standards**

**10.4.1 Residential density for multiple**

A1 Compliant – 2 dwellings to site area 701m<sup>2</sup>.

**10.4.2 Setbacks and building envelope for all dwellings**

A1 Compliant – ref drawings.

A2 Compliant – ref drawings.

A3 (a) Ref P3. The side wall of the garage of Unit 2 protrudes from the building envelope side setback by approx. 600mm. This protrusion is to the south of the adjoining allotment (Lot 2) & will not create overshadowing to this allotment.

A3 (b) (ii) Building protrusions within 1500mm of the boundary are less than the 9m required.

**10.4.3 Site coverage and private open space for all dwellings**

A1 Compliant – ref drawings.

A2 Compliant – Unit 1 POS 4m x 6m, ref drawings.  
Unit 2 POS 4m x 6m, ref drawings.

**10.4.4 Sunlight and overshadowing for all dwellings**

A1 Ref P1. Due to the orientation of the allotment, A1 was not achieved.

Unit 1- Windows have been positioned on both the North East and North West corners of the living areas to allow a broader arc of solar access.

Unit 2 – The rear windows to the living area will receive morning sun & stacker door to the living area will receive sun midday onwards.

A2 Compliant – ref drawings. 7.45m from living room window to the rear of Unit2.

A3 Compliant – ref drawings. Unit 1 is predominated to the east of the private open space of Unit 2 and does not create unreasonable loss of sunlight.

**10.4.5 Width of openings for garages and carports for all dwellings**

A1 Compliant – ref drawings.

**10.4.6 Privacy for all dwellings**

A1 Compliant – No ffl above 1 m.

A2 Compliant – No ffl above 1 m.

A3 Compliant – ref drawings. Unit 1 dining room window to the driveway side is a highlight window. The southern dining room window and kitchen window have required separation to the shared area of the driveway.

**10.4.7 Frontage fences for all dwellings**

A1 Compliant – (A1. B) Compliant front fence required to Unit 1.

**10.4.8 Waste storage for multiple dwellings**

A1 Compliant – Waste storage areas indicated on drawings.

**10.4.9 Storage for multiple dwellings**

A1 Compliant – Storage areas as indicated in garages.

**10.4.10 Common property for multiple dwellings**

A1 Compliant – Ref. drawing “Planning Compliance”

**10.4.11 Outbuildings for multiple dwellings**

A1 Compliant – Nil outbuilding proposed.

**10.4.12 Site services for multiple dwellings**

A1.1 Compliant – Combined mailbox area proposed.

**10.4.13.1 – 10.4.13.5**

N/A Not Applicable (to non-dwelling.)

**E6 Car Parking and Sustainability Code**

**E 6.6.1 Car Parking Numbers**

A1 Compliant – Ref. drawing “Planning Compliance”

**E 6.7.1 Construction of Car Parking Spaces and Access Strips**

A1 Compliant - A double garage providing two parking spaces for each unit is provided. Visitor parking is allocated to the south of Unit 1.

**E 6.7.1 Design and Layout of Car Parking**

A1.1 Compliant – Ref. drawing “Planning Compliance”

A1.2 Compliant – Ref. drawing “Planning Compliance”

A2.1 Compliant – Ref. drawing “Planning Compliance”

A2.2 Compliant – Ref. drawing “Planning Compliance”

E16 Urban Salinity Code

E 16.6.1 Stormwater

A1.1 Compliant Ref. Plumbing plan.

A1.2 N/A

E 16.6.2 Excavation

A1.1 A tapered retaining wall of approx. 800mm will be required to Unit 2 private open space. This will have subsoil drainage to the S/W system.

E 16.6.3 Vegetation Clearance

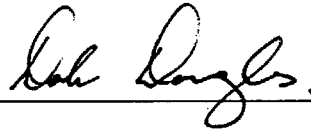
P1 No clearing of vegetation is proposed. Site is clear.

E 16.6.4 Roads and Impervious Surfaces

A1.1 N/A

Prepared By.

Dale Douglas:



21/04/2017

Douglas Design & Drafting Pty Ltd  
PO BOX 7708  
LAUNCESTON  
TAS 7250  
Ph: 0437 00 33 02  
Email: [dale@douglasdesignanddrafting.com](mailto:dale@douglasdesignanddrafting.com)  
ABN: 56 614 751 521

SEARCH OF TORRENS TITLE

VOLUME 172720	FOLIO 3
EDITION 2	DATE OF ISSUE 15-Mar-2017

SEARCH DATE : 21-Apr-2017

SEARCH TIME : 12.20 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE  
 Lot 3 on Sealed Plan 172720  
 Derivation : Part of Lot 971, 321A-3R-25P Gtd. to Henry Burrows  
 Prior CT 169751/410

SCHEDULE 1

M617040 TRANSFER to GOODSWOOD PTY LTD Registered  
 15-Mar-2017 at noon

SCHEDULE 2

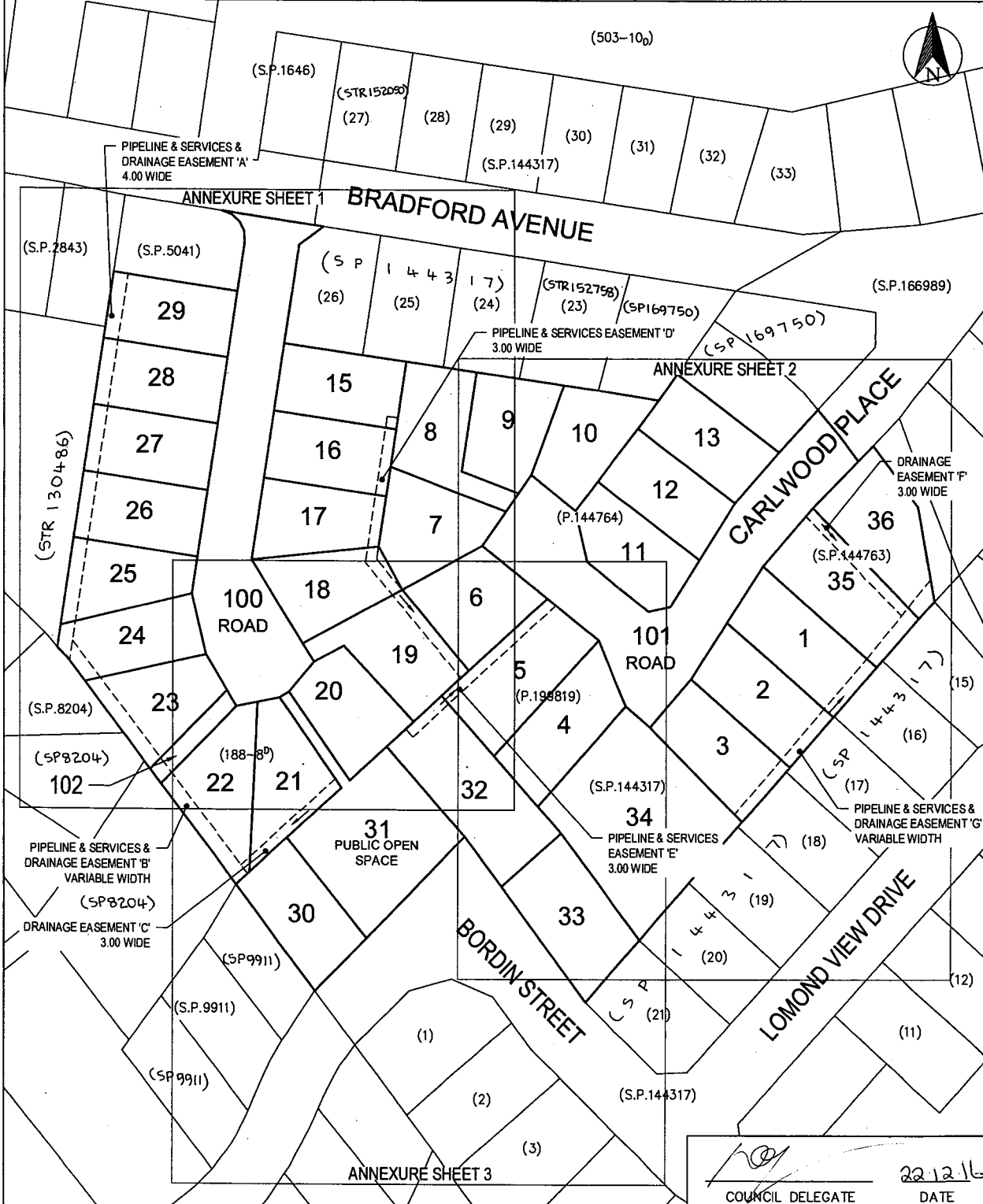
Reservations and conditions in the Crown Grant if any  
 SP172720 EASEMENTS in Schedule of Easements  
 SP172720 COVENANTS in Schedule of Easements  
 SP172720 FENCING COVENANT in Schedule of Easements  
 SP144317 COVENANTS in Schedule of Easements  
 SP144317 FENCING COVENANT in Schedule of Easements  
 M619879 MORTGAGE to Bendigo and Adelaide Bank Limited  
 Registered 15-Mar-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

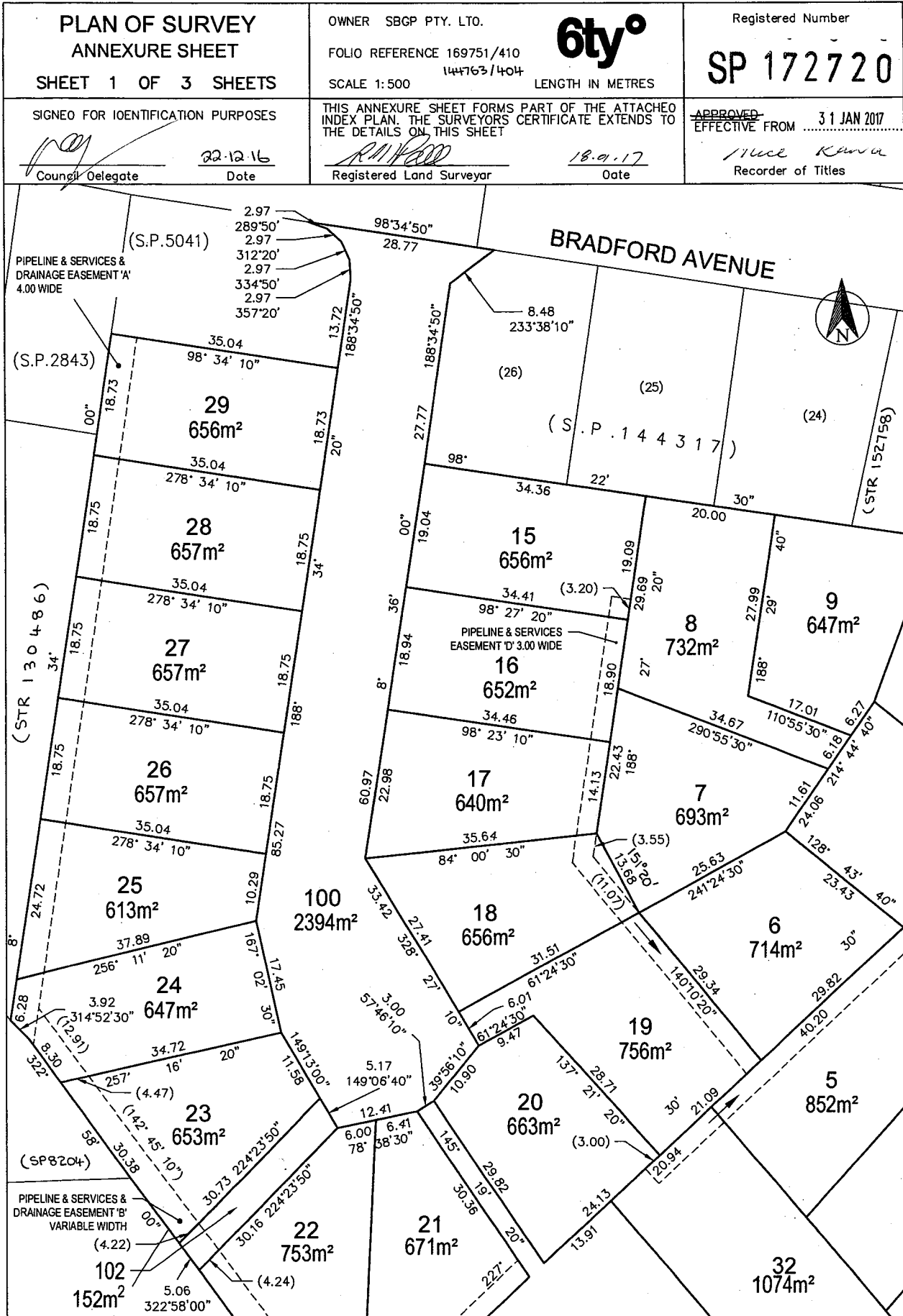
OWNER SBGP PTY LTD	<b>PLAN OF SURVEY</b> BY SURVEYOR R.M. PECK LOCATION <b>TOWN OF PROSPECT VALE</b> SCALE 1:1000 LENGTHS IN METRES	Registered Number <b>SP172720</b>
FOLIO REFERENCE C.T. 169751/410 C.T. 144763/404 GRANTEE PART OF LOT 971, 321 <sup>A3</sup> 25 <sup>P</sup> GRANTED TO HENRY BURROWS		<del>APPROVED</del> EFFECTIVE FROM 31 JAN 2017 <i>Alice Kansa</i> Recorder of Titles

MAPSHEET MUNICIPAL CODE No 121 (5040)	LAST UPI No	LAST PLAN No. S.P. 169751	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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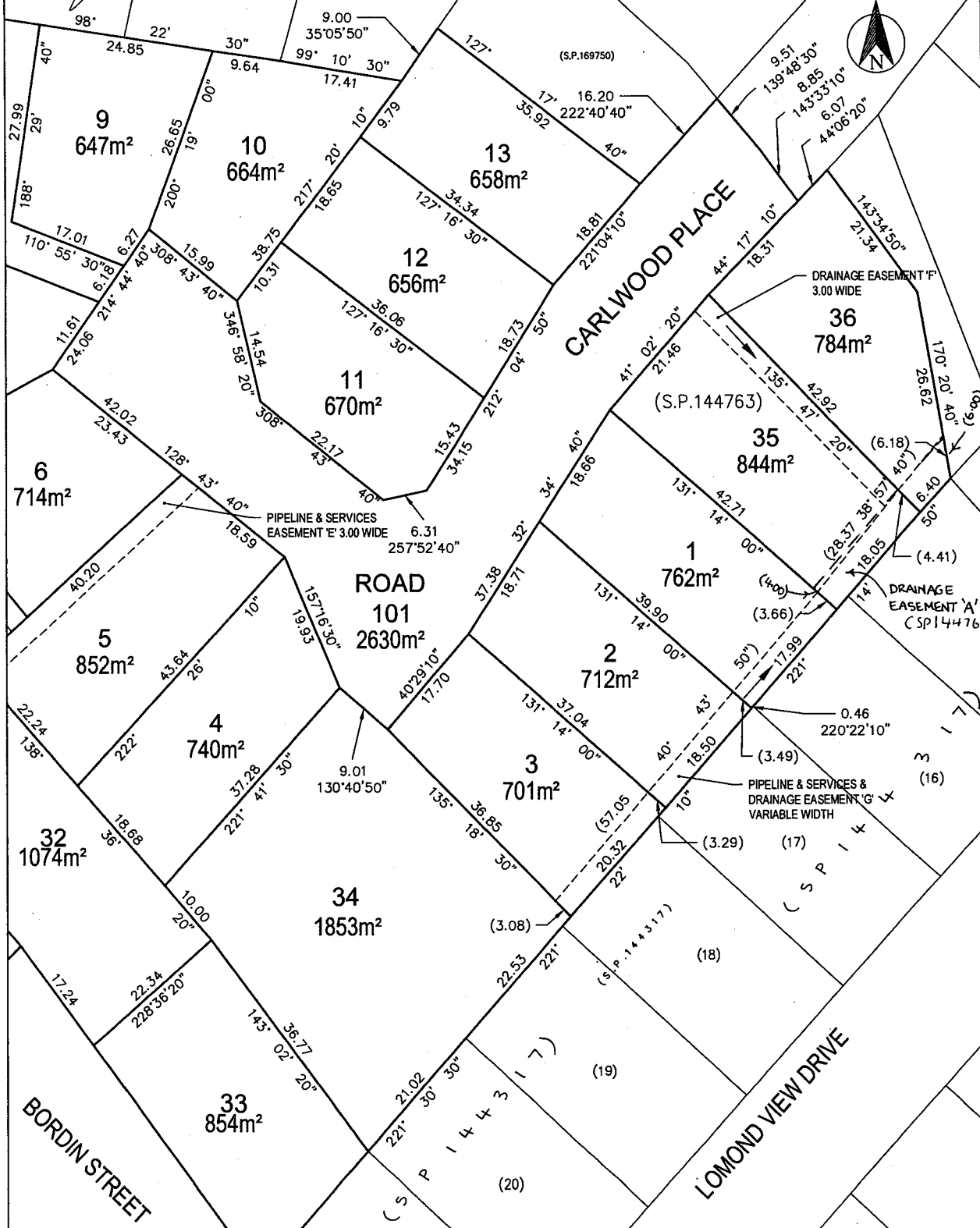


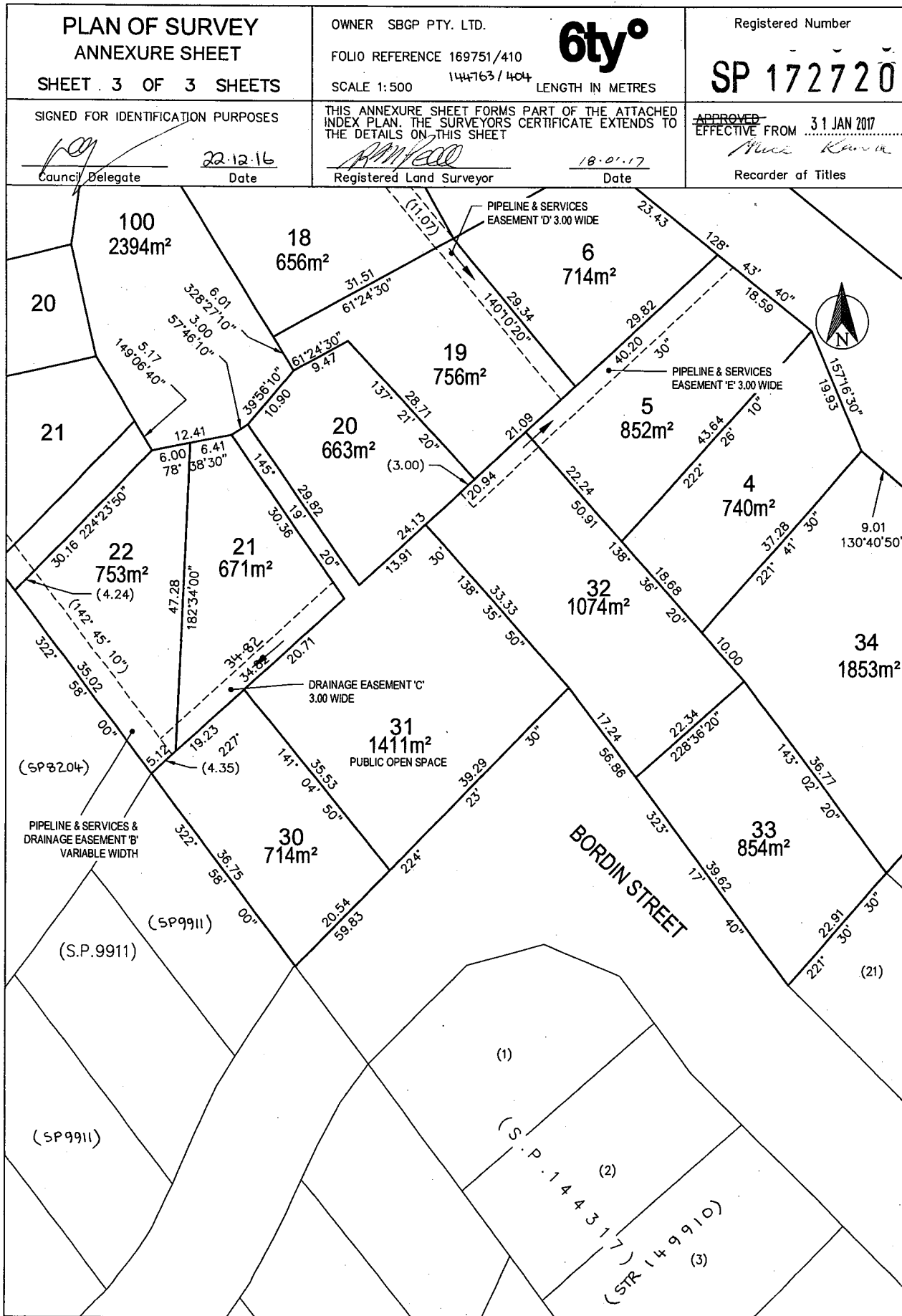
*[Signature]* 22.12.16  
COUNCIL DELEGATE DATE





<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b> <b>SHEET 2 OF 3 SHEETS</b></p>	<p>OWNER SBGP PTY. LTD. FOLIO REFERENCE 169751/410 SCALE 1:500 LENGTH IN METRES</p>	<p>Registered Number <b>SP 172720</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate Date <u>22.12.16</u></p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET <i>[Signature]</i> Registered Land Surveyor Date <u>18.01.17</u></p>	<p>APPROVED EFFECTIVE FROM <u>3.1 JAN 2017</u> <i>[Signature]</i> Recorder of Titles</p>





## Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0186	Council notice date	26/04/2017
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2017/00573-MVC	Date of response	02/05/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
<b>Response issued to</b>			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
<b>Development details</b>			
Address	13 CARLWOOD PL, PROSPECT VALE	Property ID (PID)	3491351
Description of development	Multiple dwellings x 2		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Douglas Design & drafting Pty Ltd	170305 Sheets A0.04 & A0.05		21/04/2017
<b>Conditions</b>			
<p><b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b></p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to commencing construction / use of the development, a boundary backflow prevention device and water meter must be installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:             <ol style="list-style-type: none"> <li>a. \$201.93 for development assessment.</li> </ol> <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p> </li> </ol>			

### Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

### Authorised by



**Jason Taylor**  
Development Assessment Manager

### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

## Krista Palfreyman

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**From:** RHONDA GALE <gale51@bigpond.com>  
**Sent:** Wednesday, 10 May 2017 3:59 PM  
**To:** Planning @ Meander Valley Council  
**Subject:** The general manager planning applicvation PA\17\0186

We are writing to object to the preposed development application PA\17\0186 at 13 Carlwood Place Prospect Vale CT:172720/3

It is my firm belief that the preposed development will impact greatly on my peace, enjoyment and privacy of my home. Should the preposed development go ahead there will be multiple unit dwellings on every fence line of my property 9 in total I would consider this to be unfair and unjust that the Meander Council should consider to inflict this on one house in what is a general residential area, not one zoned as high density housing. The high density of proposed units in the street does not keep in character with the surrounding established homes in the area. The increase in traffic from general comings and goings of multiple residents in multiple dwellings and all their associated noise will cause further immediate disturbance to myself and will disturb neighbourhood peace and quite and directly and significantly intrude into our privacy. I am also objecting on the grounds that we believe the development will obscure the views of the mountain that we so enjoy. Upon review of the plans I am also concerned that there may not be adequate drainage to prevent excess water being shed into our yard due to all the hard surfaces driveways court yards etc collecting and channelling water

It is one the responsibilities of the council under the Human Rights Act, in particular Protocol 1, Article 1. This states that a person has the right to peaceful enjoyment of all their possessions, which includes the home and other land.

Additionally, Article 8 of the Human Rights Act states that a person has the substantive right to respect for their private and family life. In the case of Britton vs SOS the courts reappraised the purpose of the law and concluded that the protection of the countryside falls within the interests of Article 8. Private and family life therefore encompasses not only the home but also the surroundings.

regards  
Luke Gale  
0417188029 or 0741595668

Luke Gale and Mark Gale  
15 Carlwood Place Prospect Vale

postal address  
51 Sea Esplanade burnett Heads  
QLD 4670

# **GOV 1 NOTICE OF MOTION - STATE REGISTER FOR DECLARED DANGEROUS DOGS - CR BOB RICHARDSON**

## **1) Introduction (Cr Bob Richardson)**

The purpose of this report is to consider a Notice of Motion from Cr Bob Richardson that Council work with the Local Government Association of Tasmania (LGAT) to develop a State register for dogs that have been declared dangerous under Section 29 of the Dog Control Act 2000.

## **2) Background (Cr Richardson)**

Each council within Tasmania keeps record of declared dangerous dogs within their local government area. There is however, no existing, accessible state wide database for dangerous dogs.

Animal Control Officers will communicate with each other if they know when and where a dangerous dog is moving. This collegiate approach does not, however, always mean that council are aware when dangerous dogs move to an area.

A state wide register linked to the existing microchip database may help close this gap.

## **3) Strategic/Annual Plan Conformance**

Furthers the objectives of the Community Strategic Plan 2014 to 2024 in particular:

- Future direction (4) - A healthy and safe community
- Future direction (5) – Innovative Leadership and community governance

## **4) Policy Implications**

Furthers the objectives of Policy No.43 Dog Management.

## **5) Statutory Requirements**

Not applicable.

## **6) Risk Management**

There is no formal mechanism for keeping track of dangerous dogs if they move between local government areas.

## **7) Consultation with State Government and other Authorities**

Not applicable.

## **8) Community Consultation**

Not applicable.

## **9) Financial Impact**

Not applicable.

## **10) Alternative Options**

Council can elect not to support the motion.

## **11) Officers Comments**

The development of a state register will:

- Provide councils with important information to assist in the management of risks associated with dangerous dogs in the community
- Minimise the risks of owners moving dangerous dogs between local government areas to avoid management requirements prescribed by the Dog Control Act 2000

The initiative would improve dog management operations within Council and provide for the exchange of information about the dangerous dogs between councils.

**AUTHOR:** Martin Gill  
GENERAL MANAGER



**12) Recommendation (Cr Bob Richardson)**

*It is recommended that Council write to LGAT seeking assistance in the development of a state register for dangerous dogs*

**DECISION:**

## **GOV 2 NOTICE OF MOTION - ACCESSIBILITY OF COUNCIL MEETINGS – CR ANDREW CONNOR**

### **1) Introduction**

The purpose of this report is to consider a Notice of Motion from Cr Andrew Connor that Council make its meetings more accessible to the community through online streaming and recording of proceedings.

### **2) Background (Cr Andrew Connor)**

At its May 2013 meeting Council approved an amendment to its capital works program: "Item 1.1(e) Plant and Equipment for the Council Chambers include audio and visual equipment to facilitate internet broadcast of meetings".

This investment in its main meeting room has so-far seen microphones installed for all participants so that they are heard clearly by others on speakers in the Council Chambers and in the nearby Supper Room if needed as an overflow facility.

It was intended that streaming and recording of meetings would follow this technical upgrade but it did not eventuate because the original motion was not specific enough.

This motion seeks to implement live online streaming and recording of meetings to encourage community participation in meetings and raise awareness of council's decision-making processes.

Several Tasmanian councils already stream their meetings or make recordings available afterwards. In the past Meander Valley Council made audio recordings of its meetings but this ceased at some point.

For effective use of online streaming and recording it is necessary that the following technical standards are followed.

#### Technical standards

- Make a live video stream of Council meetings available online.
- Record audio & video of Council meetings and make these recordings available online soon after meetings.
- Make electronic content such as presentations and live agendas available as part of any video stream or recording.
- Make all content accessible on mobile devices.

- Make video and content available in the Supper Room when it is used as an overflow facility.
- Allow for live streaming and recording of committee meetings if approved by those committees.
- Connect the teleconference system to the audio system of the Council Chambers so that remote participants of meetings can clearly hear and be heard.
- Allow for other methods of remote participation such as Skype or similar online communications systems.

### **3) Strategic/Annual Plan Conformance**

Furtheres the objectives of the Community Strategic Plan 2014 to 2024 in particular:

- Future direction (5) – Innovative Leadership and community governance

### **4) Policy Implications**

Not applicable.

### **5) Statutory Requirements**

Not applicable.

### **6) Risk Management**

Recording of meetings would aid in the accurate recording of votes and discussion around council decisions.

### **7) Consultation with State Government and other Authorities**

Not applicable.

### **8) Community Consultation**

Not applicable.

## **9) Financial Impact**

In order for Council to implement the recommendation, it would need to invest in streaming and recording systems to enable integration with the existing audio system.

Staff and external suppliers resources would also be required, to research, implement, to test systems, support live events and curate recordings.

An allowance of \$30,000 is included in the recommendation to fund the investigation and initial stages of the project.

## **10) Alternative Options**

Council can elect not to support the motion or consider alternative proposals.

## **11) Comments (Cr Andrew Connor)**

Council holds its meetings in the daytime contrary to the default position of the Local Government (Meeting Procedures) Regulations Act. Meetings are held at Westbury which is distant from the main population centres of the municipality (Deloraine and Prospect Vale/Hadspen). The poor availability of public transport during the day between townships and many residents either working or at school during the day makes it difficult for them to attend council meetings if they wish to do so.

Online streaming and recording of meetings will allow them to observe meeting proceedings live or at a more convenient time.

Council should develop procedures and use guidelines to ensure efficient and meaningful operation of online streaming and recording of meetings. For example, all speakers at a meeting should use microphones so that they are properly heard.

Closed Council meetings would not be streamed or recorded.

This is something that modern councils simply need to do to be accessible to their communities and should be considered an integral part of holding Council Meetings.

**AUTHOR:** Andrew Connor  
COUNCILLOR

## **12) Recommendation (Cr Andrew Connor)**

*It is recommended that Council implement live online streaming and recording of Council meetings to improve accessibility through the following:*

- 1. Make a live video stream of Council meetings available online.*
- 2. Record audio or audio & video of Council meetings and make these recordings available online soon after meetings.*
- 3. Make electronic content such as presentations and live agendas available as part of any video stream or recording.*
- 4. Make all content accessible on mobile devices.*
- 5. Make video and content available in the Supper Room when it is used as an overflow facility.*
- 6. Allow for live streaming and recording of committee meetings if approved by those committees.*
- 7. Connect the teleconference system to the audio system of the Council Chambers so that remote participants of meetings can clearly hear and be heard.*
- 8. Allow for other methods of remote participation such as Skype or similar online communications systems.*

*and*

*Provide a capital budget of \$30,000 to fund the following works:*

- 1. Camera equipment for recording of Council meetings and installation costs at the Westbury Council Chambers.*
- 2. Projector, connectivity and installation of equipment to provide video and content available in the Westbury Supper Room.*
- 3. Device or software to provide ability for users to begin and end live streaming and recording of committee meetings.*
- 4. Investigate the ability of the Shoretel phone system to connect to the audio system in the Westbury Council Chambers.*

## **DECISION:**

## **GOV 3 BRACKNELL WASTEWATER MANAGEMENT**

### **1) Introduction**

The purpose of this report is for Council to fund a project to determine the cost estimate of a Bracknell sewerage scheme design for TasWater to consider.

### **2) Background**

In 2016 Council reviewed and revisited the wastewater management issues in Bracknell. Council engaged with TasWater to discuss a program for investigating design options.

In June 2016 Michael Brewster, Chief Executive Officer, TasWater wrote to Council advising that:

- TasWater was prepared to prioritise a sewerage system introduction project for Bracknell
- the project must be cost neutral for TasWater
- a consultant would need to be engaged to review options and associated costs

At the Council workshop in June 2016 the TasWater advice was considered and the General Manager was asked to write to TasWater to determine the cost to Council for a  $\pm 30\%$  cost estimate for the following options:

- stand-alone reticulation and treatment system
- reticulation and pumping to Carrick Wastewater Treatment Plant
- individual on-site system

TasWater has now responded. TasWater has advised that they expect a:

***'consultancy to develop a  $\pm 30\%$  cost estimate for a Bracknell sewerage scheme would be in the order of \$50,000 to \$100,000 range.'***

The estimate is based on undertaking the following activities:

- Development of a problem statement
- Review of previous studies

- Consideration of options available (including conceptual designs and cost estimates)
- Comparison and assessment of options (cost and non-cost factors)
- Reporting and Recommendations

If Council resolves to proceed with the project as described above, the next steps will be:

- Council officers work with TasWater to refine the scope of the project and improve the cost estimate for the project
- Program a new project and funds into the 2017 – 2018 operating budget for Council approval

The recommendation in this report was initially considered at the Ordinary Council meeting in March 2017. At that meeting also Council considered a procedural motion moved by Cr Synfield and seconded by Cr Connor ***“that Council resolves to defer this item for two months pending clarification and insight to find out what is happening with TasWater.”***

The procedural motion was carried.

It would be fair to say that the State Government has clarified what it wants to happen with TasWater, but the majority of the Local Government sector does not support the proposal.

There will be no immediate resolution of these differences. The State Government is preparing legislation which will provide the formal mechanism to take ownership. The Legislative Council has announced that it will undertake an enquiry if the legislation is passed in the lower house.

It is not clear how long the Legislative Council enquiry will take, but it is understood that the State Government would like the matter resolved prior to the next election.

### **3) Strategic/Annual Plan Conformance**

Further the objectives of the Community Strategic Plan 2014 to 2024 in particular:

- Future direction (1) - A sustainable natural and built environment
- Future direction (4) - A healthy and safe community

#### **4) Policy Implications**

Not applicable.

#### **5) Statutory Requirements**

Not applicable.

#### **6) Risk Management**

TasWater have indicated that cost range for  $\pm 30\%$  cost estimate should not be relied on for budget purposes.

#### **7) Consultation with State Government and other Authorities**

Council is consulting with TasWater.

#### **8) Community Consultation**

Not applicable.

#### **9) Financial Impact**

TasWater have indicated that the cost to develop a  $\pm 30\%$  cost estimate would be between \$50,000 and \$100,000.

#### **10) Alternative Options**

Council can elect to not proceed to develop a  $\pm 30\%$  cost estimate.

#### **11) Officers Comments**

In 2016 TasWater adopted a 20 year capital works program. The program did not include any projects to introduce new services. The resolution of the Bracknell wastewater management issues requires the introduction of new services.

The proposed 'partnership' approach to resolve the issues at Bracknell requires a financial contribution from Council to progress.

**AUTHOR:** Martin Gill  
GENERAL MANAGER



## 12) Recommendation

*It is recommended that Council resolves to:*

- 1. Work with TasWater to develop the scope for a  $\pm 30\%$  cost estimate for a Bracknell sewerage scheme*
- 2. Include an a new project in the 2017 – 2018 Operating budget of Council to fund the  $\pm 30\%$  cost estimate for a Bracknell sewerage scheme*

**DECISION:**

## **GOV 4      GENERAL MANAGER DELEGATIONS**

### **1) Introduction**

The purpose of this report is for Council to consider changes to the current delegations of the General Manager adopted by Council under the Local Government Act 1993.

### **2) Background**

Section 22 of the Local Government Act 1993 refers to Delegation by Council and what it can and cannot delegate. Section 22(4)(a) requires the General Manager to keep an up-to-date register of these delegations.

With the introduction of a new Building Act 2016 and amendments to other legislation in the past 12 months it is timely to review the current delegations to the General Manager.

### **3) Strategic/Annual Plan Conformance**

Further the objectives of the Community Strategic Plan 2014 to 2024 in particular:

- Future direction (5) – Innovative Leadership and community governance

Council's delegation register is reviewed annually.

### **4) Policy Implications**

Not applicable.

### **5) Statutory Requirements**

Section 22 of the Local Government Act 1993, allows the Council to delegate its functions and powers to the General Manager, or a person acting in that capacity.

### **6) Risk Management**

It is critical that Council has up to date, legal delegations in place.

## **7) Consultation with State Government and other Authorities**

Not applicable.

## **8) Community Consultation**

Not applicable.

## **9) Financial Impact**

Delegating certain powers and functions ensures that Council operates in an efficient and effective manner. Delegations mitigate the financial costs of Council by reducing the number of administrative matters that need to come to Council for decisions.

## **10) Alternative Options**

Council can elect to not delegate any functions and powers or amend the recommended delegations.

## **11) Officers Comments**

The Local Government Association of Tasmania (LGAT) undertakes an annual review of legislation and keeps a register of the functions and powers of councils and General Managers.

Meander Valley Council undertakes an annual review of delegations against the LGAT register to ensure that our delegations provide for an efficient operating environment, are up to date and remain legal.

The introduction of the new Building Act 2016 and changes to a number of regulations requires Council to update the current delegations.

There are two other proposed changes to the current delegations which can be summarised as:

- Update the tender amount the General Manager can accept, currently \$200,000, to align with the prescribed amount, which is \$250,000, as set out in the Local Government (General) Regulations 2015.
- Under Miscellaneous Powers and Functions – increase the rental cap where the General Manager can negotiate and approve leases from \$18,000 to \$20,000

**AUTHOR:** Martin Gill  
GENERAL MANAGER

## **12) Recommendation**

***It is recommended that Council, pursuant to the powers of the Local Government Act 1993, delegates the exercise and performance of the following functions and powers (as attached) to the General Manager or a person acting in that capacity on the following conditions:***

- i) Each delegation is subject to the conditions or restrictions, if any, referred to in the table to this delegation;***
- ii) Each delegation is subject to such policies, policy guidelines and directions as the Council may from time to time approve;***
- iii) The General Manager is authorised pursuant to Section 64 of the Local Government Act 1993 to further delegate such powers and functions to an employee of the Council.***

## **DECISION:**



**DELEGATION TO GENERAL MANAGER**  
 (Section 22 of the Local Government Act 1993)  
 Resolution of Council Numbered XXXX

Pursuant to the powers of the Local Government Act 1993 the Council hereby delegates the exercise and performance of the following functions and powers to the General Manager or a person acting in that capacity on the following conditions:

- I Each delegation is subject to the conditions or restrictions (if any) referred to in the table to this delegation.
- II Each delegation is subject to such policies, policy guidelines and directions as the Council may from time to time approve.
- III Each delegation is subject to Council’s By-laws or the provision of any Act.
- IV The General Manager is authorised pursuant to Section 64 of the Local Government Act 1993 to further delegate such powers and functions to an employee of the Council.

**TABLE OF POWERS AND FUNCTIONS DELEGATED**

**No. 1 Local Government Act 1993**

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22	All of Council's powers and functions under sections 74, 75, 77, 81, 175, 176, 185, 189, 193, 197, 200, 201, 205, 207, 209 and 252 of the Local Government Act 1993	
2	s. 22	All of Council's powers and functions under sections 76,77, 124, 126,127,128,133 and 135 of the Local Government Act 1993	Subject to the rates and charges policies and procedures. Not to be sub-delegated. See s.22.

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

3	s. 219	Submissions to Boards of Inquiry	In accordance with general directions of Council
4	s. 240	Institute proceedings in a court of law	
5	s. 333A	To call tenders for goods and services included in the Annual Plan and accept or refuse same.	Acceptance of tenders by the General Manager must only be for goods or services included in the Annual Plan up to the prescribed amount as set out in the Local Government (General) Regulations 2015 (\$250 000) and the tender is within five percent of the estimate and the lowest tender is to be accepted. Council's Code of Tendering must be complied with.

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

## No. 2 Local Government (Building and Miscellaneous Provisions) Act 1993

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22 Local Government Act 1993 (LGA)	All of council's powers and functions contained in the Local Government (Building and Miscellaneous Provisions) Act 1993.	Upon recommendation of relevant infrastructure or planning officers
2	s. 86	Security for payment	<p>Further to this power to accept a guarantee as a security for subdivision work from any organisation that meets the requirements of this section.</p> <p>To authorise the total or partial release of bonds, guarantees and security deposits, where the appropriate departmental manager has certified that the work or thing to which the bond, guarantee or deposit relates has been satisfied in whole or in part.</p> <p>To call on any bonds and guarantees for building estates and subdivisions to carryout uncompleted works as certified by Council's Engineer.</p>

## No. 3 Roads and Jetties Act 1935

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22 LGA	All powers and functions contained in the Roads and Jetties Act 1935	

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

## No. 4 Local Government (Highways) Act 1982

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s.124(1)	All powers and functions contained in the Local Government (Highways) Act 1982	Excludes sections 12(1), 15(3), 19(1)(c), 43, 46(2C), 61, 73, 80, 114(8), 124; and condition on s104(2) - must be in accordance with the annual schedule of fees and charges.  Decision made upon recommendation from Director Infrastructure
2	s. 19	Closure of Local Highways for public functions	Upon approval of Commissioner of Police

## No. 5 Public Health Act 1997

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22 LGA	All of council's powers and functions contained in the Public Health Act 1997	Except s.185(1)  Decision made upon recommendation of Environmental Health Officer

## No. 6 Food Act 2003

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22 LGA	All of council's powers and functions contained in the Food Act 2003.	Decision made upon recommendation of Environmental Health Officer



# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

## No. 7 Dog Control Act 2000

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 27	Erect and maintain signs sufficient to identify any exercise area, training area, prohibited area or restricted area	

## No. 8 Monetary Penalties Enforcement act 2005

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 18(1)	Refer an infringement notice served by it to the Director for enforcement	
2	s. 23	Withdraw an infringement notice served by Council	Advise the offender in writing and advise the Director MPES if the notice was referred to MPES
3	s. 28(1)	Receive application for variation of payment conditions	

## No. 9 Land Acquisition Act 1993

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	s. 54	Powers of entry and examination	
2	s. 55	Immediate entry	
3	s. 56	Power to occupy adjacent land	

## No. 10 Environmental Management and Pollution Control Act

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	s. 22 LGA	All of Council's powers and	Decision made upon

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

		functions under the Environmental Management and Pollution Control Act 1994	recommendation of Environmental Health Officer
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## No. 11 Archives Act 1983

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	s. 3(1)	Relevant Authority	Subject to compliance with provisions of the Archives Act 1983
2	s. 15	Approve or refuse access to restricted records	Subject to provisions of Archives Act and Freedom of Information Act 1991

## No. 12 Right to Information Act 2009

No	Statutory Ref	Function or Power	Conditions or Restrictions
1	s. 22 LGA	Functions and powers of Council as a public authority under the Right to Information Act 2009	

## No. 13 Strata Titles Act 1993

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	s. 19	Application for amendment (strata scheme)	Upon recommendation from the Planning Officer
2	s. 23	Application for consolidation (strata scheme)	Upon recommendation from the Planning Officer
3	s. 27	Application for cancellation (strata Scheme)	Upon recommendation from the Planning Officer
4	s. 31	Application for grant of certificate of approval (strata scheme)	Upon recommendation from the Planning Officer
5	s. 37	Approval of scheme in	Upon recommendation from

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

		principle (staged development scheme)	the Planning Officer
6	s. 42	Application for variation of scheme (staged development scheme)	Upon recommendation from the Planning Officer
7	s. 54	Approval of scheme (community development scheme)	Upon recommendation from the Planning Officer
8	s. 58	Application for variation of scheme (community development scheme)	Upon recommendation from the Planning Officer

## No. 14 Building Act 2016

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	s. 265(3) & (4)	<p>Perform works where there has been failure to comply with an emergency, building or plumbing order, including the power to:(a) enter on the land where the work is to be done with the appropriate equipment; and</p> <p>(b) exclude other persons from the place where the work is being done; and</p> <p>(c) if anything is to be altered, determine the form of the alteration so far as it was not previously specified; and</p> <p>(d) if anything is to be taken down, demolished or removed, determine in what condition the remainder is to be left; and</p>	Upon recommendation from the Permit Authority

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

		(e) carry away to some convenient place any materials removed; and  (f) sell any materials so carried away and deduct the proceeds from the cost of the work.	
2	s. 266	Take proceedings to obtain possession of a building or temporary structure if any occupier fails to allow any person to do work pursuant to s.265.	Upon recommendation from the Permit Authority

## No. 15 Building Regulations 2016

No	Statutory Ref	Functions or Power	Conditions or Restrictions
1	r. 43(1)	Provide written consent for works proposed pursuant to r.43(1)	Upon recommendation from the Plumbing Permit Authority
2	r. 43(3)	If not satisfied that a stormwater drainage system is sealed in accordance with the Act, enter the premises and perform any work necessary	Upon recommendation from the Plumbing Permit Authority
3	r. 43(5)(a)	Recover costs as a charge under the Local Government Act 1993	Upon recommendation from the Plumbing Permit Authority
4	r. 53	Assessment of land as having a reasonable probability of flooding	
5	r. 78(3)	Recover costs as a charge under the Local Government Act 1993	Upon recommendation from the Permit Authority

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

## No. 16 Miscellaneous Powers and Functions

No	Function or Power
1	To call for and accept quotations, tenders or auction the disposal of surplus or redundant plant, equipment of materials.
2	To approve the taking over by the Council of engineering works involved in the development of a subdivision subject to certification by the Council's Engineer that all the items, including maintenance, have been satisfactorily completed and "as constructed" drawings have been received.
3	To institute, defend, abandon, settle or compromise any proceedings before any tribunal for the recovery of debts due to the Council or for breaches of any By-laws or statutes affecting the Council, or to protect, recover or secure recompense for damage to or loss of any property of the Council.
4	To authorise and to institute proceedings for non-compliance with any order or notice lawfully made or given by or on behalf of the Council, and where such order or notice is not complied with, to authorise the carrying out of the necessary work where the Council has the power to do so.
5	To issue or publish or cause to be issued or published statements of fact relating to Council's activities or policies.
6	To seek legal advice and to complete affidavits on behalf of Council in accordance with Council policies.
7	To sign all contracts, leases and agreements on behalf of Council in accordance with Council policies.
8	To authorise the affixing of the Common Seal to any document, including final plans of survey complying with all relevant statutes.
9	To negotiate and approve leases of Council property where the annual rental is less than \$20 000 exclusive of GST.
10	<p>The authority to agree or object to the sale or lease by the Department of Primary Industry, Parks, Water and the Environment of Crown Land including the unmade portion of road reservations on the advice of Council's Director Infrastructure Services and Director Community &amp; Development Services and on condition that:</p> <ul style="list-style-type: none"><li>• The proposed sale or lease of a road reservation will not deny a fee simple frontage to a road to any land title.</li><li>• The portion of the road reservation being purchased is to be adhered to the adjoining title of the purchaser.</li><li>• Any land purchased that is a sub-minimum lot under Council's Planning Scheme is to be adhered to the adjoining title of the purchaser.</li></ul>

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

11	To control and supervise all contracts and to approve expenditure authorised thereunder in the relevant budget, including contingency provisions.
12	To approve the location of telephone cabinets, power sub-stations, bus shelters, seats, street furniture and other services installed or constructed by other public authorities or service organisations and to order the relocation or removal thereof in connection with approved works.
13	To authorise the carrying out by Council of private works for other parties.
14	To authorise the installation or any alteration to street lights in keeping with Council's budget estimates.
15	To authorise the joining in or the contribution by the Council, to the erection or repair of any fence between land of the Council and adjoining land in accordance with the Boundary Fences Act 1908 and in keeping with the Council budget estimates.
16	To determine the use of public roads for walk-a thons, charitable collections or other like events.
17	To authorise the closure of roads or parts thereof temporarily for repairs or construction.
18	To authorise the total or partial release of bonds, guarantees and security deposits where the relevant Manager has certified that the work or thing which the bond, guarantee or security deposit relates has been satisfied in whole or in part and to call on any bonds, guarantees or security deposits where the work secured has not been carried out in accordance with Council requirements.
19	To authorise the use of Council's plant and equipment in emergencies at the request of the State Emergency Services, Tasmania Police or the State Fire Authority.
20	To make payments and donations in keeping with Council policy.
21	To approve or disapprove, upon written application, requests to consume intoxicating liquor on Council reserves or premises.
22	To lend materials from Council stores stock in emergency circumstances as determined by the General Manager subject to the provision of a written acknowledgement of receipt of an undertaking to replace within a set time.
23	Subject to the provision of any Act to permit or refuse to permit the disposal of waste or rubbish at a Council tip, refuse disposal site or waste transfer station.
24	To approve conditionally or otherwise all temporary signs and hoardings.
25	Authority to appoint "Authorised Officers" or "Council Officers" where such are required to be appointed under the Local Government Act 1993 or any other Act and to issue "Certificates of Authority" to those officers where required.

# DELEGATION TO GENERAL MANAGER

(Section 22 of the Local Government Act 1993)

Resolution of Council Numbered XXXX

.....  
COUNCILLOR CRAIG PERKINS

MAYOR

For and on behalf of the Meander Valley Council

The Common Seal of the Meander Valley Council was hereunto  
affixed this XXXX, 2017 pursuant to a resolution of Council  
passed on the XXXX 2017 in the presence of us:

.....  
CRAIG PERKINS

MAYOR

.....  
MARTIN GILL

GENERAL MANAGER

# **CORP 1 REQUEST FOR REMISSION OF THE 2016-17 RATES AND CHARGES ON 152 AND 154 BLACKSTONE ROAD, BLACKSTONE HEIGHTS**

## **1) Introduction**

The purpose of this report is for Council to consider a request from the owner of 152 and 154 Blackstone Road, Blackstone Heights for a remission of the 2016-17 rates and charges levied on these two properties that are affected by landslip at Blackstone Heights.

## **2) Background**

In July 2014 a landslip event occurred at the front of the properties at 152 and 154 Blackstone Road, Blackstone Heights. As a result of this event Council commissioned an assessment of the sites and the potential risk to the residents of the affected properties.

The assessment concluded that there was risk of further landslip activity and recommended the evacuation of residents of 152 and 154 Blackstone Road and ongoing monitoring of landslip activity. The residents were issued a notice to vacate on 12 August 2014. The notice is still in force and the properties remain unoccupied.

When considering the ongoing management of the landslip at the affected properties at its November 2014 meeting, Council decided to provide a pro-rata rate remission from the date of the notice to vacate for the General Rate (subject to applying the Minimum Amount of \$135) and the Waste Management service charge for 2014-15. Council considered a request from the property owner again at the June 2016 meeting and decided to provide a rate remission (subject to applying the Minimum Amount of \$135) and the Waste Management service charge for 2015-16. The State Government Fire Levy was not remitted on either occasion as Council is required to pay this amount to the State Fire Commission.

The owner of 152 and 154 Blackstone Road has again written to Council requesting rate remissions on the properties for the 2016-17 financial year (refer to the attached letter).



### 3) Strategic/Annual Plan Conformance

Not applicable.

### 4) Policy Implications

Not applicable.

### 5) Statutory Requirements

Rate remissions may be granted by Council in accordance with Section 129 of the Local Government Act 1993.

### 6) Risk Management

Not applicable.

### 7) Consultation with State Government and other Authorities

Not applicable.

### 8) Community Consultation

Not applicable.

### 9) Financial Impact

The proposed rate remissions, if granted, will reduce Council revenue. The 2016-17 rates and charges for the properties are as follows:

<b>Property</b>	<b>General Rates</b>	<b>Fire Levy</b>	<b>Waste Charges</b>	<b>Total Revenue</b>
1/152 Blackstone Rd	724.78	169.30	46.00	940.08
2/152 Blackstone Rd	724.78	169.30	46.00	940.08
154 Blackstone Rd	1,045.35	244.19	46.00	1,335.54
<b>Total</b>	<b>2,494.91</b>	<b>582.79</b>	<b>138.00</b>	<b>3,215.70</b>

### 10) Alternative Options

Council can provide a partial or no rate remission for the General Rate and Waste Management charge.

## 11) Officers Comments

Section 129 of the Local Government Act 1993 allows Council, by absolute majority, to grant a remission of any rates payable by a landowner. Until the engineering issues are resolved and the structural integrity of the dwellings restored, the properties need to remain unoccupied. In this instance it is recommended that Council grants a remission of the General Rate (subject to applying the Minimum Amount of \$135) and the Waste Management service charge for 152 and 154 Blackstone Road which totals \$2,227.91. Council sets a minimum amount payable in respect of the General Rate to ensure that all rateable properties make a base contribution to the cost of administering Council's activities and maintaining the services and physical infrastructure that supports each property. A remission of the Fire Levy is not recommended as Council is required to pay this amount to the State Fire Commission.

**AUTHOR:** Jonathan Harmey  
DIRECTOR CORPORATE SERVICES

## 12) Recommendation

***It is recommended that Council grants a rate remission for the General Rate (subject to applying the Minimum Amount of \$135) and Waste Management charge for 2016-17 under Section 129 of the Local Government Act 1993 to the following properties:***

- ***Unit 1/152 Blackstone Road, Blackstone Heights***
- ***Unit 2/152 Blackstone Road, Blackstone Heights***
- ***154 Blackstone Road, Blackstone Heights***

## **DECISION:**

## **CORP 2 ANNUAL REVIEW OF FEES AND CHARGES 2017-18**

### **1) Introduction**

The purpose of this report is for Council to review and adopt the fees and charges for the 2017-18 financial year.

### **2) Background**

Attached is the schedule of recommended fees and charges for the 2017-18 financial year along with comparative current fees and charges for 2016-17.

Each category has been reviewed by the relevant department director and amended as deemed appropriate. GST inclusive fees have been indicated with an asterisk. The annual review of Health Fees, Dog Registration and Licence Fees were undertaken at the May Council meeting and increased in line with the Council Cost Index (CCI) to the nearest 50c.

### **3) Strategic/Annual Plan Conformance**

The Annual Plan requires that the fees and charges be taken to the June Council meeting.

### **4) Policy Implications**

Not applicable.

### **5) Statutory Requirements**

Fees and charges are set in accordance with Sections 73, 205 and 206 of the Local Government Act (LGA) 1993 and the requirements of the Building Act 2016.

### **6) Risk Management**

Not applicable.

### **7) Consultation with State Government and other Authorities**

Not applicable.

## 8) Community Consultation

Not applicable.

## 9) Financial Impact

The annual review of fees and charges is aimed at ensuring Council's income from fees and charges keeps pace with cost increases and maintains the relative percentage of total income from fees and charges from one year to the next. Where appropriate the fees and charges are reflective of the cost to provide the service.

The budget report highlights a similar level of fees and charges for 2017-18 with the budget being 5.8% of revenue (adjusted for subdivision works taken over, capital grants and prepaid financial assistance grants). The fees and charges percentage has been relatively consistent around 6% of adjusted revenue. The fees and charges percentage of adjusted budgeted revenue for the previous five years are as follows:

	2017-18	2016-17	2015-16	2014-15	2013-14
<b>% of Adj. Revenue</b>	5.8%	5.9%	6.1%	6.2%	6.2%
<b>Fees &amp; Charges</b>	\$1,126,500	\$1,101,700	\$1,119,300	\$1,106,900	\$1,051,800
<b>Adj. Revenue</b>	\$19,549,400	\$18,664,500	\$18,310,700	\$17,818,100	\$16,994,700

## 10) Alternative Options

Council can amend the recommended fees and charges or retain the current fees and charges.

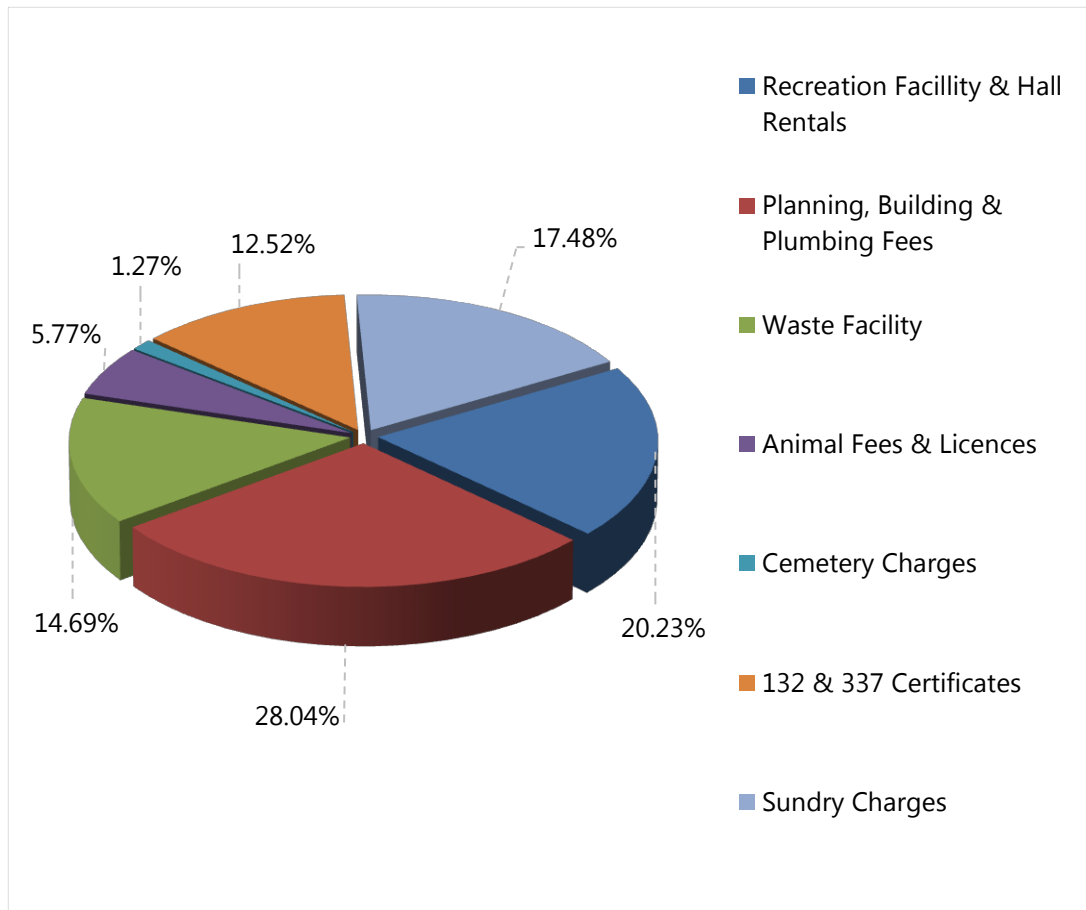
## 11) Officers Comments

The annual fees and charges are set in conjunction with the annual budget process. It includes setting the price for Council activities including engineering, tips, cemeteries, planning, building and plumbing. Setting fees and charges that meet the true cost of the service is difficult and is unattainable for community services such as public halls and recreation facilities. The 'true cost' is taken as being the cost, less the cost of any community service obligations. Putting an objective value on community service obligations is particularly difficult.

Council staff have reviewed the fees and charges with reference to the CCI. The CCI has principally been applied where the activities involved have not changed significantly and management estimate the fees and charges will generate the budgeted income. The recommended fees and charges have been prepared on the general basis that the value shall be maintained year on year.

The current economic climate is experiencing low levels of inflation with the annual CCI being 1.5% (2016 calendar year). As a reference the annual Hobart Consumer Price Index (CPI) for the same period was 1.3%. The CCI is provided by LGAT and represents an estimate of the cost increases Tasmania Council's experience in completing activities from one year to the next. It is produced with reference to the road and bridge construction index, Hobart CPI and the Public Sector Wages Price Index.

The recommendation provides for the majority of the fees and charges revenue, there are however some categories that are set independently. Fees for producing rates 132 and property 337 certificates (\$150,000 in 2016) are set by the State Government. Some recreation facility revenue is issued under Council's Recreation Facilities Pricing policy (\$141,100 in 2016) and the annual heavy vehicle licence fees distribution from the State Government (\$61,000 in 2016) is also included in the fees and charges budget. The fees and charges revenue for 2016-17 to date are identified in the following areas:



## **Community & Development Services Department**

The Community and Development Services fees and charges have been generally reviewed in line with the CCI and with consideration of affordability.

Planning/Development, Permit Authority and Plumbing fees have remained stable, increased in line with CCI or increased in excess of CCI based on benchmarking with neighbouring West Tamar and Northern Midlands Councils. Some fees associated with forestry, building and plumbing are no longer specifically required due to changes in legislation and will be considered within the general Planning/Development Permit fees, for example Forest Practices Plan and section 43A – House in Rural Zone.

The fees for 2016-17 included new categories in anticipation of the new Building Act. These have now been adjusted or removed to reflect the known requirements of the Building Act that came into effect January 2017, for example the Notifiable Works – Building category has been amended and simplified to reflect that 'low risk' work does not require a permit. Similarly, Special Plumbing permits no longer exist under the new legislation. This work is now categorised as 'Category 4 High Risk' and will be assessed within Plumbing Permit fees. The new legislation changed and increased the forms and administration associated with Plumbing works. This is reflected as new fees within 'Other fees and charges'.

It is recommended to implement a new fee and service to assist customers in determining category of building works by reviewing plans. This is the building equivalent of the planning compliance fee which is already in place.

The Plumbing fee for Class 10 outbuilding with fixtures has increased to reflect the work associated with this category of work, which is the same whether it is in an outbuilding or in a dwelling. It is now consistent with the fee for Class 1 Residential up to 3 fixtures.

Council's Recreation Facilities Pricing policy sets expectations for the majority of recreation facility user charges. Recommended charges for the use of the Deloraine Community Complex, Meander Valley Performing Arts Centre, Westbury Community Centre and Hadspen Recreation Ground Memorial Centre are contained in Attachment 1 and are generally increased in line with CCI. Charges for juniors have been decreased to be 50% of the equivalent seniors rate, which is consistent with charges for outdoor venue users. Charges for the use of other sport and recreation grounds are being

reviewed in line with the review of the Recreation Pricing Policy and will be brought to Council at a future meeting.

### **Infrastructure Department**

Engineering fees for checking plans and inspecting works are calculated as a percentage of the value of total public work. The percentage of the fee and minimum charge are unchanged. The minimum fee was increased in 2016-17.

Tip fees have been reviewed and recommended to increase marginally in line with CCI, rounded up to the nearest \$1. There was no increase to fees in 2016-17. A new fee is recommended for bags up to 60 litres. The fridge disposal fee is increased due to the degassing operator increasing their fees. The regional waste levy associated with tip fees remains unchanged for 2017-18 with this component of the fee not retained by Council.

The Deloraine swimming pool fees were reviewed in consultation with the 2016-17 season provider with no increases to fees recommended. The fees are considered appropriate with reference to other facilities the provider manages.

### **Corporate Services Department**

Cemetery fees have been increased in line with CCI. Fees are consistent at the Deloraine, Bracknell and Mole Creek cemeteries. Achieving a comparative fee with adjoining Councils is difficult as each cemetery varies in the level of service provided. Council will continue to outsource grave digging with this service charged by an external provider on top on the Council fees and charges.

The Westbury Town Hall and Supper Room charges have also been increased with reference to the CCI. Other values are recommended to increase minimally or remain unchanged; the majority of these fees were increased in 2016-17. The fee for rates searches is rarely used; the recommended hourly charge of \$50 is the approximate cost of providing the service with the minimum charge of four hours accommodating most searches undertaken.

**AUTHOR:** Justin Marshall  
SENIOR ACCOUNTANT



## **12) Recommendation**

*It is recommended that Council adopt the proposed fees and charges for the 2017-18 financial year, as follows.*

### **DECISION:**



## MEANDER VALLEY COUNCIL

Fees & Charges: 2017-2018

### FEES AND CHARGES REVISION JUNE 2017

<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
<b>Planning/Development Permit Fees</b>			
Compliance Assessment – Residential Development	\$80	\$80	No increase
Developments less than \$5,000 (Permitted Status)	\$117	\$150	Benchmarking - WTC \$170 NMC \$125
Historic Cultural Heritage Act	\$117	N/A	No longer required
Outbuildings (Permitted Status)	\$280	\$285	Increase \$5 in line with CCI
House (Discretionary Application)	\$463	\$490	Benchmarking - WTC \$670 NMC \$490
House (Permitted Status)	\$280	\$285	Increase \$5 in line with CCI
Discretionary Development	0.30% of development cost. Minimum charge \$463. Maximum charge \$5,000. Plus advertising fee at cost for level 2 activities.	0.30% of development cost. Minimum charge \$490. Maximum charge \$5,000. Plus advertising fee at cost for level 2 activities.	Benchmarking - WTC \$670 NMC \$490
Development (Permitted Status)	0.30% of development cost. Minimum charge \$280. Maximum charge \$5,000.	0.30% of development cost. Minimum charge \$285. Maximum charge \$5,000.	Minimum charge increase \$5 in line with CCI
Retrospective Planning Application	Double Planning Fee	Double Planning Fee	No change
<b>Subdivision Applications</b>			
Application for Subdivision	\$535 + \$55 per lot	\$540 + \$65 per lot	Benchmarking - WTC \$440 + \$110/lot NMC \$491 + \$240/lot
Application for sealing of Final Plan of Subdivision	\$280	\$290	Increase \$10 in line with CCI



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
Application to amend sealed plan	\$280	\$300	Benchmarking - WTC \$695 NMC \$240 + Ad
Application for modification, or release of Adhesion Order	\$380	\$385	Increase \$5 in line with CCI
<b>Stratum Subdivision</b>			
Application for sealing of final plan	\$380	\$385	Increase \$5 in line with CCI
<b>Forest Practices Plans</b>			
Approval of Forest Practices Plan	\$340	N/A	No longer required
Harvesting of Plantation Forestry Less than 1ha	\$180	N/A	No longer required
<b>Other</b>			
Application for amendment to planning permit: 1-10 adjoining owner notices Greater than 10 adjoining owner notices	\$280 \$280 + \$5 per additional notice	\$285 \$285 + \$5 per additional notice	Increase \$5 in line with CCI
Part 5 Agreements – Processing & Sealing	\$140	\$140	No increase
Copy of Planning scheme Ordinance	\$40	\$60	Benchmarking - WTC \$200
Copy of Planning Scheme Maps (Large Scale)	\$22 per Map	\$25 per Map	Increase \$3 in line with CCI
Determining extension of time requests	\$96	\$100	Increase \$4 in line with CCI
Adjoining property permits advice – not on 337 certificate	\$28	\$28	No increase
<b>Amendments to Planning Scheme (not including fee payable to TPC)</b>			
Text or Map Alteration	0.30% of development cost. Minimum charge \$340. Maximum charge \$5,000. Plus advertising fee \$1,000.	0.30% of development cost. Minimum charge \$350. Maximum charge \$5,000. Plus advertising fee \$1,015.	Minimum charge increase \$10, advertising fee increase \$15 in line with CCI.
Section 43A – House in Rural Zone	\$900	N/A	No longer required
<b>Health Fees</b>			
Fees and Charges approved at the May 2017 Council meeting			
<b>Dog Registration and Licence Fees</b>			
Fees and Charges approved at the May 2017 Council meeting			



## Engineering (Subdivisions)

Plan checking and final inspections for privately supervised works (only applies to works that have been certified by a qualified engineer approved by the Director Infrastructure Services)	1.5% of value of public works Minimum fee \$410*	No increase
Inspection of failed works	\$127.50* per hour of contracted inspections or re-inspections of works that failed a previous inspection.	No increase

*N.B. Public works are defined as any works that council is obliged to maintain for the community and include roads, footpaths, drainage (both underground and surface), landscaping, parks and public buildings.*

<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
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## Tip Fees

Includes domestic vehicles, domestic vehicles taking trailers, and small trucks that are less than 3.0 tonne Gross Vehicle Mass/Gross Combination Mass (GVM/GCM) only, disposing of household garbage, concrete/rubble, clean fill, green waste, wood, metal, plastics, etc. Does not include any vehicles transporting controlled waste. All vehicles greater than 3.0 tonnes GVM/GSM are charged per m<sup>3</sup> rate.

<b>Waste Cars &amp; Trailers</b> Car / Wagon (includes \$0.32 regional waste levy)	\$8.50*	\$9*	Increase \$0.50 in line with CCI
Ute & Single Axle Trailer (up to 1m <sup>3</sup> ) covered (includes \$1.60 regional waste levy that is exempt from GST)	\$15*	\$16*	Increase \$1 in line with CCI
Ute & Single Axle Trailer (up to 1m <sup>3</sup> ) uncovered (includes \$1.60 regional waste levy that is exempt from GST)	\$21*	\$22*	Increase \$1 in line with CCI
Tandem Axle Trailer & Small Truck (up to 3.0 T GVM) covered (includes \$3.20 regional waste levy that is exempt from GST)	\$25*	\$26*	Increase \$1 in line with CCI
Tandem Axle Trailer & Small Truck (up to 3.0 T GVM) uncovered (includes \$3.20 regional waste levy that is exempt from GST)	\$33*	\$34*	Increase \$1 in line with CCI
<b>Domestic and Trade Waste</b> Loose per m <sup>3</sup> (includes \$2.50 per m <sup>3</sup> regional waste levy that is exempt from GST) Compacted per m <sup>3</sup>	\$36* By Appointment Only	\$37*	Increase \$1 in line with CCI, removal of requirement for appointment
Bags up to 60 litres	New fee	\$2 each	New fee



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
<b>Motor Vehicle &amp; Other</b>			
Car Tyres and Light Truck Tyres – each	\$12.50*	\$13*	Increase \$0.50 in line with CCI
Truck Tyres – each	\$37.50*	\$38*	
Motor Vehicle Bodies – each	\$105*	\$20*	Reduced \$85
<b>Recyclables</b>			
Waste oil 20 litre containers	\$1*	\$1*	No increase
Separated and sorted recyclables	Free of charge	Free of charge	No change
Comingled recyclables	Per Waste Fees	Per Waste Fees	No change
Clean green waste (no rubbish, plastic, contamination)	Half Price*	Half Price*	No change
Timber – salvageable	Half Price*	Half Price*	No change
Timber – scrap, stumps, logs >150mm	Full Price*	Full Price*	No change
Drum Muster (must be triple washed)	Free of charge	Free of charge	No change
Clean fill (<150mm rocks, no contamination or concrete)	Free of charge	Free of charge	No change
Light scrap steel and non-ferrous metal	Free of charge	Free of charge	No change
e-waste – televisions, computers, screens & keyboards	Free of charge	Free of charge	No change
Batteries	Free of charge	Free of charge	No change
Items suitable for tip shop	Free of charge	Free of charge	No change
Mattresses (per Item)	\$5*	\$5*	No increase
Refrigerators and Freezers (per Item)	\$5*	\$6*	Degassing operator increasing fees
<b>Cemetery Fees</b>			
<b>Lawn Cemeteries</b>			
<b>Public Graves</b>			
Single depth burial	\$555*	\$565*	Increase \$10 in line with CCI
Double depth burial	\$555*	\$565*	Increase \$10 in line with CCI
<b>Reservation of Land</b>			
Reserve land 2.5m x 1.25m	\$473*	\$480*	Increase \$7 in line with CCI
<b>Private Graves</b>			
Single depth burial in reservation	\$124*	\$125*	Increase \$1 in line with CCI
Double depth burial in reservation	\$124*	\$125*	Increase \$1 in line with CCI
Second interment in double depth grave	\$84*	\$85*	Increase \$1 in line with CCI



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
<b>General Cemeteries – Deloraine, Mole Creek and Bracknell</b>			
<b>Public Graves (Mole Creek and Bracknell Cemeteries only)</b>			
Single depth burial	\$297*	\$300*	Increase \$3 in line with CCI
Double depth burial	\$297*	\$300*	Increase \$3 in line with CCI
<b>Reservation of Land (Mole Creek and Bracknell Cemeteries only)</b>			
Reserve land 2.5m x 1.25m	\$255*	\$260*	Increase \$5 in line with CCI
<b>Private Graves</b>			
Single depth burial in reservation	\$84*	\$85*	Increase \$1 in line with CCI
Double depth burial in reservation	\$84*	\$85*	Increase \$1 in line with CCI
Second interment in double depth grave	\$84*	\$85*	Increase \$1 in line with CCI
<b>Wall of Memory – Mole Creek &amp; Bracknell</b>			
Reservation of niche	\$129*	\$130*	Increase \$1 in line with CCI
Interment of ashes in niche	\$255*	\$260*	Increase \$5 in line with CCI
Interment in reserved niche	\$170*	\$173*	Increase \$3 in line with CCI
<b>Wall of Memory – Deloraine</b>			
Reservation of niche	\$170*	\$173*	Increase \$3 in line with CCI
Interment of ashes in niche	\$297*	\$300*	Increase \$3 in line with CCI
Interment in reserved niche	\$170*	\$173*	Increase \$3 in line with CCI
<b>Miscellaneous</b>			
Applications for graves made outside normal Council office hours – additional fee	\$216*	\$220*	Increase \$4 in line with CCI
Graves for children under 18 years of age	Nil	Nil	No change
Interment of ashes in existing grave (if arranged by Council)	\$170*	\$173*	Increase \$3 in line with CCI
Exhumation	\$681*	\$690*	Increase \$9 in line with CCI
Fee for inspecting registers	\$10*	\$10*	No increase
<b>Deloraine Swimming Pool Fees</b>			
Child	\$2*	\$2*	No increase
Adult	\$3*	\$3*	No increase
Spectator	\$1*	\$1*	No increase



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
Season Child	\$51*	\$51*	No increase
Season Adult	\$61*	\$61*	No increase
Season Family	\$164*	\$164*	No increase
<b>Hall Rentals</b>			
<b>Westbury Town Hall and Supper Room</b>			
Social functions – including balls, dances, discos, weddings, dinners, parties (maximum 10 hours use)	\$150*	\$152*	Increase \$2 in line with CCI
<b>Regular Local Community User (Supper Room only)</b>			
Dinner/luncheon meetings, group meetings (maximum 3 hours use)	\$45*	\$46*	Increase \$1 in line with CCI
<b>All Other Uses</b>			
Full facility (per hour or part thereof)	\$30*	\$30*	No increase
Main hall only (per hour or part thereof)	\$12*	\$12*	No increase
Supper room only (per hour or part thereof)	\$24*	\$25*	Increase \$1 in line with CCI
Preparation for any function on night preceding	\$20*	\$20*	No increase
Friends of the Town Hall fundraising functions	No Charge	No Charge	No change
<b>Bond (social functions only)</b>			
If liquor provided at function	\$375	\$375	No increase
If liquor not provided at function	\$125	\$125	No increase
<b>Rates Search</b>			
Per hour (or part thereof) for the time taken in search (subject to minimum fee of \$200 per property)	\$50*	\$50*	Increased \$4 in 2016, rarely used
<b>Clearing of Fire Hazards</b>			
Arranging clearing of fire hazard at the request of a landowner or occupier – in addition to contractor's costs	\$82*	\$84*	Increase \$2 in line with CCI



## Recreation Facilities & Reserves

Hire charges for regular user groups are determined under the Recreation Facilities Pricing Policy. Recommended fees for the Deloraine Community Complex, Meander Valley Performing Arts Centre, Westbury Community Centre and Hadspen Recreation Ground Memorial Centre are provided in Attachment 1.

<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
<b>Permit Authority (PA)</b>			
<b>Notifiable Works – Building</b>			
Notifiable building	\$240	\$245	Increase \$5 in line with CCI
Class 1 – Unit Developments	\$300	N/A	No longer required
Class 10	\$122	N/A	No longer required
Class 2-9 Commercial < \$500,000	\$300	N/A	No longer required
Class 2-9 Commercial > \$500,000	\$600	N/A	No longer required
Demolition	\$122	\$124	Increase \$2 in line with CCI
<b>Building Permit</b>			
Class 1 Residential New/Alterations/Additions < \$4,000	\$122	N/A	No longer required
Class 1 Residential New/Alterations/Additions \$4,000 to \$10,000	\$204	N/A	No longer required
Class 1 Residential New/Alterations/Additions > \$10,000	\$306	\$310	Increase \$4 in line with CCI
Multi-Unit Class 1	\$306	\$310	Increase \$4 in line with CCI
Class 10 Outbuilding	\$204	\$207	Increase \$3 in line with CCI
Class 2 – 9 Commercial < \$200,000	\$306	\$310	Increase \$4 in line with CCI
Class 2 – 9 Commercial \$200,000 to \$500,000	\$611	\$620	Increase \$9 in line with CCI
Class 2 – 9 Commercial \$500,001 to \$1,000,000	\$917	\$930	Increase \$13 in line with CCI
Class 2 – 9 Commercial > \$1,000,000	\$1,530	\$1,550	Increase \$20 in line with CCI
Demolition Only	\$122	\$124	Increase \$2 in line with CCI
Permit of Substantial Compliance	Double PA Fees	Double PA Fees	No change
Certificates of Completion	PA Fees	PA Fees	No change
Staged Development	PA + \$153 per stage	PA + \$155 per stage	Increase \$2 in line with CCI
Amended Permit Class 1 Residential	\$153	\$155	Increase \$2 in line with CCI





<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
Amended Permit Class 10 Outbuilding	\$122	\$124	Increase \$2 in line with CCI
Amended Permit Class 2 – 9 Commercial	\$204	\$210	Increase \$6 in line with CCI
<b>Plumbing Permit</b>			
<b>Notifiable Works - Plumbing</b>			
Class 1 Residential no fixtures	\$163	\$180	Includes up to 3 Inspections. Additional inspections \$100 Inc. of GST
Class 1 Residential up to 3 fixtures New/Alterations/Additions	\$375	\$400	Includes up to 3 Inspections. Additional inspections \$100 Inc. of GST
Class 1 Residential up to 6 fixtures New/Alterations/Additions	\$510	\$520	Includes up to 3 Inspections. Additional inspections \$100 Inc. of GST
Class 1 Residential up to 9 fixtures New/Alterations/Additions	\$611	\$620	Includes up to 5 Inspections. Additional inspections at \$100 Inc. of GST
Class 1 Residential – Multiple Units	\$510 + \$326 for each additional unit	\$520 + \$340 for each additional unit	Increase \$10 and \$14 in line with CCI
Class 10 Outbuilding no fixtures	\$163	\$180	Increase \$17 in line with CCI
Class 10 Outbuilding with Fixtures	\$275	\$400	Consistent with Class 1 Residential
Class 2-9 Commercial < \$200,000	\$510	\$520	Increase \$10 in line with CCI
Class 2-9 Commercial \$200,000 to \$500,000	\$1,020	\$1,035	Increase \$15 in line with CCI
Class 2-9 Commercial \$500,001 to \$1,000,000	\$1,222	\$1,240	Increase \$18 in line with CCI
Class 2-9 Commercial > \$1,000,000	Price on Application	Price on Application	No change
Amended Certificate of Likely Compliance	N/A	\$200	New Fee
Demolition Only	\$153	\$155	Increase \$2 in line with CCI
Additional Inspections	\$100	\$100	No increase



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
<b>Plumbing Permit</b>			
Special Plumbing Permit – On-site Waste Water	\$245	N/A	Now Category 4 fee
Demolition Only	\$153	\$155	Increase \$2 in line with CCI
Category 4	N/A	\$260	Formerly Special plumbing permit
Amended Permit	\$153	\$155	Increase \$2 in line with CCI
Additional Inspections	\$100	\$100	No increase. Includes 1 Inspection. Additional inspections \$100 Inc. of GST
<b>Building Surveying</b>			
<b>Building Work Category</b>			
Amendment to Certificate of Likely Compliance Class 1 Residential New/Alterations/Additions	\$250*	\$255*	Increase \$5 in line with CCI
Amendment to Certificate of Likely Compliance Class 10 Outbuilding	\$163*	\$165*	Increase \$2 in line with CCI
Amendment to Certificate of Likely Compliance Class 2-9 Commercial	\$306*	\$310*	Increase \$4 in line with CCI
Additional Inspections	\$100*	\$100*	Includes 1 Inspection
<b>State Government Levies</b>			
<b>Construction Industry Training Fund Levy.</b> (Applies to All work over the value of \$12,000)	0.2% of the total estimated cost of construction		
<b>Building Levy.</b> (Applies to All work over the value of \$12,000)	0.1% of the total estimated cost of construction		
<b>Other Fees and Charges</b>			
Permit Extension – Current Permit	\$100	\$100	No increase
Permit Extension – Expired Permit	\$306	\$310	Increase \$4 in line with CCI



<b>FACILITY/SERVICE</b>	<b>CURRENT FEES/CHARGES (* GST inclusive)</b>	<b>PROPOSED FEES/CHARGES (* GST inclusive)</b>	<b>COMMENTS</b>
Plumbing Permit Extension	N/A	\$100	New Fee
Re-Open Closed File	\$185	\$185	No increase
Review Plans to Determine Category of Building Work	N/A	\$80	New Fee
Records Search Fee (Copy of Plans)	\$60*	\$80*	Increase \$20
Paper Copy of Certified Documents	\$30*	\$30*	No increase
<del>Receipt of Minor Works Notification</del>	\$55	N/A	No longer available under legislation
Receipt of Form 71B - Standard of Work Certificate - Plumbing Work	N/A	\$55	New Fee
Receipt of Form 80 - Notice of Low Risk Work	N/A	\$55	New Fee
<del>Temporary Occupancy Permit (Residential)</del>	\$153	N/A	No longer provided
<del>Temporary Occupancy Permit (Events)</del>	\$120 per hour	N/A	No longer provided
Building Certificate	\$230	\$235	Increase \$5 in line with CCI
Occupancy Permits (Essential Services) Form 46 & 56	\$230	\$230	No increase
Form 49 – EHO Report	\$200	\$205	Increase \$5 in line with CCI
Form 50 – EHO Occupancy Report	\$145	\$150	Increase \$5 in line with CCI

ATTACHMENT 1

RECOMMENDED NEW HIRE RATES - FROM 1 JULY 2017

DELORAINIE COMMUNITY COMPLEX, MEANDER VALLEY PERFORMING ARTS CENTRE,  
WESTBURY SPORTS CENTRE & HADSPEN RECREATION GROUND MEMORIAL CENTRE

	2016-17 FEES/CHARGES GST Inclusive		2017-18 FEES/CHARGES GST Inclusive		
<b>DELORAINIE COMMUNITY COMPLEX AND MEANDER VALLEY PERFORMING ARTS CENTRE</b>					
<b>Stadiums (per basketball court)</b>					
Seniors	: Roster	\$29.00	Per Hour	\$30.00	Per Hour
	: Training	\$19.00	Per Hour	\$20.00	Per Hour
	: Non-regular users	\$27.00	Per Hour	\$28.00	Per Hour
Juniors	: Roster	\$20.00	Per Hour	\$15.00	Per Hour
	: Training	\$14.00	Per Hour	\$10.00	Per Hour
	: Non-regular users	\$19.00	Per Hour	\$14.00	Per Hour
Schools		\$14.00	Per Hour	\$10.00	Per Hour
<b>Venue Day Rates (all facilities, 24 hours)</b>					
Deloraine Community Complex		\$550.00	Per Day	\$560.00	Per Day
MV Performing Arts Centre		\$330.00	Per Day	\$335.00	Per Day
Westbury Sports Stadium		\$220.00	Per Day	\$225.00	Per Day
<b>Meeting Room</b>		\$12.00	Per Hour	\$12.00	Per Hour
<b>Auditorium</b>					
Conferences (morning, afternoon, evening)		\$185.00	Per Use	\$190.00	Per Use
Conferences (hourly rate)		\$50.00	Per Hour	\$50.00	Per Hour
Cabarets, weddings, dinners.		\$255.00	Per Use	\$260.00	Per Use
Funeral Services		\$130.00	Per Use	\$130.00	Per Use
Shows, films	: Amateur	\$170.00	Per Use	\$175.00	Per Use
	: Professional	\$335.00	Per Use	\$340.00	Per Use
<b>Kitchen</b>					
Used in conjunction with Auditorium					
Deloraine Community Complex		\$90.00	Per Use	\$90.00	Per Use
MV Performing Arts Centre		\$40.00	Per Use	\$40.00	Per Use
<b>Kitchen and wooden floor only</b>		\$120.00	Per Use	\$120.00	Per Use
<b>Squash Courts</b>		\$10.00	Per Hour	\$10.00	Per Hour
<b>Little Theatre</b>	Practice	\$30.00	Per Use	\$30.00	Per Use
	Local	\$85.00	Per Use	\$85.00	Per Use
	Travelling	\$130.00	Per Use	\$130.00	Per Use
<b>WESTBURY SPORTS CENTRE</b>					
Seniors	roster	\$29.00	Per Hour	\$30.00	Per Hour
	training	\$19.00	Per Hour	\$20.00	Per Hour
	non-regular users	\$27.00	Per Hour	\$28.00	Per Hour
Juniors	roster	\$20.00	Per Hour	\$15.00	Per Hour
	training	\$14.00	Per Hour	\$10.00	Per Hour
	non-regular users	\$19.00	Per Hour	\$14.00	Per Hour
<b>HADSPEN RECREATION GROUND MEMORIAL CENTRE</b>					
Non-regular users		\$12.00	Per Hour	\$12.00	Per Hour
Evening functions (from 6pm)		\$80.00	Per Use	\$80.00	Per Use

# **CORP 3 2017-2018 BUDGET ESTIMATES, LONG TERM FINANCIAL PLAN UPDATE AND RATING RECOMMENDATION**

## **1) Introduction**

The purpose of this report is to present the 2017-2018 Budget Estimates, Long Term Financial Plan (LTFP) update and rating recommendation for adoption by Council.

## **2) Background**

The Budget Estimates including updated LTFP summary (Budget Summary & Rating Recommendation Report Attachment 1) have been circulated to all Councillors. A detailed analysis of the various aspects of the budget is provided in the Budget Summary & Rating Recommendation Report.

The estimates and rating recommendation have been framed according to the parameters set within Council Policy No. 77 - Rates and Charges, Financial Management Strategy, updated LTFP, approved Capital Works Program (CWP) and in accordance with the discussions at the operating budget and LTFP workshop on 23 May 2017.

## **3) Strategic/Annual Plan Conformance**

The Annual Plan for 2017-2018 is by its nature funded within the Budget Estimates.

Furthers the objectives of Future Direction (5) Innovative leadership and community governance, within Council's Community Strategic Plan 2014 to 2024 and provides funding for Council to meet objectives of the Future Directions.

## **4) Policy Implications**

The policy position within Council's Financial Management Strategy and updated LTFP is to maintain Council's underlying operating surpluses and CWP funding sustainably long term.

Rates and Charges are structured in accordance with Council's Policy No 77 – Rates and Charges.

## **5) Statutory Requirements**

Council's financial activities are governed by the Local Government Act 1993 Part 8, Financial Management (Sections 73 to 85). The Budget Estimates have been prepared in accordance with Section 82 of the Act and must be adopted by Council by an absolute majority.

The recommendation following the rates resolutions which authorises the General Manager to make minor adjustments under section 82(6) must be carried by an 'Absolute Majority'.

## **6) Risk Management**

The ability to continue to provide current levels of service and provide new or improved services while meeting increasing standards will be at risk should a lower general rate and service charges be adopted.

## **7) Consultation with State Government and other Authorities**

The State Fire Commission advises Council of the annual Fire Service Contribution required to be collected on its behalf.

## **8) Community Consultation**

The Budget Estimates underpin Council's Community Strategic Plan, which was developed with community consultation.

## **9) Financial Impact**

The 2017-2018 Budget Estimates, LTFP update and rating recommendation, including the effect on the rates and charges, are provided in the Budget Summary and Rating Recommendation Report. The Budget Estimates and rating recommendation provide the cash requirements to fund ongoing operating activities and fund the CWP. The proposed General Rate accords with Council's Financial Management Strategy and LTFP position of at least keeping pace with inflation. It also takes into account the effect of pressure on revenue sources and additional one off expenditure projects anticipated to occur in 2017-18.

The 2017-2018 budget records an underlying surplus of \$83,200 after adjusting for the timing of prepaid Financial Assistance Grants (FAG) and one off projects funded in a prior year. Cash and investment balances are estimated to fall from \$21.285million to \$14.766million in 2017-2018. The

considerable CWP program being managed by Council officers contributes to the decline in this balance.

## **10) Alternative Options**

Council can adopt the Budget Estimates, LTFP and rating recommendation with amendment.

## **11) Officers Comments**

The Budget Estimates parameters are set in Council's Rates and Charges Policy and Financial Management Strategy and managed long term by the LTFP. The Budget Estimates, LTFP update and rating recommendation will provide the continuation of many essential services provided to the community. While the Budget Estimates present a small surplus, Council will encounter challenges in coming years to sustain underlying operating surpluses. An increase to the General Rates is considered an appropriate approach to address the long term sustainability of Council's operations.

**AUTHOR:** Jonathan Harmey  
DIRECTOR CORPORATE SERVICES

## **12) Recommendation**

***It is recommended that Council adopts the 2017-2018 Budget Estimates, the updated Long Term Financial Plan and the following Rating recommendation:***

### **1. General Rate**

- a) That pursuant to Section 90 of the Local Government Act 1993 (the Act), Council makes the following General Rate in relation to all rateable land (excluding land which is exempt pursuant to the provisions of Section 87) within the municipal area for the period commencing 1 July 2017 and ending on 30 June 2018, namely a rate of 5.6727 cents in the dollar of assessed annual value of the land;***
- b) That pursuant to Section 90(4) of the Act, Council sets a minimum amount payable in respect of the General Rate of \$135.***

### **2. Service Rates and Service Charges**

***That pursuant to Sections 93, 93A and 94 of the Act, Council makes the following Service Rates and Service Charges in respect of all rateable land within the municipal area (including land which is otherwise exempt from rates pursuant to Section 87) for the period commencing 1 July 2017 and ending on 30 June 2018 namely:***

- a) A service charge for waste management in respect of all lands of \$52 for the making available of waste management facilities.***
- b) That pursuant to Section 94(3A) of the Act, Council declares by absolute majority, that the service charge for waste management is varied as follows:***
  - i. by reason of the provision of a standard kerbside waste collection service, ie one 80 litre mobile garbage bin and one mobile recycling bin, and including alternate weekly garbage and green waste collection where provided, the service charge for waste management is varied for all lands receiving such a service, by increasing it by \$128 to \$180;***
  - ii. by reason of the provision of an extra capacity kerbside waste collection service ie one 140 litre mobile garbage bin and one mobile recycling bin, and including alternate weekly garbage and green waste collection where provided, the service charge for waste management is varied for all lands receiving such a service by increasing it by \$154 to \$206;***
  - iii. by reason of the provision of an additional extra capacity kerbside waste collection service ie one 240 litre (or two 140 litre) mobile garbage bin(s) and one mobile recycling bin, and including alternate weekly garbage and green waste collection where provided, the service charge for waste management is varied for all lands receiving such a service by increasing it by \$308 to \$360;***
  - iv. by reason of the locality and provision of an extra capacity kerbside waste collection service ie one 140 litre mobile garbage bin and one mobile recycling bin, upsized from the standard kerbside waste collection (as per 2b)i above), during the trial and implementation of alternate weekly green waste collection at Blackstone Heights the service charge for waste management is varied for all lands receiving such a service by reducing it by \$26 to \$180;***



- v. **by reason of the locality and provision of an additional extra capacity kerbside waste collection service ie one 240 litre mobile garbage bin (or two 140 litre) mobile garbage bin(s) and one mobile recycling bin, upsized from the extra capacity kerbside waste collection (as per 2b)ii above), during the trial and implementation of alternate weekly green waste collection at Blackstone Heights, the service charge for waste management is varied for all lands receiving such a service by reducing it by \$154 to \$206;**
- c) **That pursuant to Sections 93A of the Act, Council makes the following Service Rates in respect of the Fire Service Contributions it must collect under the Fire Service Act 1979:**
  - i. **in respect of the Launceston Permanent Brigade Rating District of 1.3147 cents in the dollar of assessed annual value of rateable land within that District;**
  - ii. **in respect of the Volunteer Brigade Rating Districts of 0.3847 cents in the dollar of assessed annual value of rateable land within those Districts AND**
  - iii. **in respect of General Land of 0.3535 cents in the dollar of assessed annual value of rateable General land.**
- d) **That pursuant to Section 93(3) of the Act, Council sets a minimum amount payable in respect of the fire protection service rates of \$39.**

### **3. Separate Apportionments**

**That for the purpose of this resolution, the rates and charges shall apply to each parcel of land that is shown as being separately assessed in the valuation list prepared under the Valuation of Land Act 2001.**

### **4. Instalment Payments**

**That pursuant to Section 124 of the Act Council:**

- a) **Decides all rates are payable by all ratepayers by four approximately equal instalments;**
- b) **Determines that the dates by which instalments are to be paid shall be as follows:**

***The first instalment on or before 31 August 2017***  
***The second instalment on or before 31 October 2017***  
***The third instalment on or before 31 January 2018***  
***The fourth instalment on or before 30 March 2018***

**5. Interest on Late Payments**

***That pursuant to Section 128 of the Act , if any rate or instalment is not paid on or before the date it falls due then there is payable a daily interest charge of 0.02389% (8.72% per annum) in respect of the unpaid rate or instalment for the period during which it is unpaid.***

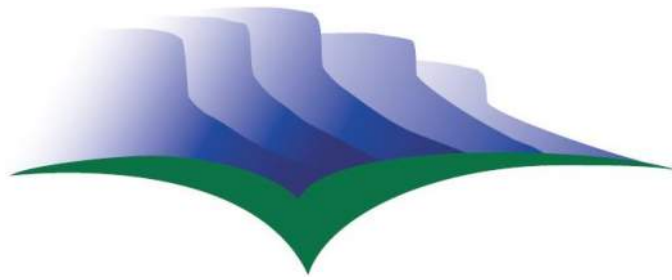
**6. Adjusted Values**

***That for the purposes of each of these resolutions any reference to assessed annual value includes a reference to that value as adjusted pursuant to sections 89 and 89A of the Act.***

***And***

***That pursuant to Section 82(6) of the Act the Council by absolute majority, authorises the General Manager to make minor adjustments up to \$20,000 to individual items within the estimated operating expenditure under section 82(2)(b) and the estimated capital works under section 82(2)(d) so long as the total amount of that estimate is not altered.***

**DECISION:**



# **MEANDER VALLEY COUNCIL**

## **BUDGET SUMMARY AND RATING RECOMMENDATION 2017-18**





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## Basis of Preparation

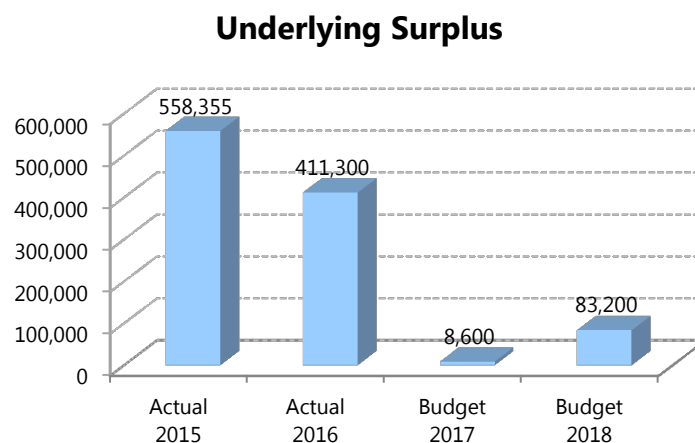
The operating budget and rating recommendation is presented for the 2018 financial year. The requirements of Council Policy 77 'Rates and Charges' (Rates Policy) and Council's Financial Management Strategy have been taken into consideration. The objective of the Rates Policy is to maintain a sustainable rates system that provides revenue stability and supports a balanced budget to avoid placing the burden of current expenditure on future generations. The purpose of the Financial Management Strategy is to manage the Long Term Financial Plan to retain an underlying surplus after excluding income from the Roads to Recovery program. In preparing the operating budget, Council considers the demand for services and the cost of maintaining facilities for community benefit.

## Underlying Surplus

The 2018 operating budget provides for an underlying surplus of \$83,200. Continuing to provide for a surplus into the future remains a challenge for Council with a variety of factors providing uncertainty such as ownership of Taswater and reducing interest income. A restructure and reduction in the number of directors during 2017 has assisted in decreasing recurrent operating expenditure. The funding for specific one off projects and programs to be undertaken (Attachment 3) have been considered and accommodated within the context of the proposed rates model, one off projects are largely in the Infrastructure Services Department's expenditure.

An underlying operating surplus occurs where the operating revenue exceeds operating expenditure. The benchmark is a surplus greater than zero (break even operating result). A positive result designates a surplus where the larger the surplus, the stronger the result and therefore stronger assessment of sustainability. An excessive surplus could disadvantage ratepayers. A negative result indicates a deficit which cannot be sustained in the long-term.

Table 1: Actual and budget underlying surplus 2015 to 2018

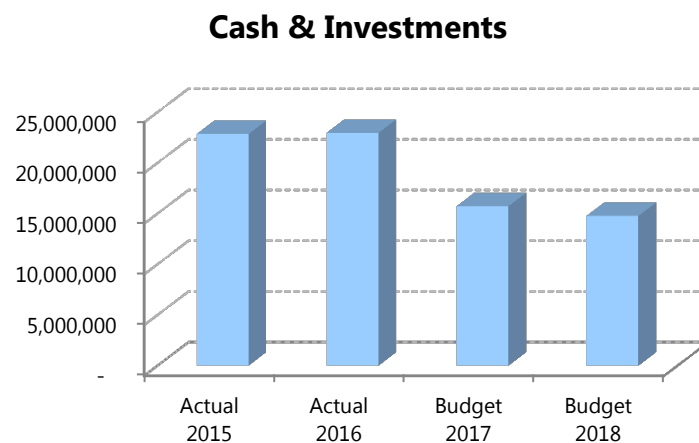


## Cash & Investments

The total opening cash & investments balance in 2017 was \$22,725,809, this is before removing total liabilities at the time of \$7,889,113. The balance is estimated to be reduced to \$14,766,509 at the end of 2018 before taking into account any liabilities (assumed to be a similar amount). The balance is reliant on disaster recovery funding of \$3,757,900 being received from the State Government, commitment has not been received for the disaster funding amount. The reducing cash balance has a substantial impact reducing the interest income for 2018.



Table 2: Actual and budget cash & investments balance 2015 to 2018



### Capital Works Expenditure

The Infrastructure and Works departments continue to manage abnormally large capital works expenditure programs. The amounts in table 3 include the program approved by Council in May each year. The amount for 2017 does not include the remediation projects that were required as a result of the flood events in June 2016. The size of the programs contributes to the reducing cash balance previously identified. Accelerated capital expenditure increases the depreciation and maintenance expenses in the operating budget. Council approved the 2018 capital works program at the May 2017 meeting; this combined with the estimated carry over projects from 2017 brings the works in 2018 to \$13,517,700.

Table 3: Capital works expenditure 2015 to 2018

	2015	2016	2017	2018
Capital Works Program amount	\$6,448,000	\$6,894,000	\$10,219,800	\$6,640,800
Carried Forward amount	\$1,423,000	\$1,968,000	\$4,813,300	\$6,876,900
Total Estimated Spend	\$7,871,000	\$8,862,000	\$15,033,100	\$13,517,700

### Inflation Reference

The Financial Management Strategy requires that general rates be increased at least with inflation to ensure that the primary source of funding in the Long Term Financial Plan is not diminished and that Council is keeping pace with meeting the cost of providing services to the community. Meeting inflation allows current levels of service to be maintained, assuming other revenue sources (e.g. grants, interest and distributions from Taswater) also increase in line with costs. Inflation has been used as a reference for the 2018 operating budget, a number of internal and external pressures and the long term financial sustainability of Council also has an impact on income and expenditure decisions.

The Council Cost Index (CCI) is produced by the LGAT and provides an indication of how Council expenditure has changed over a period of time where spending remains constant. The index components are wage price index (50%), road and bridge construction index (30%) and the CPI for Hobart (20%). Consumer Price Index (CPI) measures the change in prices paid by households for goods and services for consumption purposes typically by measurement of the price change in a basket of consumer goods. The Road & Bridge Construction Index measures the general changes in prices in construction costs in the road and bridge construction sector. The MVC Enterprise



Agreement is the agreement between Council and employees which governs employee conditions for the 2017, 2018 and 2019 financial years.

Table 4: Relevant inflation indexes

Ratio	2017
Council Cost Index (CCI)	1.5% (Jan 16 - Dec 16)
Consumer Price Index Hobart (CPI)	2.3% (Mar 16 - Mar 17; 1.3% Dec '15 - Dec '16)
Wage Price Index Hobart	2.4% (Jan 16 - Dec 16)
Road and Bridge Construction Index	4.56% (Mar 16 to Mar 17)
MVC Enterprise Agreement	Greater of 2.0% or CPI

## Consolidated Operating Statement

The consolidated operating statement provides an overview of Council's revenue, expenditure, underlying surplus, capital income and cash reconciliation for the 2018 financial year.

Consolidated Operating Statement	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	'17 to '18 Variance	
<b>Operating Revenue</b>					
Rate Revenue	11,293,500	11,460,800	11,890,600	597,100	5.29%
Fees & User Charges	1,101,700	1,183,300	1,126,500	24,800	2.25%
Contributions	61,800	332,200	120,000	58,200	94.17%
Interest	907,300	932,600	751,000	(156,300)	-17.23%
Grants & Subsidies	4,287,000	6,783,700	2,538,100	(1,748,900)	-40.80%
Other Revenue	1,013,200	1,033,200	1,023,300	10,100	1.00%
<b>Total Operating Revenue</b>	<b>18,664,500</b>	<b>21,725,800</b>	<b>17,449,500</b>	<b>(1,215,000)</b>	<b>-6.51%</b>
<b>Operating Expenditure</b>					
Departments					
Governance	1,706,600	1,601,800	1,203,800	(502,800)	-29.46%
Corporate Services	1,652,100	1,587,800	2,006,200	354,100	21.43%
Infrastructure Services	2,603,900	2,474,300	3,363,100	759,200	29.16%
Community & Development Services	1,771,900	1,696,800	2,661,300	889,400	50.19%
Works	3,503,500	3,671,400	3,682,300	178,800	5.10%
Econ. Development & Sustainability	1,067,200	1,181,400	-	(1,067,200)	-100.00%
Maintenance & Working Expenses	12,305,200	12,213,500	12,916,700	611,500	4.97%
Borrowing Costs	271,300	241,300	241,300	(30,000)	-11.06%
Depreciation	4,961,000	4,930,100	5,052,000	91,000	1.83%
Payments to Government Authorities	1,075,600	1,087,900	1,136,200	60,600	5.63%
Administration Allocated	-	-	-	-	-
Other Payments	245,000	289,400	250,200	5,200	2.12%
<b>Total Operating Expenditure</b>	<b>18,858,100</b>	<b>18,762,200</b>	<b>19,596,400</b>	<b>738,300</b>	<b>3.92%</b>
<b>Surplus/(Deficit) from Continuing Operations</b>	<b>(193,600)</b>	<b>2,963,600</b>	<b>(2,146,900)</b>		
<b>Abnormal Items</b>					
Financial Assistance Grants Prepayment	-	(2,099,900)	2,099,900		
Flood Remediation Costs	-	351,400	-		
Operating Disaster Recovery Funding	-	(292,100)	-		
Project funds brought fwd from previous year	202,200	202,200	130,200		
Project funds carried over to next year	-	(130,200)	-		
<b>Total Abnormal Items</b>	<b>202,200</b>	<b>(1,968,600)</b>	<b>2,230,100</b>		
<b>Underlying Surplus/(Deficit)</b>	<b>8,600</b>	<b>995,000</b>	<b>83,200</b>		

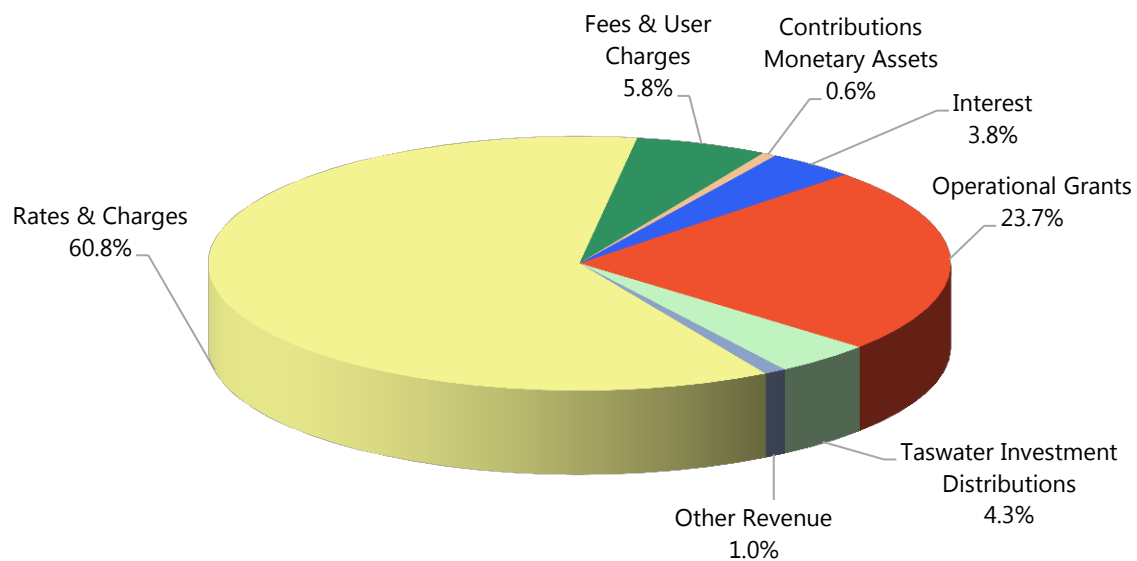


<b>Capital Items</b>			
Subdivision Contributions	250,000	300,000	300,000
Capital Disaster Recovery Funding	-	1,600,000	1,806,500
Capital Roads to Recovery Funding	1,997,300	1,601,600	902,000
Capital Grants	676,200	592,700	1,026,000
<b>Total Capital Items</b>	<b>2,923,500</b>	<b>4,094,300</b>	<b>4,034,500</b>
<b>Cash Reconciliation</b>			
Opening Cash Balance	22,725,809	22,725,809	21,284,709
Surplus, Non-Cash Items & Loan Payments	8,025,900	12,232,100	6,999,500
Capital Asset Expenditure	(15,033,100)	(13,673,200)	(13,517,700)
<b>Closing Cash Balance</b>	<b>15,718,609</b>	<b>21,284,709</b>	<b>14,766,509</b>

## Revenue

Revenue Item	Budget 2017	Budget 2018	Increase
Rate Revenue	\$11,293,500	\$11,890,600	\$597,100
Fees & User Charges	\$1,101,700	\$1,126,500	\$24,800
Contributions	\$61,800	\$120,000	\$58,200
Interest	\$907,300	\$751,000	-\$156,300
Grants & Subsidies	\$4,287,000	\$4,638,000*	\$351,000
Other Revenue	\$1,013,200	\$1,023,300	\$10,100
<b>Total Revenue</b>	<b>\$18,664,500</b>	<b>\$19,549,400</b>	<b>\$884,900</b>

\* Note prepaid FAG included in the correct year







## General Rates

General rates constitute taxation for the purposes of Local Government rather than a 'fee for service' and are based on the value of rateable land. Council's rates policy requires the general rates to be levied based on a property's Assessed Annual Value (AAV). The values for each property are determined by the Tasmanian Valuer General (OVG) who are regarded as the independent assessor of a property's value. AAV generally reflects a ratepayer's capacity to pay.

The 2018 rates model is based on an "adjusted" valuation base with the OVG recently providing Council with adjustment factors. A full revaluation of all properties occurs every six years with adjustment factors (indexation) received every two years from the valuation. Council's last full valuation was effective in 2013, adjustment factors were received in 2015 and now again in 2017. The adjustment factors apply to each property's AAV assessment from 2013. The adjustment factors received apply an increase in AAV for each property with an index greater than 1.00 i.e. an adjustment factor of 1.15 provides a 15% increase on the 2013 valuation. Council is required to use the AAV after applying the adjustment factors to calculate the general rates in the upcoming budget.

*Table 5: Adjustment factors received in 2015 and first applied for the 2016 budget*

	Residential	Commercial	Industrial	Primary Production	Community Services	Other
General	1.00	1.00	1.00	1.10	1.00	1.00
Deloraine	1.05	1.10	1.10	1.10	1.10	1.10

*Table 6: Adjustment factors received in 2017 that will apply for the 2018 budget*

	Residential	Commercial	Industrial	Primary Production	Community Services	Other
General	1.10	1.00	1.00	1.20	1.00	1.00
Hadspen	1.15	1.00	1.00	1.20	1.00	1.00
Prospect Vale	1.15	1.00	1.00	1.20	1.00	1.00

It is recommended that a General Rate of 5.6727¢ in the \$ be struck across all LUC's with a minimum amount payable in respect of this rate of \$135.

The proposed rates model for 2018 is based on the following principles:

- General rates are proposed to increase by 2.80% from the values in 2017.
- The Financial Management Strategy states that general rates will be increased annually at least with inflation to ensure that the primary source of funding in the Long Term Financial Plan is not diminished and that Council is keeping pace with meeting the cost of providing services to the community.
- With inflation as a guide Council has increased the general rates to address movement in revenue and expenditure items, reducing cash & investment balances and to assist in improving the estimated underlying deficit in years 2022 to 2027 of the Long Term Financial Plan.
- Continued use of the service rates for Waste Management in line with the Rates Policy adopted in August 2016. This provides for a fixed infrastructure charge and additional charge for those properties receiving kerbside collection.



- Interest for late payment of rates has been produced in accordance with the Rates Policy. Daily interest is to be charged with the limit prescribed under the Local Government Act of 8.72% for 2018.
- Council's Rates Policy does not apply a fixed % penalty in addition to the daily interest charge which is allowed under the Local Government Act, for overdue instalments.
- Council's Rates Policy does not provide a discount for early payment of general rates which is allowed under the Local Government Act.
- The instalment system with a late payment interest charge with no discount and no fixed % penalty has worked well since inception of Meander Valley Council in 1993. The community is familiar with our rates collection arrangements.

The proposed 2.80% increase is estimated to raise approximately \$251,900, a further \$70,000 is anticipated to be achieved through supplementary property valuations and development increases over the coming twelve months bringing the total general rates revenue to \$9,317,700 for 2018.

*Table 7: Estimated movement of general rates provided from each Land Use Class*

Land Use Class (LUC)	Properties	Rates 2017	LUC Share of Rates	Rates 2018	LUC Share of Rates	Increase/-Decrease (\$)	Average per Property	Increase/-Decrease (%)
Commercial	182	\$754,465	8.4%	\$699,164	7.6%	-\$55,301	-\$304	-7.3%
Industrial	88	\$243,494	2.7%	\$225,047	2.4%	-\$18,447	-\$210	-7.6%
Primary Prod.	1,235	\$2,145,827	23.9%	\$2,209,685	23.9%	\$63,858	\$52	3.0%
Public Service	110	\$178,694	2.0%	\$163,502	1.8%	-\$15,192	-\$138	-8.5%
Quarry	3	\$3,460	0.0%	\$3,267	0.0%	-\$193	-\$64	-5.6%
Residential	7,578	\$5,442,945	60.6%	\$5,723,965	62.0%	\$281,020	\$37	5.2%
Sport & Rec.	14	\$21,305	0.2%	\$19,761	0.2%	\$1,544	-\$110	-7.2%
Vacant	736	\$191,309	2.1%	\$187,208	2.0%	-\$4,102	-\$6	-2.1%
<b>Total</b>	<b>9,945</b>	<b>\$8,981,500</b>	<b>100.0%</b>	<b>\$9,231,600</b>	<b>100.0%</b>	<b>\$250,100</b>		

### **Waste Management Service Charges**

The waste service charges have been produced in line with Council's Financial Management Strategy and Rates Policy. The charge is based on all properties paying a fixed charge for the cost of Council's household waste management infrastructure including tips and transfer stations. An additional variable amount is charged for those properties receiving kerbside bin collection. The additional charge is for a standard 80 litre mobile garbage bin and one mobile recycle bin. The variable charge is increased where ratepayers opt for a larger 140 litre or 240 litre size mobile garbage bin.

The completion of the waste service charge implementation to a full cost recovery was achieved in 2017 after several years of planning. The revenue it provides underpins the low general rates increase of 2.8% for 2018. The fixed service charge of \$52 has been calculated on the basis that Council seeks the household waste function to be self-funding. It seeks a contribution from all property owners to contribute to the significant cost of waste management for the municipality. The \$52 charge will raise approximately \$525,900 which reflects the costs of providing household waste infrastructure in a charge, rather than being included in the General Rate's rate in the dollar calculation based on property value. The kerbside collection charge of \$180 for an 80 litre bin, \$206 for a 140 litre bin and



\$360 for a 240 litre bin includes the \$52 charge. Kerbside collection charges will raise approximately \$895,700.

Table 8: Waste service charges progressing to cost recovery 2016 to 2018

	2016	2017	2018	Annual Increase
80L kerbside collection	\$160	\$176	\$180	\$4
140L extra capacity kerbside collection	\$188	\$204	\$206	\$2
240L extra capacity kerbside collection	\$346	\$362	\$360	(\$2)
Fixed service charge	\$30	\$46	\$52	\$6

### State Fire Commission Contribution

The revenue to be raised for the state fire commission contribution directly relates to the amount paid to the State Fire Commission, therefore there is no effect on the level of the General Rate. The individual fire district contributions are set by the State Fire Commission. Amounts to be collected in 2018 and % increases in previous years and are contained in Table 9. The rate in the dollar calculation for each property for 2018 is contained in table 10.

Table 9: State fire commission contribution revenue request 2017 & 2018

Rating District	2017	2018	Increase
Launceston Permanent Fire Brigade	\$672,523	\$709,401	5.48%
Country Volunteer Fire Brigade	\$204,438	\$216,752	6.02%
General Land	\$198,605	\$210,052	5.76%
Total	\$1,075,566	\$1,136,205	5.64%

Table 10: State fire commission contribution rates 2018

Rating District	2018 Rate in \$	Minimum Amount
Launceston Permanent Fire Brigade	1.3147	\$39
Country Volunteer Fire Brigade	0.3847	\$39
General Land	0.3535	\$39

### Financial Assistance Grants

Financial Assistance Grants (FAGs) is funding provided from the Commonwealth and administered by the State Grants Committee. After three years of the funding program remaining unchanged with no indexation, the removal of the freeze on indexation in the recent Commonwealth budget was a welcomed outcome and this is expected to provide an additional \$81,100 to Council in 2018.



Table 11: Financial Assistance Grant amounts 2017 & 2018

FAGs	2017	2018
Roads	\$1,854,800	\$1,891,300
Bridges	\$177,000	\$180,500
General Grants	\$2,087,100	\$2,128,200
Annual FAG Payment	<b>\$4,118,900</b>	<b>\$4,200,000</b>
Effect of Prepayment (50%) in June 2017	\$2,099,900	(\$2,099,900)
Operating Grant Per Budget	\$6,218,800	\$2,100,100

### Fees & User Charges

Fees and user charges are reviewed by Council annually to ensure the amount charged is relative to the cost of providing a service and being in line with community expectations. The annual review of fees and charges will occur at the June Council meeting with animal charges and health fees having been reviewed by Council in May. Minor increases based on inflation indexes are expected for 2018. Revenue is likely to be consistent with prior years. The amount in 2018 is estimated to be \$1,126,500, 5.8% of revenue which compares with 5.9% in the 2017 budget.

Table 12: Fees & user charges income 2015 to 2018

	2015	2016	2017	2018
Fees & User Charges	\$1,106,900	\$1,119,300	\$1,101,700	\$1,126,500
Adjusted Operating Revenue*	\$17,818,100	\$18,310,700	\$18,664,500	\$19,549,400
Percentage of Revenue	6.21%	6.11%	5.90%	5.76%

\* Note revenue adjusted for capital and abnormal revenue.

### Other Revenue

The reducing cash and investment balance in turn reduces the amount of interest revenue expected to be achieved in 2018. Bank interest is proposed to reduce by \$159,400 (28%) in 2018. Repayments made from the Valley Central Development have reduced the interest revenue on outstanding assessed contributions by \$20,900. Rate Debtor interest is linked to the interest rate charged on overdue rates which is proposed to be 8.72% in 2018.

Council has an ownership interest of 3.02% in the State's water and sewerage corporation Taswater. This year will mark the third year of the freeze on distributions from Taswater, income is expected to remain at \$834,000 in 2018. Distributions are expected to reduce by one third to \$556,000 from 2019, the Long Term Financial Plan has been updated to reflect this change. The State Governments interest will be monitored in 2018 with operating budget and Long Term Financial Plan impacts to be assessed.

In addition to the FAGs Council has received commitment for a number of grants anticipated for 2017 and expected to be received in 2018 in table 13 and table 14.



Table 13: Operating grants income 2017 & 2018

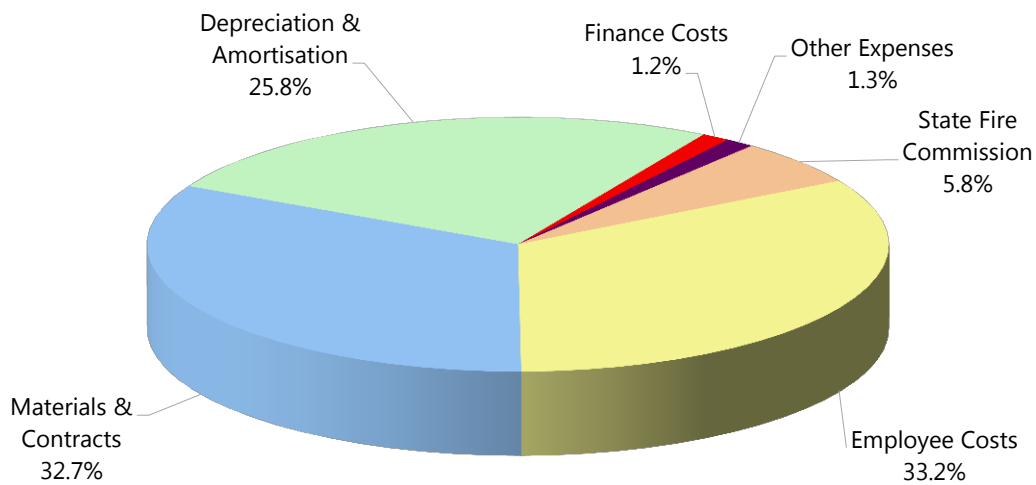
Operating Grants	2017	2018
Roads to Recovery	\$150,000	\$150,000
Bioenergy Report	\$50,000	\$50,000
Meander Flood Mapping	\$5,000	-
Natural Disaster Recovery Funding	\$287,100	-
Deloraine & Districts Recreation Feasibility Study	\$30,000	-
Diesel Fuel Rebate	\$42,000	\$40,000
GWT Bike Trails Feasibility Report	-	\$150,000
Four Springs Fishing Pontoon	-	\$48,000
Small Visitor Centre Project	\$800	-
	<b>\$564,900</b>	<b>\$438,000</b>

Table 14: Capital grants income 2017 & 2018

Capital Grants	2017	2018
Roads to Recovery	\$1,601,600	\$902,000
Blackspot Funding	\$44,200	-
Union Bridge Funding	\$384,000	\$726,000
Natural Disaster Recovery Funding	\$1,600,000	\$1,806,500
Stronger Community Projects	\$34,500	-
AFL Ground Upgrade PVP	\$80,000	-
CCTV Grant Funding	\$50,000	-
Westbury Recreation Building Grant	-	\$300,000
	<b>\$3,794,300</b>	<b>\$3,734,500</b>

## Expenditure

Expenditure Item	2017	2018	Increase
Departments Wages	\$6,749,300	\$6,505,300	-\$244,000
Departments Materials & Contractors	\$5,555,900	\$6,411,400	\$855,500
Borrowing Costs	\$271,300	\$241,300	-\$30,000
Depreciation	\$4,961,000	\$5,052,000	\$91,000
State Fire Commission Contribution	\$1,075,600	\$1,136,200	\$60,600
Other Expenditure	\$245,000	\$250,200	\$5,200
<b>Total Expenditure</b>	<b>\$18,858,100</b>	<b>\$19,596,400</b>	<b>\$738,300</b>



The operating expenditure of Council covers a wide range of services contained within the functions of Administration, Roads Streets & Bridges, Health & Community Services, Land Use Planning & Building, Recreation & Culture and Unallocated & Unclassified. Expenditure will increase in 2018, in part due to inflation affecting the cost of labour and materials.

### **Departments Expenditure**

The operating expenses of the Departments are proposed to increase by \$611,600 (4.97%). Included in the Departments expenditure is an additional \$314,400 of one off projects to occur in 2018. The amount of one off projects proposed in 2018 total \$1,083,100 and includes items such as \$150,000 for a Great Western Tiers bike/walking trails study, \$100,000 for a Bioenergy study, \$98,500 in expenditure relating to a Deloraine recreation feasibility study and \$70,000 for Bracknell sewerage planning. A complete list of the one off projects is provided as Attachment 3.

*Table 15: Departments expenditure summarised by function*

<b>Functional Area</b>	<b>2017</b>	<b>2018</b>
Administration	2,974,300	2,925,100
Roads, Streets & Bridges	2,146,600	2,370,100
Health, Community & Welfare	4,720,700	4,894,300
Land Use Planning & Building	1,330,500	1,305,600
Recreation & Culture	1,500,800	1,803,400
Unallocated Plant & Overheads Reallocated	(\$367,700)	(381,800)
<b>Total Departmental Expenditure</b>	<b>\$12,305,200</b>	<b>\$12,916,700</b>



## **Employee Expenditure**

The Departments expenditure includes employee costs. Savings in expenditure were achieved from an organisational restructure in January 2017. Departments wages decrease by \$244,000 in 2018 even after accounting for increases in line with the enterprise agreement. Included in the budget is the addition of an administrative trainee in Community & Development Services. The trainee would provide additional administration support for the now bigger department and free up time for professional staff that would not be required to complete as much of their own administrative duties. A new position is included in the area of economic development. An additional resource is also included in Infrastructure to assist in managing the large range of projects currently on the table, the size of the capital works program is an indication of the volume of work required.

## **Depreciation**

Depreciation recognises the allocation of the value of an asset over its useful life. The depreciation charged on an annual basis is reflective of the services being provided to the residents in that year. New capital expenditure has the effect of increasing the value of depreciation. Depreciation is expected to increase by \$91,000 (1.83%) in 2018. The completion of the LED lighting replacement program accounts for \$42,000 of this increase, the reduction in street lighting electricity costs is reflected in the Departments materials expenditure. Revaluations in asset classes occur every three years, as the value of Council's asset base increases over time, so too does the depreciation as a result.

## **Other Expenditure**

Community Grants of \$93,200 are included in this expenditure line which has been calculated as 1% of the General Rate in line with Council policy. It is noted that this amount includes townscape incentive grants, community organisations regulatory fee refunds and representative sporting grants. Also included in other expenditure amount are external audit fees paid to the State Government and the cost of infrastructure assets required to be reconstructed before they reached the end of their full useful life.

## **Long Term Financial Plan**

Council's Long Term Financial Plan (LTFP) has been updated for the period 2018 to 2027 to assist in the long term nature of the decision made in the operating budget. The LTFP demonstrates how Council's operating position and cash reserves are very much dependant on the level of Federal grant funds, projected Taswater distributions, the level of capital works undertaken and the subsequent levels of interest income. It clearly shows a decrease in Council's cash balances which indicates that real general rate increases may be necessary on top of expected inflation based increases. The Financial Management Strategy requires Council to manage its LTFP to retain an underlying surplus after roads to recovery income. On this basis real increases of 0.25% in 2024, 0.75% in 2025 and 0.25% in 2027 have been included to ensure Council does not run at a loss in years 2024 to 2027. Any potential rate increases will be reviewed by Council on an annual basis. The LTFP is provided as Attachment 1.

The LTFP provides long term projections, a summary of significant financial information is provided in tables 16 to 18.

*Table 16: Underlying surplus projections 2018 to 2027 (\$'000)*

2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
*\$83	\$114	\$259	\$108	\$60	\$23	\$17	\$10	\$36	\$15

\*Note adjusted for brought forward one off project expenditure



Table 17: Cash & investment projections 2018 to 2027 ('\$000)

2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
\$14,768	\$12,971	\$11,875	\$9,938	\$9,086	\$9,428	\$9,491	\$9,373	\$6,571	\$6,316

Table 18: Capital works expenditure projections (excluding subdivisions) 2018 to 2027 ('\$000)

2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
\$13,517	\$7,503	\$7,513	\$8,257	\$6,281	\$5,017	\$5,317	\$5,516	\$6,074	\$5,679

## Summary

The operating budget, rating recommendation and long term financial plan for 2018 will provide the continuation of many essential services provided to the community. While the operating budget presents a small surplus, Council will encounter challenges in coming years to sustain operating surplus' such as reducing Taswater distributions, uncertainty of the Roads to Recovery program after 2021, uncertainty of the ownership of Taswater and Councils declining cash balances. An increase to the general rates above inflation percentages in 2018 is considered an appropriate approach to address the long term sustainability of Councils operations.

The operating budget, long term financial plan and capital works program have been prepared after presenting considerable information to Councillors and discussions held at the April Council Workshop, May Council Meeting and May Council Workshop. A summary of the rating recommendation is provided in Table 19.

Table 19: Recommended rates & charges 2018 with 2017 comparison

	Budget 2017	Budget 2018	Rates & Charges 2018
General Rates	<b>\$8,854,000</b>	<b>\$9,317,700</b>	5.6727 cents in the \$ \$135 Minimum
Fire Levy: Launceston Permanent Brigade	\$672,500	\$709,400	1.3147 cents in \$ \$39 Minimum
Fire Levy: Volunteer Brigade Districts	\$204,500	\$216,800	0.3847 cents in \$ \$39 Minimum
Fire Levy: General Land	\$198,600	\$210,000	0.3535 cents in \$ \$39 Minimum
Fire Levy Total	<b>\$1,075,600</b>	<b>\$1,136,200</b>	
Waste Management Infrastructure Contribution	\$167,000	\$191,900	\$52.00
Waste Kerbside Collection 80 Litre	\$624,900	\$654,500	\$180.00
Waste Kerbside Collection 140 & 240 Litre	\$572,000	\$590,300	\$206.00 & \$360.00
Waste Management Service Charges Total	<b>\$1,363,900</b>	<b>\$1,436,700</b>	
Total Rate Revenue (Consolidated Operating Statement)	<b>\$11,293,500</b>	<b>\$11,890,600</b>	





Budget report produced by:

Jonathan Harmey  
**Director Corporate Services**

## **Attachments**

1. Long Term Financial Plan summary
2. General Rate Increases Comparison by Locality
3. One Off Specific Projects & Programs



**MEANDER VALLEY COUNCIL**  
**Longterm Financial Plan 2018**

**Consolidated**  
**Statement of Comprehensive Income**

	<b>Antici.</b>	<b>Budget</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>	<b>Estimate</b>
	<b>2016-17</b>	<b>2017-18</b>	<b>2018-19</b>	<b>2019-20</b>	<b>2020-21</b>	<b>2021-22</b>	<b>2022-23</b>	<b>2023-24</b>	<b>2024-25</b>	<b>2025-26</b>	<b>2026-27</b>
	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>	<b>\$'000</b>
<b>Operating Revenue</b>											
General Rate Revenue	8,996	9,318	9,364	9,411	9,458	9,505	9,553	9,625	9,745	9,794	9,867
Waste Management Service Charges	1,377	1,437	1,437	1,437	1,437	1,437	1,437	1,437	1,437	1,437	1,437
Fire Levy	1,088	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136
Fees & User Charges	1,183	1,127	1,127	1,127	1,127	1,127	1,127	1,127	1,127	1,127	1,127
Contributions & Donations	332	120	97	97	117	97	117	97	117	97	117
Interest	933	751	712	650	587	526	500	298	297	251	203
Operating Grants	6,784	2,538	4,408	4,661	4,689	4,689	4,689	4,689	4,689	4,689	4,689
Other Revenue	1,033	1,023	740	740	740	740	740	740	740	740	740
Prepaid FAG Adjustment	(2,099)	2,099	-	-	-	-	-	-	-	-	-
<b>Total Operating Revenue</b>	<b>19,627</b>	<b>19,549</b>	<b>19,020</b>	<b>19,259</b>	<b>19,290</b>	<b>19,257</b>	<b>19,298</b>	<b>19,148</b>	<b>19,287</b>	<b>19,270</b>	<b>19,315</b>
<b>Operating Expenditure</b>											
Employee Expenses	5,644	5,392	5,392	5,392	5,392	5,392	5,392	5,392	5,392	5,392	5,392
Materials & Contractors Expenses	6,074	6,442	6,442	6,442	6,442	6,442	6,442	6,442	6,442	6,442	6,442
Added Maintenance Estimate -AM Plans	-	-	87	143	207	262	308	349	390	431	472
Interest	211	211	211	211	211	211	211	-	-	-	-
Unwinding Tip Provision	30	30	30	30	30	30	30	30	30	-	-
Depreciation	4,930	5,052	5,059	5,097	5,134	5,174	5,207	5,232	5,258	5,284	5,310
Payments to Government Authorities	1,088	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136	1,136
One off Non-Recurrent	496	1,083	300	300	380	300	300	300	380	300	300
Other Payments	289	250	249	249	249	249	249	249	249	249	249
<b>Total Operating Expenditure</b>	<b>18,762</b>	<b>19,596</b>	<b>18,906</b>	<b>19,000</b>	<b>19,182</b>	<b>19,197</b>	<b>19,275</b>	<b>19,131</b>	<b>19,277</b>	<b>19,234</b>	<b>19,301</b>
<b>Underlying Surplus/(Deficit)</b>	<b>865</b>	<b>(48)</b>	<b>114</b>	<b>259</b>	<b>108</b>	<b>60</b>	<b>23</b>	<b>17</b>	<b>10</b>	<b>36</b>	<b>15</b>
<b>Non-Operating Items</b>											
Subdivisions Taken Over	300	300	300	300	300	300	300	300	300	300	300
Capital Grants & Contributions	3,794	3,735	651	700	700	-	-	-	-	-	-
<b>Comprehensive Result</b>	<b>4,959</b>	<b>3,987</b>	<b>1,065</b>	<b>1,259</b>	<b>1,108</b>	<b>360</b>	<b>323</b>	<b>317</b>	<b>310</b>	<b>336</b>	<b>315</b>
<b>Add</b>											
Depreciation	4,930	5,052	5,059	5,097	5,134	5,174	5,207	5,232	5,258	5,284	5,310
Loan Funds & Internal Transfers	450	300	283	283	283	283	(3,600)	-	-	-	-
<b>Less</b>											
New Asset Expenditure (incl.subdivisions)	4,589	4,376	2,812	2,401	2,725	2,687	1,751	1,751	1,751	1,751	1,751
Asset Renewal/Replacement Expenditure	9,384	9,441	4,991	5,412	5,832	3,894	3,566	3,866	4,065	4,623	4,228
Loan Principal	-	-	-	-	-	-	(3,600)	-	-	-	-
Accrual Non-Cash Adjustments	(94)	(60)	(62)	(78)	(94)	(111)	(130)	(130)	(130)	(100)	(100)
Tip Rehabilitation Payments	-	-	462	-	-	199	-	-	-	2,148	-
<b>Cash Surplus/(Deficit)</b>	<b>(3,540)</b>	<b>(4,418)</b>	<b>(1,797)</b>	<b>(1,096)</b>	<b>(1,937)</b>	<b>(852)</b>	<b>342</b>	<b>63</b>	<b>(118)</b>	<b>(2,802)</b>	<b>(255)</b>
Opening Cash Balance	22,726	19,186	14,768	12,971	11,875	9,938	9,086	9,428	9,491	9,373	6,571
<b>Closing Cash Balance</b>	<b>19,186</b>	<b>14,768</b>	<b>12,971</b>	<b>11,875</b>	<b>9,938</b>	<b>9,086</b>	<b>9,428</b>	<b>9,491</b>	<b>9,373</b>	<b>6,571</b>	<b>6,316</b>

Note real rate increase included      0.00%      0.00%      0.00%      0.00%      0.00%      0.25%      0.75%      0.00%      0.25%

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy &amp; Waste Service Charges

Kerbside Collection - Standard 80 Litre

	<u>General Rate: RID</u>		<u>Fire Levy: RID</u>			<u>Kerbside Collection</u>		<u>Waste Infrastructure</u>
	2017-18	AAV	urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV	Rates	F/Levy	Waste Management		TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval	
					Collection	Fixed		(\$)	(%)			
Prospect Vale	1.15	\$15,136	2017-18	858.64	199.00	128.00	52.00	<b>\$1,237.63</b>	\$86.17	7.48%	2.76%	31.08%
			2016-17	790.75	184.72	130.00	46.00	<b>\$1,151.46</b>	\$30.91	2.76%		
	No adj.	\$13,162	2015-16	780.60	179.95	130.00	30.00	<b>\$1,120.55</b>	\$20.30	1.85%		
			2014-15	781.80	175.45	128.00	15.00	<b>\$1,100.25</b>	\$47.44	4.51%		
	Reval '13	\$13,162	2013-14	759.03	172.78	121.00		<b>\$1,052.81</b>	\$20.69	2.00%		
			2012-13	749.56	166.56	116.00		<b>\$1,032.12</b>	\$15.65	1.54%		
	1.1	\$12,356	2011-12	738.48	161.99	116.00		<b>\$1,016.47</b>	\$26.73	2.70%		
			2010-11	712.33	165.41	112.00		<b>\$989.74</b>	\$19.97	2.02%		
	1.05	\$11,794	2009-10	690.26	167.52	112.00		<b>\$969.78</b>	\$16.27	1.71%		
			2008-09	689.90	158.85	104.75		<b>\$953.50</b>	\$9.34	0.99%		
Reval	\$11,232	2007-08	671.19	172.97	100.00		<b>\$944.16</b>					
Blackstone Heights	1.1	\$17,336	2017-18	983.42	227.92	128.00	52.00	<b>\$1,391.34</b>	\$47.33	3.52%	2.22%	24.55%
			2016-17	946.83	221.18	130.00	46.00	<b>\$1,344.01</b>	\$33.86	2.58%		
		\$15,760	2015-16	934.68	215.47	130.00	30.00	<b>\$1,310.15</b>	\$20.96	1.63%		
			2014-15	936.11	210.08	128.00	15.00	<b>\$1,289.19</b>	\$52.46	4.24%		
		\$15,760	2013-14	908.85	206.88	121.00		<b>\$1,236.73</b>	\$27.14	2.24%		
			2012-13	894.77	198.83	116.00		<b>\$1,209.60</b>	\$9.84	0.82%		
		\$14,750	2011-12	890.39	193.37	116.00		<b>\$1,199.76</b>	\$24.82	2.11%		
			2010-11	865.48	197.45	112.00		<b>\$1,174.93</b>	\$28.03	2.39%		
		\$14,078	2009-10	834.93	199.97	112.00		<b>\$1,146.90</b>	\$19.77	1.75%		
			2008-09	832.76	189.63	104.75		<b>\$1,127.14</b>	\$10.01	0.90%		
	\$13,408	2007-08	810.65	206.48	100.00		<b>\$1,117.13</b>					

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges  
 Kerbside Collection - Standard 80 Litre

	<u>General Rate: RID</u>		<u>Fire Levy: RID</u>			<u>Kerbside Collection</u>		<u>Waste Infrastructure</u>
	2017-18	0.056727	urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Rates	F/Levy	Waste Management		TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
						Collection	Fixed		(\$)	(%)		
Hadspen	1.15	\$12,892	2017-18	731.30	49.59	128.00	52.00	<b>\$960.89</b>	\$67.35	7.54%	3.19%	36.71%
			2016-17	673.47	44.07	130.00	46.00	<b>\$893.54</b>	\$25.72	2.96%		
		\$11,210	2015-16	664.83	42.99	130.00	30.00	<b>\$867.82</b>	\$16.54	1.94%		
			2014-15	665.85	42.43	128.00	15.00	<b>\$851.28</b>	\$42.85	5.30%		
		\$11,210	2013-14	646.46	40.97	121.00		<b>\$808.43</b>	\$18.18	2.30%		
			2012-13	635.26	38.99	116.00		<b>\$790.25</b>	\$8.85	1.13%		
		\$10,472	2011-12	625.87	39.53	116.00		<b>\$781.40</b>	\$26.71	3.54%		
			2010-11	603.76	38.93	112.00		<b>\$754.69</b>	\$18.98	2.58%		
		\$9,996	2009-10	585.05	38.66	112.00		<b>\$735.71</b>	\$9.42	1.30%		
			2008-09	584.75	36.79	104.75		<b>\$726.29</b>	\$23.43	3.33%		
	2007-08	568.89	33.97	100.00		<b>\$702.86</b>						
Carrick	1.1	\$13,156	2017-18	746.30	50.61	128.00	52.00	<b>\$976.91</b>	\$35.36	3.76%	2.23%	24.46%
			2016-17	718.53	47.01	130.00	46.00	<b>\$941.55</b>	\$26.37	2.88%		
		\$11,960	2015-16	709.31	45.87	130.00	30.00	<b>\$915.18</b>	\$16.51	1.84%		
			2014-15	710.40	45.27	128.00	15.00	<b>\$898.67</b>	\$44.25	5.18%		
		\$11,960	2013-14	689.71	43.71	121.00		<b>\$854.42</b>	-\$27.62	-3.13%		
			2012-13	721.74	44.30	116.00		<b>\$882.04</b>	\$10.06	1.15%		
		\$11,898	2011-12	711.07	44.91	116.00		<b>\$871.98</b>	\$29.80	3.54%		
			2010-11	685.95	44.23	112.00		<b>\$842.18</b>	\$21.56	2.63%		
		\$11,357	2009-10	664.69	43.93	112.00		<b>\$820.62</b>	\$9.72	1.20%		
			2008-09	664.35	41.80	104.75		<b>\$810.90</b>	\$25.98	3.31%		
	2007-08	646.33	38.59	100.00		<b>\$784.92</b>						

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Standard 80 Litre

General Rate: RID			Fire Levy: RID			Kerbside Collection		Waste Infrastructure
			urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Rates	F/Levy	Waste Management		TOTAL	Increase		Average	Total	
						Collection	Fixed		(\$)	(%)	Increase since 2007 reval	Increase since 2007 reval	
Bracknell	1.1	\$10,340	2017-18	586.56	39.00	128.00	52.00	<b>\$805.56</b>	\$26.82	3.44%	3.59%	42.02%	
			2016-17	564.73	38.00	130.00	46.00	<b>\$778.73</b>	\$23.25	3.08%			
			2015-16	\$9,400	557.49	38.00	130.00	30.00	<b>\$755.49</b>	\$17.14			2.32%
			2014-15	558.34	37.00	128.00	15.00	<b>\$738.34</b>	\$39.26	5.62%			
			2013-14	\$9,400	542.08	36.00	121.00		<b>\$699.08</b>	\$59.96			9.38%
			2012-13	487.12	36.00	116.00		<b>\$639.12</b>	\$8.20	1.30%			
			2011-12	\$8,030	479.92	35.00	116.00		<b>\$630.92</b>	\$21.95			3.61%
			2010-11	462.97	34.00	112.00		<b>\$608.97</b>	\$14.35	2.41%			
			2009-10	\$7,665	448.62	34.00	112.00		<b>\$594.62</b>	\$9.48			1.62%
			2008-09	448.39	32.00	104.75		<b>\$585.14</b>	\$17.91	3.16%			
2007-08	\$7,300	436.23	31.00	100.00		<b>\$567.23</b>							
Westbury	1.1	\$12,164	2017-18	690.02	46.79	128.00	52.00	<b>\$916.81</b>	\$33.00	3.73%	2.67%	30.07%	
			2016-17	664.34	43.47	130.00	46.00	<b>\$883.81</b>	\$25.59	2.98%			
			2015-16	\$11,058	655.82	42.41	130.00	30.00	<b>\$858.22</b>	\$16.55			1.97%
			2014-15	656.82	41.85	128.00	15.00	<b>\$841.67</b>	\$42.56	5.33%			
			2013-14	\$11,058	637.70	40.42	121.00		<b>\$799.12</b>	\$6.53			0.82%
			2012-13	637.46	39.13	116.00		<b>\$792.59</b>	\$8.89	1.13%			
			2011-12	\$10,508	628.03	39.67	116.00		<b>\$783.70</b>	\$26.85			3.55%
			2010-11	605.79	39.07	112.00		<b>\$756.86</b>	\$19.06	2.58%			
			2009-10	\$10,030	587.01	38.79	112.00		<b>\$737.80</b>	\$9.42			1.29%
			2008-09	586.71	36.92	104.75		<b>\$728.38</b>	\$23.50	3.33%			
2007-08	\$9,552	570.80	34.08	100.00		<b>\$704.88</b>							

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Standard 80 Litre

General Rate: RID			Fire Levy: RID			Kerbside Collection		Waste Infrastructure
			urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Waste Management				TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
				Rates	F/Levy	Collection	Fixed		(\$)	(%)		
Deloraine	1.1	\$11,713	2017-18	664.43	45.06	128.00	52.00	<b>\$889.49</b>	-\$2.16	-0.24%	3.15%	36.07%
			2016-17	671.70	43.95	130.00	46.00	<b>\$891.65</b>	\$25.69	2.97%		
	1.05	\$11,180	2015-16	663.08	42.88	130.00	30.00	<b>\$865.95</b>	\$50.18	6.15%		
			2014-15	632.47	40.30	128.00	15.00	<b>\$815.77</b>	\$41.80	5.40%		
		\$10,648	2013-14	614.05	38.92	121.00		<b>\$773.97</b>	\$38.49	5.23%		
			2012-13	583.48	36.00	116.00		<b>\$735.48</b>	\$8.32	1.14%		
		\$9,618	2011-12	574.85	36.31	116.00		<b>\$727.16</b>	\$24.86	3.54%		
			2010-11	554.54	35.76	112.00		<b>\$702.30</b>	\$17.44	2.55%		
		\$9,181	2009-10	537.36	35.51	112.00		<b>\$684.87</b>	\$9.23	1.37%		
			2008-09	537.08	33.80	104.75		<b>\$675.63</b>	\$21.92	3.35%		
\$8,744	2007-08	522.52	31.20	100.00		<b>\$653.72</b>						
<b>Average Residential Property with 80L bin Waste Collection since 2007 Revaluation</b>											<b>19.81%</b>	<b>224.95%</b>
											<b>2.83%</b>	<b>32.14%</b>
Mole Creek	1.1	\$8,714	2017-18	494.33	39.00		52.00	<b>\$585.33</b>	\$25.39	4.53%	3.06%	34.98%
			2016-17	475.94	38.00		46.00	<b>\$559.94</b>	\$22.11	4.11%		
	\$7,922		2015-16	469.83	38.00		30.00	<b>\$537.83</b>	\$15.28	2.92%		
			2014-15	470.55	37.00	-	15.00	<b>\$522.55</b>	\$29.70	6.03%		
			2013-14	456.85	36.00	-		<b>\$492.85</b>	\$7.23	1.49%		
			2012-13	449.62	36.00	-		<b>\$485.62</b>	\$7.65	1.60%		
		\$7,412	2011-12	442.97	35.00	-		<b>\$477.97</b>	\$16.65	3.61%		
			2010-11	427.32	34.00	-		<b>\$461.32</b>	\$14.24	3.19%		
		\$7,075	2009-10	414.08	33.00	-		<b>\$447.08</b>	\$1.21	0.27%		
			2008-09	413.87	32.00	-		<b>\$445.87</b>	\$12.23	2.82%		
\$6,738	2007-08	402.64	31.00	-		<b>\$433.64</b>						

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Standard 80 Litre

	<u>General Rate: RID</u>		<u>Fire Levy: RID</u>			<u>Kerbside Collection</u>		<u>Waste Infrastructure</u>
			urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV	Rates	F/Levy	Waste Management		TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval	
					Collection	Fixed		(\$)	(%)			
<b>COUNTRY CLUB</b>			2017-18	251,867.88	58,372.68	-	52.00	<b>\$310,292.56</b>	-\$18,810.72	-5.72%	-0.90%	-9.21%
			2016-17	266,746.32	62,310.96	-	46.00	<b>\$329,103.28</b>	\$5,046.52	1.56%		
	No adj.		2015-16	263,323.08	60,703.68	-	30.00	<b>\$324,056.76</b>	\$1,129.44	0.35%		
			2014-15	263,727.12	59,185.20	-	15.00	<b>\$322,927.32</b>	\$8,596.19	2.73%		
	Reval '13	\$4,440,000	2013-14	256,047.25	58,283.88	-	-	<b>\$314,331.13</b>	\$2,930.53	0.94%		
			2012-13	254,784.60	56,616.00	-	-	<b>\$311,400.60</b>	\$5,321.40	1.74%		
	No adj.		2011-12	251,017.20	55,062.00	-	-	<b>\$306,079.20</b>	-\$6,505.80	-2.08%		
			2010-11	253,680.00	58,905.00	-	-	<b>\$312,585.00</b>	\$7,110.60	2.33%		
	No adj.		2009-10	245,817.60	59,656.80	-	-	<b>\$305,474.40</b>	-\$25,393.20	-7.67%		
			2008-09	271,467.00	59,400.60	-	-	<b>\$330,867.60</b>	-\$10,906.80	-3.19%		
	Reval '07	\$4,200,000	2007-08	276,914.40	64,860.00	-	-	<b>\$341,774.40</b>				
<b>P. PRODUCTION</b>	1.2	\$46,800	2017-18	2,654.82	165.44	-	52.00	<b>\$2,872.26</b>	\$93.87	3.38%	7.37%	100.92%
			2016-17	2,577.35	155.04	-	46.00	<b>\$2,778.39</b>	\$46.93	1.72%		
Dunorlan	1.1	\$42,900	2015-16	2,544.27	157.19	-	30.00	<b>\$2,731.46</b>	\$264.33	10.71%		
39 Elmers Road			2014-15	2,316.52	135.60	-	15.00	<b>\$2,467.12</b>	\$91.23	3.84%		
	Reval '13	\$39,000	2013-14	2,249.06	126.83	-	-	<b>\$2,375.89</b>	\$312.36	15.14%		
			2012-13	1,955.81	107.72	-	-	<b>\$2,063.53</b>	\$38.53	1.90%		
	1.5	\$40,200	2011-12	1,926.91	98.09	-	-	<b>\$2,025.00</b>	\$73.64	3.77%		
			2010-11	1,858.50	92.85	-	-	<b>\$1,951.35</b>	\$60.38	3.19%		
	1.3	\$34,840	2009-10	1,800.81	90.17	-	-	<b>\$1,890.98</b>	\$284.88	17.74%		
			2008-09	1,520.61	85.49	-	-	<b>\$1,606.10</b>	\$176.56	12.35%		
	Reval '07	\$26,800	2007-08	1,360.10	69.44	-	-	<b>\$1,429.54</b>				

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Standard 80 Litre

	<u>General Rate: RID</u>		<u>Fire Levy: RID</u>			<u>Kerbside Collection</u>		<u>Waste Infrastructure</u>
			urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Rates	F/Levy	Waste Management		TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
						Collection	Fixed		(\$)	(%)		
Selbourne 746 Selbourne Road	1.2	\$50,400	2017-18	2,859.04	178.16	-	52.00	<b>\$3,089.20</b>	\$100.63	3.37%	5.86%	74.44%
			2016-17	2,775.60	166.97	-	46.00	<b>\$2,988.57</b>	\$49.31	1.68%		
	1.1	\$46,200	2015-16	2,739.98	169.28	-	30.00	<b>\$2,939.26</b>	\$283.51	10.68%		
			2014-15	2,494.72	146.03	-	15.00	<b>\$2,655.75</b>	\$97.10	3.79%		
	Reval '13	\$42,000	2013-14	2,422.07	136.58	-		<b>\$2,558.65</b>	\$2.34	0.09%		
			2012-13	2,422.87	133.44	-		<b>\$2,556.31</b>	\$47.74	1.90%		
	1.5	\$49,800	2011-12	2,387.06	121.51	-		<b>\$2,508.57</b>	\$91.23	3.77%		
			2010-11	2,302.33	115.02	-		<b>\$2,417.35</b>	\$74.79	3.19%		
	1.3	\$43,160	2009-10	2,230.85	111.70	-		<b>\$2,342.55</b>	\$352.91	17.74%		
			2008-09	1,883.73	105.91	-		<b>\$1,989.64</b>	\$218.72	12.35%		
Reval '07	\$33,200	2007-08	1,684.90	86.02	-		<b>\$1,770.92</b>					
<b>Average Primary Production since 2007 Revaluation</b>											<b>13.23%</b>	<b>175.36%</b>
											<b>6.62%</b>	<b>87.68%</b>



**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Extra Capacity 140 Litre

General Rate: RID			Fire Levy: RID			Kerbside Collection		Waste Infrastructure
			urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>	2017-18	0.056727	0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Waste Management				TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
				Rates	F/Levy	Collection	Fixed		(\$)	(%)		
Prospect Vale	1.15	\$15,136	2017-18	858.64	199.00	154.00	52.00	<b>\$1,263.63</b>	\$84.17	7.14%	2.50%	27.88%
			2016-17	790.75	184.72	158.00	46.00	<b>\$1,179.46</b>	\$30.91	2.69%		
	No adj.	\$13,162	2015-16	780.60	179.95	158.00	30.00	<b>\$1,148.55</b>	\$16.30	1.44%		
			2014-15	781.80	175.45	160.00	15.00	<b>\$1,132.25</b>	\$40.44	3.70%		
	Reval '13	\$13,162	2013-14	759.03	172.78	160.00		<b>\$1,091.81</b>	\$15.69	1.46%		
			2012-13	749.56	166.56	160.00		<b>\$1,076.12</b>	\$15.65	1.48%		
	1.1	\$12,356	2011-12	738.48	161.99	160.00		<b>\$1,060.47</b>	\$22.73	2.19%		
			2010-11	712.33	165.41	160.00		<b>\$1,037.74</b>	\$19.97	1.92%		
	1.05	\$11,794	2009-10	690.26	167.52	160.00		<b>\$1,017.78</b>	\$18.77	1.88%		
			2008-09	689.90	158.85	150.25		<b>\$999.00</b>	\$10.84	1.10%		
Reval	\$11,232	2007-08	671.19	172.97	144.00		<b>\$988.16</b>					
Blackstone Heights	1.1	\$17,336	2017-18	983.42	227.92	154.00	52.00	<b>\$1,417.34</b>	\$45.33	3.30%	2.01%	22.07%
			2016-17	946.83	221.18	158.00	46.00	<b>\$1,372.01</b>	\$33.86	2.53%		
		\$15,760	2015-16	934.68	215.47	158.00	30.00	<b>\$1,338.15</b>	\$16.96	1.28%		
			2014-15	936.11	210.08	160.00	15.00	<b>\$1,321.19</b>	\$45.46	3.56%		
		\$15,760	2013-14	908.85	206.88	160.00		<b>\$1,275.73</b>	\$22.14	1.77%		
			2012-13	894.77	198.83	160.00		<b>\$1,253.60</b>	\$9.84	0.79%		
		\$14,750	2011-12	890.39	193.37	160.00		<b>\$1,243.76</b>	\$20.82	1.70%		
			2010-11	865.48	197.45	160.00		<b>\$1,222.93</b>	\$28.03	2.29%		
		\$14,078	2009-10	834.93	199.97	160.00		<b>\$1,194.90</b>	\$22.27	1.90%		
			2008-09	832.76	189.63	150.25		<b>\$1,172.64</b>	\$11.51	0.99%		
	\$13,408	2007-08	810.65	206.48	144.00		<b>\$1,161.13</b>					

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy &amp; Waste Service Charges

Kerbside Collection - Extra Capacity 140 Litre

2.8% increase	General Rate: RID		Fire Levy: RID			Kerbside Collection		Waste Infrastructure
	2017-18	0.056727	urban	country	other	80 Ltr	140 Ltr	Fixed
			0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Waste Management				TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
				Rates	F/Levy	Collection	Fixed		(\$)	(%)		
Hadspen	1.15	\$12,892	2017-18	731.30	49.59	154.00	52.00	<b>\$986.89</b>	\$65.35	7.09%	2.84%	32.14%
			2016-17	673.47	44.07	158.00	46.00	<b>\$921.54</b>	\$25.72	2.87%		
		\$11,210	2015-16	664.83	42.99	158.00	30.00	<b>\$895.82</b>	\$12.54	1.42%		
			2014-15	665.85	42.43	160.00	15.00	<b>\$883.28</b>	\$35.85	4.23%		
		\$11,210	2013-14	646.46	40.97	160.00		<b>\$847.43</b>	\$13.18	1.58%		
			2012-13	635.26	38.99	160.00		<b>\$834.25</b>	\$8.85	1.07%		
		\$10,472	2011-12	625.87	39.53	160.00		<b>\$825.40</b>	\$22.71	2.83%		
			2010-11	603.76	38.93	160.00		<b>\$802.69</b>	\$18.98	2.42%		
		\$9,996	2009-10	585.05	38.66	160.00		<b>\$783.71</b>	\$11.92	1.54%		
	2008-09	584.75	36.79	150.25		<b>\$771.79</b>	\$24.93	3.34%				
	2007-08	568.89	33.97	144.00		<b>\$746.86</b>						
Carrick	1.1	\$13,156	2017-18	746.30	50.61	154.00	52.00	<b>\$1,002.91</b>	\$33.36	3.44%	1.94%	20.99%
			2016-17	718.53	47.01	158.00	46.00	<b>\$969.55</b>	\$26.37	2.80%		
		\$11,960	2015-16	709.31	45.87	158.00	30.00	<b>\$943.18</b>	\$12.51	1.34%		
			2014-15	710.40	45.27	160.00	15.00	<b>\$930.67</b>	\$37.25	4.17%		
		\$11,960	2013-14	689.71	43.71	160.00		<b>\$893.42</b>	-\$32.62	-3.52%		
			2012-13	721.74	44.30	160.00		<b>\$926.04</b>	\$10.06	1.10%		
		\$11,898	2011-12	711.07	44.91	160.00		<b>\$915.98</b>	\$25.80	2.90%		
			2010-11	685.95	44.23	160.00		<b>\$890.18</b>	\$21.56	2.48%		
		\$11,357	2009-10	664.69	43.93	160.00		<b>\$868.62</b>	\$12.22	1.43%		
	2008-09	664.35	41.80	150.25		<b>\$856.40</b>	\$27.48	3.32%				
	2007-08	646.33	38.59	144.00		<b>\$828.92</b>						

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy & Waste Service Charges

Kerbside Collection - Extra Capacity 140 Litre

2.8% increase	General Rate: RID		Fire Levy: RID			Kerbside Collection		Waste Infrastructure
	2017-18	0.056727	urban	country	other	80 Ltr	140 Ltr	Fixed
			0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV	2017-18	Waste Management				TOTAL	Increase		Average Increase since 2007 reval	Total Increase since 2007 reval
				Rates	F/Levy	Collection	Fixed		(\$)	(%)		
Bracknell	1.1	\$10,340	2017-18	586.56	39.00	154.00	52.00	<b>\$831.56</b>	\$24.82	3.08%	3.14%	36.05%
			2016-17	564.73	38.00	158.00	46.00	<b>\$806.73</b>	\$23.25	2.97%		
		\$9,400	2015-16	557.49	38.00	158.00	30.00	<b>\$783.49</b>	\$13.14	1.71%		
			2014-15	558.34	37.00	160.00	15.00	<b>\$770.34</b>	\$32.26	4.37%		
		\$9,400	2013-14	542.08	36.00	160.00		<b>\$738.08</b>	\$54.96	8.05%		
			2012-13	487.12	36.00	160.00		<b>\$683.12</b>	\$8.20	1.22%		
		\$8,030	2011-12	479.92	35.00	160.00		<b>\$674.92</b>	\$17.95	2.73%		
			2010-11	462.97	34.00	160.00		<b>\$656.97</b>	\$14.35	2.23%		
		\$7,665	2009-10	448.62	34.00	160.00		<b>\$642.62</b>	\$11.98	1.90%		
	2008-09	448.39	32.00	150.25		<b>\$630.64</b>	\$19.41	3.18%				
	2007-08	\$7,300	436.23	31.00	144.00		<b>\$611.23</b>					
Westbury	1.1	\$12,164	2017-18	690.02	46.79	154.00	52.00	<b>\$942.81</b>	\$31.00	3.40%	2.34%	25.90%
			2016-17	664.34	43.47	158.00	46.00	<b>\$911.81</b>	\$25.59	2.89%		
		\$11,058	2015-16	655.82	42.41	158.00	30.00	<b>\$886.22</b>	\$12.55	1.44%		
			2014-15	656.82	41.85	160.00	15.00	<b>\$873.67</b>	\$35.56	4.24%		
		\$11,058	2013-14	637.70	40.42	160.00		<b>\$838.12</b>	\$1.53	0.18%		
			2012-13	637.46	39.13	160.00		<b>\$836.59</b>	\$8.89	1.07%		
		\$10,508	2011-12	628.03	39.67	160.00		<b>\$827.70</b>	\$22.85	2.84%		
			2010-11	605.79	39.07	160.00		<b>\$804.86</b>	\$19.06	2.42%		
		\$10,030	2009-10	587.01	38.79	160.00		<b>\$785.80</b>	\$11.92	1.54%		
	2008-09	586.71	36.92	150.25		<b>\$773.88</b>	\$25.00	3.34%				
	2007-08	\$9,552	570.80	34.08	144.00		<b>\$748.88</b>					

**2.80% General Rate Increase 2018**

Rating Comparison - General Rates, Fire Levy &amp; Waste Service Charges

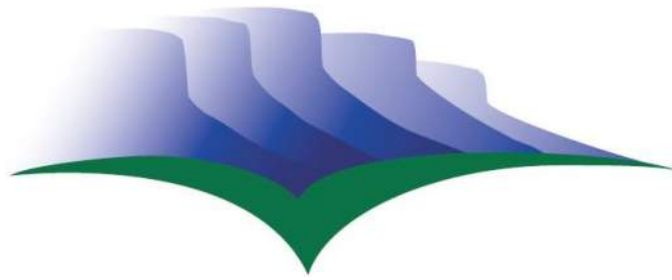
Kerbside Collection - Extra Capacity 140 Litre

General Rate: RID			Fire Levy: RID			Kerbside Collection		Waste Infrastructure
	2017-18	0.056727	urban	country	other	80 Ltr	140 Ltr	Fixed
<b>2.8% increase</b>			0.013147	0.003847	0.003535	128.00	154.00	52.00

Locality	Adj. Factor	AAV		Waste Management				Increase		Average	Total	
				Rates	F/Levy	Collection	Fixed	TOTAL	(\$)	(%)	Increase since 2007 reval	Increase since 2007 reval
Deloraine	1.1	\$11,713	2017-18	664.43	45.06	154.00	52.00	<b>\$915.49</b>	-\$4.16	-0.45%	2.77%	31.21%
			2016-17	671.70	43.95	158.00	46.00	<b>\$919.65</b>	\$25.69	2.87%		
	1.05	\$11,180	2015-16	663.08	42.88	158.00	30.00	<b>\$893.95</b>	\$46.18	5.45%		
			2014-15	632.47	40.30	160.00	15.00	<b>\$847.77</b>	\$34.80	4.28%		
		\$10,648	2013-14	614.05	38.92	160.00		<b>\$812.97</b>	\$33.49	4.30%		
			2012-13	583.48	36.00	160.00		<b>\$779.48</b>	\$8.32	1.08%		
		\$9,618	2011-12	574.85	36.31	160.00		<b>\$771.16</b>	\$20.86	2.78%		
			2010-11	554.54	35.76	160.00		<b>\$750.30</b>	\$17.44	2.38%		
		\$9,181	2009-10	537.36	35.51	160.00		<b>\$732.87</b>	\$11.73	1.63%		
	2008-09	537.08	33.80	150.25		<b>\$721.13</b>	\$23.42	3.36%				
	2007-08	\$8,744	522.52	31.20	144.00		<b>\$697.72</b>					
<b>Average Residential with 140L bin Waste Collection since 2007 Revaluation</b>											<b>17.54%</b>	<b>196.23%</b>
											<b>2.51%</b>	<b>28.03%</b>

<b>One Off Specific Projects &amp; Programs</b>		<b>Budget 2017</b>	<b>Anticipated 2017</b>	<b>Carried Fwd 2018</b>	<b>Budget 2018</b>
<b>Governance</b>					
Consultant GM recruitment	Management	15,000	18,200	-	-
Consultants & expert advice for Councillor requests	Management	-	-	-	20,000
Office structural changes	Admin Support	-	15,000	-	-
Community satisfaction survey (Biannual)	Other Functions	8,000	8,000	-	-
KPMG shared services report	Other Functions	12,000	12,000	-	-
Ten days on the island (Biannual)	Sundry Cultural	3,000	3,000	-	-
Youth activities, school holiday programs etc.	Youth Support	8,000	8,000	-	-
Youth projects (WCHC funded in 15-16)	Youth Support	13,000	7,000	-	-
Economic development, industry needs support & research	Economic Services	-	-	8,000	8,000
Asian engagement strategy development	Economic Services	-	-	6,000	6,000
Schools feasibility study	Economic Services	-	-	5,000	5,000
		<b>59,000</b>	<b>71,200</b>	<b>19,000</b>	<b>39,000</b>
<b>Corporate</b>					
Great Western Tiers touring brochure preparation		-	-	-	16,000
		-	-	-	<b>16,000</b>
<b>Community &amp; Development</b>					
Consultant department review	Management	-	11,400	-	-
Workflow process improvements	Management	-	-	-	10,000
Consultant Director recruitment	Management	-	22,500	-	-
Hadspen ODP urban design, commercial centre	Planning	10,000	8,900	-	-
DoE Land, development plan	Planning	10,000	-	-	-
Westbury Rd Prospect Vale, planning design	Planning	32,500	-	-	-
Tasmanian planning scheme review	Planning	50,000	5,200	-	-
Westbury recreation spaces vision	Com. Development	2,000	-	2,000	2,000
Deloraine recreation feasibility study (Grant)	Recreation	-	47,500	-	98,500
NRM HGL salinity activities	NRM	-	-	12,200	24,600
		<b>104,500</b>	<b>95,500</b>	<b>14,200</b>	<b>135,100</b>
<b>Economic Development &amp; Sustainability</b>					
Hadspen Urban Growth Project, part 5 agreement costs	Economic Services	7,000	-	-	-
Economic development, industry needs support & research	Economic Services	29,000	2,400	-	-
Economic renewal group support	Economic Services	5,000	-	-	-
Review strategic locations CCTV	Economic Services	10,000	-	-	-
Asian engagement strategy development	Economic Services	18,000	-	-	-
Schools feasibility study	Economic Services	5,000	-	-	-
NRM green army project	NRM	25,000	10,300	-	-
NRM HGL salinity activities	NRM	12,200	-	-	-
NRM Strategy review	NRM	5,000	5,000	-	-
		<b>116,200</b>	<b>17,700</b>	<b>-</b>	<b>-</b>
<b>Infrastructure</b>					
Consultants & expert advice for Councillor requests	Management	20,000	-	20,000	20,000
Buildings asset revaluation (3 year cycle)	Asset Management	20,000	15,000	-	-
GHD road assessment, ground penetrating radar	Asset Management	15,000	-	15,000	20,000
NHVR bridge assessments	Road Management	-	-	-	5,000
Osmaston Road design options at Golf Course	Road Management	-	-	-	7,500
Meander Valley Road Westbury design options at Maze	Road Management	-	-	-	10,000
Country Club Ave/Las Vegas intersection design options	Road Management	-	-	-	10,000
Deloraine traffic network study	Road Management	-	-	-	20,000
Consultant road design & surveys	Road Management	20,000	-	10,000	10,000
GIS survey & update	IT	20,000	18,500	1,500	20,000
Asbestos action plan & clean up	Property Management	-	-	-	30,000
Meander flood zone mapping (Grant)	Emergency Services	-	11,250	-	-
Great Western Tiers mtn bike trail study feas. (Grant)	Economic Services	-	-	-	150,000
Bioenergy study (Grant)	Economic Services	-	-	-	100,000
Hadspen Urban Growth Project support	Economic Services	145,000	-	10,000	10,000
Waste management strategy	Household Waste	30,000	30,000	-	30,000
Tip sites, two roofed structures for oil bunds	Household Waste	9,000	12,000	-	-
Westbury tip, inert waste removal	Household Waste	25,000	25,000	-	15,000
Meander Transfer Station retaining wall	Household Waste	-	-	-	10,000
Environmental Management Plans	Household Waste	-	-	-	12,000
Setting up micro grid trial	Sustainability	-	-	-	10,000
Bracknell Sewerage Feasibility Plan (Taswater)	Com. Development	-	-	-	70,000
Fishing pontoon contribution (Grant)	Recreation & Sports	-	-	-	48,000
Bass Hwy tree planting	Parks & Reserves	-	-	-	5,000
Rosevale Hall floor maintenance treatment	Public Halls	-	-	-	15,000
Westbury Rd Prospect Vale, planning design	Planning	-	-	10,500	10,500
Tasmanian planning scheme review	Planning	-	-	30,000	30,000
Stormwater surveys & studies	Stormwater	35,000	50,000	-	50,000
		<b>339,000</b>	<b>161,750</b>	<b>97,000</b>	<b>718,000</b>
<b>Works</b>					
R2R roadside drainage		150,000	150,000	-	150,000
Report on works depot locations		-	-	-	25,000
		<b>150,000</b>	<b>150,000</b>	<b>-</b>	<b>175,000</b>
		<b>\$ 768,700</b>	<b>\$ 496,150</b>	<b>\$ 130,200</b>	<b>\$ 1,083,100</b>

Note: Council's Long Term Financial Plan allows for one off projects of \$300,000 each year.



# **MEANDER VALLEY COUNCIL**

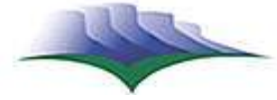
## **OPERATING BUDGET 2017-18**



# Meander Valley Council

## 2017-2018 Rating Budget

<b>Consolidated Operating Statement</b>	<b>Budget 2016-17</b>	<b>Anticipated Actual 2016-17</b>	<b>Budget 2017-18</b>	<b>'17 to '18 Variance</b>	
<b>Operating Revenue</b>					
Rate Revenue	11,293,500	11,460,800	11,890,600	597,100	5.29%
Fees & User Charges	1,101,700	1,183,300	1,126,500	24,800	2.25%
Contributions	61,800	332,200	120,000	58,200	94.17%
Interest	907,300	932,600	751,000	(156,300)	-17.23%
Grants & Subsidies	4,287,000	6,783,700	2,538,100	(1,748,900)	-40.80%
Other Revenue	1,013,200	1,033,200	1,023,300	10,100	1.00%
<b>Total Operating Revenue</b>	<b>18,664,500</b>	<b>21,725,800</b>	<b>17,449,500</b>	<b>(1,215,000)</b>	<b>-6.51%</b>
<b>Operating Expenditure</b>					
Departments					
Governance	1,706,600	1,601,800	1,203,800	(502,800)	-29.46%
Corporate Services	1,652,100	1,587,800	2,006,200	354,100	21.43%
Infrastructure Services	2,603,900	2,474,300	3,363,100	759,200	29.16%
Community & Development Services	1,771,900	1,696,800	2,661,300	889,400	50.19%
Works	3,503,500	3,671,400	3,682,300	178,800	5.10%
Econ. Development & Sustainability	1,067,200	1,181,400	-	(1,067,200)	-100.00%
Maintenance & Working Expenses	12,305,200	12,213,500	12,916,700	611,500	4.97%
Borrowing Costs	271,300	241,300	241,300	(30,000)	-11.06%
Depreciation	4,961,000	4,930,100	5,052,000	91,000	1.83%
Payments to Government Authorities	1,075,600	1,087,900	1,136,200	60,600	5.63%
Administration Allocated	-	-	-	-	-
Other Payments	245,000	289,400	250,200	5,200	2.12%
<b>Total Operating Expenditure</b>	<b>18,858,100</b>	<b>18,762,200</b>	<b>19,596,400</b>	<b>738,300</b>	<b>3.92%</b>
<b>Surplus/(Deficit) from Continuing Operations</b>	<b>(193,600)</b>	<b>2,963,600</b>	<b>(2,146,900)</b>		
<b>Abnormal Items</b>					
Financial Assistance Grants Prepayment		(2,099,900)	2,099,900		
Flood Remediation Costs	-	351,400	-		
Operating Disaster Recovery Funding	-	(292,100)	-		
Project funds brought fwd from previous year	202,200	202,200	130,200		
Project funds carried over to next year	-	(130,200)	-		
<b>Total Abnormal Items</b>	<b>202,200</b>	<b>(1,968,600)</b>	<b>2,230,100</b>		
<b>Underlying Surplus/(Deficit)</b>	<b>8,600</b>	<b>995,000</b>	<b>83,200</b>		
<b>Capital Items</b>					
Subdivision Contributions	250,000	300,000	300,000		
Capital Disaster Recovery Funding	-	1,600,000	1,806,500		
Capital Roads to Recovery Funding	1,997,300	1,601,600	902,000		
Capital Grants	676,200	592,700	1,026,000		
<b>Total Capital Items</b>	<b>2,923,500</b>	<b>4,094,300</b>	<b>4,034,500</b>		
<b>Cash Reconciliation</b>					
Opening Cash Balance	22,725,809	22,725,809	21,284,709		
Surplus, Non-Cash Items & Loan Payments	8,025,900	12,232,100	6,999,500		
Capital Asset Expenditure	(15,033,100)	(13,673,200)	(13,517,700)		
<b>Closing Cash Balance</b>	<b>15,718,609</b>	<b>21,284,709</b>	<b>14,766,509</b>		



# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>General Administration</b>			
Function Summary			
<b>Operating Revenue</b>			
Rate Revenue	-	-	-
Fees & User Charges	157,500	176,700	172,500
Contributions	2,800	2,200	2,000
Interest	-	-	-
Grants & Subsidies	-	-	-
Other Revenue	1,500	5,500	1,500
<b>Total Operating Revenue</b>	<b>161,800</b>	<b>184,400</b>	<b>176,000</b>
<b>Operating Expenditure</b>			
Departments			
Governance	1,100,700	1,029,000	987,300
Corporate Services	1,612,200	1,557,500	1,597,700
Infrastructure Services	176,800	182,490	244,800
Community & Development Services	84,600	98,900	90,100
Works	-	3,000	5,200
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	2,974,300	2,870,890	2,925,100
Interest on Loans	-	-	-
Depreciation	204,000	202,200	199,600
Payments to Government Authorities	-	-	-
Administration Allocated	(77,800)	(77,400)	(80,200)
Other Payments	29,000	30,000	30,000
<b>Total Operating Expenditure</b>	<b>3,129,500</b>	<b>3,025,690</b>	<b>3,074,500</b>
<b>Operating Surplus/(Deficit)</b>	<b>(2,967,700)</b>	<b>(2,841,290)</b>	<b>(2,898,500)</b>
<b>Add</b>			
Depreciation	204,000	202,200	199,600
Loan Funds	-	-	-
Asset Sales	215,000	-	-
Accrual Non-Cash Adjustments	-	-	-
<b>Less</b>			
Asset Expenditure	316,500	170,800	263,000
Loan Principal	-	-	-
Profit (Loss) on Disposal of Fixed Assets	-	-	-
<b>Cash Surplus/(Deficit)</b>	<b>(2,865,200)</b>	<b>(2,809,890)</b>	<b>(2,961,900)</b>



# Meander Valley Council

## 2017-2018 Rating Budget

General Administration	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Administration</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	157,500	176,700	172,500	337 Certificates, Rent
Contributions	2,800	2,200	2,000	
Interest				
Grants & Subsidies				
Other Revenue	1,500	5,500	1,500	
<b>Total Operating Revenue</b>	<b>161,800</b>	<b>184,400</b>	<b>176,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	1,100,700	1,029,000	987,300	
Corporate Services	1,612,200	1,557,500	1,597,700	
Infrastructure Services	176,800	182,490	244,800	GIS, Asset mgt & Prop. mgt
Community & Development Services	84,600	98,900	90,100	337 Certificates
Works	-	3,000	5,200	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	2,974,300	2,870,890	2,925,100	
Interest on Loans				
Depreciation	204,000	202,200	199,600	
Payments to Government Authorities				
Administration Allocated	(77,800)	(77,400)	(80,200)	
Other Payments	29,000	30,000	30,000	Audit fees
<b>Total Operating Expenditure</b>	<b>3,129,500</b>	<b>3,025,690</b>	<b>3,074,500</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(2,967,700)</b>	<b>(2,841,290)</b>	<b>(2,898,500)</b>	
<b>Add</b>				
Depreciation	204,000	202,200	199,600	
Loan Funds				
Asset Sales	215,000	-	-	
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	316,500	170,800	263,000	ICT & Fleet
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(2,865,200)</b>	<b>(2,809,890)</b>	<b>(2,961,900)</b>	



# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Roads, Streets &amp; Bridges</b>			
Function Summary			
<b>Operating Revenue</b>			
Rate Revenue	-	-	-
Fees & User Charges	61,000	64,800	64,500
Contributions	200,000	200,000	200,000
Interest	-	-	-
Grants & Subsidies	4,800,300	5,246,800	2,813,300
Other Revenue	-	-	-
<b>Total Operating Revenue</b>	<b>5,061,300</b>	<b>5,511,600</b>	<b>3,077,800</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	98,200	133,700	192,400
Community & Development Services	-	-	-
Works	2,048,400	2,259,400	2,177,700
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	2,146,600	2,393,100	2,370,100
Interest on Loans	-	-	-
Depreciation	3,125,000	3,172,200	3,193,400
Payments to Government Authorities	-	-	-
Administration Allocated	-	-	-
Other Payments	100,000	100,000	100,000
<b>Total Operating Expenditure</b>	<b>5,371,600</b>	<b>5,665,300</b>	<b>5,663,500</b>
<b>Operating Surplus/(Deficit)</b>	<b>(310,300)</b>	<b>(153,700)</b>	<b>(2,585,700)</b>
<b>Add</b>			
Depreciation	3,125,000	3,172,200	3,193,400
Loan Funds	-	-	-
Asset Sales	-	-	-
Accrual Non-Cash Adjustments	(200,000)	(200,000)	(200,000)
<b>Less</b>			
Asset Expenditure	9,088,800	8,970,200	8,697,800
Loan Principal	-	-	-
Profit (Loss) on Disposal of Fixed Assets	(100,000)	(100,000)	(100,000)
<b>Cash Surplus/(Deficit)</b>	<b>(6,374,100)</b>	<b>(6,051,700)</b>	<b>(8,190,100)</b>

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Roads, Streets &amp; Bridges</b>				
<b>Roads &amp; Streets</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	61,000	64,800	64,500	Heavy vehicle motor tax
Contributions	200,000	200,000	200,000	Subdivisions taken over
Interest				
Grants & Subsidies	4,073,300	4,595,600	1,997,000	FAGs & R2R
Other Revenue				
<b>Total Operating Revenue</b>	<b>4,334,300</b>	<b>4,860,400</b>	<b>2,261,500</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services	-	-	-	
Works	2,048,400	2,259,400	2,177,700	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	2,048,400	2,259,400	2,177,700	
Interest on Loans				
Depreciation	2,490,000	2,566,100	2,581,100	
Payments to Government Authorities				
Administration Allocated				
Other Payments	100,000	100,000	100,000	Asset disposal write off
<b>Total Operating Expenditure</b>	<b>4,638,400</b>	<b>4,925,500</b>	<b>4,858,800</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(304,100)</b>	<b>(65,100)</b>	<b>(2,597,300)</b>	
<b>Add</b>				
Depreciation	2,490,000	2,566,100	2,581,100	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments	(200,000)	(200,000)	(200,000)	Subdivisions taken over
<b>Less</b>				
Asset Expenditure	5,983,800	4,536,200	6,776,100	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets	(100,000)	(100,000)	(100,000)	
<b>Cash Surplus/(Deficit)</b>	<b>(3,897,900)</b>	<b>(2,135,200)</b>	<b>(6,892,300)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Roads, Streets &amp; Bridges</b>				
<b>Bridges</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions				
Interest				
Grants & Subsidies	727,000	651,200	816,300	FAGs & Union Bridge
Other Revenue				
<b>Total Operating Revenue</b>	<b>727,000</b>	<b>651,200</b>	<b>816,300</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	98,200	133,700	192,400	
Community & Development Services Works	-	-	-	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	98,200	133,700	192,400	
Interest on Loans				
Depreciation	635,000	606,100	612,300	
Payments to Government Authorities Administration Allocated Other Payments				
<b>Total Operating Expenditure</b>	<b>733,200</b>	<b>739,800</b>	<b>804,700</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(6,200)</b>	<b>(88,600)</b>	<b>11,600</b>	
<b>Add</b>				
Depreciation	635,000	606,100	612,300	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	3,105,000	4,434,000	1,921,700	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(2,476,200)</b>	<b>(3,916,500)</b>	<b>(1,297,800)</b>	



# Meander Valley Council

## 2017-2018 Rating Budget

	<b>Budget 2016-17</b>	<b>Anticipated Actual 2016-17</b>	<b>Budget 2017-18</b>
<b>Health, Community &amp; Welfare</b>			
Function Summary			
<b>Operating Revenue</b>			
Rate Revenue	2,439,500	2,465,000	2,572,900
Fees & User Charges	431,500	465,500	424,600
Contributions	94,000	144,000	164,000
Interest	211,300	211,300	211,300
Grants & Subsidies	-	1,992,900	2,006,500
Other Revenue	86,800	87,400	86,200
<b>Total Operating Revenue</b>	<b>3,263,100</b>	<b>5,366,100</b>	<b>5,465,500</b>
<b>Operating Expenditure</b>			
Departments			
Governance	281,700	249,500	216,500
Corporate Services	700	200	368,000
Infrastructure Services	1,987,800	1,810,620	2,291,800
Community & Development Services	423,000	392,500	1,025,500
Works	960,300	932,300	992,500
Econ. Development & Sustainability	1,067,200	1,181,400	-
Maintenance & Working Expenses	4,720,700	4,566,520	4,894,300
Interest on Loans	271,300	241,300	241,300
Depreciation	511,400	486,300	529,400
Payments to Government Authorities	1,075,600	1,087,900	1,136,200
Administration Allocated	77,200	76,800	79,600
Other Payments	76,000	44,700	77,600
<b>Total Operating Expenditure</b>	<b>6,732,200</b>	<b>6,503,520</b>	<b>6,958,400</b>
<b>Operating Surplus/(Deficit)</b>	<b>(3,469,100)</b>	<b>(1,137,420)</b>	<b>(1,492,900)</b>
<b>Add</b>			
Depreciation	511,400	486,300	529,400
Loan Funds	-	-	-
Asset Sales	-	-	-
Accrual Non-Cash Adjustments	10,000	(70,000)	(70,000)
<b>Less</b>			
Asset Expenditure	2,246,100	1,697,100	1,634,400
Loan Principal	-	-	-
Profit (Loss) on Disposal of Fixed Assets	-	-	-
<b>Cash Surplus/(Deficit)</b>	<b>(5,193,800)</b>	<b>(2,418,220)</b>	<b>(2,667,900)</b>

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Health - Preventive Health</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	27,000	27,000	28,000	
Contributions				
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	<b>27,000</b>	<b>27,000</b>	<b>28,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services Works	184,500	153,800	186,200	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	184,500	153,800	186,200	
Interest on Loans				
Depreciation	4,300	-	-	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>188,800</b>	<b>153,800</b>	<b>186,200</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(161,800)</b>	<b>(126,800)</b>	<b>(158,200)</b>	
<b>Add</b>				
Depreciation	4,300	-	-	Vehicle fully depreciated
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	-	fleet
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(157,500)</b>	<b>(126,800)</b>	<b>(158,200)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Community - Animal Control</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	80,000	82,500	78,000	Animal licences & fines
Contributions				
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	<b>80,000</b>	<b>82,500</b>	<b>78,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services	144,800	151,700	170,600	
Works	21,900	5,500	20,000	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	166,700	157,200	190,600	
Interest on Loans				
Depreciation	9,500	9,400	9,400	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>176,200</b>	<b>166,600</b>	<b>200,000</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(96,200)</b>	<b>(84,100)</b>	<b>(122,000)</b>	
<b>Add</b>				
Depreciation	9,500	9,400	9,400	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	15,000	fleet
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(86,700)</b>	<b>(74,700)</b>	<b>(127,600)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Community - Fire Protection</b>				
<b>Operating Revenue</b>				
Rate Revenue	1,075,600	1,087,900	1,136,200	State fire contribution
Fees & User Charges	2,500	1,000	2,000	Fire hazard clearing
Contributions				
Interest				
Grants & Subsidies				
Other Revenue	43,000	43,000	45,400	Administration charge (4%)
<b>Total Operating Revenue</b>	<b>1,121,100</b>	<b>1,131,900</b>	<b>1,183,600</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services	28,500	21,000	19,200	Fire hazard control
Works	262,000	266,100	274,100	Roadside vegetation
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	290,500	287,100	293,300	
Interest on Loans				
Depreciation				
Payments to Government Authorities	1,075,600	1,087,900	1,136,200	State fire commission
Administration Allocated	43,000	43,000	45,400	
Other Payments				
<b>Total Operating Expenditure</b>	<b>1,409,100</b>	<b>1,418,000</b>	<b>1,474,900</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(288,000)</b>	<b>(286,100)</b>	<b>(291,300)</b>	
<b>Add</b>				
Depreciation				
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure				
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(288,000)</b>	<b>(286,100)</b>	<b>(291,300)</b>	



# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Community - Area Promotion</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	102,000	118,800	116,000	Visitor information centre
Contributions	1,000	1,000	1,000	
Interest				
Grants & Subsidies		800	-	
Other Revenue	43,500	39,800	39,500	Commissions etc.
<b>Total Operating Revenue</b>	<b>146,500</b>	<b>160,400</b>	<b>156,500</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	66,500	Includes TNT contribution
Corporate Services	-	-	367,000	Visitor Information Centre
Infrastructure Services	13,700	8,800	34,700	
Community & Development Services	-	-	-	
Works	-	2,300	2,300	
Econ. Development & Sustainability	518,700	437,800	-	
Maintenance & Working Expenses	532,400	448,900	470,500	
Interest on Loans				
Depreciation	31,000	30,700	31,400	
Payments to Government Authorities				
Administration Allocated				Craft fair & Townscape
Other Payments	12,000	7,200	10,000	& Heritage grants
<b>Total Operating Expenditure</b>	<b>575,400</b>	<b>486,800</b>	<b>511,900</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(428,900)</b>	<b>(326,400)</b>	<b>(355,400)</b>	
<b>Add</b>				
Depreciation	31,000	30,700	31,400	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	77,900	58,200	18,100	incl GWTVIC carryover
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(475,800)</b>	<b>(353,900)</b>	<b>(342,100)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Community - Economic Services</b>				
<b>Operating Revenue</b>				
Rate Revenue	-	-	-	
Fees & User Charges	-	-	-	
Contributions	-	-	-	
Interest	-	-	-	
Grants & Subsidies	-	50,000	150,000	Bike trail study & CCTV
Other Revenue	-	4,300	-	MVEC residual funds
<b>Total Operating Revenue</b>	<b>-</b>	<b>54,300</b>	<b>150,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	150,000	Includes corporate communications
Corporate Services	-	-	-	
Infrastructure Services	152,400	4,200	344,100	Bike trails & Bioenergy projects
Community & Development Services Works	-	-	2,300	
Econ. Development & Sustainability	339,300	595,700	-	
Maintenance & Working Expenses	491,700	599,900	496,400	
Interest on Loans				
Depreciation	6,300	3,400	2,500	
Payments to Government Authorities Administration Allocated				Industrial land policy rate relief grants
Other Payments	4,000	-	4,000	
<b>Total Operating Expenditure</b>	<b>502,000</b>	<b>603,300</b>	<b>502,900</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(502,000)</b>	<b>(549,000)</b>	<b>(352,900)</b>	
<b>Add</b>				
Depreciation	6,300	3,400	2,500	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	164,500	-	HUGP Assessed Contributions
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(495,700)</b>	<b>(710,100)</b>	<b>(350,400)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Community - State Emergency</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions				
Interest				
Grants & Subsidies	-	1,892,100	1,806,500	Estimated disaster recovery
Other Revenue				
<b>Total Operating Revenue</b>	-	1,892,100	1,806,500	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	27,600	31,400	23,900	
Community & Development Services Works	-	-	-	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	27,600	31,400	23,900	
Interest on Loans				
Depreciation	9,000	6,900	6,900	
Payments to Government Authorities Administration Allocated Other Payments				
<b>Total Operating Expenditure</b>	36,600	38,300	30,800	
<b>Operating Surplus/(Deficit)</b>	(36,600)	1,853,800	1,775,700	
<b>Add</b>				
Depreciation	9,000	6,900	6,900	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	-	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	(27,600)	1,860,700	1,782,600	

# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Community - Household Waste</b>				
<b>Operating Revenue</b>				
Rate Revenue	1,363,900	1,377,100	1,436,700	
Fees & User Charges	202,500	184,900	180,100	Tips & transfer station fees
Contributions				
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	<b>1,566,400</b>	<b>1,562,000</b>	<b>1,616,800</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	1,371,600	1,371,820	1,460,700	
Community & Development Services	-	-	-	
Works	17,100	11,500	17,400	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	1,388,700	1,383,320	1,478,100	
Borrowing Costs (re: tip rehab. provision)	60,000	30,000	30,000	
Depreciation	88,500	74,500	74,500	
Payments to Government Authorities				
Administration Allocated	34,200	33,800	34,200	
Other Payments				
<b>Total Operating Expenditure</b>	<b>1,571,400</b>	<b>1,521,620</b>	<b>1,616,800</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(5,000)</b>	<b>40,380</b>	<b>-</b>	
<b>Add</b>				
Depreciation	88,500	74,500	74,500	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments	60,000	30,000	30,000	Tip liability movement
<b>Less</b>				
Asset Expenditure	330,000	138,600	490,000	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(186,500)</b>	<b>6,280</b>	<b>(385,500)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Health, Community &amp; Welfare</b>			
<b>Community - Non-Household Waste</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges			
Contributions			
Interest			
Grants & Subsidies			
Other Revenue			
<b>Total Operating Revenue</b>	-	-	-
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	-	-	-
Community & Development Services	-	-	-
Works	214,500	210,000	221,500
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	214,500	210,000	221,500
Interest on Loans			
Depreciation	2,100	1,600	1,200
Payments to Government Authorities			
Administration Allocated			
Other Payments			
<b>Total Operating Expenditure</b>	216,600	211,600	222,700
<b>Operating Surplus/(Deficit)</b>	(216,600)	(211,600)	(222,700)
<b>Add</b>			
Depreciation	2,100	1,600	1,200
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure			
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	(214,500)	(210,000)	(221,500)

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Community - Stormwater Drainage</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	-	4,300	2,000	
Contributions	50,000	100,000	100,000	Subdivisions taken over
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	50,000	104,300	102,000	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	77,200	74,000	75,200	
Community & Development Services	-	-	-	
Works	128,900	124,800	132,900	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	206,100	198,800	208,100	
Interest on Loans				
Depreciation	320,000	321,600	323,100	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	526,100	520,400	531,200	
<b>Operating Surplus/(Deficit)</b>	(476,100)	(416,100)	(429,200)	
<b>Add</b>				
Depreciation	320,000	321,600	323,100	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments	(50,000)	(100,000)	(100,000)	Subdivision contributions
<b>Less</b>				
Asset Expenditure	753,200	401,700	900,000	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	(959,300)	(596,200)	(1,106,100)	

# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Community - Other Protection of the Environment</b>				
<b>Operating Revenue</b>				
Rate Revenue	-	-	-	
Fees & User Charges	-	-	-	
Contributions	43,000	43,000	43,000	NRM North contribution
Interest	-	-	-	
Grants & Subsidies	-	50,000	50,000	Bioenergy project
Other Revenue	-	-	-	
<b>Total Operating Revenue</b>	<b>43,000</b>	<b>93,000</b>	<b>93,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	29,900	
Community & Development Services	65,000	66,000	229,100	EHO & NRM
Works	11,500	9,900	10,600	
Econ. Development & Sustainability	209,200	147,900	-	
Maintenance & Working Expenses	285,700	223,800	269,600	
Interest on Loans				
Depreciation	5,300	4,800	4,800	
Payments to Government Authorities				
Administration Allocated				
Other Payments - Grants	12,000	12,000	12,000	Conservation covenants policy grants
<b>Total Operating Expenditure</b>	<b>303,000</b>	<b>240,600</b>	<b>286,400</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(260,000)</b>	<b>(147,600)</b>	<b>(193,400)</b>	
<b>Add</b>				
Depreciation	5,300	4,800	4,800	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	-	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(254,700)</b>	<b>(142,800)</b>	<b>(188,600)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Health, Community &amp; Welfare</b>			
<b>Community - Cemeteries</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges	15,000	14,600	15,000
Contributions			
Interest			
Grants & Subsidies			
Other Revenue			
<b>Total Operating Revenue</b>	<b>15,000</b>	<b>14,600</b>	<b>15,000</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	700	200	1,000
Infrastructure Services	-	-	-
Community & Development Services	200	-	-
Works	51,700	56,300	54,400
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	52,600	56,500	55,400
Interest on Loans			
Depreciation	800	500	700
Payments to Government Authorities			
Administration Allocated			
Other Payments			
<b>Total Operating Expenditure</b>	<b>53,400</b>	<b>57,000</b>	<b>56,100</b>
<b>Operating Surplus/(Deficit)</b>	<b>(38,400)</b>	<b>(42,400)</b>	<b>(41,100)</b>
<b>Add</b>			
Depreciation	800	500	700
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure	75,000	35,000	35,000
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	<b>(112,600)</b>	<b>(76,900)</b>	<b>(75,400)</b>



# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Health, Community &amp; Welfare</b>			
<b>Community - Community Amenities</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges			
Contributions			
Interest			
Grants & Subsidies			
Other Revenue			
<b>Total Operating Revenue</b>	-	-	-
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	-	-	-
Community & Development Services	-	-	-
Works	252,700	245,900	257,000
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	252,700	245,900	257,000
Interest on Loans			
Depreciation	19,000	19,000	19,000
Payments to Government Authorities			
Administration Allocated			
Other Payments			
<b>Total Operating Expenditure</b>	271,700	264,900	276,000
<b>Operating Surplus/(Deficit)</b>	(271,700)	(264,900)	(276,000)
<b>Add</b>			
Depreciation	19,000	19,000	19,000
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure	155,000	14,600	156,300
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	(407,700)	(260,500)	(413,300)

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Street Lighting</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions				
Interest				
Grants & Subsidies				
Other Revenue	300	300	300	
<b>Total Operating Revenue</b>	<b>300</b>	<b>300</b>	<b>300</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	345,300	320,400	249,600	LED street lighting
Community & Development Services	-	-	-	
Works	-	-	-	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	345,300	320,400	249,600	
Interest on Loans				
Depreciation	600	-	42,000	Northern lights program
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>345,900</b>	<b>320,400</b>	<b>291,600</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(345,600)</b>	<b>(320,100)</b>	<b>(291,300)</b>	
<b>Add</b>				
Depreciation	600	-	42,000	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	840,000	840,000	-	LED replacement
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(1,185,000)</b>	<b>(1,160,100)</b>	<b>(249,300)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Community - Community Development</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions	-	-	-	
Interest				
Grants & Subsidies				
Other Revenue	-	-	1,000	Community events
<b>Total Operating Revenue</b>	-	-	1,000	
<b>Operating Expenditure</b>				
Departments				
Governance	140,100	137,500	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	73,700	
Community & Development Services Works	-	-	270,400	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	140,100	137,500	344,100	
Interest on Loans				
Depreciation	4,000	3,900	3,900	
Payments to Government Authorities				
Administration Allocated				incl Regulatory Fees
Other Payments - Community Grants	48,000	25,500	51,600	Refunds Policy
<b>Total Operating Expenditure</b>	192,100	166,900	399,600	
<b>Operating Surplus/(Deficit)</b>	(192,100)	(166,900)	(398,600)	
<b>Add</b>				
Depreciation	4,000	3,900	3,900	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	15,000	44,500	-	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	(203,100)	(207,500)	(394,700)	

# Meander Valley Council

## 2017-2018 Rating Budget

Health, Community & Welfare	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Welfare - Families, Youth &amp; Children</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	2,500	32,400	3,500	Program fees, teen challenge reimbursements
Contributions				
Interest				
Grants & Subsidies	-	-	-	
Other Revenue				
<b>Total Operating Revenue</b>	<b>2,500</b>	<b>32,400</b>	<b>3,500</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	119,100	92,000	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services Works	-	-	125,300	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	119,100	92,000	125,300	
Interest on Loans				
Depreciation				
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>119,100</b>	<b>92,000</b>	<b>125,300</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(116,600)</b>	<b>(59,600)</b>	<b>(121,800)</b>	
<b>Add</b>				
Depreciation				
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	-	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(116,600)</b>	<b>(59,600)</b>	<b>(121,800)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Health, Community &amp; Welfare</b>				
<b>Welfare - Aged &amp; Disabled</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions	-	-	20,000	Community car purchase
Interest	211,300	211,300	211,300	Aged care loan interest
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	<b>211,300</b>	<b>211,300</b>	<b>231,300</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	22,500	20,000	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services Works	-	-	24,700	Community car expenses
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	22,500	20,000	24,700	
Interest on Loans	211,300	211,300	211,300	Meander Valley Aged Care
Depreciation	11,000	10,000	10,000	Community cars
Payments to Government Authorities				
Administration Allocated				
Other Payments	-	-	-	
<b>Total Operating Expenditure</b>	<b>244,800</b>	<b>241,300</b>	<b>246,000</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(33,500)</b>	<b>(30,000)</b>	<b>(14,700)</b>	
<b>Add</b>				
Depreciation	11,000	10,000	10,000	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	20,000	Deloraine community car
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(22,500)</b>	<b>(20,000)</b>	<b>(24,700)</b>	



# Meander Valley Council

## 2017-2018 Rating Budget

	<b>Budget 2016-17</b>	<b>Anticipated Actual 2016-17</b>	<b>Budget 2017-18</b>
<b>Land Use Planning &amp; Building</b>			
Function Summary			
<b>Operating Revenue</b>			
Rate Revenue	-	-	-
Fees & User Charges	265,700	297,900	280,400
Contributions	-	41,000	-
Interest	-	-	-
Grants & Subsidies	-	-	-
Other Revenue	37,000	47,300	37,000
<b>Total Operating Revenue</b>	<b>302,700</b>	<b>386,200</b>	<b>317,400</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	60,200	38,300	229,300
Community & Development Services Works	1,270,300	1,164,400	1,076,300
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	1,330,500	1,202,700	1,305,600
Interest on Loans	-	-	-
Depreciation	21,000	18,800	18,800
Payments to Government Authorities	-	-	-
Administration Allocated	-	-	-
Other Payments	-	-	-
<b>Total Operating Expenditure</b>	<b>1,351,500</b>	<b>1,221,500</b>	<b>1,324,400</b>
<b>Operating Surplus/(Deficit)</b>	<b>(1,048,800)</b>	<b>(835,300)</b>	<b>(1,007,000)</b>
<b>Add</b>			
Depreciation	21,000	18,800	18,800
Loan Funds	-	-	-
Asset Sales	-	-	-
Accrual Non-Cash Adjustments	-	-	-
<b>Less</b>			
Asset Expenditure	-	-	15,000
Loan Principal	-	-	-
Profit (Loss) on Disposal of Fixed Assets	-	-	-
<b>Cash Surplus/(Deficit)</b>	<b>(1,027,800)</b>	<b>(816,500)</b>	<b>(1,003,200)</b>

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Land Use Planning &amp; Building</b>				
<b>Land Use Planning</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	115,000	133,400	120,500	
Contributions	-	41,000	-	Blackstone landslip claim
Interest				
Grants & Subsidies				
Other Revenue	-	4,600	-	
<b>Total Operating Revenue</b>	<b>115,000</b>	<b>179,000</b>	<b>120,500</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	60,200	38,300	229,300	
Community & Development Services Works	752,900	672,700	535,400	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	813,100	711,000	764,700	
Interest on Loans				
Depreciation	8,500	8,300	8,300	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>821,600</b>	<b>719,300</b>	<b>773,000</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(706,600)</b>	<b>(540,300)</b>	<b>(652,500)</b>	
<b>Add</b>				
Depreciation	8,500	8,300	8,300	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	-	-	15,000	Fleet
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(698,100)</b>	<b>(532,000)</b>	<b>(659,200)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Land Use Planning &amp; Building</b>			
<b>Building Control</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges	150,700	164,500	159,900
Contributions			
Interest			
Grants & Subsidies			
Other Revenue	37,000	42,700	37,000
<b>Total Operating Revenue</b>	<b>187,700</b>	<b>207,200</b>	<b>196,900</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	-	-	-
Community & Development Services	517,400	491,700	540,900
Works	-	-	-
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	517,400	491,700	540,900
Interest on Loans			
Depreciation	12,500	10,500	10,500
Payments to Government Authorities			
Administration Allocated			
Other Payments			
<b>Total Operating Expenditure</b>	<b>529,900</b>	<b>502,200</b>	<b>551,400</b>
<b>Operating Surplus/(Deficit)</b>	<b>(342,200)</b>	<b>(295,000)</b>	<b>(354,500)</b>
<b>Add</b>			
Depreciation	12,500	10,500	10,500
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure			
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	<b>(329,700)</b>	<b>(284,500)</b>	<b>(344,000)</b>

Training levy commission  
& Resource sharing





# Meander Valley Council

## 2017-2018 Rating Budget

	<b>Budget 2016-17</b>	<b>Anticipated Actual 2016-17</b>	<b>Budget 2017-18</b>
<b>Recreation &amp; Culture</b>			
Function Summary			
<b>Operating Revenue</b>			
Rate Revenue	-	-	-
Fees & User Charges	186,000	178,400	184,500
Contributions	15,000	245,000	54,000
Interest	-	-	-
Grants & Subsidies	35,200	144,500	348,000
Other Revenue	21,000	17,000	16,000
<b>Total Operating Revenue</b>	<b>257,200</b>	<b>584,900</b>	<b>602,500</b>
<b>Operating Expenditure</b>			
Departments			
Governance	324,200	323,300	-
Corporate Services	33,700	24,900	33,500
Infrastructure Services	284,800	311,190	401,400
Community & Development Services	-	47,500	475,900
Works	858,100	905,500	892,600
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	1,500,800	1,612,390	1,803,400
Interest on Loans	-	-	-
Depreciation	755,100	704,000	731,100
Payments to Government Authorities	-	-	-
Administration Allocated	-	-	-
Other Payments	39,000	114,700	41,600
<b>Total Operating Expenditure</b>	<b>2,294,900</b>	<b>2,431,090</b>	<b>2,576,100</b>
<b>Operating Surplus/(Deficit)</b>	<b>(2,037,700)</b>	<b>(1,846,190)</b>	<b>(1,973,600)</b>
<b>Add</b>			
Depreciation	755,100	704,000	731,100
Loan Funds	-	-	-
Asset Sales	-	-	-
Accrual Non-Cash Adjustments	-	-	-
<b>Less</b>			
Asset Expenditure	2,552,000	1,837,400	2,134,500
Loan Principal	-	-	-
Profit (Loss) on Disposal of Fixed Assets	-	(60,000)	-
<b>Cash Surplus/(Deficit)</b>	<b>(3,834,600)</b>	<b>(2,919,590)</b>	<b>(3,377,000)</b>

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Recreation &amp; Culture</b>				
<b>Public Halls</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	5,000	7,200	7,000	Westbury Town Hall
Contributions	-	-	-	
Interest	-	-	-	
Grants & Subsidies	7,000	7,000	-	Rosevale Hall kitchen
Other Revenue				
<b>Total Operating Revenue</b>	<b>12,000</b>	<b>14,200</b>	<b>7,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	26,600	18,500	26,500	Insurance, rates, land tax
Infrastructure Services	49,200	39,590	54,800	Maintenance program
Community & Development Services	-	-	-	
Works	10,600	12,600	12,100	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	86,400	70,690	93,400	
Interest on Loans				
Depreciation	75,000	78,000	77,300	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>161,400</b>	<b>148,690</b>	<b>170,700</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(149,400)</b>	<b>(134,490)</b>	<b>(163,700)</b>	
<b>Add</b>				
Depreciation	75,000	78,000	77,300	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	65,000	58,500	89,100	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(139,400)</b>	<b>(114,990)</b>	<b>(175,500)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Recreation &amp; Culture</b>				
<b>Swimming Pools &amp; Other Swimming</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions				
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	-	-	-	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	87,000	80,400	86,500	Deloraine pool management
Community & Development Services Works	-	-	-	
Econ. Development & Sustainability	17,700	7,000	6,200	
Maintenance & Working Expenses	-	-	-	
Interest on Loans	104,700	87,400	92,700	
Depreciation	31,100	31,500	29,000	
Payments to Government Authorities Administration Allocated Other Payments				
<b>Total Operating Expenditure</b>	135,800	118,900	121,700	
<b>Operating Surplus/(Deficit)</b>	(135,800)	(118,900)	(121,700)	
<b>Add</b>				
Depreciation	31,100	31,500	29,000	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	20,000	21,600	22,000	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	(124,700)	(109,000)	(114,700)	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Recreation &amp; Culture</b>				
<b>Recreation Grounds &amp; Sports Facilities</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	130,000	120,300	126,200	
Contributions	-	226,800	39,000	DCC insurance reimbursement
Interest				
Grants & Subsidies	28,200	137,500	348,000	Westb. Rec building & pontoon
Other Revenue	21,000	17,000	16,000	Residential rental property
<b>Total Operating Revenue</b>	<b>179,200</b>	<b>501,600</b>	<b>529,200</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	222,100	233,300	-	
Corporate Services	-	-	-	
Infrastructure Services	96,200	90,800	144,400	
Community & Development Services	-	47,500	367,300	
Works	425,800	423,600	427,300	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	744,100	795,200	939,000	
Interest on Loans				
Depreciation	462,000	410,600	435,800	Includes accelerated depreciation over 3 years 432 Westbury Rd
Payments to Government Authorities				
Administration Allocated				
Other Payments - Recreation Grants	39,000	114,700	41,600	
<b>Total Operating Expenditure</b>	<b>1,245,100</b>	<b>1,320,500</b>	<b>1,416,400</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(1,065,900)</b>	<b>(818,900)</b>	<b>(887,200)</b>	
<b>Add</b>				
Depreciation	462,000	410,600	435,800	
Loan Funds				
Asset Sales less Transfers to C'ttees				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	1,926,000	1,371,500	1,529,900	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets	-	(60,000)	-	DCC Floor asset write off
<b>Cash Surplus/(Deficit)</b>	<b>(2,529,900)</b>	<b>(1,719,800)</b>	<b>(1,981,300)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Recreation &amp; Culture</b>				
<b>Parks &amp; Reserves</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	-	300	300	
Contributions	15,000	18,200	15,000	Cash in lieu public open space
Interest				
Grants & Subsidies				
Other Revenue				
<b>Total Operating Revenue</b>	15,000	18,500	15,300	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	46,100	74,500	78,900	
Community & Development Services	-	-	-	
Works	392,600	453,500	435,900	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	438,700	528,000	514,800	
Interest on Loans				
Depreciation	140,000	139,000	143,700	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	578,700	667,000	658,500	
<b>Operating Surplus/(Deficit)</b>	(563,700)	(648,500)	(643,200)	
<b>Add</b>				
Depreciation	140,000	139,000	143,700	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	481,000	384,800	434,500	
Loan Principal				
Profit (Loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	(904,700)	(894,300)	(934,000)	

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Recreation &amp; Culture</b>			
<b>Library Services</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges	39,000	38,500	39,000
Contributions			
Interest			
Grants & Subsidies			
Other Revenue			
<b>Total Operating Revenue</b>	39,000	38,500	39,000
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	7,100	6,400	7,000
Infrastructure Services	6,300	1,000	6,300
Community & Development Services	-	-	-
Works	-	-	-
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	13,400	7,400	13,300
Interest on Loans			
Depreciation	4,000	4,000	3,900
Payments to Government Authorities			
Administration Allocated			
Other Payments			
<b>Total Operating Expenditure</b>	17,400	11,400	17,200
<b>Operating Surplus/(Deficit)</b>	21,600	27,100	21,800
<b>Add</b>			
Depreciation	4,000	4,000	3,900
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure			
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	25,600	31,100	25,700

# Meander Valley Council

## 2017-2018 Rating Budget

	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Recreation &amp; Culture</b>				
<b>Sundry Cultural Activities</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges	12,000	12,100	12,000	MV Performing Arts Centre
Contributions				
Interest				
Grants & Subsidies	-	-	-	
Other Revenue				
<b>Total Operating Revenue</b>	<b>12,000</b>	<b>12,100</b>	<b>12,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	102,100	90,000	-	
Corporate Services	-	-	-	
Infrastructure Services	-	24,900	30,500	
Community & Development Services	-	-	108,600	Aus. Day, Meanderings etc.
Works	11,400	8,800	11,100	St Patricks festival
Econ. Development & Sustainability	-	-	-	& Anzac Day services
Maintenance & Working Expenses	113,500	123,700	150,200	
Interest on Loans				
Depreciation	43,000	40,900	41,400	
Payments to Government Authorities				
Administration Allocated				
Other Payments				
<b>Total Operating Expenditure</b>	<b>156,500</b>	<b>164,600</b>	<b>191,600</b>	
<b>Operating Surplus/(Deficit)</b>	<b>(144,500)</b>	<b>(152,500)</b>	<b>(179,600)</b>	
<b>Add</b>				
Depreciation	43,000	40,900	41,400	
Loan Funds				
Asset Sales				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure	60,000	1,000	59,000	MVPAC roof renewal
Loan Principal				
Profit (loss) on Disposal of Fixed Assets				
<b>Cash Surplus/(Deficit)</b>	<b>(161,500)</b>	<b>(112,600)</b>	<b>(197,200)</b>	



# Meander Valley Council

## 2017-2018 Rating Budget

<b>Unallocated &amp; Unclassified</b>	<b>Budget</b>	<b>Anticipated</b>	<b>Budget</b>
Function Summary	<b>2016-17</b>	<b>Actual</b>	<b>2017-18</b>
<b>Operating Revenue</b>			
Rate Revenue	8,854,000	8,995,800	9,317,700
Fees & User Charges	-	-	-
Contributions	-	-	-
Interest	696,000	721,300	539,700
Grants & Subsidies	2,125,000	3,193,800	1,104,800
Other Revenue	866,900	876,000	882,600
<b>Total Operating Revenue</b>	<b>12,541,900</b>	<b>13,786,900</b>	<b>11,844,800</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	5,500	5,200	7,000
Infrastructure Services	(3,900)	(2,000)	3,400
Community & Development Services	(6,000)	(6,500)	(6,500)
Works	(363,300)	(428,800)	(385,700)
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	(367,700)	(432,100)	(381,800)
Interest on Loans-internal loan	-	-	-
Depreciation	344,500	346,600	379,700
Payments to Government Authorities			
Administration Allocated	600	600	600
Other Payments	1,000	-	1,000
<b>Total Operating Expenditure</b>	<b>(21,600)</b>	<b>(84,900)</b>	<b>(500)</b>
<b>Operating Surplus/(Deficit)</b>	<b>12,563,500</b>	<b>13,871,800</b>	<b>11,845,300</b>
<b>Add</b>			
Depreciation	344,500	346,600	379,700
Loan Funds & Capital Repayments	300,000	450,000	300,000
Asset Sales	-	-	-
Accrual Non-Cash Adjustments	(90,000)	(95,900)	(70,100)
<b>Less</b>			
Asset Expenditure	829,700	997,700	773,000
Loan Principal	-	-	-
Internal loan Repay	-	-	-
<b>Cash Surplus/(Deficit)</b>	<b>12,288,300</b>	<b>13,574,800</b>	<b>11,681,900</b>



# Meander Valley Council

## 2017-2018 Rating Budget

Unallocated & Unclassified	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18
<b>Private Works</b>			
<b>Operating Revenue</b>			
Rate Revenue			
Fees & User Charges			
Contributions			
Interest			
Grants & Subsidies			
Other Revenue	6,100	6,600	6,600
<b>Total Operating Revenue</b>	<b>6,100</b>	<b>6,600</b>	<b>6,600</b>
<b>Operating Expenditure</b>			
Departments			
Governance	-	-	-
Corporate Services	-	-	-
Infrastructure Services	-	-	-
Community & Development Services	-	-	-
Works	5,500	6,000	6,000
Econ. Development & Sustainability	-	-	-
Maintenance & Working Expenses	5,500	6,000	6,000
Interest on Loans			
Depreciation			
Payments to Government Authorities			
Administration Allocated	600	600	600
Other Payments			
<b>Total Operating Expenditure</b>	<b>6,100</b>	<b>6,600</b>	<b>6,600</b>
<b>Operating Surplus/(Deficit)</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Add</b>			
Depreciation			
Loan Funds			
Asset Sales			
Accrual Non-Cash Adjustments			
<b>Less</b>			
Asset Expenditure			
Loan Principal			
Profit (Loss) on Disposal of Fixed Assets			
<b>Cash Surplus/(Deficit)</b>	<b>-</b>	<b>-</b>	<b>-</b>

# Meander Valley Council

## 2017-2018 Rating Budget

Unallocated & Unclassified	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Plant Working</b>				
<b>Operating Revenue</b>				
Rate Revenue				
Fees & User Charges				
Contributions				
Interest				
Grants & Subsidies	35,000	42,000	40,000	Diesel fuel rebate
Other Revenue				
<b>Total Operating Revenue</b>	<b>35,000</b>	<b>42,000</b>	<b>40,000</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	-	-	-	
Infrastructure Services	-	-	-	
Community & Development Services	-	-	-	
Works	-	-	-	
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	-	-	-	
- Operating Costs Reallocated (Internal Hire)	(755,500)	(795,700)	(785,300)	
- Running Costs	429,800	403,100	435,800	
Interest on Loans				
Depreciation	272,500	266,700	298,300	
Administration Allocated				
Training Costs				
Other Payments				
<b>Total Operating Expenditure</b>	<b>(53,200)</b>	<b>(125,900)</b>	<b>(51,200)</b>	
<b>Operating Surplus/(Deficit)</b>	<b>88,200</b>	<b>167,900</b>	<b>91,200</b>	
<b>Add</b>				
Depreciation	272,500	266,700	298,300	
Loan Funds				
Asset Sales( excl. Trade-ins)				
Accrual Non-Cash Adjustments				
<b>Less</b>				
Asset Expenditure - Changeover cost	764,700	455,400	709,000	incl. carryovers
Loan Principal				
Internal return on Plant	88,200	167,900	91,200	
<b>Cash Surplus/(Deficit)</b>	<b>(492,200)</b>	<b>(188,700)</b>	<b>(410,700)</b>	

# Meander Valley Council

## 2017-2018 Rating Budget

Unallocated & Unclassified	Budget 2016-17	Anticipated Actual 2016-17	Budget 2017-18	
<b>Other Unallocated &amp; Unclassified</b>				
<b>Operating Revenue</b>				
Rate Revenue	8,854,000	8,995,800	9,317,700	General Rates
Fees & User Charges				
Contributions	-	-	-	
Interest	696,000	721,300	539,700	Bank, Valleycentral & Rates
Grants & Subsidies	2,090,000	3,151,800	1,064,800	FAGs, 50% prepaid in 2017
Other Revenue	860,800	869,400	876,000	Taswater & residential rent
<b>Total Operating Revenue</b>	<b>12,500,800</b>	<b>13,738,300</b>	<b>11,798,200</b>	
<b>Operating Expenditure</b>				
Departments				
Governance	-	-	-	
Corporate Services	5,500	5,200	7,000	Unallocated land tax
Infrastructure Services	(3,900)	(2,000)	3,400	Overhead offset & rental prop.
Community & Development Services	(6,000)	(6,500)	(6,500)	Overhead offset
Works	(43,100)	(42,200)	(42,200)	Overhead offset
Econ. Development & Sustainability	-	-	-	
Maintenance & Working Expenses	(47,500)	(45,500)	(38,300)	
Interest on Loans				
Depreciation	72,000	79,900	81,400	Depots & minor plant
Payments to Government Authorities				
Administration Allocated				
Other Payments	1,000	-	1,000	Miscellaneous donations
<b>Total Operating Expenditure</b>	<b>25,500</b>	<b>34,400</b>	<b>44,100</b>	
<b>Operating Surplus/(Deficit)</b>	<b>12,475,300</b>	<b>13,703,900</b>	<b>11,754,100</b>	
<b>Add</b>				
Depreciation	72,000	79,900	81,400	
Loan Funds & Capital Repayments	300,000	450,000	300,000	Valleycentral repayments
Asset Sales	-	-	-	
Accrual Non-Cash Adjustments	(90,000)	(95,900)	(70,100)	Valleycentral interest accrual
<b>Less</b>				
Asset Expenditure	65,000	542,300	64,000	Depots, vehicles & minor plant
Loan Principal				
Internal Return on plant	(88,200)	(167,900)	(91,200)	
<b>Cash Surplus/(Deficit)</b>	<b>12,780,500</b>	<b>13,763,500</b>	<b>12,092,600</b>	

## LABOUR ON-COSTS

	<b>Budget 2017</b>	<b>Anticipated Actual 2017</b>	<b>Budget 2018</b>
<b>Labour On-Costs</b>			
Holiday Pay	755,000	734,700	749,600
Personal Leave (sick, compassionate, carers)	145,000	118,400	150,000
Parental Leave (nett of Govt re-imb)	-	5,400	-
Long Service Leave	140,000	225,100	110,000
Contribution to Superannuation	690,000	703,700	717,800
Workers Compensation Insurance	155,000	161,600	164,800
Back Pay & Minor Pay Adjustments	-	-	-
Workers Compensation (Wages etc. non-refundable)	1,000	900	1,000
Payroll Tax	320,000	338,900	318,800
<b>Gross Labour On-Costs</b>	<b>2,206,000</b>	<b>2,288,700</b>	<b>2,212,000</b>
Less Contributions and Reimbursements	-	-	-
<b>Net Labour On-Costs</b>	<b>2,206,000</b>	<b>2,288,700</b>	<b>2,212,000</b>
	%	%	%
<b>Council Labour On-Cost Calculation</b>			
<u>(Net Labour On-Costs)</u>	<u>2,206,000</u>	<u>2,288,700</u>	<u>2,212,000</u>
(Direct Labour Costs)	4,795,000	4,791,400	4,744,800
<b>Labour On-Cost Percentage</b>	<b>46.01%</b>	<b>47.77%</b>	<b>46.62%</b>
2018 labour on-costs will be applied to work and undertakings at the rate of:			46.6%
2017 anticipated labour on-costs applied to work and undertakings at the rate of:			47.8%

## MANAGEMENT & INDIRECT OVERHEADS

### Income

Charges  
 Contributions  
 Other: incl. sale of scrap

### Total Income

	Budget 2017	Anticipated Actual 2017	Budget 2018
	-	-	-
	-	-	-
	-	-	-
	-	-	-

### Expenditure

Employee Costs (salaries, allowances & on-costs including Council contributions to L.S.L. provision & superannuation, conferences, seminars and workers compensation insurance)  
 Council Plant  
 Materials & Contractors  
 Training (excluding salaries & wages)  
 Depreciation

### Gross Expenditure

Less Income

### Net Expenditure (allocated to operating & capital projects)

	963,800	929,500	1,042,800
	53,100	41,400	47,000
	305,300	249,700	394,600
	32,600	19,000	37,500
	63,500	63,200	62,800
	1,418,300	1,302,800	1,584,700
	-	-	-
	\$ 1,418,300	\$ 1,302,800	\$ 1,584,700

Departmental Management, engineering & indirect overheads to be applied to operations and capital works undertaken by Council & contractors at the following rates:

#### Works Department

#### Infrastructure Services

#### Community & Development Services

14.10%	12.70%	15.40%
5.40%	4.20%	5.30%
13.00%	11.30%	9.70%

## PLANT OPERATING COST & HIRE CHARGES

Category of Plant or Vehicle		Estimated operating cost plus interest (excluding operator's wages)	Depreciation	Opportunity cost of capital (3.04%)	Total earnings required through hire charges	Total estimated operator hours	Hire charges to be applied (excluding operator's wages)
Trucks	(3)	53,000	44,300	6,000	103,300	4,150	24.90
Trucks - Light	(4)	36,000	25,300	6,600	67,900	3,400	20.00
Trucks - Tip	(1)	38,000	14,100	3,600	55,700	1,400	39.80
Trucks - Light Ford Transits	(4)	36,000	18,500	3,500	58,000	4,050	14.40
Truck - Flocon	(1)	30,000	20,000	6,100	56,100	1,400	40.10
Tractor	(1)	1,800	-	-	1,800	50	36.00
Tractor	(1)	22,000	15,600	2,500	40,100	800	50.20
Tractor	(1)	1,000	1,000	100	2,100	50	42.00
Tractor	(1)	10,000	8,300	2,500	20,800	500	41.60
Tractor	(1)	19,000	8,600	1,200	28,800	800	36.00
Tractor	(1)	3,000	3,400	800	7,200	200	36.00
Tractor/Mowers	(1)	3,000	-	-	3,000	250	12.00
Ride-on Petrol Mowers	(8)	43,500	34,100	4,000	81,600	4,950	16.50
Grader	(1)	22,000	21,600	6,200	49,800	1,000	49.80
Loader	(1)	8,000	-	-	8,000	100	80.00
Loader	(1)	2,500	-	-	2,500	100	25.00
Backhoes	(3)	48,000	41,600	2,800	92,400	2,900	31.90
Utilities - Works	(3)	18,000	10,200	800	29,000	2,100	13.90
Utilities - Works Supervisor	(2)	11,500	13,100	1,200	25,800	2,200	11.80
Utility - Plant Operators	(1)	6,000	6,900	600	13,500	1,200	11.30
Tow Behind Road Sweeper	(1)	2,000	2,500	200	4,700	150	31.40
Superdog & Tag Trailers	(2)	12,000	3,700	1,400	17,100	800	21.40
Watercart & Roller	(2)	4,500	3,500	900	8,900	1,200	7.50
Hydraulic Blades	(2)	5,000	2,000	200	7,200	200	36.00
Other Fleet Vehicles		Direct allocation to activities.					
		\$ 435,800	\$ 298,300	\$ 51,200	\$ 785,300		

## CAPITAL WORKS PROGRAM

### CAPITAL FUNDING

Description	Budget	2017		Budget
	2017	Anticipated	Variance	2018
Grants & Contributions				
Roads, Streets & Bridges	2,623,300	2,029,800	593,500	1,628,000
Emergency Services	-	1,600,000	(1,600,000)	1,806,500
Sundry Economic	-	-	-	50,000
Recreation & Culture	-	80,000	(80,000)	300,000
Community Contributions	-	-	-	-
State Govt & Tas Community Fund	35,200	34,500	700	-
New Loans	-	-	-	-
Revenue & Asset Sales	12,374,600	9,928,900	2,445,700	9,733,200
<b>Total Funding</b>	<b>15,033,100</b>	<b>13,673,200</b>	<b>1,359,900</b>	<b>13,517,700</b>

### CAPITAL EXPENDITURE

Description	Budget	2017		Budget
	2017	Anticipated	Variance	2018
Administration buildings etc.	91,800	73,900	17,900	28,100
IT Infrastructure	209,000	96,900	112,100	234,900
Roads (Sealed & Unsealed)	5,983,800	4,536,200	1,447,600	6,776,100
Bridges	3,105,000	4,434,000	(1,329,000)	1,921,700
Health, Community & Welfare	1,084,800	992,300	92,500	244,400
Tourism & Economic Development	77,900	164,500	(86,600)	-
Waste Management	330,000	138,600	191,400	490,000
Urban Stormwater	753,200	401,700	351,500	900,000
Land Use Planning	-	-	-	15,000
Recreation & Culture	2,552,000	1,837,400	714,600	2,134,500
Plant & Equipment changeovers	764,700	455,400	309,300	709,000
Unallocated (Depots & minor plant)	80,900	542,300	(461,400)	64,000
<b>Total Expenditure</b>	<b>15,033,100</b>	<b>13,673,200</b>	<b>1,359,900</b>	<b>13,517,700</b>
<b>LOAN REPAYMENTS</b>				
Tascorp Loan	-	-	-	-
<b>TOTAL CAPITAL PAYMENTS</b>	<b>15,033,100</b>	<b>13,673,200</b>	<b>1,359,900</b>	<b>13,517,700</b>

# **INFRA 1 REVIEW OF BUDGETS FOR THE 2016-2017 CAPITAL WORKS PROGRAM**

## **1) Introduction**

The purpose of this report is to provide information to Council on capital works projects budget variations and to seek Council approval for the reallocation of funding within the Capital Works Program (CWP).

## **2) Background**

Project budget allocations within the CWP that are submitted to Council for approval prior to the commencement of each financial year are prepared using a range of methods. In some instances and depending on the availability of resources and time constraints, projects can be thoroughly scoped and accurate estimates prepared using available empirical or supplier information. Conversely, project cost estimates may only be general allowances prepared using the best information available at the time.

During the financial year detailed design, adjustment to project scope and the undertaking of additional works during construction, results in project expenditure under and over approved budget amounts. New projects may also be requested for inclusion in the program.

The overall financial objective in delivering the CWP is to have a zero net variation in the program budget. As part of our ongoing management of projects, Council officers review project time lines, budgets, project scope and available resources. Project savings are generally used to offset project overruns and additional funding can be requested to assist with balancing the budget or to finance new projects.

## **3) Strategic/Annual Plan Conformance**

Council's Annual Plan requires Council officers to report on the progress of capital works projects.

## **4) Policy Implications**

Not applicable.



## **5) Statutory Requirements**

Section 82(4) of the *Local Government Act 1993* requires Council to approve by absolute majority any proposed alteration to Council's capital works budget outside the limit of the General Manager's financial delegation of \$20,000.

## **6) Risk Management**

Not applicable.

## **7) Consultation with State Government and other Authorities**

Council officers continue to liaise with the State Government in respect to information concerning flood damage projects following the June 2016 flood event.

## **8) Community Consultation**

Not applicable.

## **9) Financial Impact**

The recommended variations in this report will result in a \$17,800 increase to the value of the 2016-2017 CWP, with a nil net increase to Council's funding requirements as a result of anticipated government funding for flood projects.

## **10) Alternative Options**

Council can amend or not approve the recommendation.

## **11) Officers Comments**

In order to deliver the outcomes required from capital works projects outlined in the Annual Plan, Council officers regularly review project scope, resourcing requirements and committed and forecast expenditure. Typically on a quarterly basis, project information is presented to Council where cost variations have occurred, and formal approval is requested from the Council to reallocate funding within the CWP where variations are beyond the General Manager's financial delegation, or where new project works not previously approved in the CWP are required to be financed.



Prospect Vale Park, Nature Based Play Space



Prospect Vale Park, AFL and Soccer Grounds



Pitts Lane Bridge  
Reconstruction, Liffey River



Lansdowne Place, Deloraine  
footpath & road upgrades



The table below outlines existing projects in the CWP, and new projects not previously presented to Council, where reallocation of funding is required.

**TABLE 1: 2016-2017 CAPITAL WORKS BUDGET – REALLOCATION OF PROJECT FUNDING**

Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
	<b>Flood Damage Projects</b>							
5598	Echo Valley Road Liena	\$22,800	\$0	\$22,800	\$17,100	\$5,700	\$22,800	This project not captured in flood projects presented to Council in Sept. 16
5602	Old Gads Hill Road Liena	\$133,300	\$200,000	-\$66,700	-\$50,000	-\$16,700	\$133,300	Completed under original estimate
6171	Liena Road Liena	\$11,600	\$0	\$40,000	\$30,000	\$10,000	\$40,000	This project not captured in flood projects presented to Council in Sept. 16
6175	Mayberry Road Mayberry	\$7,700	\$0	\$7,700	\$5,800	\$1,900	\$7,700	This project not captured in flood projects presented to Council in Sept. 16
6185	Union Bridge Road Mole Creek	\$98,200	\$70,000	\$28,200	\$21,100	\$7,100	\$98,200	Completed over original estimate
6214	Selbourne Road Selbourne	\$7,300	\$0	\$7,300	\$5,500	\$1,800	\$7,300	This project not captured in flood projects presented to Council in Sept. 16

Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
6223	Dynans Bridge Road Weegen	\$1,500	\$0	\$6,000	\$4,500	\$1,500	\$6,000	This project not captured in flood projects presented to Council in Sept. 16
5221	Mole Creek Big Den Road Bridge	\$248,200	\$201,600	\$46,600	\$34,900	\$11,700	\$248,200	Completed over original estimate
5234	Lobster Creek Parsons Road Bridge	\$224,200	\$210,600	\$13,600	\$10,200	\$3,400	\$224,200	Completed over original estimate
5236	Lynds Creek Old Gads Hill Road Bridge	\$138,500	\$191,200	-\$52,700	-\$39,500	-\$13,200	\$138,500	Completed under original estimate
5285	Overflow Creek Union Bridge Road Bridge	\$352,500	\$381,600	-\$29,100	-\$21,800	-\$7,300	\$352,500	Completed under original estimate
	<b>Variation subtotal</b>			\$23,700	\$17,800	\$5,900		
	<b>Other Capital Projects</b>							
5110	GPS Unit	\$22,600	\$25,000	-\$2,400		-\$2,400	\$22,600	Project complete
5727	Lyttleton Street Westbury	\$83,500	\$87,000	-\$3,500		-\$3,500	\$83,500	Project complete

<b>Project No.</b>	<b>Project Name</b>	<b>Costs to date</b>	<b>Current CWP Budget Amount</b>	<b>Proposed Budget Variation</b>	<b>Estimated Govt. Flood Relief Reimburse. (75%)</b>	<b>Council Funding</b>	<b>New Budget Amount</b>	<b>Comments</b>
5813	Jane Street Bracknell	\$14,900	\$25,000	-\$5,000		-\$5,000	\$20,000	Project complete
5851	Moriarty Street Deloraine	\$19,400	\$25,000	-\$5,600		-\$5,600	\$19,400	Project complete
5861	West Parade Deloraine	\$77,900	\$60,000	\$18,000		\$18,000	\$78,000	Additional costs for unforeseen stormwater works.
5896	Westbury Road Prospect Vale	\$167,400	\$170,000	-\$2,600		-\$2,600	\$167,400	Project complete
6105	Panorama Road Blackstone Heights	\$1,700	\$41,600	-\$39,900		-\$39,900	\$1,700	Project complete
6128	Dairy Plains Road	\$224,000	\$250,000	-\$26,000		-\$26,000	\$224,000	Project complete
6138	Lansdowne Place Deloraine	\$112,500	\$75,800	\$74,200		\$74,200	\$150,000	Additional costs for pavement dig outs, asphalt sealing, school shop footpath works
6245	Westwood Road Westwood	\$214,200	\$250,000	-\$35,800		-\$35,800	\$214,200	Project complete
6246	Whitemore Road - Carrick to Whitemore	\$187,200	\$210,000	-\$22,800		-\$22,800	\$187,200	Project complete

Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
6284	New Footpath Developments - Westbury	\$350	\$200,668	-\$35,000		-\$35,000	\$165,668	Funds transfer to Dexter Street footpath project
5980	Dexter Street Footpath - Westbury	\$0	\$0	\$35,000		\$35,000	\$35,000	New project
5205	Liffey River Pitts Lane Bridge	\$251,100	\$290,000	\$33,000		\$33,000	\$323,000	Additional costs associated with piling, roadworks, powerlines & land purchase
5207	Damper Creek Montana Road Bridge	\$240,600	\$256,000	-\$15,000		-\$15,000	\$241,000	Project complete
5450	Bridge Safety - Barrier and Signage	\$10,500	\$21,300	-\$10,800		-\$10,800	\$10,500	Project complete
6307	Deloraine Lawn Cemetery Stormwater	\$11,300	\$20,000	-\$8,700		-\$8,700	\$11,300	Project complete
6306	Deloraine Lawn Cemetery Irrigation, Seating, Bins and Garden	\$0	\$20,000	\$8,700		\$8,700	\$28,700	Project to be carried forward



Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
6602	Westbury Landfill site - Cell	\$0	\$100,000	\$10,800		\$10,800	\$110,800	Project to be carried forward
6610	Mole Creek Transfer Station - Railing and Pavement	\$9,200	\$20,000	-\$10,800		-\$10,800	\$9,200	Project complete
6428	Cook Street Stormwater	\$22,600	\$0	\$22,600		\$22,600	\$22,600	Stormwater drainage improvements in line with new subdivision and for property protection work.
6485	Montpelier Drive Stormwater - Prospect Vale	\$93,400	\$125,000	-\$31,600		-\$31,600	\$93,400	Project complete
6486	Harley Parade Stormwater	\$25,100	\$21,700	\$3,400		\$3,400	\$25,100	Project complete
6490	Deloraine Community Complex - Stormwater Improvements	\$2,800	\$0	\$10,000		\$10,000	\$10,000	Project in progress

Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
6495	Urban Stormwater Drainage - Program Budget	\$0	\$164,400	-\$30,200		-\$30,200	\$134,200	Funds transfer incl. to West Parade and Deloraine Community Complex
6489	Liffey Street Carrick - Piping Open Drains	\$47,800	\$0	\$47,800		\$47,800	\$47,800	New project
6497	Open Drainage Program - Carrick	\$0	\$100,000	-\$47,800		-\$47,800	\$52,200	Funds transfer to Liffey Street
7621	PVP Clubrooms - Kitchen and Medical Room Upgrades	\$177,000	\$151,000	\$26,000		\$26,000	\$177,000	Project complete
7643	PVP Medical Room Development	\$24,100	\$50,000	-\$25,900		-\$25,900	\$24,100	Project complete
7679	PVP Nature Play Scape	\$181,400	\$170,000	\$62,000		\$62,000	\$232,000	Project complete. Major variation associated with log elements.
7682	PVP Grounds Upgrade 7 & 8 (AFL)	\$510,000	\$500,000	\$60,000		\$60,000	\$560,000	Project complete. Variations to drainage ring main, fencing, sand blanket & booster pump
7684	PVP Grounds Upgrade 5 & 6 (Soccer)	\$153,600	\$179,000	-\$25,400		-\$25,400	\$153,600	Project complete

Project No.	Project Name	Costs to date	Current CWP Budget Amount	Proposed Budget Variation	Estimated Govt. Flood Relief Reimburse. (75%)	Council Funding	New Budget Amount	Comments
7683	Football Goal Posts - Multiple Locations	\$43,900	\$41,100	\$2,800		\$2,800	\$43,900	Project complete
8019	Village Green Westbury - New table and seating furniture	\$0	\$0	\$30,000		\$30,000	\$30,000	New project
8031	Deloraine Riverbank Walkway Renewal	\$11,200	\$80,000	-\$30,000		-\$30,000	\$50,000	Project to be carried forward
8023	Las Vegas Drive - Playground Removal	\$0	\$20,000	-\$20,000		-\$20,000	\$0	Project to be reviewed following completion of strategy
8090	West Parade Car Park Access Path	\$2,100	\$17,500	-\$15,400		-\$15,400	\$2,100	Project complete
	<b>Variation subtotal</b>			-\$5,900		-\$5,900		
	<b>Totals</b>		<b>\$5,022,068</b>	<b>\$17,800</b>	<b>\$17,800</b>	<b>\$0</b>	<b>\$5,039,868</b>	

For this review period it is requested that Council approve all project funding changes. Overall, there is a \$17,800 variation to the Program budget and this additional cost is anticipated to be funded through the government flood relief reimbursement. There is a nil net funding increase for Council.

**AUTHOR:** Dino De Paoli  
DIRECTOR INFRASTRUCTURE SERVICES

## 12) Recommendation

*It is recommended that Council approve the following changes to the 2016-2017 Capital Works Program:*

<b>Project Name</b>	<b>Original Budget</b>	<b>Variation</b>	<b>New Budget</b>
<b>Echo Valley Road Liena</b>	<b>\$0</b>	<b>\$22,800</b>	<b>\$22,800</b>
<b>Old Gads Hill Road Liena</b>	<b>\$200,000</b>	<b>-\$66,700</b>	<b>\$133,300</b>
<b>Liena Road Liena</b>	<b>\$0</b>	<b>\$40,000</b>	<b>\$40,000</b>
<b>Mayberry Road Mayberry</b>	<b>\$0</b>	<b>\$7,700</b>	<b>\$7,700</b>
<b>Union Bridge Road Mole Creek</b>	<b>\$70,000</b>	<b>\$28,200</b>	<b>\$98,200</b>
<b>Selbourne Road Selbourne</b>	<b>\$0</b>	<b>\$7,300</b>	<b>\$7,300</b>
<b>Dynans Bridge Road Weegena</b>	<b>\$0</b>	<b>\$6,000</b>	<b>\$6,000</b>
<b>Mole Creek Big Den Road Bridge</b>	<b>\$201,600</b>	<b>\$46,600</b>	<b>\$248,200</b>
<b>Lobster Creek Parsons Road Bridge</b>	<b>\$210,600</b>	<b>\$13,600</b>	<b>\$224,200</b>
<b>Lynds Creek Old Gads Hill Road Bridge</b>	<b>\$191,200</b>	<b>-\$52,700</b>	<b>\$138,500</b>
<b>Overflow Creek Union Bridge Road Bridge</b>	<b>\$381,600</b>	<b>-\$29,100</b>	<b>\$352,500</b>
<b>GPS Unit</b>	<b>\$25,000</b>	<b>-\$2,400</b>	<b>\$22,600</b>
<b>Lyttleton Street Westbury</b>	<b>\$87,000</b>	<b>-\$3,500</b>	<b>\$83,500</b>
<b>Jane Street Bracknell</b>	<b>\$25,000</b>	<b>-\$5,000</b>	<b>\$20,000</b>
<b>Moriarty Street Deloraine</b>	<b>\$25,000</b>	<b>-\$5,600</b>	<b>\$19,400</b>
<b>West Parade Deloraine</b>	<b>\$60,000</b>	<b>\$18,000</b>	<b>\$78,000</b>
<b>Westbury Road Prospect Vale</b>	<b>\$170,000</b>	<b>-\$2,600</b>	<b>\$167,400</b>
<b>Panorama Road Blackstone Heights</b>	<b>\$41,600</b>	<b>-\$39,900</b>	<b>\$1,700</b>

<b>Project Name</b>	<b>Original Budget</b>	<b>Variation</b>	<b>New Budget</b>
<b>Dairy Plains Road</b>	<b>\$250,000</b>	<b>-\$26,000</b>	<b>\$224,000</b>
<b>Lansdowne Place Deloraine</b>	<b>\$75,800</b>	<b>\$74,200</b>	<b>\$150,000</b>
<b>Westwood Road Westwood</b>	<b>\$250,000</b>	<b>-\$35,800</b>	<b>\$214,200</b>
<b>Whitemore Road - Carrick to Whitemore</b>	<b>\$210,000</b>	<b>-\$22,800</b>	<b>\$187,200</b>
<b>New Footpath Developments - Westbury</b>	<b>\$200,668</b>	<b>-\$35,000</b>	<b>\$165,668</b>
<b>Dexter Street Footpath - Westbury</b>	<b>\$0</b>	<b>\$35,000</b>	<b>\$35,000</b>
<b>Liffey River Pitts Lane Bridge</b>	<b>\$290,000</b>	<b>\$33,000</b>	<b>\$323,000</b>
<b>Damper Creek Montana Road Bridge</b>	<b>\$256,000</b>	<b>-\$15,000</b>	<b>\$241,000</b>
<b>Bridge Safety - Barrier and Signage</b>	<b>\$21,300</b>	<b>-\$10,800</b>	<b>\$10,500</b>
<b>Deloraine Lawn Cemetery Stormwater</b>	<b>\$20,000</b>	<b>-\$8,700</b>	<b>\$11,300</b>
<b>Deloraine Lawn Cemetery Irrigation, Seating, Bins and Garden</b>	<b>\$20,000</b>	<b>\$8,700</b>	<b>\$28,700</b>
<b>Westbury Landfill site - Cell</b>	<b>\$100,000</b>	<b>\$10,800</b>	<b>\$110,800</b>
<b>Mole Creek Transfer Station - Railing and Pavement</b>	<b>\$20,000</b>	<b>-\$10,800</b>	<b>\$9,200</b>
<b>Cook Street Stormwater</b>	<b>\$0</b>	<b>\$22,600</b>	<b>\$22,600</b>
<b>Montpelier Drive Stormwater - Prospect Vale</b>	<b>\$125,000</b>	<b>-\$31,600</b>	<b>\$93,400</b>
<b>Harley Parade Stormwater</b>	<b>\$21,700</b>	<b>\$3,400</b>	<b>\$25,100</b>
<b>Deloraine Community Complex - Stormwater Improvements</b>	<b>\$0</b>	<b>\$10,000</b>	<b>\$10,000</b>
<b>Urban Stormwater Drainage - Program Budget</b>	<b>\$164,400</b>	<b>-\$30,200</b>	<b>\$134,200</b>
<b>Liffey Street Carrick - Piping Open Drains</b>	<b>\$0</b>	<b>\$47,800</b>	<b>\$47,800</b>
<b>Open Drainage Program - Carrick</b>	<b>\$100,000</b>	<b>-\$47,800</b>	<b>\$52,200</b>
<b>PVP Clubrooms - Kitchen and Medical Room Upgrades</b>	<b>\$151,000</b>	<b>\$26,000</b>	<b>\$177,000</b>
<b>PVP Medical Room Development</b>	<b>\$50,000</b>	<b>-\$25,900</b>	<b>\$24,100</b>

<b>Project Name</b>	<b>Original Budget</b>	<b>Variation</b>	<b>New Budget</b>
<b><i>PVP Nature Play Scape</i></b>	<b><i>\$170,000</i></b>	<b><i>\$62,000</i></b>	<b><i>\$232,000</i></b>
<b><i>PVP Grounds Upgrade 7 &amp; 8 (AFL)</i></b>	<b><i>\$500,000</i></b>	<b><i>\$60,000</i></b>	<b><i>\$560,000</i></b>
<b><i>PVP Grounds Upgrade 5 &amp; 6 (Soccer)</i></b>	<b><i>\$179,000</i></b>	<b><i>-\$25,400</i></b>	<b><i>\$153,600</i></b>
<b><i>Football Goal Posts - Multiple Locations</i></b>	<b><i>\$41,100</i></b>	<b><i>\$2,800</i></b>	<b><i>\$43,900</i></b>
<b><i>Village Green Westbury - New table and seating furniture</i></b>	<b><i>\$0</i></b>	<b><i>\$30,000</i></b>	<b><i>\$30,000</i></b>
<b><i>Deloraine Riverbank Walkway Renewal</i></b>	<b><i>\$80,000</i></b>	<b><i>-\$30,000</i></b>	<b><i>\$50,000</i></b>
<b><i>Las Vegas Drive - Playground Removal</i></b>	<b><i>\$20,000</i></b>	<b><i>-\$20,000</i></b>	<b><i>\$0</i></b>
<b><i>West Parade Car Park Access Path</i></b>	<b><i>\$17,500</i></b>	<b><i>-\$15,400</i></b>	<b><i>\$2,100</i></b>

**DECISION:**

**ITEMS FOR CLOSED SECTION OF THE MEETING:**

Councillor xx moved and Councillor xx seconded ***“that pursuant to Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015, Council close the meeting to the public to discuss the following items.”***

**GOV 5 CONFIRMATION OF MINUTES**

Confirmation of Minutes of the Closed Session of the Ordinary Council Meeting held on 9 May, 2017.

**GOV 6 LEAVE OF ABSENCE**

(Reference Part 2 Regulation 15(2)(h) Local Government (Meeting Procedures) Regulations 2015)

The meeting moved into Closed Session at x.xxpm

The meeting re-opened to the public at x.xxpm

Cr xxx moved and Cr xxx seconded ***“that the following decisions were taken by Council in Closed Session and are to be released for the public’s information.”***

The meeting closed at .....

.....  
CRAIG PERKINS (MAYOR)