

Meander Valley Council

W O R K I N G T O G E T H E R

ORDINARY AGENDA

COUNCIL MEETING

Tuesday 8 August 2017

COUNCIL MEETING VISITORS

Visitors are most welcome to attend Council meetings.

Visitors attending a Council Meeting agree to abide by the following rules:-

- Visitors are required to sign the Visitor Book and provide their name and full residential address before entering the meeting room.
- Visitors are only allowed to address Council with the permission of the Chairperson.
- When addressing Council the speaker is asked not to swear or use threatening language.
- Visitors who refuse to abide by these rules will be asked to leave the meeting by the Chairperson.

SECURITY PROCEDURES

- Council staff will ensure that all visitors have signed the Visitor Book.
- A visitor who continually interjects during the meeting or uses threatening language to Councillors or staff, will be asked by the Chairperson to cease immediately.
- If the visitor fails to abide by the request of the Chairperson, the Chairperson shall suspend the meeting and ask the visitor to leave the meeting immediately.
- If the visitor fails to leave the meeting immediately, the General Manager is to contact Tasmania Police to come and remove the visitor from the building.
- Once the visitor has left the building the Chairperson may resume the meeting.
- In the case of extreme emergency caused by a visitor, the Chairperson is to activate the Distress Button immediately and Tasmania Police will be called.



PO Box 102, Westbury,
Tasmania, 7303

Dear Councillors

I wish to advise that an ordinary meeting of the Meander Valley Council will be held at the Westbury Council Chambers, 26 Lyall Street, Westbury, on **Tuesday 8 August 2017 at 1.30pm.**

Martin Gill
GENERAL MANAGER

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Evacuation and Safety:

At the commencement of the meeting the Mayor will advise that,

- *Evacuation details and information are located on the wall to his right;*
- *In the unlikelyhood of an emergency evacuation an alarm will sound and evacuation wardens will assist with the evacuation. When directed, everyone will be required to exit in an orderly fashion through the front doors and go directly to the evacuation point which is in the car-park at the side of the Town Hall.*

Agenda for an ordinary meeting of the Meander Valley Council to be held at the Council Chambers Meeting Room, 26 Lyall Street, Westbury, on Tuesday 8 August 2017 at 1.30pm.

PRESENT:**APOLOGIES:****IN ATTENDANCE:****CONFIRMATION OF MINUTES:**

Councillor xx moved and Councillor xx seconded, ***“that the minutes of the Ordinary Meeting of Council held on Tuesday 11 July, 2017, be received and confirmed.”***

COUNCIL WORKSHOPS HELD SINCE THE LAST MEETING:

Date :	Items discussed:
22 July 2017	<ul style="list-style-type: none"> • Greater Launceston Transformation Project • Policy No 79 – Pursuit of Illegal Buildings • Community Waste Management Strategies • Westbury Recreation Ground Function Centre • Folk Museum Rising Damp • Electoral Division Redistriburion Proposal

ANNOUNCEMENTS BY THE MAYOR:

19 July 2017

Launch of Mole Creek Telstra Mobile Tower

21 July 2017

Primary Health Tasmania telephone Interview

25 July 201

Council workshop

Citizenship ceremony

26 July 2017

LGAT AGM and General Meeting

27 July 2017

LGAT Annual Conference

28 July 2017

LGAT Annual Conference

DECLARATIONS OF INTEREST:

TABLING OF PETITIONS:

PUBLIC QUESTION TIME

General Rules for Question Time:

Public question time will continue for no more than thirty minutes for 'questions on notice' and 'questions without notice'.

At the beginning of public question time, the Chairperson will firstly refer to the questions on notice. The Chairperson will ask each person who has a question on notice to come forward and state their name and where they are from (suburb or town) before asking their question(s).

The Chairperson will then ask anyone else with a question without notice to come forward and give their name and where they are from (suburb or town) before asking their question.

If called upon by the Chairperson, a person asking a question without notice may need to submit a written copy of their question to the Chairperson in order to clarify the content of the question.

A member of the public may ask a Council officer to read their question for them.

If accepted by the Chairperson, the question will be responded to, or, it may be taken on notice as a 'question on notice' for the next Council meeting. Questions will usually be taken on notice in cases where the questions raised at the meeting require further research or clarification. These questions will need to be submitted as a written copy to the Chairperson prior to the end of public question time.

The Chairperson may direct a Councillor or Council officer to provide a response.

All questions and answers must be kept as brief as possible.

There will be no debate on any questions or answers.

In the event that the same or similar question is raised by more than one person, an answer may be given as a combined response.

Questions on notice and their responses will be minuted.

Questions without notice raised during public question time and the responses to them will not be minuted or recorded in any way with exception to those questions taken on notice for the next Council meeting.

Once the allocated time period of thirty minutes has ended, the Chairperson will declare public question time ended. At this time, any person who has not had the opportunity to put forward a question will be invited to submit their question in writing for the next meeting.

Notes

- Council officers may be called upon to provide assistance to those wishing to register a question, particularly those with a disability or from non-English speaking cultures, by typing their questions.
- The Chairperson may allocate a maximum time for each question, depending on the complexity of the issue, and on how many questions are asked at the meeting. The Chairperson may also indicate when sufficient response to a question has been provided.

- Limited Privilege: Members of the public should be reminded that the protection of parliamentary privilege does not apply to local government, and any statements or discussion in the Council Chamber or any document, produced are subject to the laws of defamation.

For further information please telephone 6393 5300 or visit www.meander.tas.gov.au

PUBLIC QUESTION TIME

1. PUBLIC QUESTIONS TAKEN ON NOTICE – JULY 2017

Nil

2. PUBLIC QUESTIONS WITH NOTICE – AUGUST 2017

Nil

3. QUESTIONS WITHOUT NOTICE – AUGUST 2017

COUNCILLOR QUESTION TIME

1. COUNCILLOR QUESTIONS TAKEN ON NOTICE – JULY 2017

1.1 Cr Tanya King

Its plastic free July, and I have been scrutinising my own family's plastic use, and have identified some improvements we can make. One easy thing to do is to separate and collect soft plastic for recycling. Unfortunately, I would need to drive to Launceston, to access my nearest collection point!

REDcycle is a recycling program that diverts flexible plastics – the ones you can't put in your kerbside recycling bin – from landfill and turns them into a material that can be used to manufacture new products.

Could Meander Valley Council please investigate the feasibility of introducing collection points within our municipality?

Response by Dino De Paoli, Director Infrastructure Services

Yes, Council Officers will investigate the feasibility of introducing collection points within the municipality and report back to Councillors on the potential option/s at an upcoming Council workshop.

1.2 Cr Andrew Connor

Could Council's Environmental Health Officers conduct proactive patrols during winter months to ensure compliance with smoking chimney regulations?

The regulations are breached if smoke is visible 10 metres or more from a chimney for at least 30 seconds at a time, as well as being generally visible for at least 10 minutes.

An infringement notice is an on-the-spot fine of \$240

***Response by Lynette While, Director Community & Development Services
Council's Environmental Health Officers will be keeping an eye on chimneys in surrounding areas when they are on inspections.***

If a smoky chimney is noted, an EPA Tasmania postcard 'burn brighter and breathe better' is popped into the relevant letterbox. Attached to the postcard is the business card of the Officer and a brief note is written on the card to advise that excess smoke was noted and to please be aware of the advice on the postcard.

The postcard has 2 pictures on one side, illustrating appropriate and inappropriate smoke and on the reverse side provides hints on being a good neighbour to burn brighter, breathe better. The Officer keeps a record of this action. This is a proactive educational approach.

2. COUNCILLOR QUESTIONS WITH NOTICE – AUGUST 2017

2.1 Cr Tanya King

The Meander Valley Council Ordinary Minutes – 7 June 2016 contains the following:
129/2016 LEGISLATIVE COUNCIL INQUIRY INTO THE WILD FALLOW DEER
POPULATION IN TASMANIA

Cr King moved and Cr Kelly seconded "that Council

1. makes a submission to the Legislative Council Government Administration Committee 'A' inquiry into the wild fallow deer population in Tasmania and
2. includes the following points in its submission:
 - The partly protected status of fallow deer does not provide effective control of an introduced species;
 - There is increasing evidence of property damage caused by fallow deer in Meander Valley;

- There is increasing evidence of motor accidents caused by or involving wild fallow deer on roads within Meander Valley;
- Council attributes the increase in property damage and vehicle accidents to the increase in fallow deer populations”

The motion was declared **CARRIED** with Councillors, Kelly, King, Mackenzie, Perkins, Synfield, Temple and White voting for the motion.

Could a copy of the submission please be provided?

Response by Martin Gill, General Manager

A copy of the submission has been provided in the Councillor folders.

3. COUNCILLOR QUESTIONS WITHOUT NOTICE – AUGUST 2017

DEPUTATIONS BY MEMBERS OF THE PUBLIC

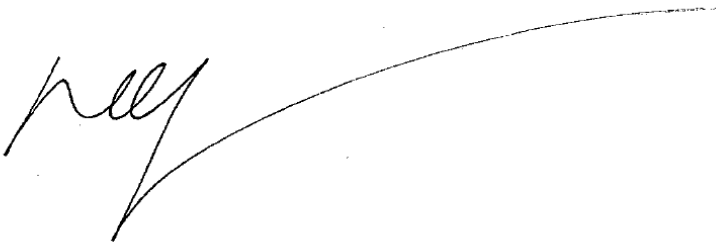
NOTICE OF MOTIONS BY COUNCILLORS

Nil

CERTIFICATION

"I certify that with respect to all advice, information or recommendation provided to Council with this agenda:

1. the advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation, and
2. where any advice is given directly to Council by a person who does not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person."



Martin Gill
GENERAL MANAGER

"Notes: S65(1) of the Local Government Act requires the General Manager to ensure that any advice, information or recommendation given to the Council (or a Council committee) is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation. S65(2) forbids Council from deciding any matter which requires the advice of a qualified person without considering that advice."

COUNCIL MEETING AS A PLANNING AUTHORITY

The Mayor advises that for items C&DS 1 to C&DS 5 Council is acting as a Planning Authority under the provisions of the *Land Use Planning and Approvals Act 1993*.

C&DS 1 6 CARLWOOD PLACE, PROSPECT VALE - MULTIPLE DWELLINGS (2 UNITS)

1) Introduction

This report considers application PA\17\0225 for Multiple dwellings (2 units) on land located at 6 Carlwood Place, Prospect Vale CT:172170/11.

2) Background

Applicant

Douglas Design & Drafting

Planning Controls

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

Use & Development

The proposal is to construct two units at 6 Carlwood Place in Prospect Vale. Unit 1 is a single storey three bedroom unit. Unit 2 is a single storey two bedroom unit. Each unit has a double garage and separate access to Carlwood Place. A 1.8m high fence on a 400mm high retaining wall separates the two units.

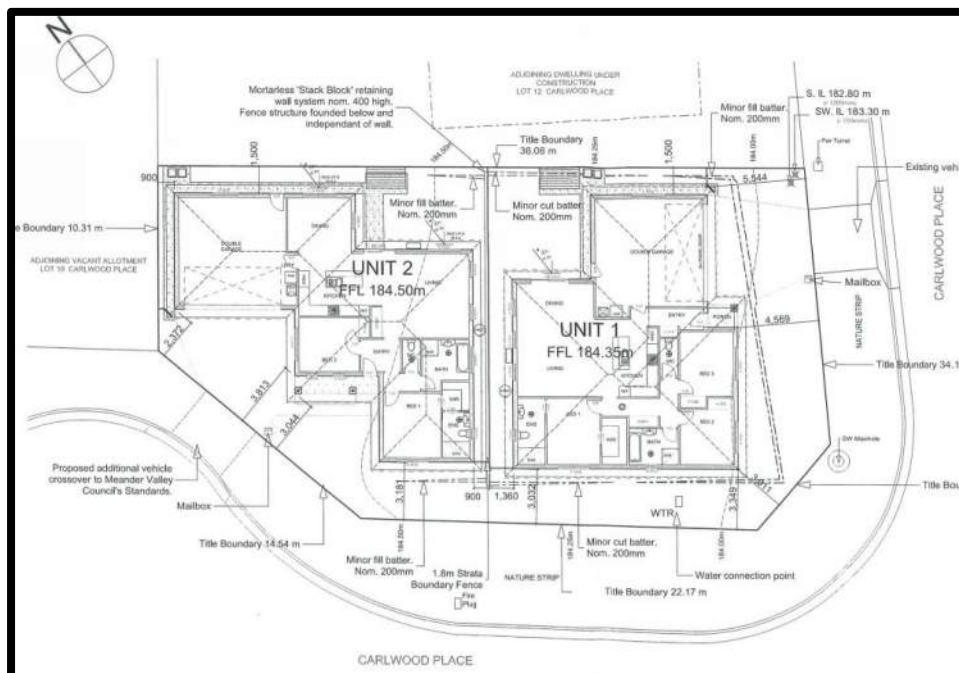


Figure 1: site plan

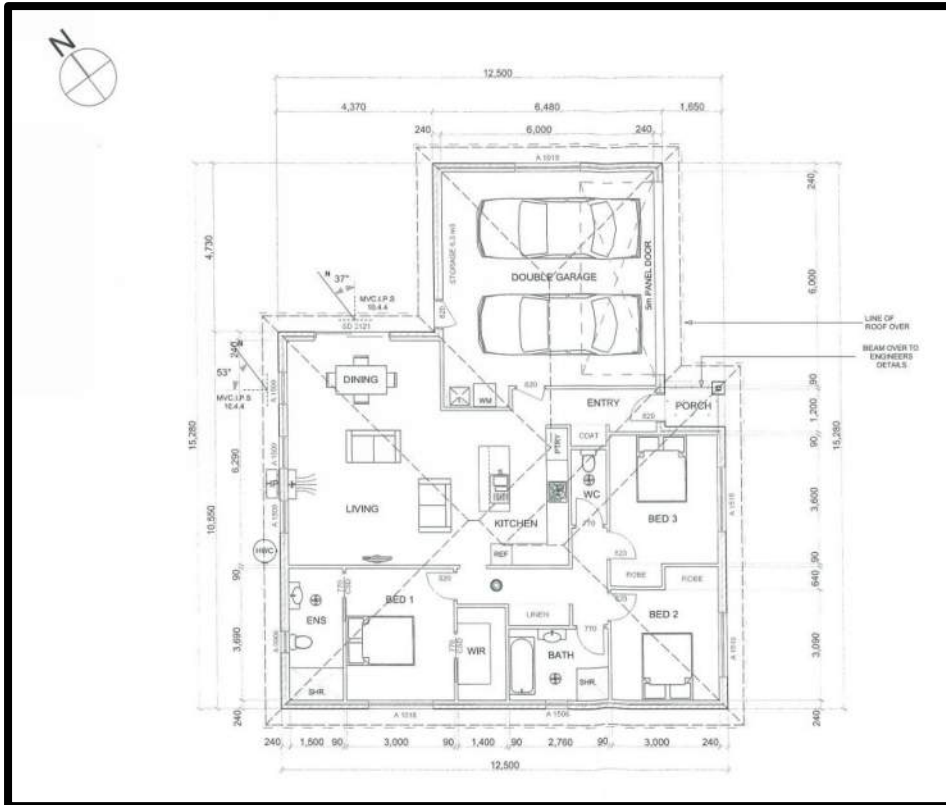


Figure 2: floor plan of Unit 1

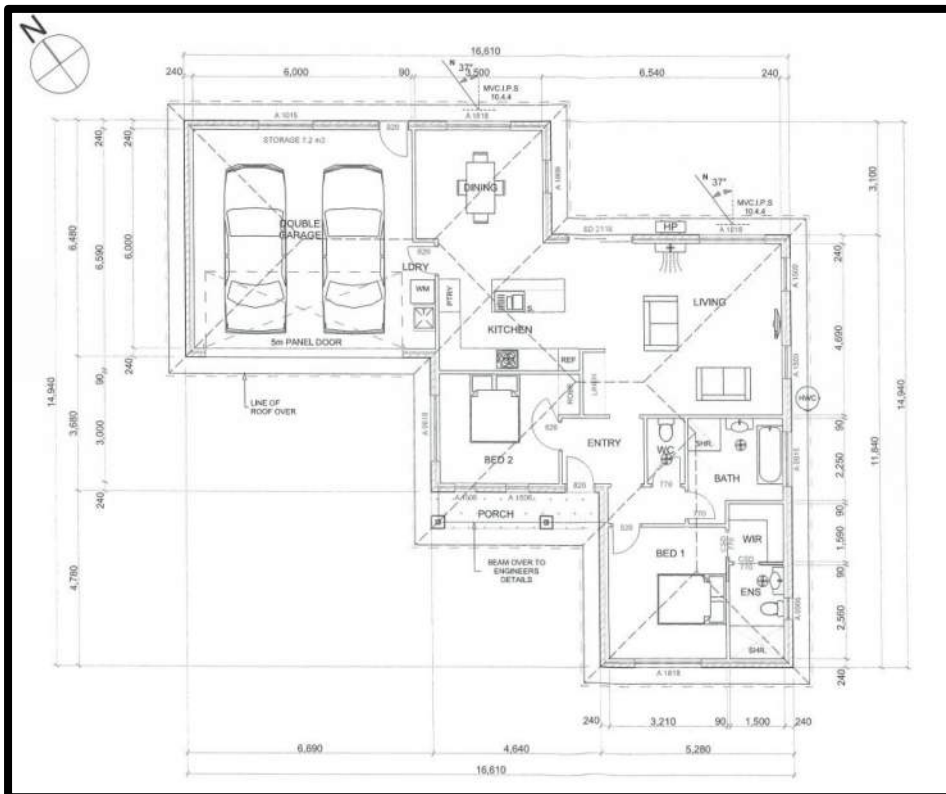


Figure 3: floor plan of Unit 2

Site & Surrounds

Carlwood Place is part of a recently approved subdivision. The subject property is a corner lot with 2 sides facing Carlwood Place. The surrounding land is part of the established residential area of Prospect Vale.



Photo 1: aerial view of property and surrounding land

Statutory Timeframes

Date Received:	9 June 2017
Request for further information:	Not applicable.
Information received:	Not applicable.
Advertised:	24 June 2017
Closing date for representations:	10 July 2017
Extension of time granted:	14 July 2017
Extension of time expires:	9 August 2017
Decision due:	8 August 2017

3) Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

4) Policy Implications

Not applicable.

5) Statutory Requirements

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

6) Risk Management

Management of risk is inherent in the conditioning of the permit.

7) Consultation with State Government and other Authorities

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA 2017/00934-MVC) was received on 26 June 2017 (attached document).

8) Community Consultation

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

9) Financial Impact

Not applicable.

10) Alternative Options

Council can either approve the application with amended conditions or refuse the application.

11) Officers Comments

Zone

The subject property is located in the General Residential zone. The land surrounding the site is located in the General Residential zone.



Figure 4: zone mapping

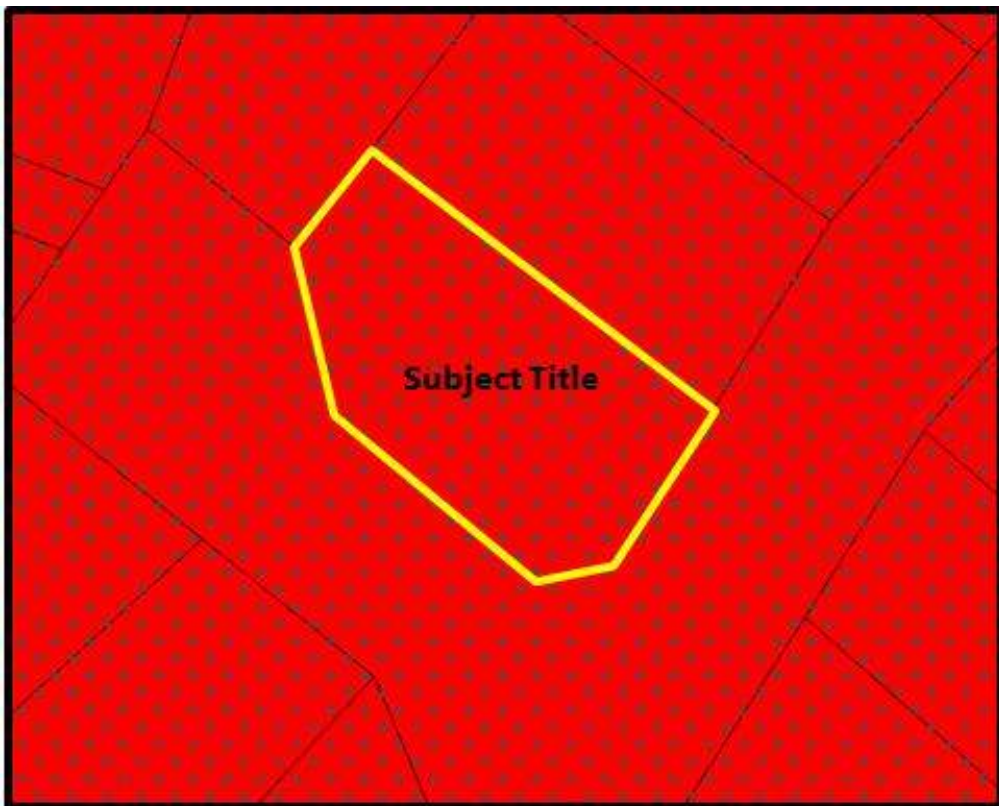


Figure 5: overlay mapping (cross represents salinity risk overlay)

Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential (multiple dwelling)

Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the General Residential zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

Compliance Assessment

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

General Residential Zone			
Scheme Standard		Comment	Assessment
10.3.1 Amenity			
A1	If for permitted or no permit required uses.	Multiple dwellings are a Permitted use in the General Residential Zone.	Complies
A2	Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	Not applicable	

10.4.1 Residential density for multiple dwellings			
A1	Multiple dwellings must have a site area per dwelling of not less than: a) 325m ² ; or b) in accordance with a density area.	The land is 670m ² in area. The application is for two units, which equals 335m ² per dwelling.	Complies
10.4.10 Common Property for multiple dwellings			
A1	Development for multiple dwellings must clearly delineate public, communal and private areas such as: a) driveways; and c) site services, bin areas and any waste collection points.	The use of fences and separate driveways delineates each unit's driveway and private area.	Complies
10.4.11 Outbuildings for multiple dwellings			
A1	Outbuildings for each multiple dwelling must have a combined gross floor area not exceeding 45m ² .	Not applicable	
10.4.12 Site Services for multiple dwellings			
A1	Provision for mailboxes must be made at the frontage.	Mail boxes are located adjacent to each driveway.	Complies
10.4.2 Setbacks and building envelope for all dwellings			
A1	Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is: (a) 4.5m from the primary frontage or, if the setback	Unit 1 is setback 4.5 metres from the primary frontage. Unit 2 is generally in excess of 3 metres from the secondary frontage; however a small portion of the	Relies on Performance Criteria

	<p>from the primary frontage is less than 4.5 m, not less than the setback of any existing dwelling on the site; or</p> <p>(b) 3m from a non-primary frontage, or if the setback is less than 3 m, not less than the setback of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites, not more than the greater, or less than the lesser setback of the dwellings on the adjoining sites; or</p> <p>(d) in accordance Table 10.4.2.</p>	unit is 2.37 metres from the frontage.	
A2	<p>A garage or carport must have a setback from a primary frontage of at least:</p> <p>(a) 5.5m, or alternatively 1m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if the dwelling has floor area above the garage or carport; or</p> <p>(c) 1m, if the slope is greater than 1 in 5 for a distance of 10m from the frontage.</p>	Unit 1's garage is located 5.5 metres from the primary frontage.	Complies
A3	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building</p>	<p>Development does not meet the secondary frontage setback. Unit 2 is less than 1.5 metres from the west boundary.</p>	Relies on Performance Criteria

	<p>envelope, must:</p> <p>(a) be contained within a building envelope determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p>	<p>However, the wall length is less than 9 metres and the building is contained within the building envelope in regard to the side boundary.</p>	
10.4.3 Site coverage and private open space for all dwellings			
A1	<p>Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) 60m² for multiple dwellings, unless the dwelling has a finished floor</p>	<p>Site coverage:</p> <p>Unit 1 – 134.5m² Unit 2 – 128.9m² Total 313.25m² or 46.7%.</p> <p>Each dwelling has more than 60m²</p>	<p>Complies</p> <p>Complies</p>

	<p>level that is entirely more than 1.8m above the finished ground level; and</p> <p>(c) a site area of which at least 25% of the site area is free from impervious surfaces.</p>	<p>of private open space.</p> <p>Total impervious area is 60.17%. Area free from impervious surface is 39.83%.</p>	Complies
A2	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², for multiple dwellings above ground floor level; and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, for multiple dwellings above ground floor level; and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and</p> <p>(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p>	<p>Both dwellings have private open space areas with a northerly aspect; with direct access to the living area; more than 24m² in area with a minimum dimension of 4 metres; not located in the frontage; flat land and not accessible for parking.</p>	Complies

	(g) is not used for vehicle access or parking.		
10.4.4 Sunlight and overshadowing for all dwellings			
A1	A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north.	Neither dwelling has a habitable room window orientated between 30 degrees east or west of north.	Relies on Performance Criteria
A2	<p>Multiple dwellings to the north of a habitable room window (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north, must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting:</p> <p>(i) 3 m from the window; and</p> <p>(ii) vertically to a height of 3 m and then at an angle of 45 degrees.</p> <p>(b) Sunlight to the habitable room is not reduced to less than 3 hours between 9.00 am and 3.00 pm on 21st June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4 m; or</p> <p>(ii) protrusions (such as</p>	Not applicable	

	eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling.		
A3	<p>Multiple dwellings, that to the north of the private open space of another dwelling on the same site, must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting:</p> <p>(i) 3 m from the northern edge of the private open space; and</p> <p>(ii) vertically to a height of 3 m and then at an angle of 45 degrees.</p> <p>(b) Sunlight to 50% of the private open space is not reduced to less than 3 hours between 9.00 am and 3.00 pm on 21st June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4 m; or</p> <p>(ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling.</p>	Not applicable	
10.4.5 Width of openings for garages and carports for all dwellings			
A1	A garage or carport within 12m of a primary frontage must have a total width of openings facing the primary	Proposed garage doors are less than 6 metres in width and are less	Complies

	frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	than 50% of the width of the frontage.	
10.4.6 Privacy for all dwellings			
A1	<p>A balcony, deck, roof terrace, parking space, or carport, that has a finished surface or floor level more than 1m above natural ground level, must have a permanently fixed screen at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless there is a setback of at least 3m; and</p> <p>(b) rear boundary, unless there is a setback of at least 4m; and</p> <p>(c) dwelling on the same site, unless there is a setback of at least 6m:</p> <p>(i) from a window or glazed door, to a habitable room; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space.</p>	The proposed dwellings do not include finished floor levels more than 1 metre above natural ground level.	Not applicable
A2	<p>A window or glazed door, to a habitable room that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed</p>	The proposed dwellings do not include finished floor levels more than 1 metre above natural ground level.	Not applicable

	<p>door:</p> <p>(i) is at least 3m from a side boundary; and</p> <p>(ii) is at least 4m from a rear boundary; and</p> <p>(iii) for a multiple dwelling, is at least 6m from a window or glazed door to a habitable room, of another dwelling on the same site; and</p> <p>(iv) for a multiple dwelling, is at least 6m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is offset in the horizontal plane, at least 1.5 m from the edge of a window or glazed door to a habitable room of another dwelling; or</p> <p>(ii) has a sill height or fixed obscure glazing at least 1.7m above the floor level; or</p> <p>(iii) has a permanently fixed external screen at least 1.7m above floor level with a uniform transparency not more than 25%.</p>		
A3	<p>For multiple dwellings, a shared driveway or parking space must be separated from a window or glazed door to a habitable room by a horizontal distance of at least:</p> <p>(a) 2.5m; or</p> <p>(b) 1m if:</p> <p>(i) separated by a screen of at least 1.7m height; or</p>	<p>No shared access or parking within 2 metres of another dwelling on the same site.</p>	<p>Complies</p>

	(ii) the window or glazed door has a sill height or fixed obscure glazing at least 1.7m above the shared driveway or parking space.		
10.4.7 Frontage fences for all dwellings			
A1	A fence within 4.5m of a frontage must have a height of not more than: (a) 1.2m if the fence is solid; or (b) 1.8m where that part above 1.2m has uniform transparency not less than 30% (excluding posts or uprights).	Not applicable	
10.4.8 Waste storage for multiple dwellings			
A1	A multiple dwelling must have a storage area for waste and recycling bins of at least 1.5m ² per dwelling and is: (a) in an area for the exclusive use of each dwelling, excluding the front of the dwelling; or (b) in a communal storage area with an impervious surface that: (i) has a setback of at least 4.5m from a frontage; and (ii) is at least 5.5m from any dwelling; and (iii) is screened from the frontage and any dwelling by a wall at least 1.2m in height.	Bin space provided for each unit.	Complies
10.4.9 Storage for multiple dwellings			
A1	Each dwelling must have	Storage area	Complies

	access to at least 6 cubic metres of secure storage space.	available in each double garage.	
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Road and Railway Assets Code			
Scheme Standard		Comment	Assessment
E4.6.1 Use and road or rail infrastructure			
A1	Sensitive use within 50m of a category 1 or 2 road with a speed limit of more than 60km/h, a railway or future road or railway, does not increase the annual average daily traffic movements by more than 10%.	Not applicable	
A2	For roads with a speed limit of 60km/h or less the use must not generate more than 40 movements per day.	Development will not increase vehicle movements at any access by more than 40.	Complies
A3	For roads with a speed limit of more than 60km/h the use must not increase the annual average daily traffic movements by more than 10%.	Not applicable	
E4.7.2 Management of Road Accesses and Junctions			
A1	For roads with a speed limit of 60km/h or less the development must include one access providing both entry and exit, or two accesses providing separate entry and exit.	Application includes a second access.	Relies on Performance Criteria
A2	For roads with a speed limit of more than 60km/h the development must not include a new access or	Not applicable	

	junction.		
E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings			
A1	<p>Sight distances at</p> <p>a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E4.7.4; and</p> <p>b) rail level crossings must comply with AS1742.7; or</p> <p>c) If the access is a temporary access, the written consent of the relevant authority has been obtained.</p>	Unit 1's access is existing. Unit 2's access does not meet safe sight distances.	Relies on Performance Criteria

Car Parking and Sustainable Transport Code			
Scheme Standard		Comment	Assessment
6.6.1 Car Parking Numbers			
A1	<p>The number of car parking spaces must not be less than the requirements of:</p> <p>a) Table E6.1; or</p> <p>b) a parking precinct plan.</p>	<p>Each unit has 2 car parking spaces in the double garages.</p> <p>Unit 1's driveway is sufficient in length to accommodate a car parking space.</p> <p>Unit 2's driveway is too short to accommodate a car parking space.</p>	Complies
E6.7.1 Construction of Car Parking Spaces and Access Strips			
A1	<p>All car parking, access strips manoeuvring and circulation spaces must be:</p> <p>a) formed to an adequate level and drained; and</p> <p>b) except for a single</p>	<p>Both accesses are sealed and drain to the road.</p> <p>No requirement for line marking.</p>	Complies

	dwelling, provided with an impervious all weather seal; and c) except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.		
E6.7.2 Design and Layout of Car Parking			
A1	<p>A1.1 Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone) must be located behind the building line; and</p> <p>A1.2 Within the General Residential Zone, provision for turning must not be located within the front setback for residential buildings or multiple dwellings.</p>	A visitor parking space is located between Unit 1 and the frontage.	Relies on Performance Criteria
A2	<p>A2.1 Car parking and manoeuvring space must:</p> <p>a) have a gradient of 10% or less; and</p> <p>b) for more than 4 cars, enter and exit the site in a forward direction; and</p> <p>c) have access width not less than and not 10% greater than Table E6.2; and</p>	<p>Gradient is less than 10%. Vehicles cannot enter and exit in a forward direction. Access width is 3.6 metres. More than three parking spaces. Vehicles will reverse from the site. Generally consistent with</p>	Relies on Performance Criteria

	<p>d) have a width of access and manoeuvring space to parking spaces not less than Table E6.3 where:</p> <ul style="list-style-type: none"> (i) there are three or more spaces; and (ii) where parking is more than 30m from the road; or (iii) the sole vehicle access is to a category 1, 2, 3 or 4 road; and <p>A2.2</p> <p>The layout of car spaces and access ways must be designed in accordance with <i>Australian Standard AS 2890.1</i>.</p>	<p>AS2890.1 in so far as it is applicable to dwellings.</p>	
--	--	---	--

Performance Criteria

<p>General Residential Zone</p>
<p>10.4.2 Setbacks and building envelope for all dwellings</p>
<p>Objective</p> <p><i>To control the siting and scale of dwellings to:</i></p> <ul style="list-style-type: none"> <i>(a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and</i> <i>(b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and</i> <i>(c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and</i> <i>(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.</i>
<p>Performance Criteria P1</p> <p><i>A dwelling must:</i></p>

- (a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and
- (b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.

Comment:

6 Carlwood Place is an irregular shaped lot. The primary frontage is defined as having the shortest dimension (irrespective of minor deviations and corner truncations). In this case, the crossover for Unit 1 faces the primary frontage; while Unit 2 faces the secondary frontage.

In this instance, a very small portion of Unit 2 is less than 3 metres from the secondary frontage (see Figure 6 below). This is due to the irregular shape of the lot. The only other corner lots within Carlwood Place are those adjacent to Bradford Avenue (22 Bradford Avenue and 28 Bradford Avenue). At 22 Bradford Avenue there is a solid 1.95 metre high fence along the secondary frontage (all other buildings meet the Acceptable Solution for setback). The dwelling at 28 Bradford Avenue meets the Acceptable Solution for setback for a secondary frontage. In consideration of other development and the area of encroachment, the proposed discretion is considered very minor.

No further action is required.

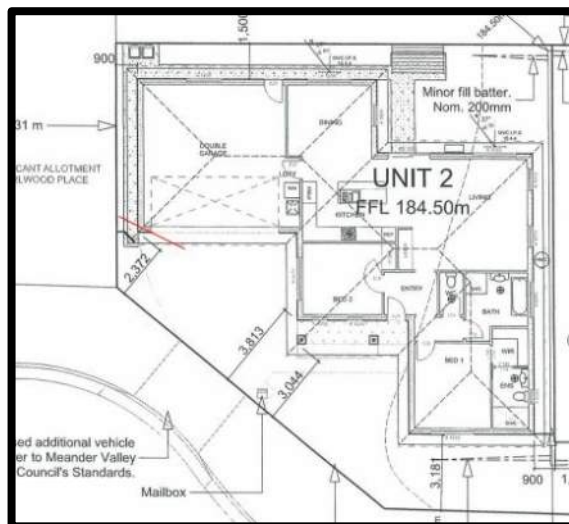


Figure 6: red line showing portion of Unit 2 less than 3 metres from the secondary frontage

Performance Criteria P3

The siting and scale of a dwelling must:

- (a) *not cause unreasonable loss of amenity by:*
 - (i) *reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or*
 - (ii) *overshadowing the private open space of a dwelling on an adjoining lot; or*
 - (iii) *overshadowing of an adjoining vacant lot; or*
 - (iv) *visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and*
- (b) *provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.*

Comment:

As a small portion of Unit 2 is less than 3m to the secondary frontage, the unit does not fit the building envelope. The adjoining property (8 Carlwood Place) is a vacant lot. Due to the minor encroachment, any overshadowing and visual impact onto 8 Carlwood Place from that portion of the unit is considered very minor.

Unit 2 complies with the side boundary setbacks standards. As such, separation between dwellings is not affected.

No further action is required.

10.4.4 Sunlight and overshadowing for all dwellings

Performance Criteria P1

A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).

Comment:

Both units have habitable room windows orientated 37 degrees east or west of north. However, the location of the windows allows for sunlight to enter the habitable rooms.

No further action is required.

Road and Railway Assets Code

E4.7.2 Management of Road Accesses and Junctions

Objective

To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.

<p>Performance Criteria P1</p> <p><i>For roads with a speed limit of 60km/h or less, the number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.</i></p>
<p>E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings</p>
<p>Objective</p> <p><i>To ensure that use and development involving or adjacent to accesses, junctions and level crossings allows sufficient sight distance between vehicles and between vehicles and trains to enable safe movement of traffic.</i></p>
<p>Performance Criteria P1</p> <p><i>The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles.</i></p>
<p>Comment:</p> <p>Council's Director Infrastructure Services provided the following:</p> <p><i>The subject property is located immediately on the eastern side of the existing cul-de-sac, and the proposed [Unit 2's] crossover will be within the cul-de-sac itself. The speed zone applicable to this section of residential road is 50km/hr, however, due to the location of the cul-de-sac and approach road alignment 50km/hr is not considered representative of vehicle speeds in this area.</i></p> <p><i>The proposed crossover is acceptable considering the low speed environment. It is considered that the new crossover and traffic to and from the proposed unit development would not adversely impact on the safety or efficiency of the road network.</i></p> <p>No further action is required.</p>

<p>Car Parking and Sustainable Transport Code</p>
<p>E6.7.2 Design and Layout of Car Parking</p>
<p>Objective</p> <p><i>To ensure that car parking and manoeuvring space are designed and laid out to an appropriate standard.</i></p>

Performance Criteria P1

The location of car parking and manoeuvring spaces must not be detrimental to the streetscape or the amenity of the surrounding areas, having regard to:

- a) the layout of the site and the location of existing buildings; and*
- b) views into the site from the road and adjoining public spaces; and*
- c) the ability to access the site and the rear of buildings; and*
- d) the layout of car parking in the vicinity; and*
- e) the level of landscaping proposed for the car parking.*

Performance Criteria P2

Car parking and manoeuvring space must:

- a) be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and*
- b) provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.*

Comment:

In this instance, any tandem car parking in the driveway will be located to the front of the building line. It is noted that the layout of each units' garage and driveway is similar in appearance to that of a single dwelling. As with single dwellings, visitor parking is often accommodated in the driveway. Being a slow speed environment, the proposed layout is not expected to adversely affect the safety and convenience of users and passing traffic.

Unit 2's access width is 3.6 metres. This width is consistent with all other accesses in Carlwood Place. There is no ability for vehicles to enter and exit in a forward direction. Reversing out from the land is consistent with suburban residential development.

No further action is required.

Representations

One (1) representation was received (see attached document). A summary of the representation is as follows:

- *...no regard to current residents or character of surrounding established homes in the area...*

- ...[not] considering the total accumulative density of multiple units that now saturate this street...
- ...impact it has on privacy and enjoyment of my house and all existing homes...
- the effect of multiple dwellings in this area will have a very real effect when taken as a whole on site coverage and the private open space of existing dwellings as well as sunlight and overshadowing on all homes in the street and does not keep in character with established neighbouring streets in the general residential zone.

Comment:

The purpose of the General Residential zone is to provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided. The Residential use class includes the option for multiple dwellings. There are other multiple dwelling developments in Carlwood Place.

In addition, the zone purpose is to encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity. The development standards provide the mechanism to achieve this zone purpose. The application was assessed against these development standards.

There is no development standard for density control of multiple dwellings in a street. There are standards for density control on the subject property, and that matter has been addressed above. In addition, the assessment on potential impacts for site coverage, private open space, sunlight, overshadowing and privacy have also been addressed above.

No further action is required.

Conclusion

In conclusion, it is considered that the application for Use and Development for Multiple Dwellings (2 units) is acceptable in the General Residential zone.

AUTHOR: Leanne Rabjohns
TOWN PLANNER

12) Recommendation

That the application for Use and Development for Multiple Dwellings (2 units) on land located at 6 Carlwood Place, Prospect Vale CT:172170/11 by Douglas Design & Drafting, requiring the following discretions:

10.4.2	Setbacks and building envelope for all dwellings
E4.7.2	Management of Road and Accesses and Junctions
E4.7.4	Sight Distance at Accesses, Junctions and Level Crossings
E6.7.1	Construction of Car Parking Spaces and Access Strips
E6.7.2	Design and Layout of Car Parking

be APPROVED, generally in accordance with the endorsed plans:

a) Douglas Design & Drafting – Drawing No: 170504 – Layout A0.2, A0.3, A0.4, A0.5, A0.6, A1.1, A1.2, A1.3, A2.1, A2.2 & A2.3;

and subject to the following conditions:

- 1. The vehicular crossover servicing Unit 2 must be constructed and sealed in accordance with LGAT standard drawing TSD-RO9-V1 (attached) and to the satisfaction of Council's Director Infrastructure Services (see Note 1).**
- 2. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/00934-MVC attached).**

Note:

- 1. Prior to the construction of any vehicle access (e.g. a driveway crossover) separate consent is required by the Road Authority. A Driveway Crossover Application Form is enclosed. All enquiries should be directed to Council's Technical Officer on 6393 5312.**
- 2. The stormwater system designed for the development must incorporate stormwater detention. Approval of the proposed on-site detention by Council's Infrastructure Department will be required prior to the issue of building and plumbing permit approvals. Refer to the separate letter from Council attached to this permit.**
- 3. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can**

be directed to Council's Community and Development Services on 6393 5320 or via email: mail@mvc.tas.gov.au.

- 4. This permit does not imply that any other approval required under any other by-law or legislation has been granted. The following additional approvals may be required before construction commences:**

- a) Building approval**
- b) Plumbing approval**

All enquiries should be directed to Council's Permit Authority on 6393 5322 or Council's Plumbing Surveyor on 0419 510 770.

5. This permit takes effect after:
- a) The 14 day appeal period expires; or
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
 - c) Any other required approvals under this or any other Act are granted.
6. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au
7. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
8. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
9. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
10. If any Aboriginal relics are uncovered during works;

- a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
- b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au); and
- c) The relevant approval processes will apply with state and federal government agencies.

DECISION:

SEARCH OF TORRENS TITLE

VOLUME 172720	FOLIO 11
EDITION 1	DATE OF ISSUE 31-Jan-2017

SEARCH DATE : 01-Mar-2017
SEARCH TIME : 12.31 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE
Lot 11 on Sealed Plan 172720
Derivation : Part of Lot 971, 321A-3R-25P Gtd. to Henry Burrows
Prior CT 169751/410

SCHEDULE 1

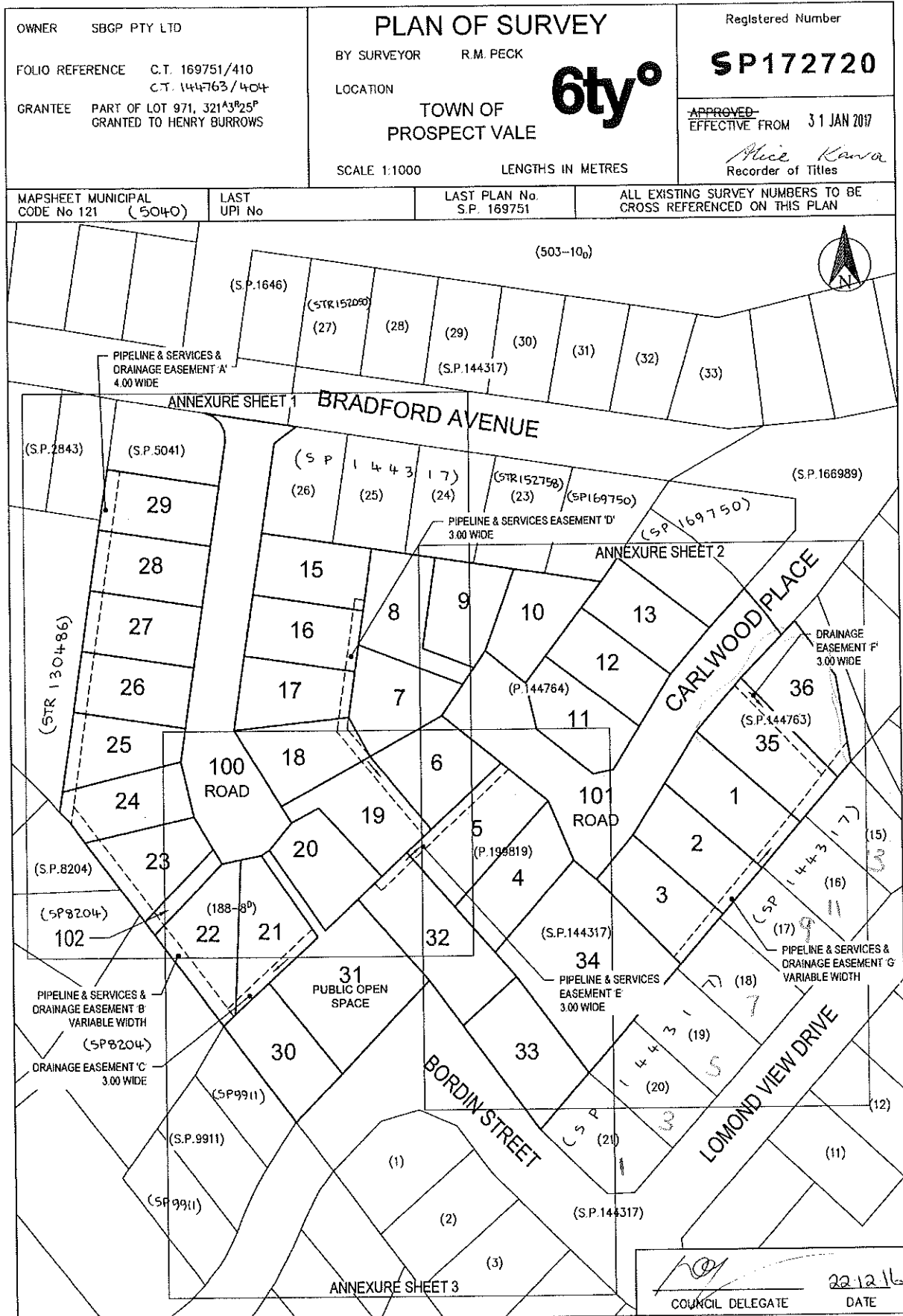
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noon

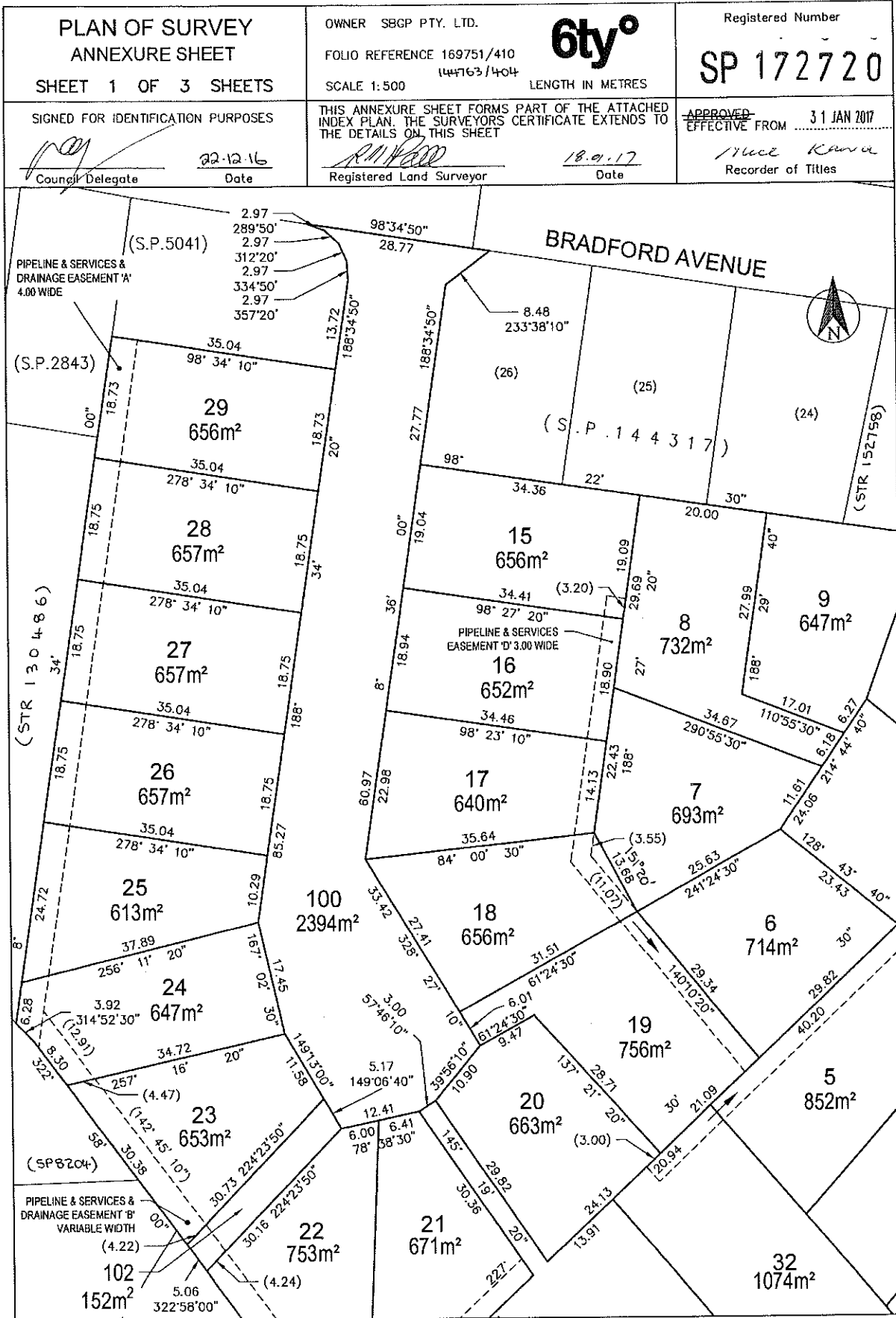
SCHEDULE 2

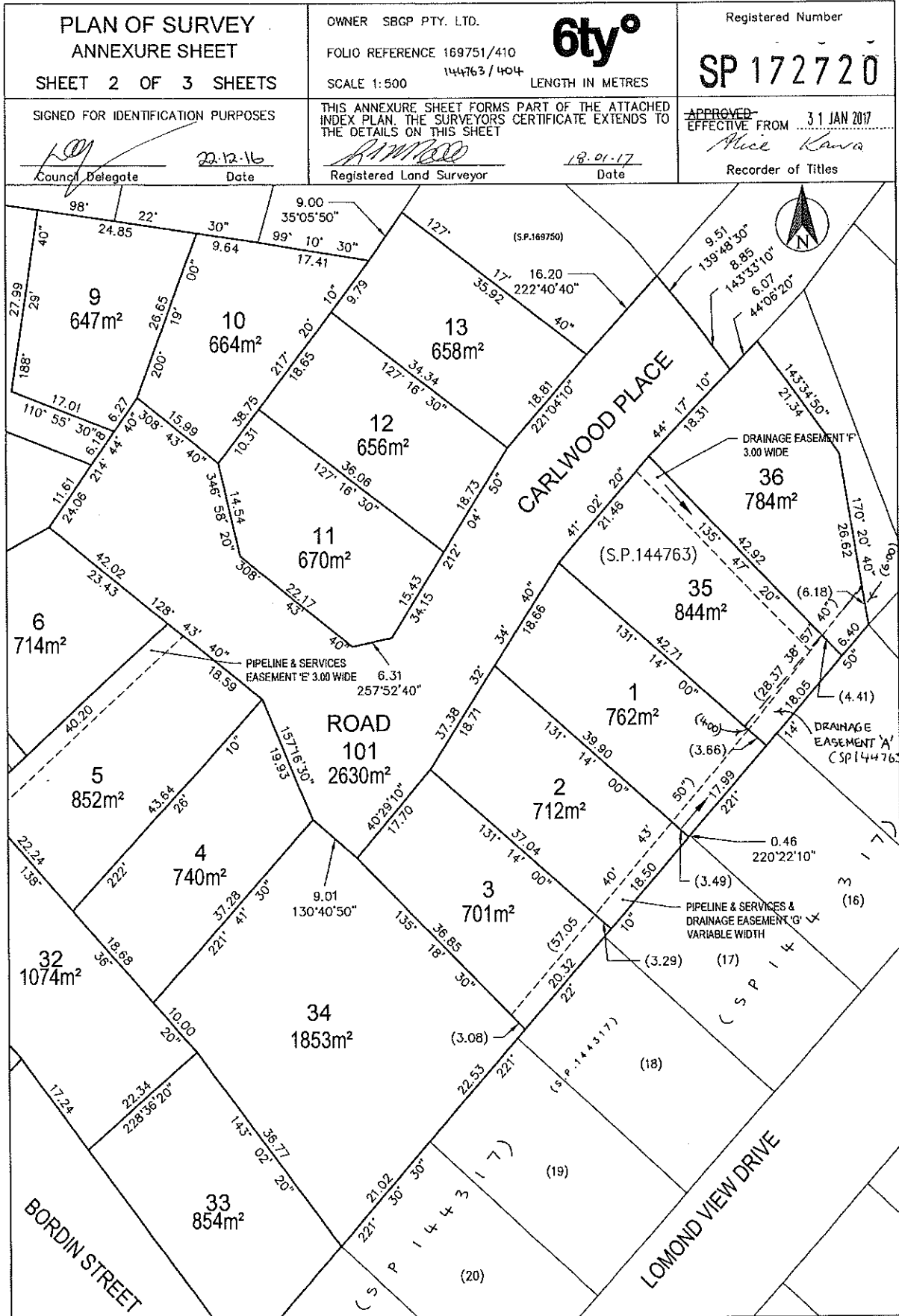
Reservations and conditions in the Crown Grant if any
SP172720 COVENANTS in Schedule of Easements
SP172720 FENCING COVENANT in Schedule of Easements
SP144317 COVENANTS in Schedule of Easements
SP144317 FENCING COVENANT in Schedule of Easements

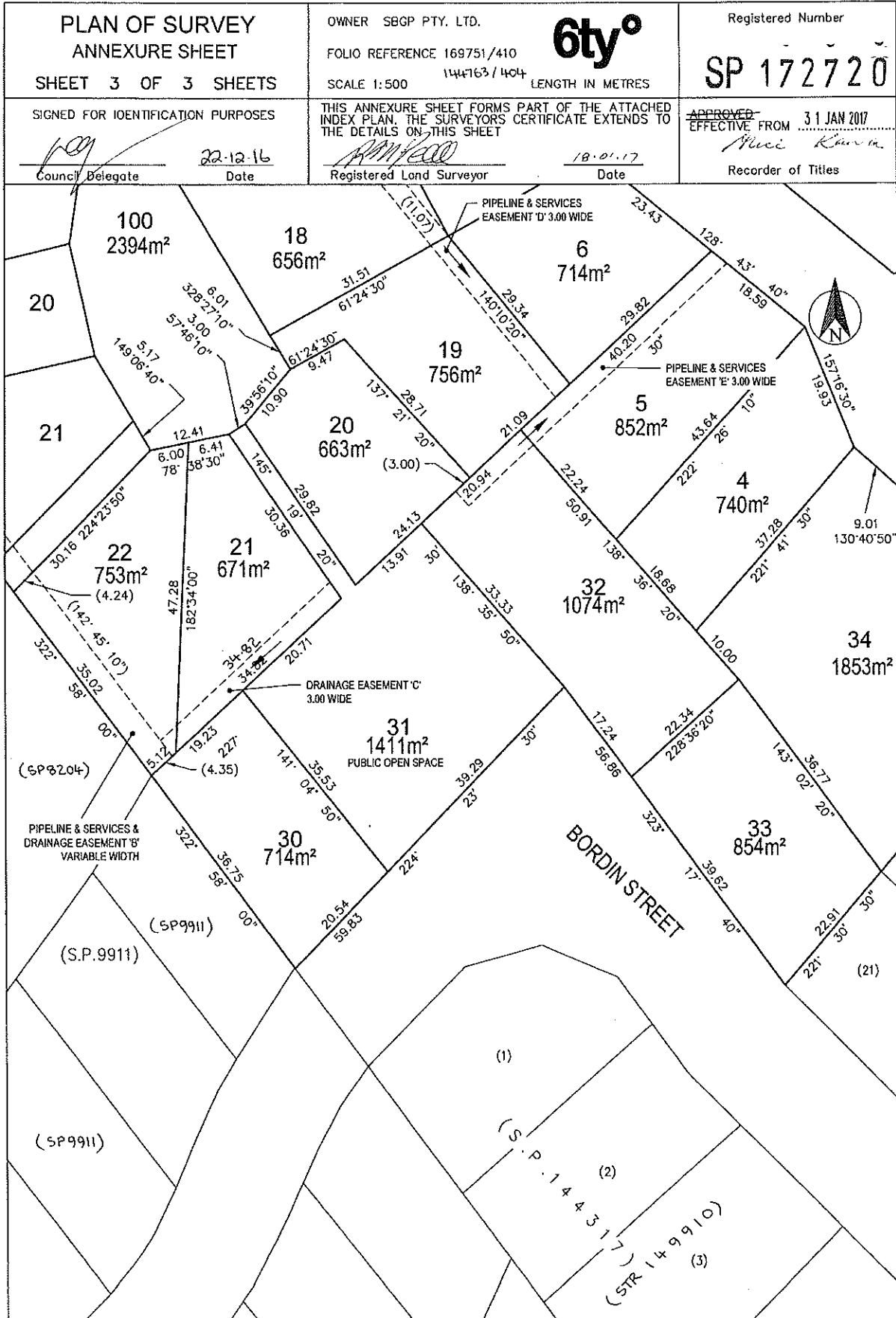
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations









SITE INFORMATION

Local Government Authority	Meander Valley Council
Lot No.	11
Title No.	172720
Zoning	General Res.
Property ID	3402320
Wind Class. Region	A
Wind Classification	TBA
Soil Classification (ref report.)	'tba' ref. report
Site Classification by	TBA
Energy Rating	TBA
Corrosive Environment	Med
Bushfire Attack Level	Bal Low

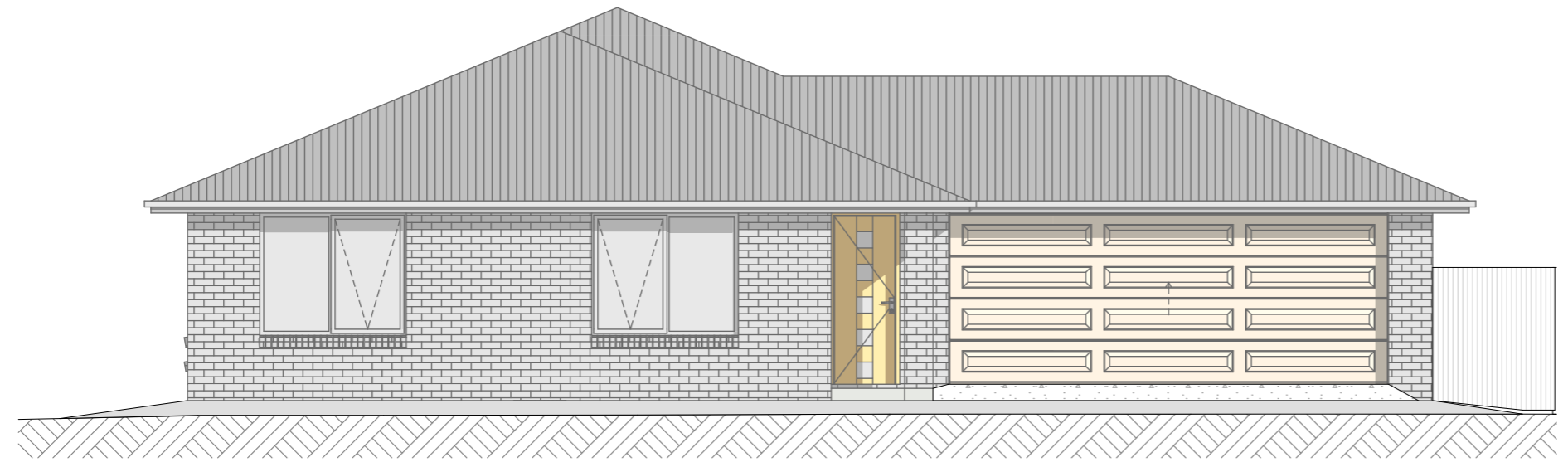
PROJECT INFORMATION

Site Area	670 m2
Unit 1 Floor Area (Building Footprint.)	158.15 m2
Unit 1 Porch	2.06 m2
Unit 1 Total	160.21 m2
Unit 2 Floor Area (Building Footprint.)	149.11 m2
Unit 2 Porch	4.60 m2
Unit 2 Total	153.71 m2
Total Building Area (Building Footprint.)	302.82 m2
Site Coverage (Building / Site)	45.20 %
Impervious Paving Area	100.31 m2
Total Impervious Area	403.13 m2 (60.17%)

DRAWING INDEX

Layout Name	No.
Cover Sheet	A0.1
Location Plan	A0.2
Site Plan	A0.3
Site Plan - Planning	A0.4
Site Plan - Plumbing	A0.5
Shadow Diagrams	A0.6
Unit 1 Floor Plan	A1.1
Unit 1 Elevations	A1.2
Unit 1 Elevations	A1.3
Unit 2 Floor Plan	A2.1
Unit 2 Elevations	A2.2
Unit 2 Elevations	A2.3

Date	06/06/2017
Issue	PLANNING
Drawing No.	170504



DOUGLAS DESIGN & DRAFTING PTY LTD

PH 0437 00 33 02

dale@douglasdesignanddrafting.com

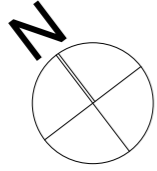
Acc No. CC7092
ABN 56 614 751 521

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ATTACHMENTS

REVISIONS

Proposed Unit Development
at Lot 11, No. 6 Carlwood Place,
Prospect Vale TAS 7248,
for D. & B. GOODYER DEVELOPMENTS



dale@douglasdesignanddrafting.com
 PH 0437 00 33 02
 Acc No. CC7092
 ABN 56 614 751 521

Revision

Project
 Address
 Client
 Proposed Unit Development
 Lot 11, No. 6 Carlwood Place,
 Prospect Vale TAS 7248,
 D. & B. GOODYER DEVELOPMENTS

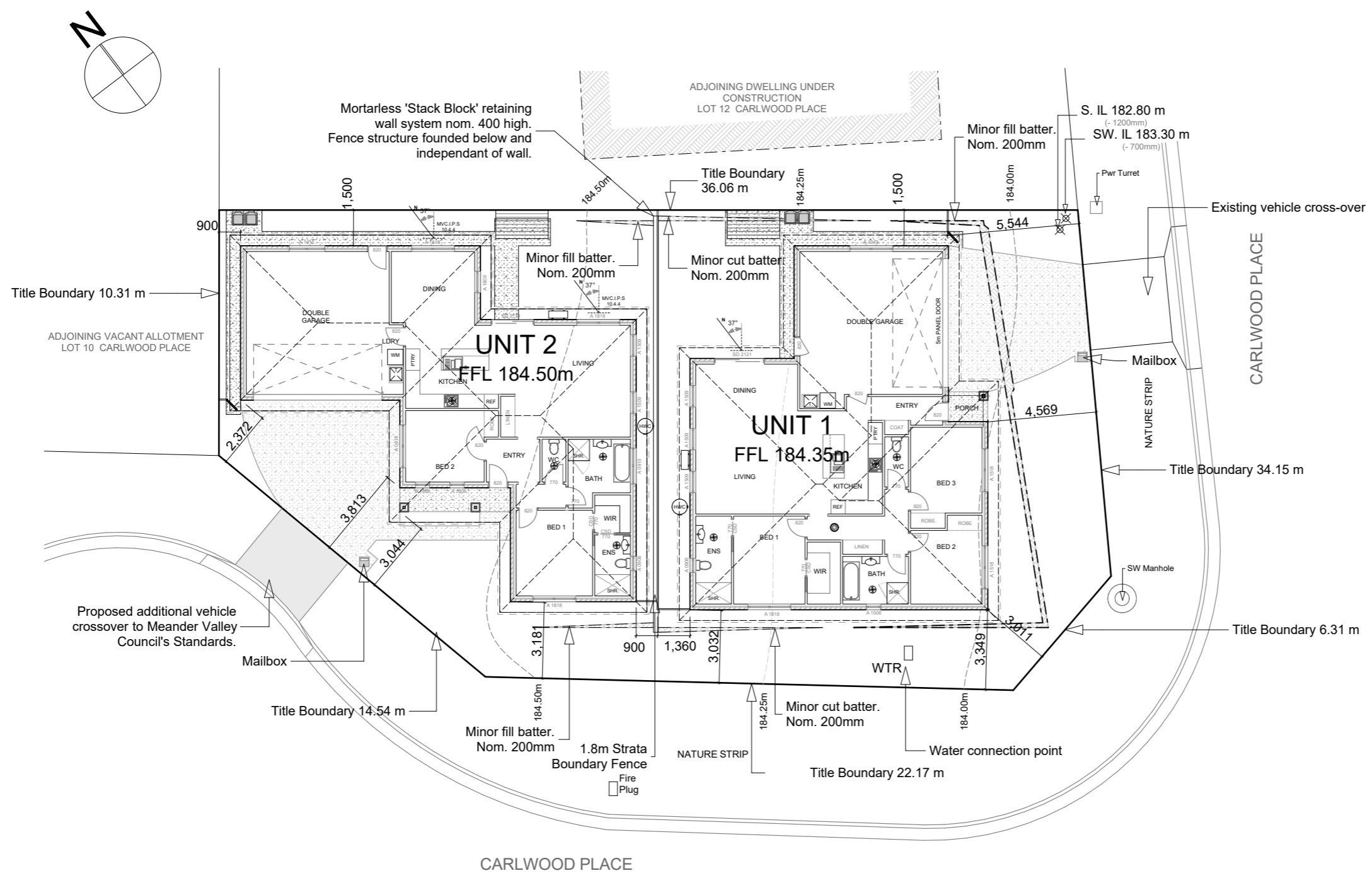
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 Date
 Issue
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 06/06/2017
 PLANNING

Layout A0.2 OF 12
 Location Plan
 Drawing No. 170504

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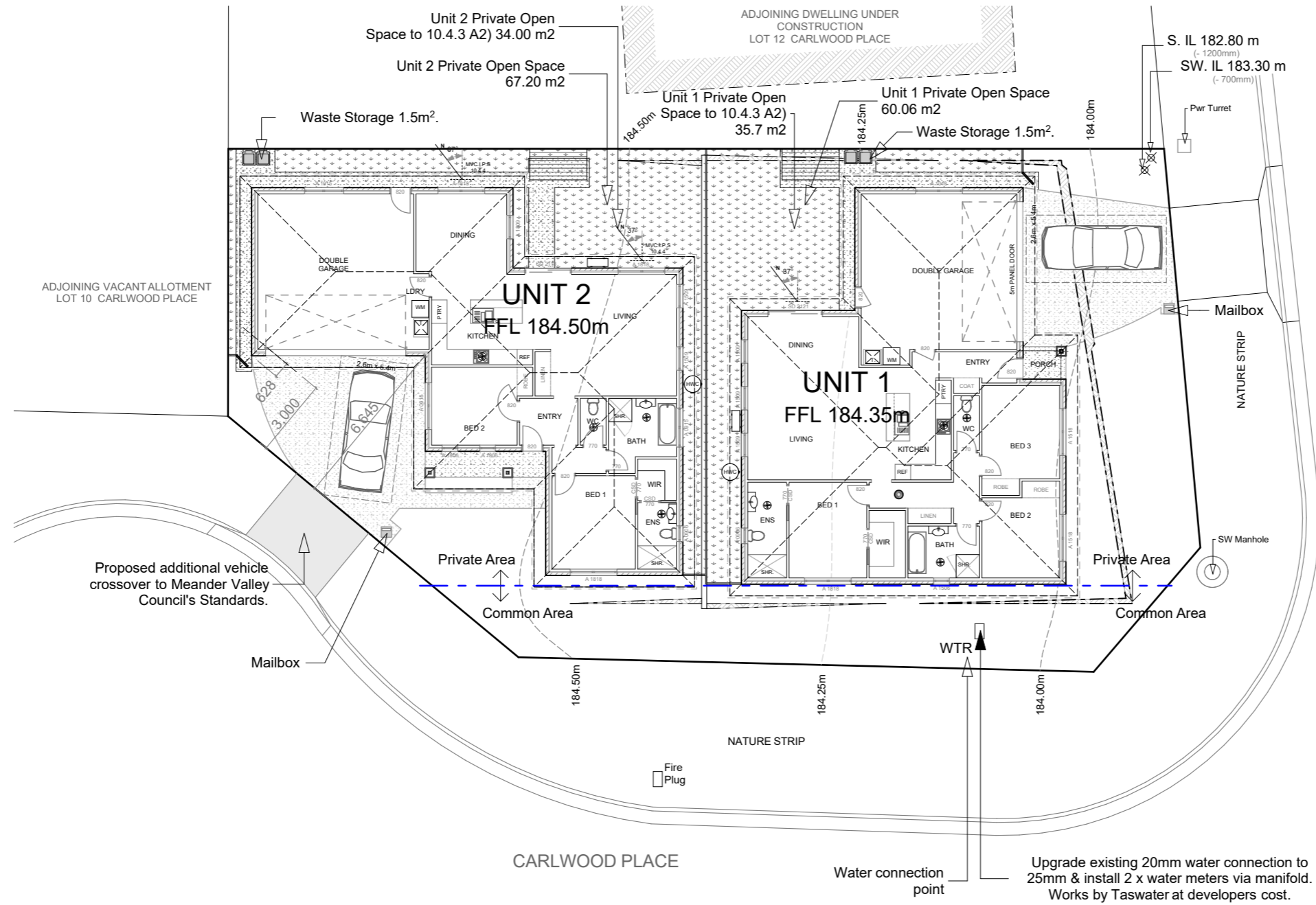
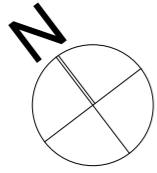
NOTES

- All site dimensions are to outside cladding.
- Downpipes are to be connected to the SW system as soon as the roof is installed.
- Areas requiring sub soil drainage to be installed and connected prior to building footing excavations.
- Every effort must be made to prevent sediment washing from site. Install sediment fencing where stockpiling fill or exposing susceptible excavations. Vehicle movement from site must be minimised to prevent soil / debris from entering the roadway.
- Builder to ensure all required protection works are in place to protect adjoining property from potential damage.
- Earthworks to comply with BCA Part 3.1, care should be taken when exposing unprotected embankments and when in close proximity to adjoining property. These and general earthworks are to be in compliance with the BCA and any Local Council requirements and Regulations.
- External door thresholds to have a nominal 150 - 180mm step where required. A measurement of 230mm or larger will require compliant "stairs" to BCA Part 3.9.1.



dale@douglasdesignanddrafting.com	Revision	Project	Proposed Unit Development	Scale	1:200	Layout	A0.3 OF 12
DOUGLAS DESIGN & DRAFTING PTY LTD	PH 0437 00 33 02	Address	Lot 11, No. 6 Carlwood Place, Prospect Vale TAS 7248,	Date	06/06/2017	Site Plan	
Acc No. CC7092	ABN 56 614 751 521	Client	D. & B. GOODYER DEVELOPMENTS	Issue	PLANNING	Drawing No.	170504

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Revision

Project
 Address
 Client

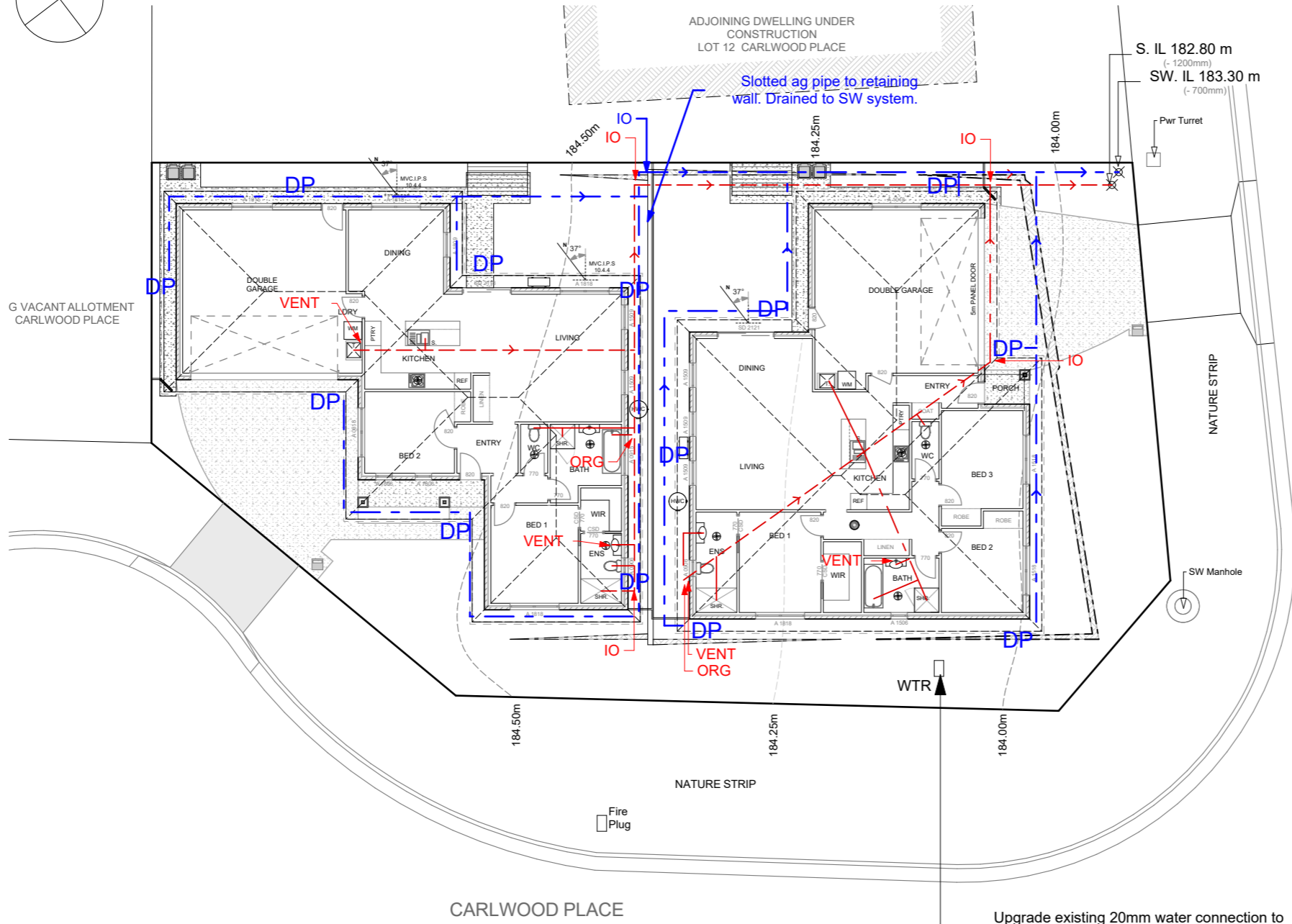
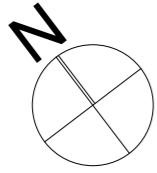
Proposed Unit Development
 Lot 11, No. 6 Carlwood Place,
 Prospect Vale TAS 7248,
 D. & B. GOODYER DEVELOPMENTS

Scale 1:200
 Date 06/06/2017
 Issue PLANNING

Layout A0.4 OF 12
 Drawing No. 170504

Site Plan - Planning

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LEGEND

- HB. HAND BASIN
- S. SINK
- T. TUB
- VB. VANITY BASIN
- RF. REFRIGERATOR
- DW. DISHWASHER
- WM. WASHING MACHINE
- RF. REFRIGERATOR
- AJ. ARTICULATION JOINT
- MB. METER BOX
- DP. DOWNPIPE

- FFL. FINISHED FLOOR LEVEL
- FGL. FINISHED GROUND LEVEL
- NGL. NATURAL GROUND LEVEL
- FCL. FINISHED CEILING LEVEL

90mm Class 6 UPVC Storm water drain to a min. 1 in 100 grade.

100mm Class 6 UPVC Sewer drain at min 1 in 60 grade.

DP 90mm PVC Downpipe connected to SW system.

Installation and commission of any gas appliance to be

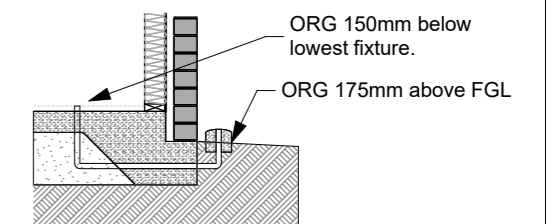
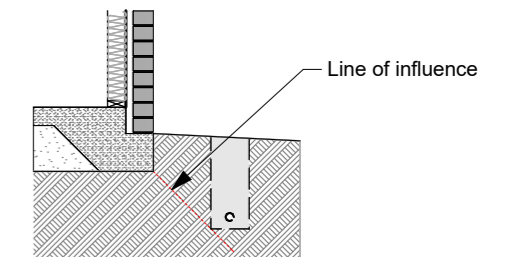
- Performed by a qualified person
- In accordance with manufacturers instructions
- In compliance with all local codes and regulatory authorities
- In compliance with AS/NZS 3500.4, AS 5601 or AS5601.1 as applicable

All plumbing works to comply with the associated Australian Standards and Local Government Authority requirements.

AS/NZS 3500 Plumbing & Drainage
 AS/NZS 3500.3:2015 Storm water Drainage
 AS/NZS 3500.4:2003/2015 Heated Water Services
 AS/NZS 3500.5:2012 Housing Installations

Modifications to the plumbing layout may be made by a licenced plumber providing all modifications are compliant to relative standards.

Where a drain is in proximity to a building footing, ensure this does not encroach within the footing line of influence. Alternative footing system may be sought should this occur.



Upgrade existing 20mm water connection to 25mm & install 2 x water meters via manifold. Works by Taswater at developers cost.



dale@douglasdesignanddrafting.com
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 ABN 56 614 751 521

Revision
 Project
 Address
 Client

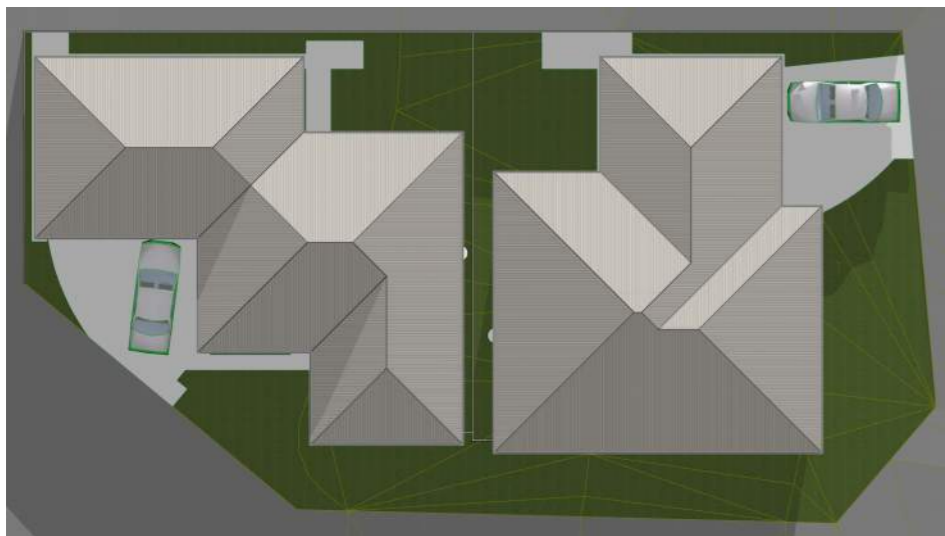
Proposed Unit Development
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Scale 1:200
 Date 06/06/2017
 Issue PLANNING

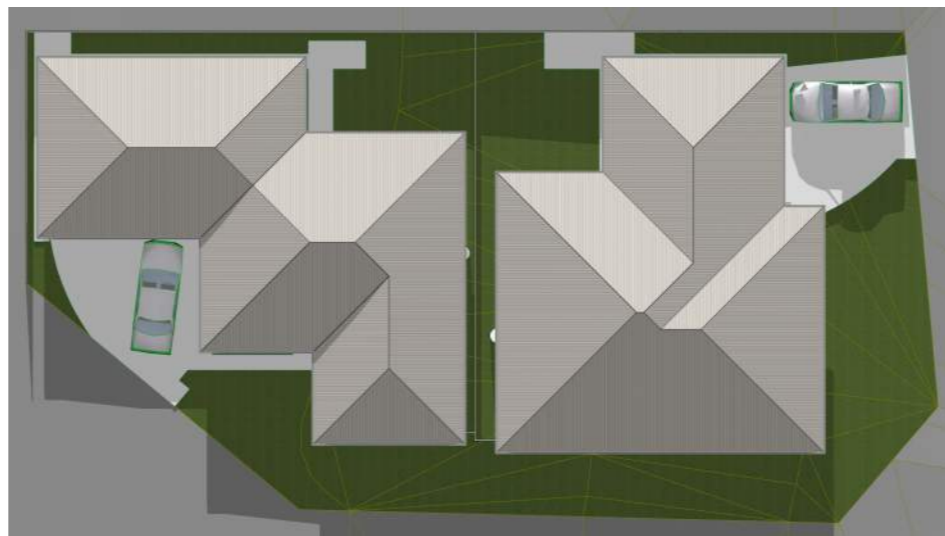
Layout A0.5 OF 12
 Drawing No. 170504

Site Plan - Plumbing

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21st June 9.00am



21st June 10.00am



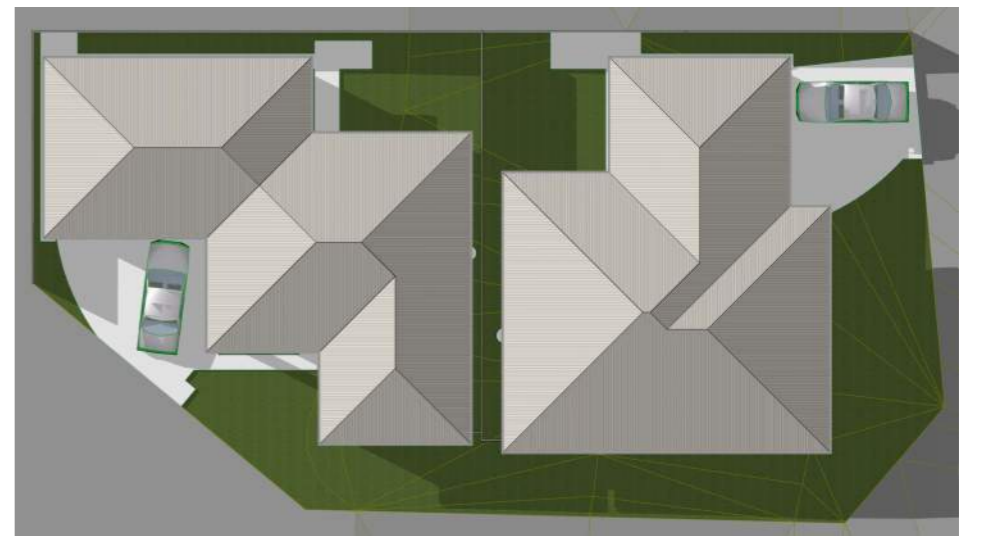
21st June 11.00am



21st June 12.00pm



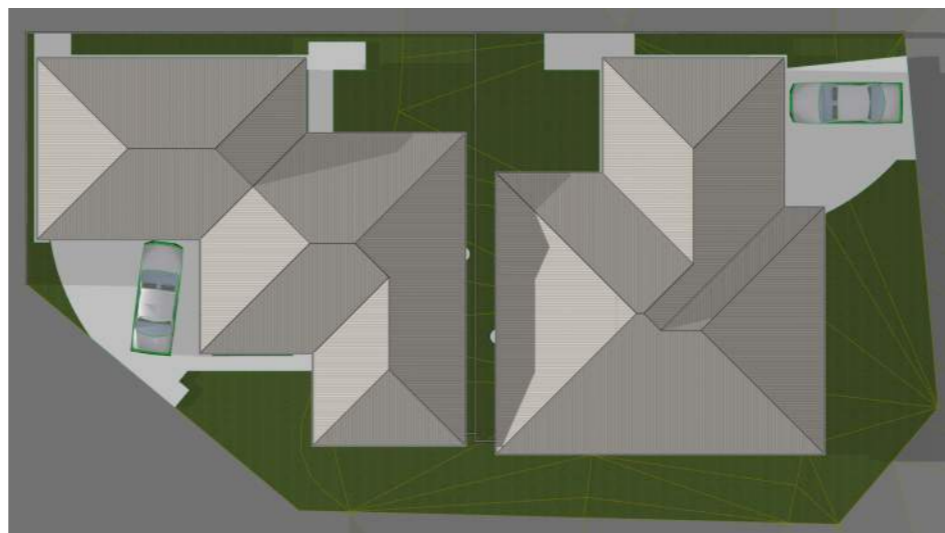
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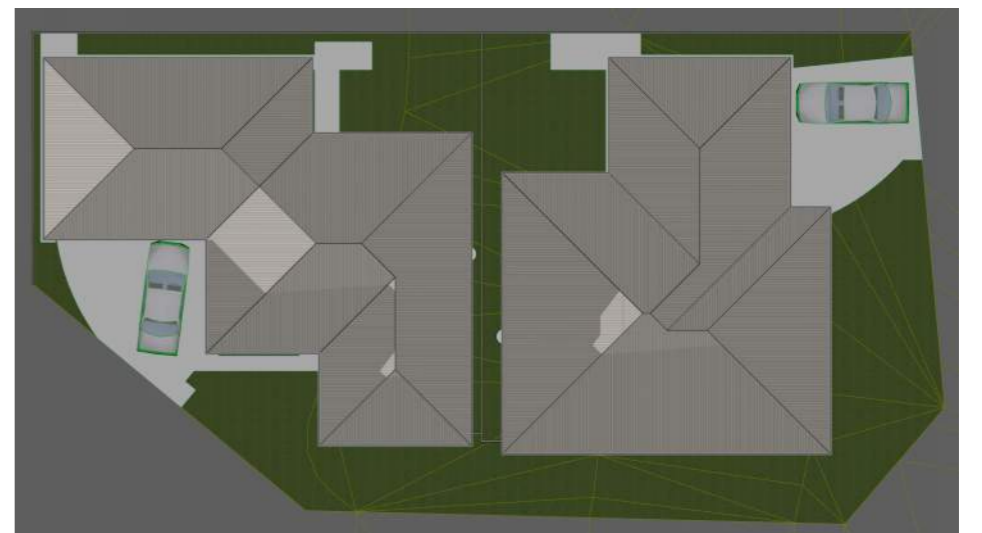
21st June 2.00pm



21st June 3.00pm



21st June 4.00pm



21st June 5.00pm



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dale@douglasdesignanddrafting.com

PH 0437 00 33 02

Acc No. CC7092
ABN 56 614 751 521

Revision

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Proposed Unit Development
Lot 11, No. 6 Carlwood Place,
Prospect Vale TAS 7248,
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Scale NTS

Date 06/06/2017

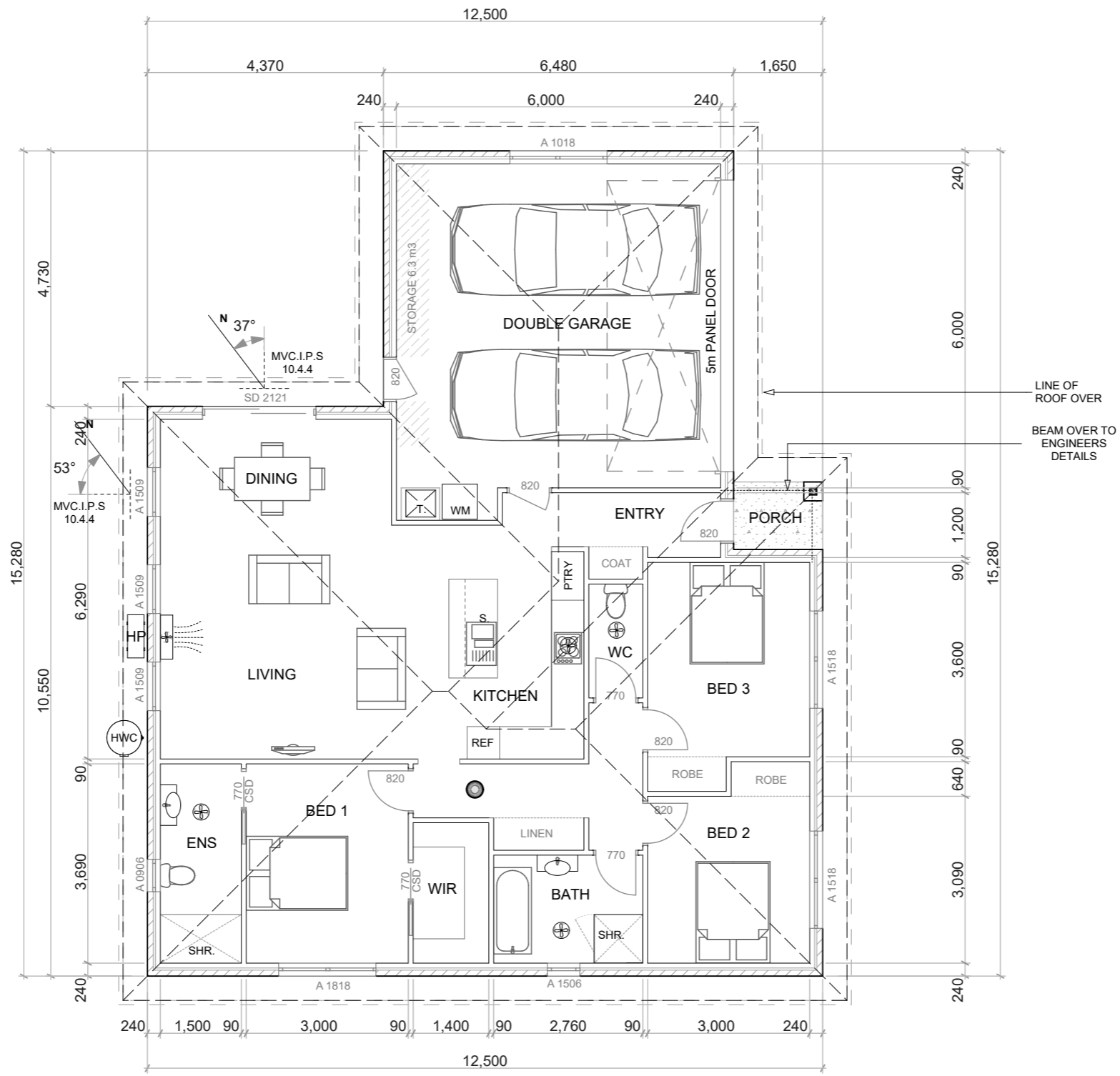
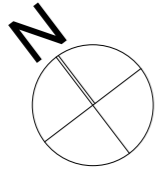
Issue PLANNING

Layout A0.6 OF 12

Shadow Diagrams

Drawing No. 170504

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LEGEND

- 240mm BRICK VENEER WALLS
- 90mm STUD WALLS
- BATH. BATHROOM
- LDRY. LAUNDRY
- ENS. ENSUITE
- KITCH. KITCHEN
- WC. WATER CLOSET
- ROBE. WARDROBE
- WIR. WALK IN ROBE
- BRM. BROOM CLOSET
- LINEN. LINEN CUPBOARD
- PTRY. PANTRY CUPBOARD
- HB. HAND BASIN
- S. SINK
- T. TUB
- VB. VANITY BASIN
- RF. REFRIGERATOR
- DW. DISHWASHER
- WM. WASHING MACHINE
- REF. REFRIGERATOR
- AJ. ARTICULATION JOINT
- MB. METER BOX
- DP. DOWNPIPE
- FFL. FINISHED FLOOR LEVEL
- FGL. FINISHED GROUND LEVEL
- NGL. NATURAL GROUND LEVEL
- FCL. FINISHED CEILING LEVEL
- EXHAUST FAN
DUCTED TO OUTSIDE AIR.
- SMOKE ALARM
HARD WIRED
- HEAT PUMP (EXT.)
- HEAT PUMP (INT.)
- HOT WATER SYSTEM

Smoke Alarm to be AS 3786 compliant, hard wired to mains power & interconnect where more than one unit is required to be fitted. Position and installation to be BCA Part 3.7.2 compliant.

All exhaust fans specified to be ducted to outside air and fitted with a back draft damper.

Installation and commission of any gas appliance to be

- Performed by a qualified person
- In accordance with manufacturers instructions
- In compliance with all local codes and regulatory authorities
- In compliance with AS/NZS 3500.4, AS 5601 or AS5601.1 as applicable



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 Acc No. CC7092
 ABN 56 614 751 521

Revision _____

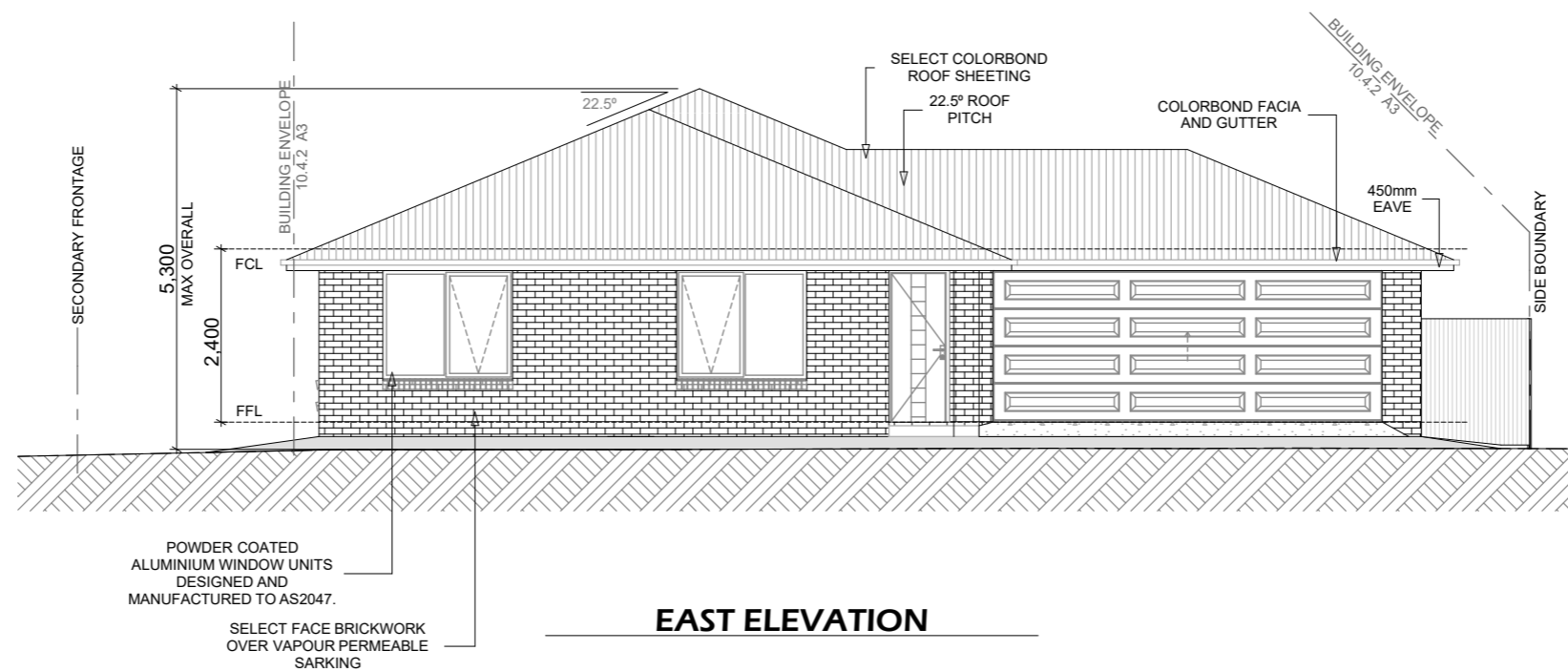
 Client

Project Address
 Proposed Unit Development
 Lot 11, No. 6 Carlwood Place,
 Prospect Vale TAS 7248,
 D. & B. GOODYER DEVELOPMENTS

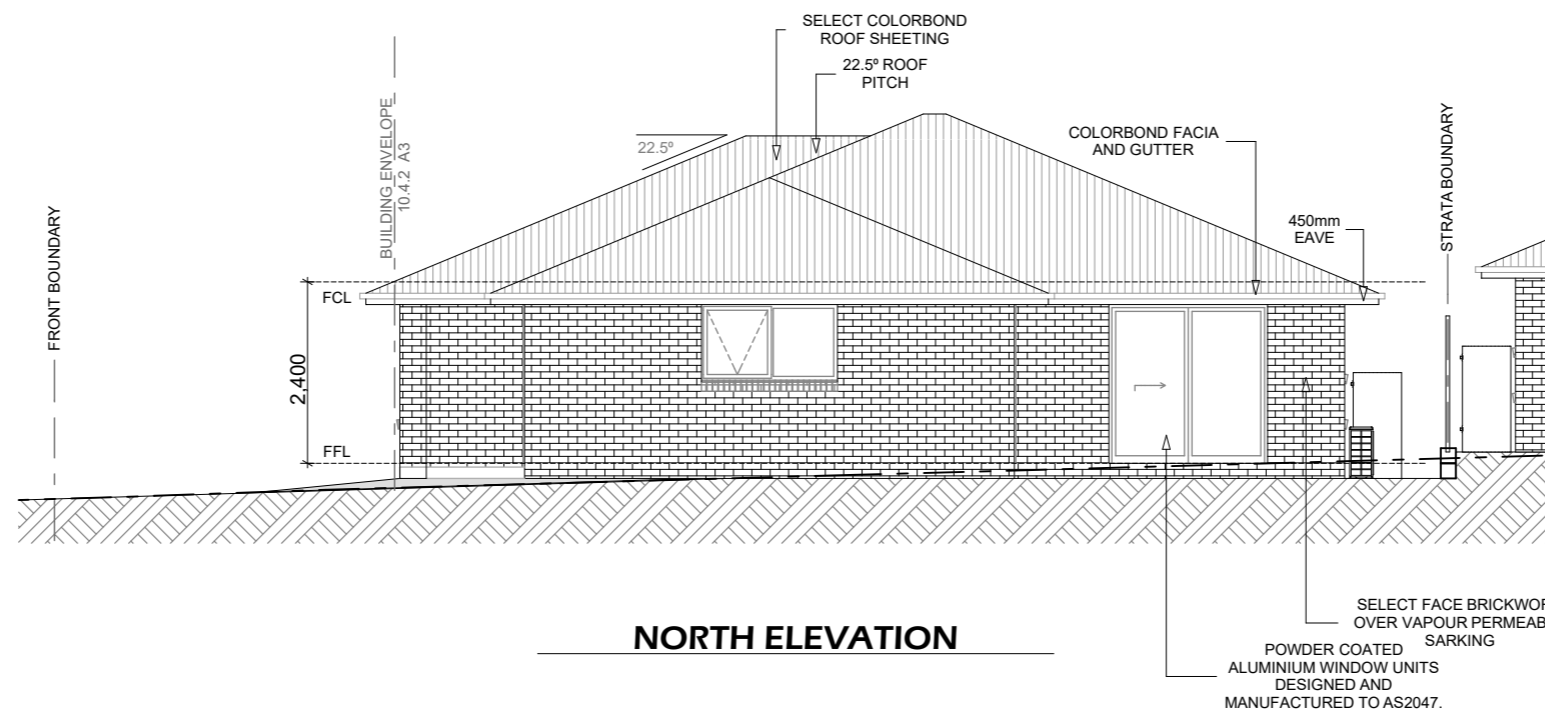
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 Date 06/06/2017
 Issue PLANNING

Layout A1.1 OF 12
 Unit 1 Floor Plan
 Drawing No. 170504

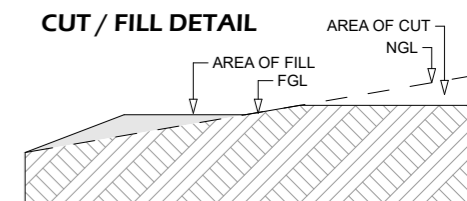
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EAST ELEVATION



NORTH ELEVATION



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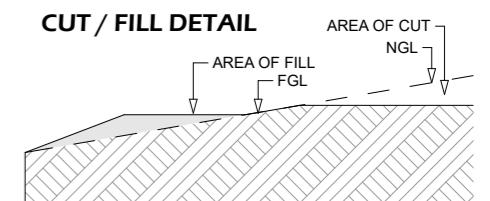
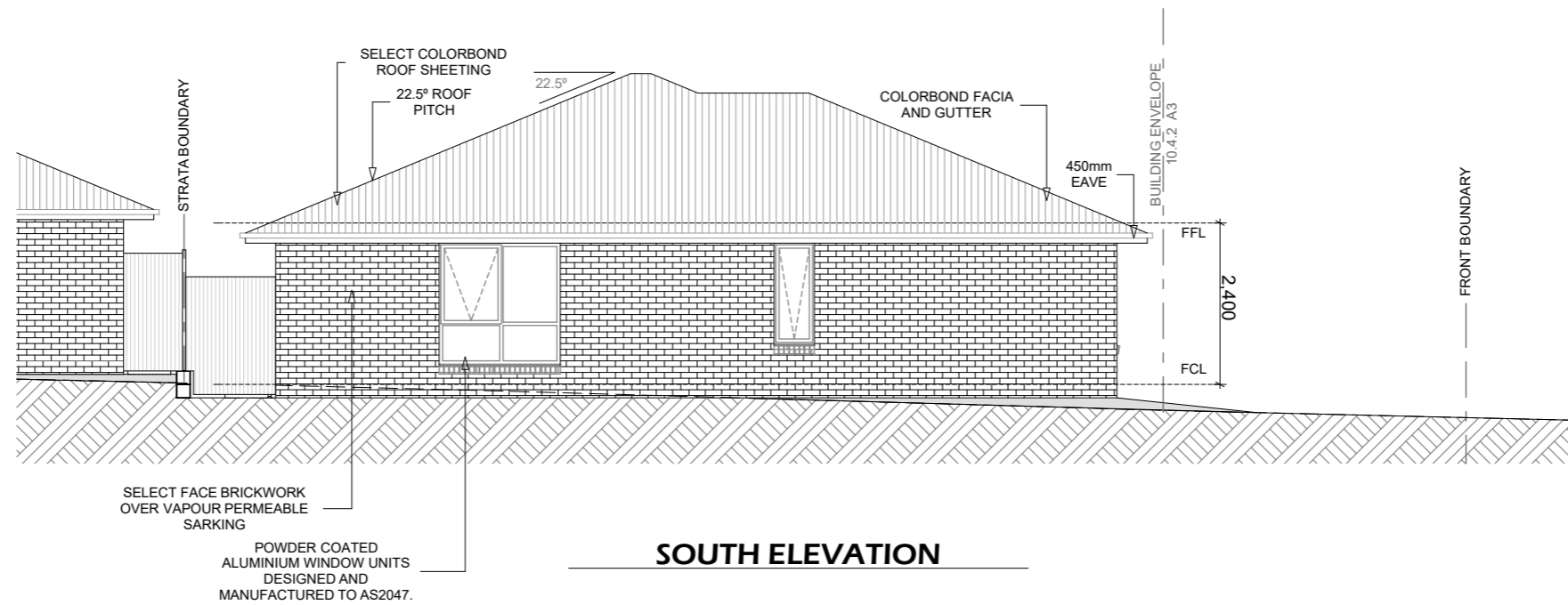
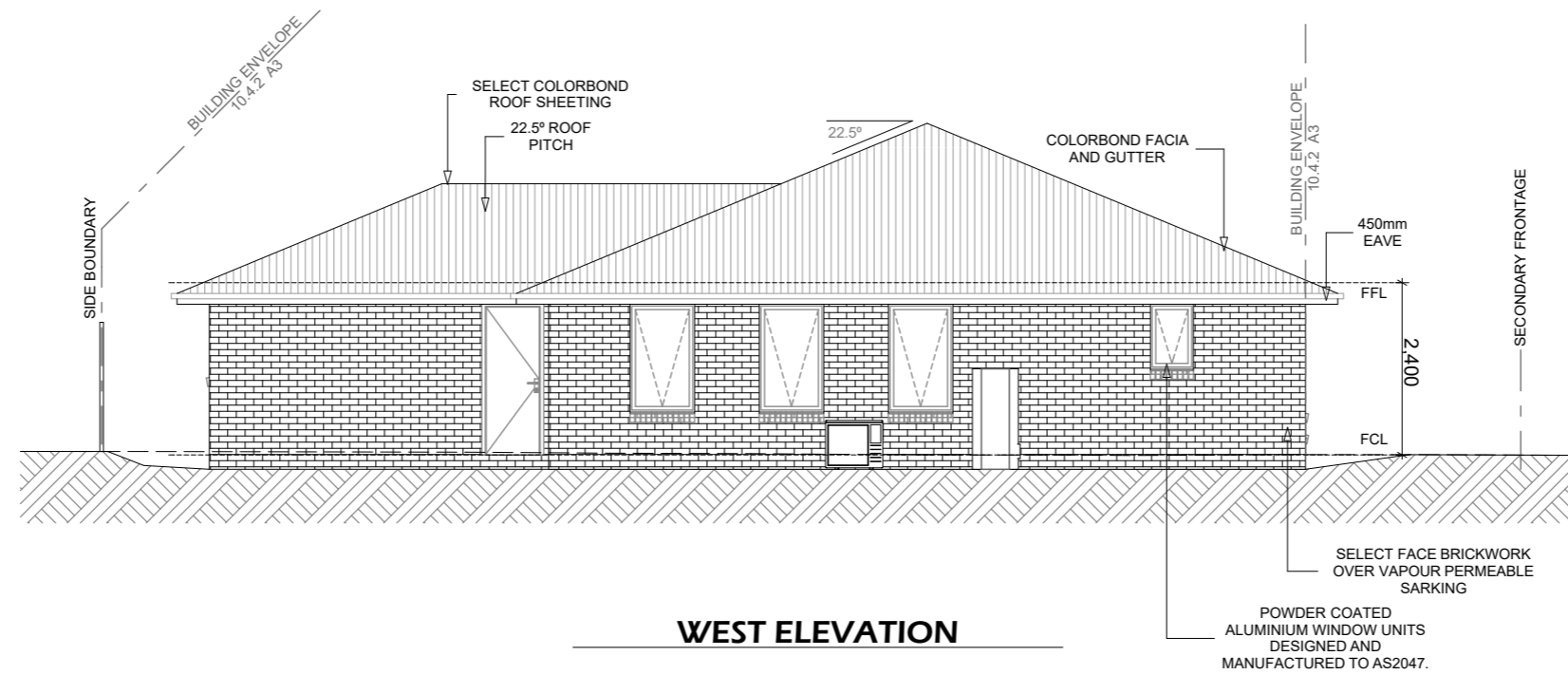
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Scale 1:100
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Layout A1.2 OF 12
 Drawing No. 170504

Unit 1 Elevations

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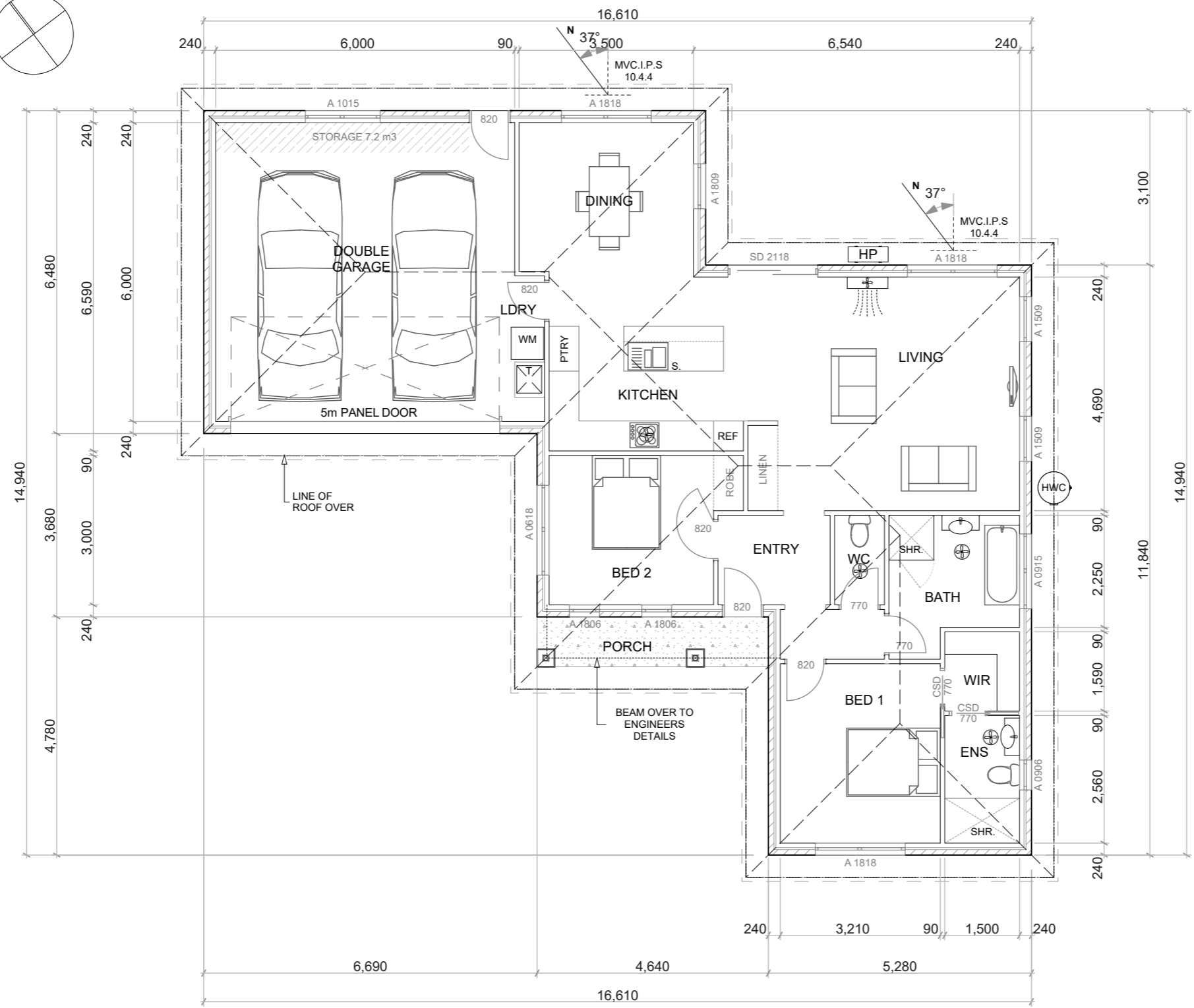
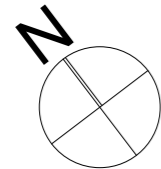
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Revision	Project
	Address
	Client

Proposed Unit Development
 Lot 11, No. 6 Carlwood Place,
 Prospect Vale TAS 7248,
 D. & B. GOODYER DEVELOPMENTS

Scale 1:100
 Date 06/06/2017
 Issue PLANNING

Layout A1.3 OF 12
Unit 1 Elevations
Drawing No. 170504



LEGEND

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- 90mm STUD WALLS
- BATH. BATHROOM
- LDY. LAUNDRY
- ENS. ENSUITE
- KITCH. KITCHEN
- WC. WATER CLOSET
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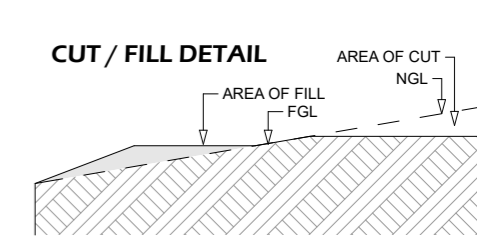
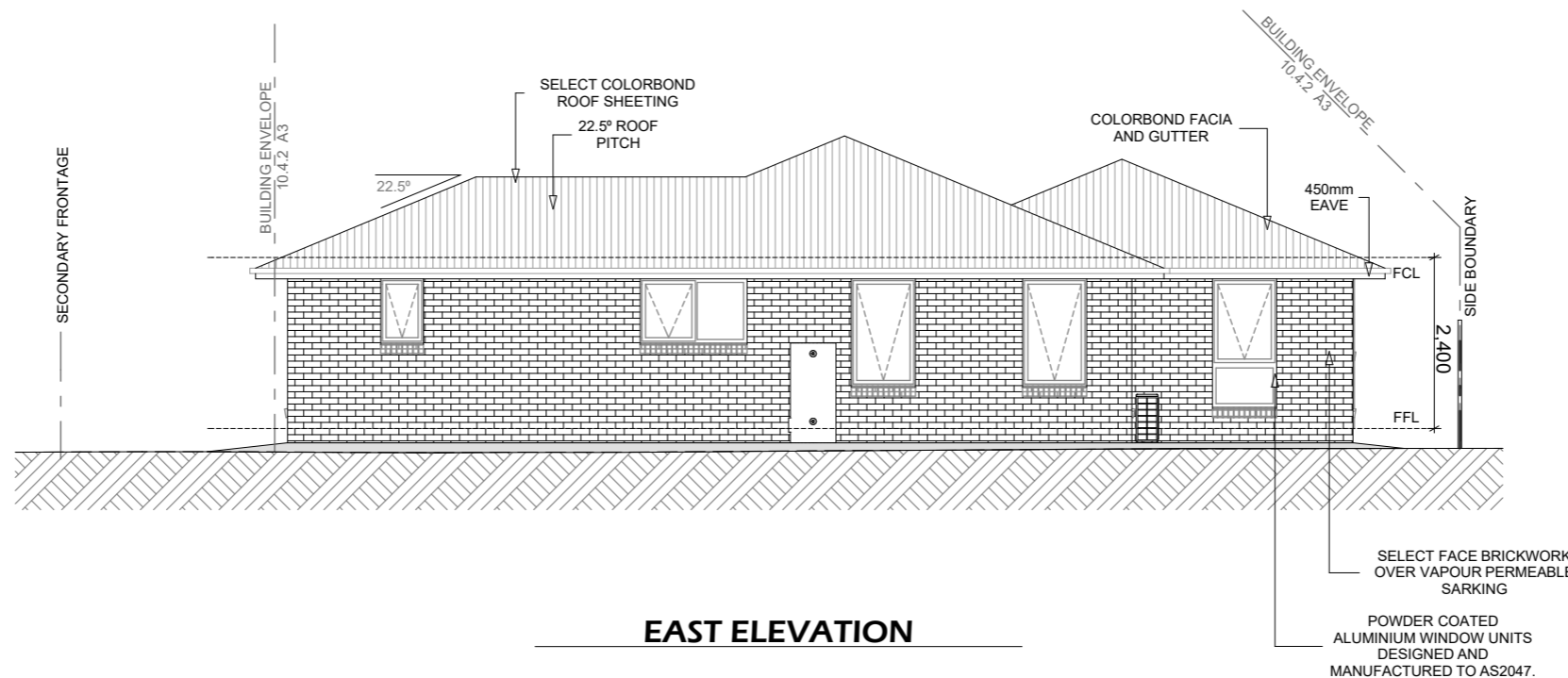
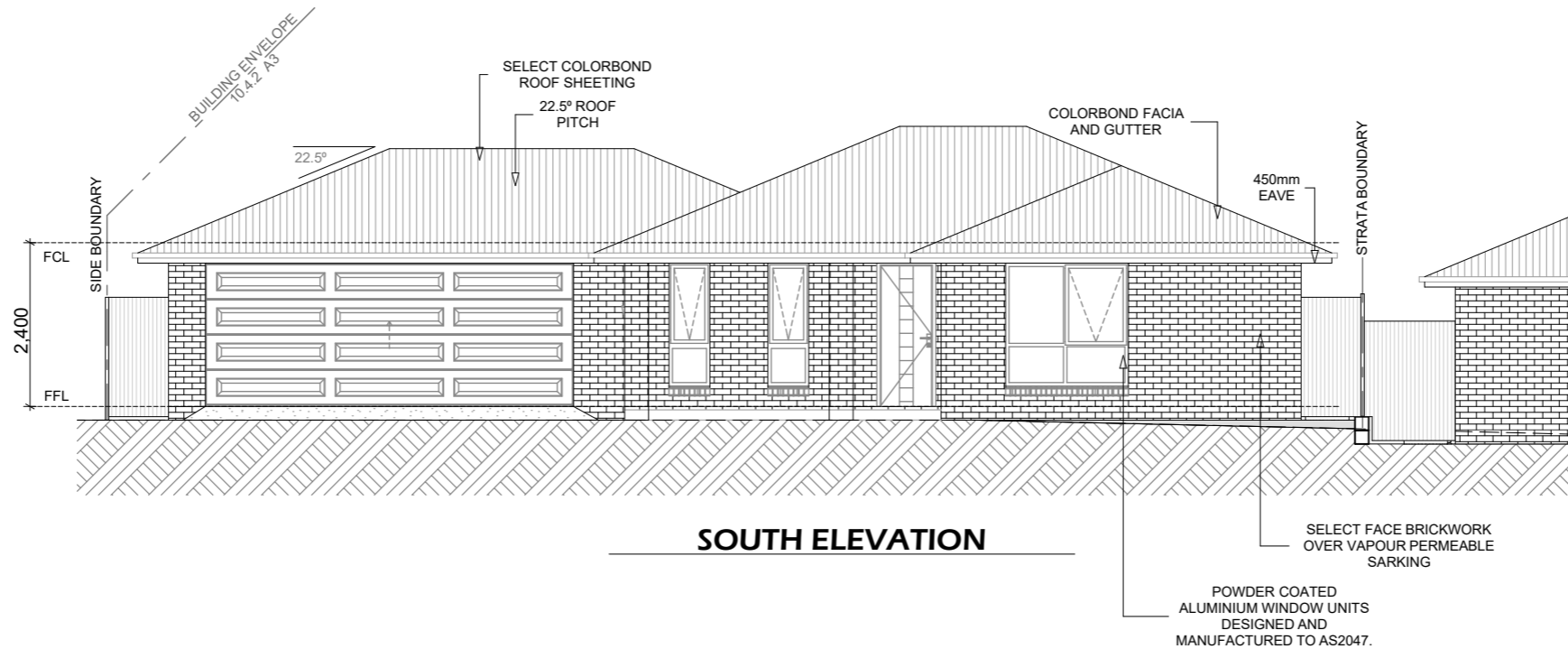
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 - In compliance with AS/NZS 3500.4, AS 5601 or AS5601.1 as applicable



dale@douglasdesignanddrafting.com DOUGLAS DESIGN & DRAFTING PTY LTD PH 0437 00 33 02 Acc No. CC7092 ABN 56 614 751 521	Revision _____ _____ _____ _____ Client	Project Address Proposed Unit Development Lot 11, No. 6 Carlwood Place, Prospect Vale TAS 7248, D. & B. GOODYER DEVELOPMENTS	Scale 1:100 Date 06/06/2017 Issue PLANNING	Layout A2.1 OF 12 Unit 2 Floor Plan Drawing No. 170504
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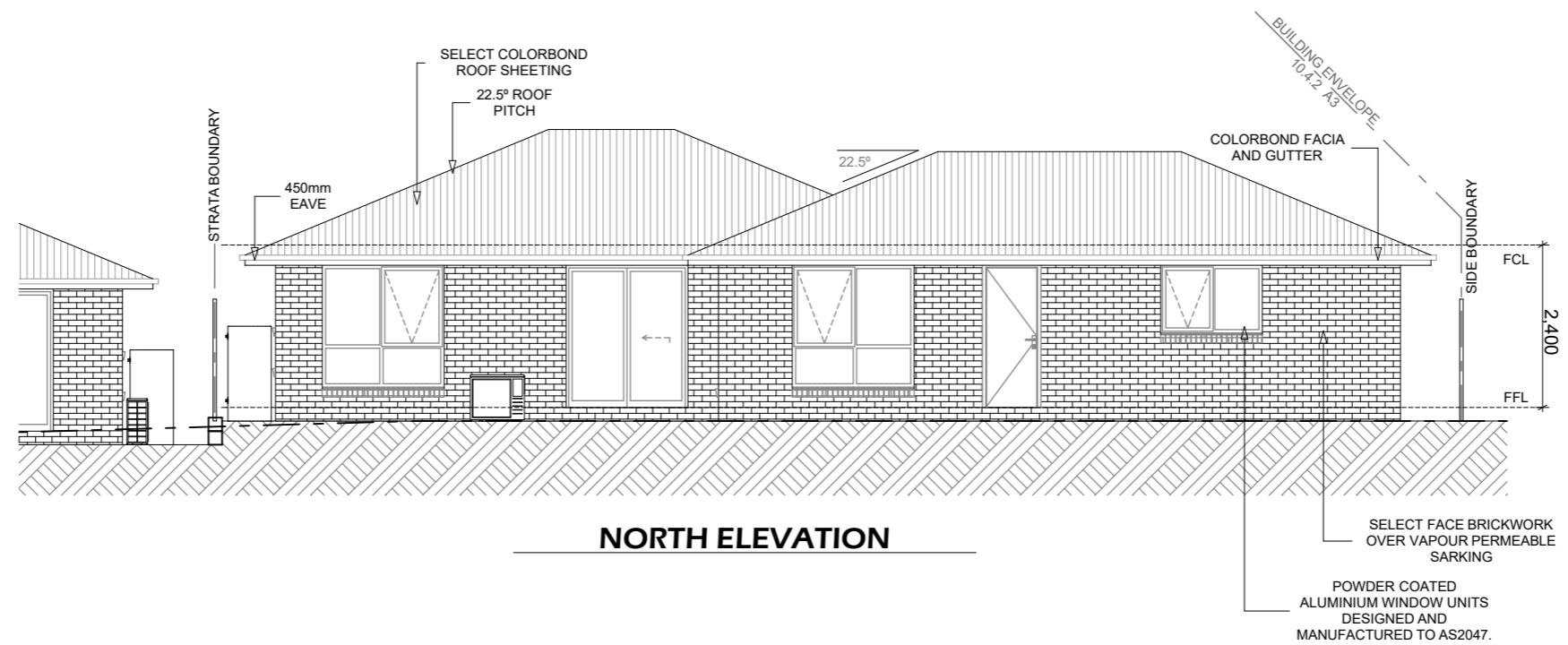
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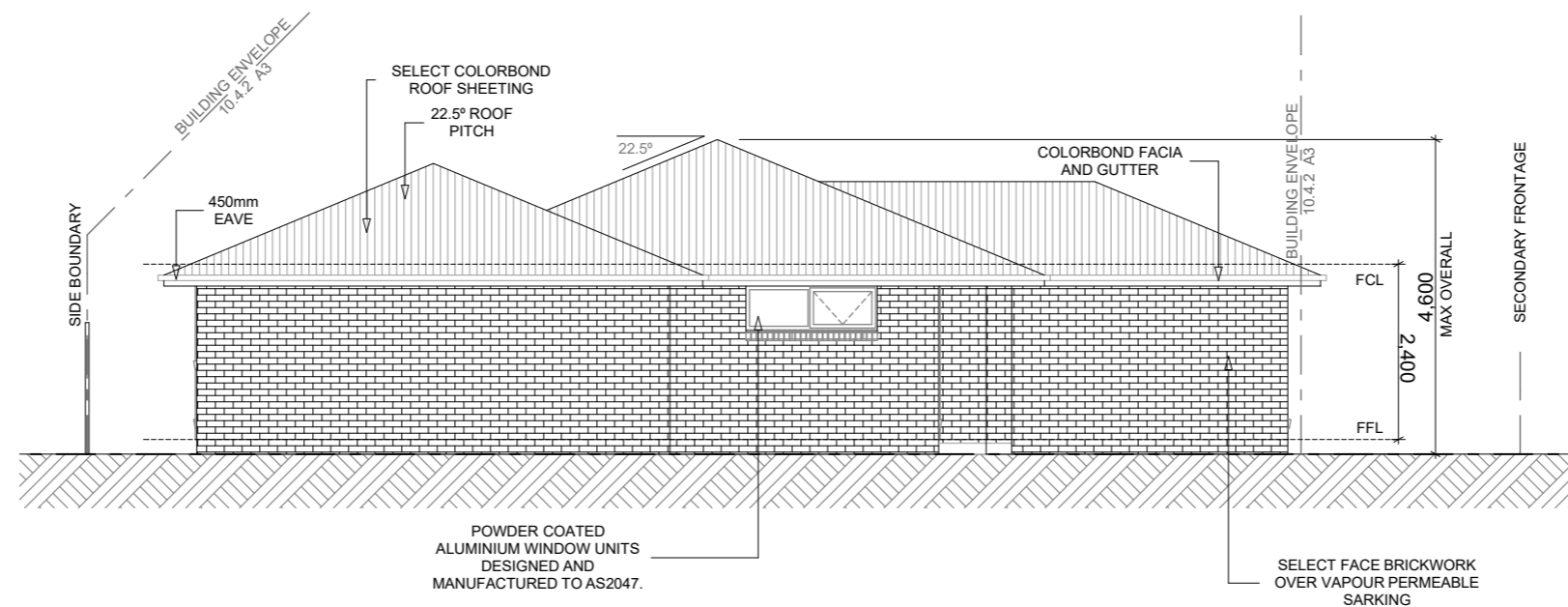
Project	Proposed Unit Development
Address	Lot 11, No. 6 Carlwood Place, Prospect Vale TAS 7248,
Client	D. & B. GOODYER DEVELOPMENTS

Scale	1:100
Date	06/06/2017
Issue	PLANNING

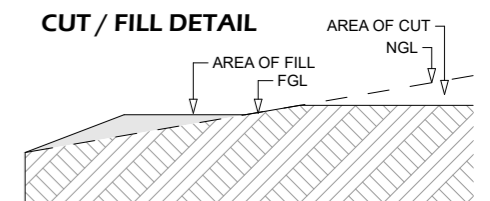
Layout	A2.2 OF 12
Unit 2 Elevations	
Drawing No.	170504



NORTH ELEVATION



WEST ELEVATION



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Acc No. CC7092	-----	Client
ABN 56 614 751 521	-----	

Proposed Unit Development
 Lot 11, No. 6 Carlwood Place,
 Prospect Vale TAS 7248,
 D. & B. GOODYER DEVELOPMENTS

Scale 1:100
 Date 06/06/2017
 Issue PLANNING

Layout A2.3 OF 12
 Drawing No. 170504

Unit 2 Elevations

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Planning Compliance Information to;
Meander Valley Interim Planning Scheme 2013
For Site : Lot 11, No.6 Carlwood Place Prospect Vale

10.4 Development Standards

10.4.1 Residential density for multiple

A1 Compliant – 2 dwellings to site area 670m².

10.4.2 Setbacks and building envelope for all dwellings

A1(a) Compliant – ref drawings.

A1(b) Ref P3 – The proposed development is generally compliant with the required 3m setback from the secondary frontage. A small portion of Unit 2 garage does protrude into the 3m setback by approx. 630mm. This is the south west corner only and tapers away from the frontage to 6.6 m negating any apparent bulk to the frontage.

A1(c) Compliant – ref drawings.

A1(d) N/A

A2 Ref P2. Unit 1 garage setback is compliant at 5.5m

Unit 2 garage setback varies from 2.4m to 6.6m. This configuration does allow for a vehicle to be parked in tandem in front of the garage door & is compliant in that it is \geq 1m behind the façade of the building.

A3 Compliant – Setbacks to the rear of the proposed buildings along the side boundary are set at 1.5m setback. The garage of Unit 2 is setback at .9m and is 6.4m in length.

10.4.3 Site coverage and private open space for all dwellings

A1(a) Compliant – site coverage is at 45.2 %

A1(b) Compliant – Unit 1 Total POS 60.06 m²
Unit 2 Total POS 67.20 m²

A1(c) Compliant – Impervious area is 39%

A2 Compliant – Unit 1 POS 35.7 m²
Unit 2 POS 34 m²

10.4.4 Sunlight and overshadowing for all dwellings

A1 Ref P1. Due to the orientation of the allotment, A1 was not achieved. Living room windows have been positioned on northern elevations of the proposed buildings to provide as much solar gain as possible. These windows are orientated at 37degrees from north.

A2 Ref P2. Unit 2 dwelling and private open space have been off-set from direct north of the private open space of unit 1 to maintain direct northern exposure to Unit 1 living room window and private open space.

A3 Ref P2. Due to the off-set orientation to north, all units gain compliant solar access to the private open spaces. Ref to Shadow Diagrams.

10.4.5 Width of openings for garages and carports for all dwellings

A1 Compliant – ref drawings.

10.4.6 Privacy for all dwellings

A1 Compliant – No ffl above 1m.

A2 Compliant – No ffl above 1m.

A3 N/A

10.4.7 Frontage fences for all dwellings

A1 Compliant - Nil frontage fences proposed.

10.4.8 Waste storage for multiple dwellings

A1 Compliant – Waste storage areas indicated on drawings.

10.4.9 Storage for multiple dwellings

A1 Compliant – Storage areas as indicated in garages.

10.4.10 Common property for multiple dwellings

A1 Compliant – Ref. drawing “Planning Compliance”

10.4.11 Outbuildings for multiple dwellings

A1 Compliant – Nil outbuilding proposed.

10.4.12 Site services for multiple dwellings

A1.1 Compliant – Individual mailbox areas proposed.

10.4.13.1 – 10.4.13.5

N/A Not Applicable (to non-dwelling.)

E6 Car Parking and Sustainability Code

E 6.6.1 Car Parking Numbers

A1 Ref P1. A double garage providing two parking spaces for each unit is provided. A specific allowance for a visitor parking space has not been allocated, however each unit has a section of private driveway allowing visitors to park in front of the garage if required.

E 6.7.1 Construction of Car Parking Spaces and Access Strips

A1.1 Compliant – Ref. drawing “Planning Compliance”

A1.2 Compliant – No vehicle turning proposed

A2.1 Ref P1. The proposal requires reversing from the site. Each unit has its own section of driveway for manoeuvring to the crossover and access to and from the site would be that typically required for a single dwelling.

E16 Urban Salinity Code

E 16.6.1 Stormwater

A1.1 Compliant Ref. Plumbing plan.

A1.2 N/A

E 16.6.2 Excavation

A1.1 Compliant. Nil exaction over 500mm.

E 16.6.3 Vegetation Clearance

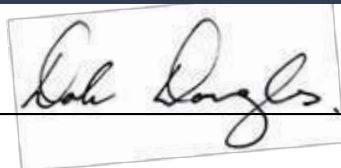
P1 No clearing of vegetation is proposed. Site is clear.

E 16.6.4 Roads and Impervious Surfaces

A1.1 N/A

Prepared By.

Dale Douglas:



05/06/2017

Douglas Design & Drafting Pty Ltd
PO BOX 7708
LAUNCESTON
TAS 7250
Ph: 0437 00 33 02
Email: dale@douglasdesignanddrafting.com
ABN: 56 614 751 521

Merrilyn Young

From: Dino De Paoli
Sent: Monday, 19 June 2017 2:56 PM
To: Justin Simons
Cc: Natasha Whiteley; Sandi Scott; Leanne Rabjohns
Subject: PA\17\0225 - 6 Carlwood Place, Prospect Vale - unit development - Traffic Assessment

A second driveway crossover is proposed to be constructed for No.6 Carlwood Place.

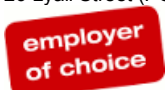
No.6 is located immediately on the eastern side of the existing cul-de-sac, and the proposed crossover will be within the cul-de-sac itself. The speed zone applicable to this section of residential road is 50km/hr, however, due to the location of the cul-de-sac and approach road alignment 50km/hr is not representative of vehicle speeds in this area.

The proposed crossover is considered to be acceptable considering the low speed environment. It is not considered that the new crossover and traffic to and from the proposed unit development would adversely impact on the safety or efficiency of the road network.

Kind regards

Dino De Paoli | Director Infrastructure Services
Meander Valley Council
working together

T: 03 6393 5340 | F: 6393 1474 | M: 0409 547 797 | E: Dino.DePaoli@mvc.tas.gov.au | W: www.meander.tas.gov.au
26 Lyall Street (PO Box 102), Westbury, TAS 7303



Please consider the environment before printing this email.

Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0225	Council notice date	19/06/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00934-MVC	Date of response	26/06/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
Response issued to			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
Development details			
Address	6 CARLWOOD PL, PROSPECT VALE	Property ID (PID)	3491458
Description of development	multiple dwellings		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Douglas Design & Drafting	170504 Sheets A0.3, A0.4 &A0.5		06/06/2017
Conditions			
<p>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. NOTE: Property water connections are to be adjacent to the driveway accesses of each strata lot facing the middle of the lot where possible outside of public open space and trafficable areas. In this instance TasWater would allow individual 20mm water connections for each unit to TasWater's water main. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. Prior to commencing construction / use of the development, a boundary backflow prevention device and water meter must be installed, to the satisfaction of TasWater. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows: <ol style="list-style-type: none"> \$201.93 for development assessment. <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p> 			

Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Merrilyn Young

From: RHONDA GALE <gale51@bigpond.com>
Sent: Wednesday, 28 June 2017 12:12 PM
To: Planning @ Meander Valley Council
Subject: objection to development application PA\17\0225 at 6 Carlwood Place Prospect Vale CT:172720/11

The general manager

We find ourselves yet again writing to object to another proposed unit development application PA\17\0225 at 6 Carlwood Place Prospect Vale CT:172720/11

I would consider this to be grossly unfair and unjust that the Meander Council should consider approval of even more units on this street with no regard for current residents or character of surrounding established homes in the area. While individual unit proposals may meet the zoned general density requirement, I do not believe that Meander Valley Council is considering the total accumulative density of the multiple units that now saturate this street and the corresponding impact it has on the privacy and enjoyment of my home and all existing homes. Has the council counted the total number of individual units in Carlwood Place and in particular immediately around the boundary of our property I would suggest not. They (units) will most definitely impact directly on our privacy and enjoyment. If Meander Valley Council continues to give discretions to unit development in a general residential zones around boundaries and setbacks why have rules and policy at all. The effect of multiple dwellings in this area will have a very real effect when taken as a whole on site coverage and the private open space of existing dwellings as well as sunlight and overshadowing on all homes in the street and does not keep in character with established neighbouring streets in the general residential zones.

regards
Luke Gale
0417188029 or 0741595668

Luke Gale and Mark Gale
15 Carlwood Place Prospect Vale

postal address
51 Sea Esplanade Burnett Heads
QLD 4670

C&DS 2 126 & 160 OAKS ROAD CARRICK - SUBDIVISION (2 LOTS TO 4 LOTS)

1) Introduction

This report considers application PA\17\0206 for Subdivision (2 Lots to 4 Lots) on land located at 126 & 160 Oaks Road, Carrick (CTs: 40003/1 & 42/8955).

2) Background

Applicant

D J McCulloch Surveying

Planning Controls

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

Use & Development

This application proposes to subdivide 126 Oaks Road (CT: 40003/1) into three lots. The land currently has an area of 521.35ha, and is proposed to be split into lots of 154, 110 and 250ha (approx.). The new lots are intended to be used for Resource Development. The application also includes a boundary adjustment with 160 Oaks Road (CT: 42/8955), which will transfer approximately 2.5ha from the larger title. 160 Oaks Road will have a total area of 5ha and will be used for Residential purposes. Lots 1 & 2 will have frontage and access onto Whitemore Road, while Lots 3 & 4 will use the existing access on Oaks Road.

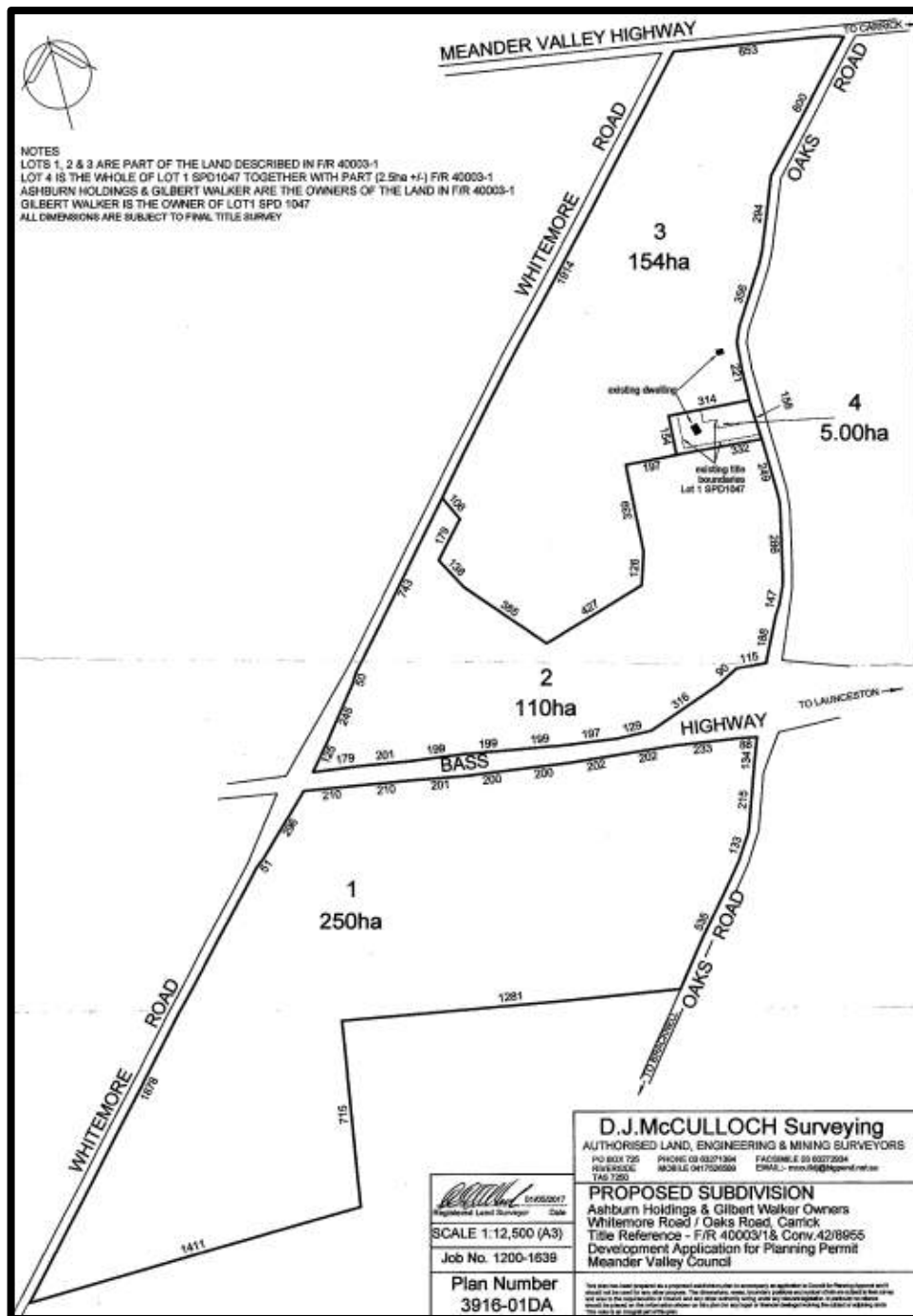


Figure 1: Plan of subdivision (D. J. McCULLOCH Surveying, 2017)

In order to comply with Clause 9.3 Adjustment of a Boundary there must only be a minor change in the relative, size, shape and orientation of the lots. The proposal will result in the area of CT:42/8955 effectively doubling from 2.5ha to 5ha. The land will be converted to a residential use. This boundary adjustment is not considered to be a minor change due to the title increasing in area by 100%.

Site & Surrounds

The subject land is located to the west of Carrick and is currently made up of two titles. 160 Oaks Road is currently a 2.47ha title used for residential purposes. It contains a single dwelling, residential outbuildings and domestic gardens.

126 Oaks road is a 521.35ha agricultural title, predominately used for grazing. The land fronts Meander Valley Road to the north, Oaks Road to the east and Whitemore Road to the west. The title spans the Bass Highway, with an underpass connecting the land to the north and south. While the land has been cleared for agricultural purposes, large areas retain native vegetation cover. The vegetated areas are mapped as containing a threatened vegetation community and a large portion is protected by a Conservation Covenant on the titles.

The adjoining titles are predominately used for agricultural activities, interspersed with residential lifestyle lots. Monds and Affleck's seed store and Quercus Park are located to the east.

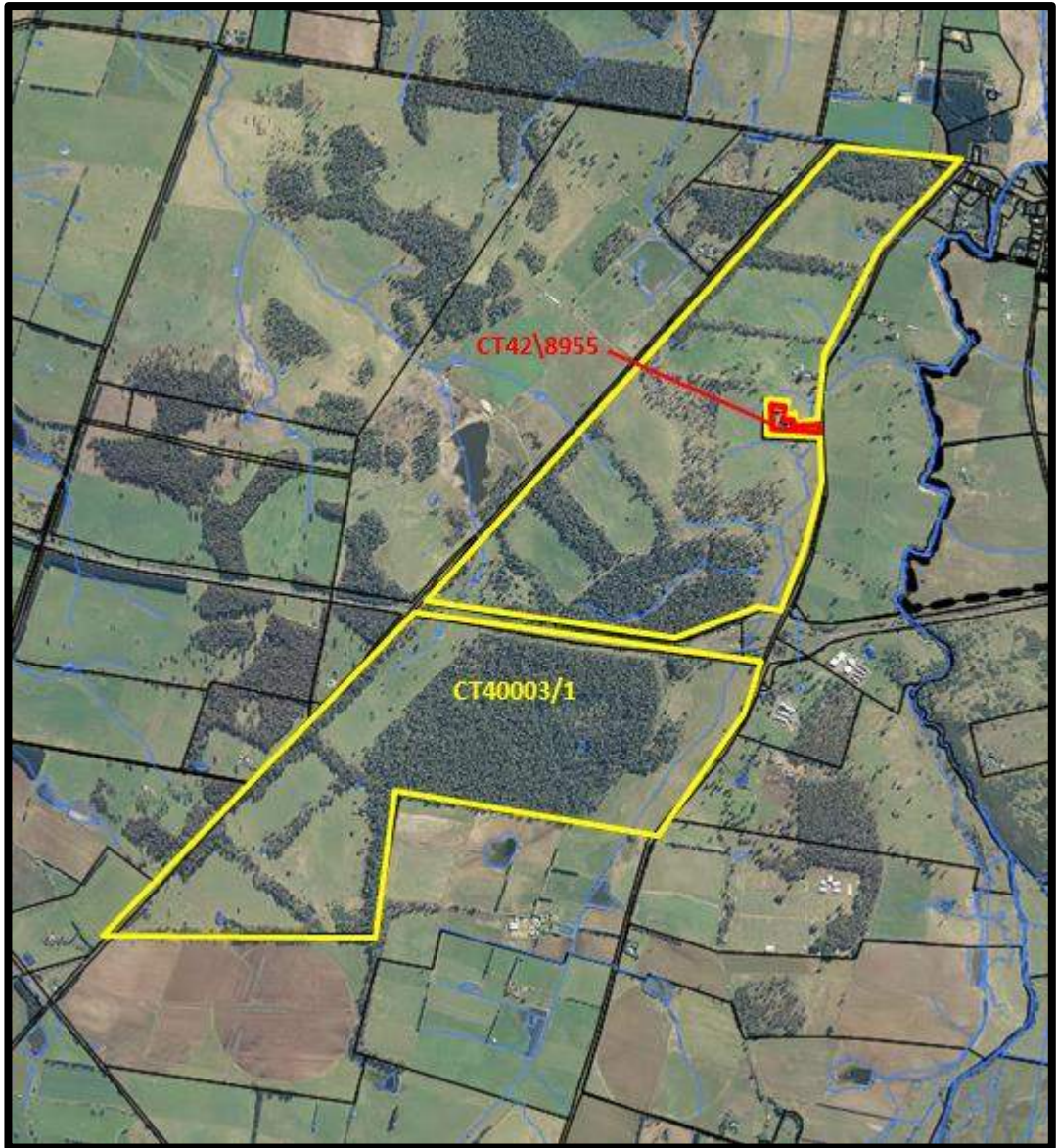


Photo 1: aerial Photo of subject title and surrounding land



Photo 2: proposed Lot 1, to the south of the Bass Highway, showing productive land and remnant vegetation



Photo 3: proposed Lot 1, looking north



Photo 4: proposed Lot 2, looking west from Oaks Road



Photo 5: looking north from Oaks Road, toward the dwellings on Lots 3 and 4



Photo 6: Aerial view of existing stock underpass, connecting the land to the north and south of the Bass Highway

Statutory Timeframes

Date Received:	13 June 2017
Request for further information:	Not applicable
Information received:	Not applicable
Advertised:	24 June 2017
Closing date for representations:	10 July 2017
Extension of time granted:	18 July 2017
Extension of time expires:	9 August 2017
Decision due:	8 August 2017

3) Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

4) Policy Implications

Not applicable.

5) Statutory Requirements

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

6) Risk Management

Management of risk is inherent in the conditioning of the permit.

7) Consultation with State Government and other Authorities

The application was referred to TasWater. TasWater confirmed that the development is not within a serviced area and they have no interest in the application.

8) Community Consultation

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

9) Financial Impact

Not applicable.

10) Alternative Options

Council can approve the application, with or without conditions

11) Officers Comments

Zone

The subject property is located in the Rural Resource Zone. The land surrounding the site is located in the Rural Resource, Rural Living, Recreation and Utilities Zone

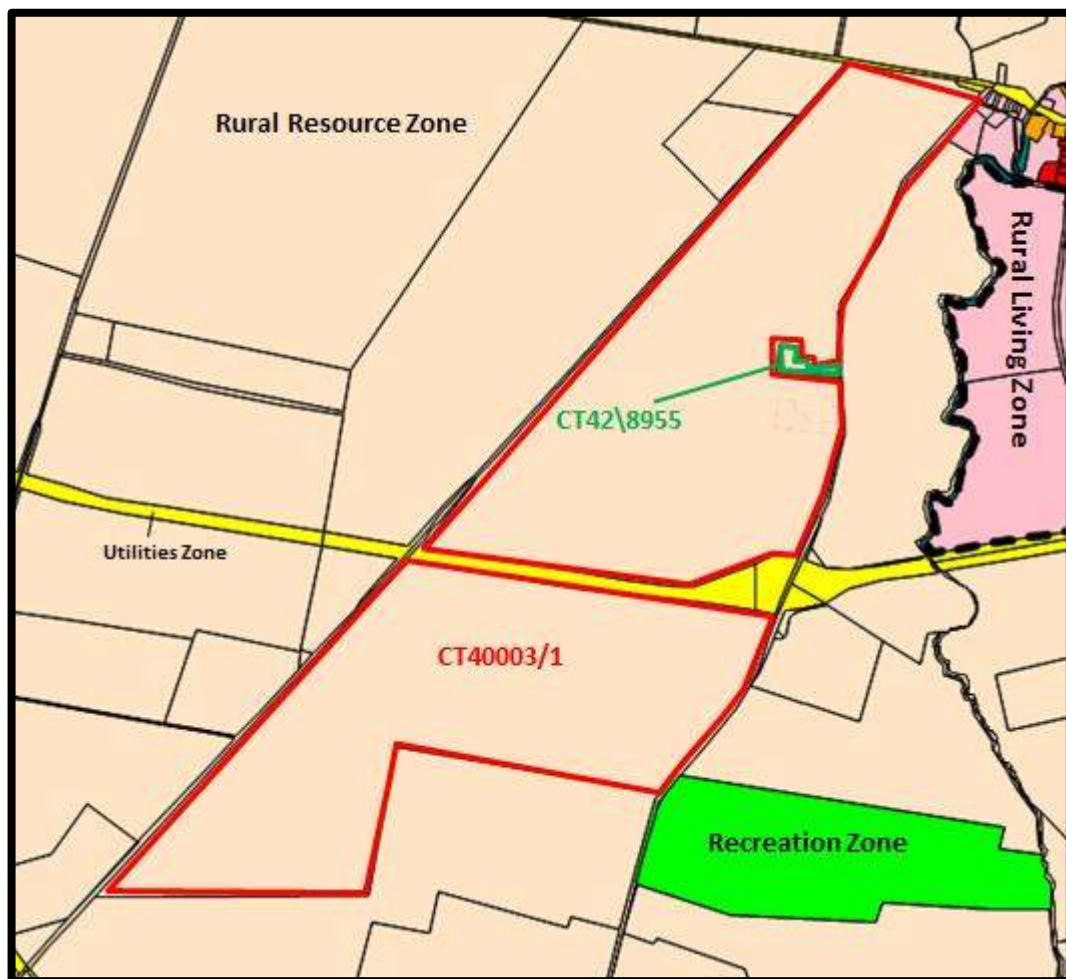


Figure 2: zoning of subject title and surrounding land

Use Class

Table 8.2 of the Scheme, categorises the proposed use classes as:

- Resource Development
- Residential

In the Rural Resource Zone, a residential use is listed as discretionary under section 26.2 - Use Table. As such, the proposed uses are assessed against the

Zone Purpose including the Local Area Objectives and Desired Future Character Statements. The use standards in the zone and applicable codes are also considered relative to each applicable issue.

26.1 Zone Purpose

26.1.1 Zone Purpose Statements

26.1.1.1 To provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunities for resource processing.

26.1.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.

26.1.1.3 To provide for economic development that is compatible with primary industry, environmental and landscape values.

26.1.1.4 To provide for tourism-related use and development where the sustainable development of rural resources will not be compromised.

26.1.2 Local Area Objectives

*a) Primary Industries:
Resources for primary industries make a significant contribution to the rural economy and primary industry uses are to be protected for long-term sustainability. The prime and non-prime agricultural land resource provides for variable and diverse agricultural and primary industry production which will be protected through individual consideration of the local context. Processing and services can augment the productivity of primary industries in a locality and are supported where they are related to primary industry uses and the long-term sustainability of the resource is not unduly compromised.*

*b) Tourism
Tourism is an important contributor to the rural economy and can make a significant contribution to the value adding of primary industries through visitor facilities and the downstream processing of produce. The continued enhancement of tourism facilities with a relationship to primary production is supported where the long-term sustainability of the resource is not unduly compromised.*

The rural zone provides for important regional and local tourist routes and destinations such as through the promotion of environmental features and values, cultural heritage and landscape. The continued enhancement of tourism facilities that capitalise on these attributes is supported where the long-term sustainability of primary industry resources is not unduly compromised.

- c) *Rural Communities*
Services to the rural locality through provision for home-based business can enhance the sustainability of rural communities. Professional and other business services that meet the needs of rural populations are supported where they accompany a residential or other established use and are located appropriately in relation to settlement activity centres and surrounding primary industries such that the integrity of the activity centre is not undermined and primary industries are not unreasonably confined or restrained.

Comment:

The application proposes to increase the area of land contained within CT: 42/8955, effectively converting the land from a resource development use to a residential use. In this circumstance, this is not considered to be at odds with the purpose of the zone. The dwelling on this title has been previously excised from the adjoining title, with a narrow access handle and setbacks as small as 32m (approx.). This setback is generally not considered sufficient to mitigate the impacts of the residential use on the adjoining agricultural land. By increasing the area of the land to that proposed, the boundaries between the residential title and adjoining farm will be more regular and readily defined. The increased setbacks will also provide an improved buffer between the dwelling and neighbouring agricultural activities, reduce the potential for land use conflicts and improve the long term sustainability of the agricultural title. The area is insignificant compared to the overall size of the title and is already significantly fettered by the proximity to the dwelling. As such, the increase in area of CT: 42/8955, to create Lot 4, will not unduly compromise the long term sustainability of primary industry resources.

Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Rural Resource Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

Compliance Assessment

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

Rural Resource Zone			
Scheme Standard		Comment	Assessment
23.6.1 Uses if not a single dwelling			
A1	If for permitted or no permit required uses.	The proposal will result in land being converted from a Resource Development Use to a Residential Use.	Relies on Performance Criteria
A2	If for permitted or no permit required uses.	The land is not prime agricultural land (Class 1, 2 or 3)	Relies on Performance Criteria
A3	If for permitted or no permit required uses.	Land converted to Residential Use.	Relies on Performance Criteria
A4	If for permitted or no permit required uses.	Land converted to Residential Use	Relies on Performance Criteria

A5	The use must: a) be permitted or no permit required; or b) be located in an existing building.	Land converted to Residential Use	Relies on Performance Criteria
26.3.3 Irrigation Districts			
A1	Non-agricultural uses are not located within an irrigation district proclaimed under Part 9 of the <i>Water Management Act 1999</i> .	The application proposes to extend a non-agricultural use.	Relies on Performance Criteria
26.4.2 Subdivision			
A1	No acceptable solution	No Acceptable Solution	Relies on Performance Criteria

Bushfire-Prone Areas Code			
Scheme Standard		Comment	Assessment
E1.6.1 Subdivision - Provision of hazard management areas			
A1	a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or b) The proposed plan of subdivision: (i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision; (ii) shows the building area for each lot; (iii) shows hazard management areas	The application is accompanied by a Bushfire Hazard Management Plan prepared by an accredited Bushfire Practitioner which shows hazard management areas for all lots providing setbacks equivalent to BAL 19. A Certificate of Insufficient Risk has been prepared for Lot 4.	Complies

	<p>between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of <i>Australian Standard AS 3959 –2009 Construction of buildings in bushfire-prone areas</i>;</p> <p>and</p> <p>(iv) is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-prone areas; and</p> <p>c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring</p>		
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	property providing for the affected land to be managed in accordance with the bushfire hazard management plan.		
E1.6.2 Subdivision: Public and fire fighting access			
A1	<p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</p> <p>b) A proposed plan of subdivision showing the layout of roads and fire trails, and the location of property access to building areas, and which complies to the extent necessary with Tables E1, E2 and E3, is included in a bushfire hazard management plan certified</p>	<p>The Bushfire Hazard Management Plan submitted with the application certifies that the public access to the property is consistent with (b).</p> <p>A Certificate of Insufficient Risk has been prepared for Lot 4.</p>	Complies
E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
A1	<p>In areas serviced with reticulated water by the water corporation:</p> <p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</p> <p>b) A proposed plan of subdivision showing the</p>	Not Applicable	

	<p>layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or</p> <p>c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>		
A2	<p>In areas not serviced by reticulated water by the water corporation:</p> <p>a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for fire fighting purposes;</p> <p>b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</p>	<p>The Bushfire Hazard Management Plan submitted with the application certifies that the water supply for fire fighting purposes is consistent with Acceptable Solution (b).</p> <p>A Certificate of Insufficient Risk has been prepared for Lot 4.</p>	Complies

	c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.		
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Road and Railway Assets Code			
Scheme Standard		Comment	Assessment
E4.6.1 Use and road or rail infrastructure			
A1	Sensitive use within 50m of a category 1 or 2 road with a speed limit of more than 60km/h, a railway or future road or railway, does not increase the annual average daily traffic movements by more than 10%.	The application does not propose a sensitive use within 50m of a Category One or Two State Road.	Complies
A2	For roads with a speed limit of 60km/h or less the use must not generate more than 40 movements per day.	Not applicable	
A3	For roads with a speed limit of more than 60km/h the use must not increase the annual average daily traffic movements by more than 10%.	A Traffic Impact Assessment prepared by a qualified Traffic Engineer has been submitted with the application and demonstrates that the proposed development will not result in an increase in	Complies

		vehicle movements at any of the accesses of more than 10%.	
E4.7.1 Development on and adjacent to Existing and Future Arterial Roads and Railways			
A1	<p>The following must be at least 50m from a railway, a future road or railway and a category 1 or 2 road with a speed limit of more than 60km/h:</p> <ul style="list-style-type: none"> a) new road works, buildings, additions and extensions, earthworks and landscaping works; and b) building envelopes on new lots; and c) outdoor sitting, entertainment and children's play areas. 	<p>The application is for subdivision, with no physical works and no nominated building area. The proposed lots are large and offer significant opportunity for buildings to be located more than 50m from the Bass Highway. The existing driveways are all located more than 50m from the Bass Highway and take access from Oaks Road.</p>	Complies
E4.7.2 Management of Road Accesses and Junctions			
A1	<p>For roads with a speed limit of 60km/h or less the development must include one access providing both entry and exit, or two accesses providing separate entry and exit.</p>	Not applicable	
A2	<p>For roads with a speed limit of more than 60km/h the development must not include a new access or</p>	<p>The proposed lots will use existing accesses on Oaks Road.</p>	Complies

	junction.		
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Car Parking and Sustainable Transport Code			
Scheme Standard		Comment	Assessment
6.6.1 Car Parking Numbers			
A1	The number of car parking spaces must not be less than the requirements of: a) Table E6.1; or b) a parking precinct plan.	The application proposes a Resource Development Use for Lots 1, 2, and 3. There is no specific requirement for parking associated with Resource Development. Lot 4 will have a Residential Use, however the proposal will not intensify that use. The lot provides two existing parking spaces within the curtilage of the dwelling, as required by Table E6.1. No additional car parking is required.	Complies

Scenic Management Code			
Scheme Standard		Comment	Assessment
E7.6.1 Scenic Management – Tourist Road Corridor			
A1	Development (not including subdivision) must be fully screened by existing vegetation or other features when viewed from the road	Not applicable	

	within the tourist road corridor.		
A2	Subdivision must not alter any boundaries within the areas designated as scenic management – tourist road corridor.	The proposed Lots 1 and 2 will not alter the location or appearance of the boundaries within 100m of the Bass Highway.	Complies

Water Quality Code

Scheme Standard	Comment	Assessment	
E9.6.5 Sediment and Erosion Control			
A1	The subdivision does not involve any works.	While a watercourse crosses the subject titles, the application does not propose any works other than the minor relocation of stock fencing.	Complies

Performance Criteria

Rural Resource Zone

23.6.1 Uses if not a single dwelling

Objective

- a) *To provide for an appropriate mix of uses that support the Local Area Objectives and the location of discretionary uses in the rural resources zone does not unnecessarily compromise the consolidation of commercial and industrial uses to identified nodes of settlement or purpose built precincts.*
- b) *To protect the long term productive capacity of prime agricultural land by minimising conversion of the land to non-agricultural uses or uses not dependent on the soil as a growth medium, unless an overriding benefit to the region can be demonstrated.*
- c) *To minimise the conversion of non-prime land to a non-primary industry use except where that land cannot be practically utilised for*

- primary industry purposes.*
- d) *Uses are located such that they do not unreasonably confine or restrain the operation of primary industry uses.*
 - e) *Uses are suitable within the context of the locality and do not create an unreasonable adverse impact on existing sensitive uses or local infrastructure.*
 - f) *The visual impacts of use are appropriately managed to integrate with the surrounding rural landscape.*

Performance Criteria P1

P1.1

It must be demonstrated that the use is consistent with local area objectives for the provision of non-primary industry uses in the zone, if applicable; and

P1.2

Business and professional services and general retail and hire must not exceed a combined gross floor area of 250m² over the site.

Comment:

The proposed development has been assessed against the Zone Purpose above and is considered to have an overriding benefit to the long term sustainability of the surrounding agricultural property by creating a more effective buffer and reducing conflicts between adjoining land uses. The amount of land to be converted is minimal. The land is already fettered by its proximity to the dwelling and due to the irregular shape of the residential lot.

The proposal is consistent with the objective, converting land which cannot practically be used for agriculture and creating a buffer to minimise conflicts and preserve productivity.

Performance Criteria P3

The conversion of non-prime agricultural to non-agricultural use must demonstrate that:

- a) *the amount of land converted is minimised having regard to:*
 - (i) existing use and development on the land; and*
 - (ii) surrounding use and development; and*
 - (iii) topographical constraints; or*
- b) *the site is practically incapable of supporting an agricultural use or being included with other land for agricultural or other primary industry use,*

due to factors such as:

- (i) limitations created by any existing use and/or development surrounding the site; and*
 - (ii) topographical features; and*
 - (iii) poor capability of the land for primary industry; or*
- c) the location of the use on the site is reasonably required for operational efficiency.*

Comment:

The land to be converted is significantly fettered by the adjoining residential use. While it can be included with the agricultural land, as it currently is, it is severely limited and there is potential for conflicts between the adjoining land uses. The amount of land to be converted is relatively small and is not unreasonable given the existing residential use.

Performance Criteria P4

It must demonstrated that:

- a) emissions are not likely to cause an environmental nuisance; and*
- b) primary industry uses will not be unreasonably confined or restrained from conducting normal operations; and*
- c) the capacity of the local road network can accommodate the traffic generated by the use.*

Comment:

The residential use will not cause any emissions above those of the existing dwelling. The conversion of the land will not constrain adjoining resource development activities any more than the existing dwelling.

Performance Criteria P5

It must be demonstrated that the visual appearance of the use is consistent with the local area having regard to:

- a) the impacts on skylines and ridgelines; and*
- b) visibility from public roads; and*
- c) the visual impacts of storage of materials or equipment; and*
- d) the visual impacts of vegetation clearance or retention; and*
- e) the desired future character statements.*

Comment:

The conversion of the land will not result in any visual changes, other than the realignment of fencing.

26.3.3 Irrigation Districts

Objective

To ensure that land within irrigation districts proclaimed under Part 9 of the Water Management Act 1999 is not converted to uses that will compromise the utilisation of water resources.

Performance Criteria P1

Non-agricultural uses within an irrigation district proclaimed under Part 9 of the Water Management Act 1999 must demonstrate that the current and future irrigation potential of the land is not unreasonably reduced having regard to:

- a) the location and amount of land to be used; and*
- b) the operational practicalities of irrigation systems as they relate to the land; and*
- c) any management or conservation plans for the land.*

Comment:

The amount of land to be converted to a Residential Use is relatively small and is fettered by the existing dwelling. The practicalities of irrigating this land are low, due to the proximity to a third party dwelling and the irregular shape of the land between the dwelling and the road. The amount of land to be converted is also minimal.

The boundary adjustment is consistent with the objective and will not compromise the utilisation of water resources.

26.4.2 Subdivision

Objective

To ensure that subdivision is only to:

- a) improve the productive capacity of land for resource development and extractive industries; or*
- b) enable subdivision for environmental and cultural protection or resource processing where compatible with the zone; or*
- c) facilitate use and development for allowable uses by enabling subdivision subsequent to appropriate development.*

Performance Criteria P1

The subdivision:

- a) must demonstrate that the productive capacity of the land will be improved as a result of the subdivision; or*

- b) *is for the purpose of creating a lot for an approved non-agricultural use, other than a residential use, and the productivity of the land will not be materially diminished; or*
- c) *is for the provision of utilities and is required for public use by the Crown, public authority or a municipality; or*
- d) *is for the consolidation of a lot with another lot and no additional titles created; or*
- e) *is to align existing titles with zone boundaries and no additional lots are created; or*
- f) *is to facilitate protection of a place of Aboriginal, natural or cultural heritage.*

Comment:

The Performance Criteria states that the subdivision must demonstrate that the productive capacity of the land will be improved as a result of the subdivision.

In accordance with the land capability assessment undertaken by Macquarie Franklin (attached document); Lot 1 will include approximately 90.8ha of usable land; Lot 2 will have approximately 39.6ha of usable land; while Lot 3 will have approximately 73.4ha of usable land. The usable areas of the lots have generally been nominated a land capability class of four and five. The remainder of the land is covered by a threatened vegetation community, *Eucalyptus amygdalina forest and woodland on Cainozoic deposit*, and is mapped by the planning scheme as priority habitat.

This assessment is generally consistent with the State Government's Land Capability mapping (albeit with much greater detail and clarity).

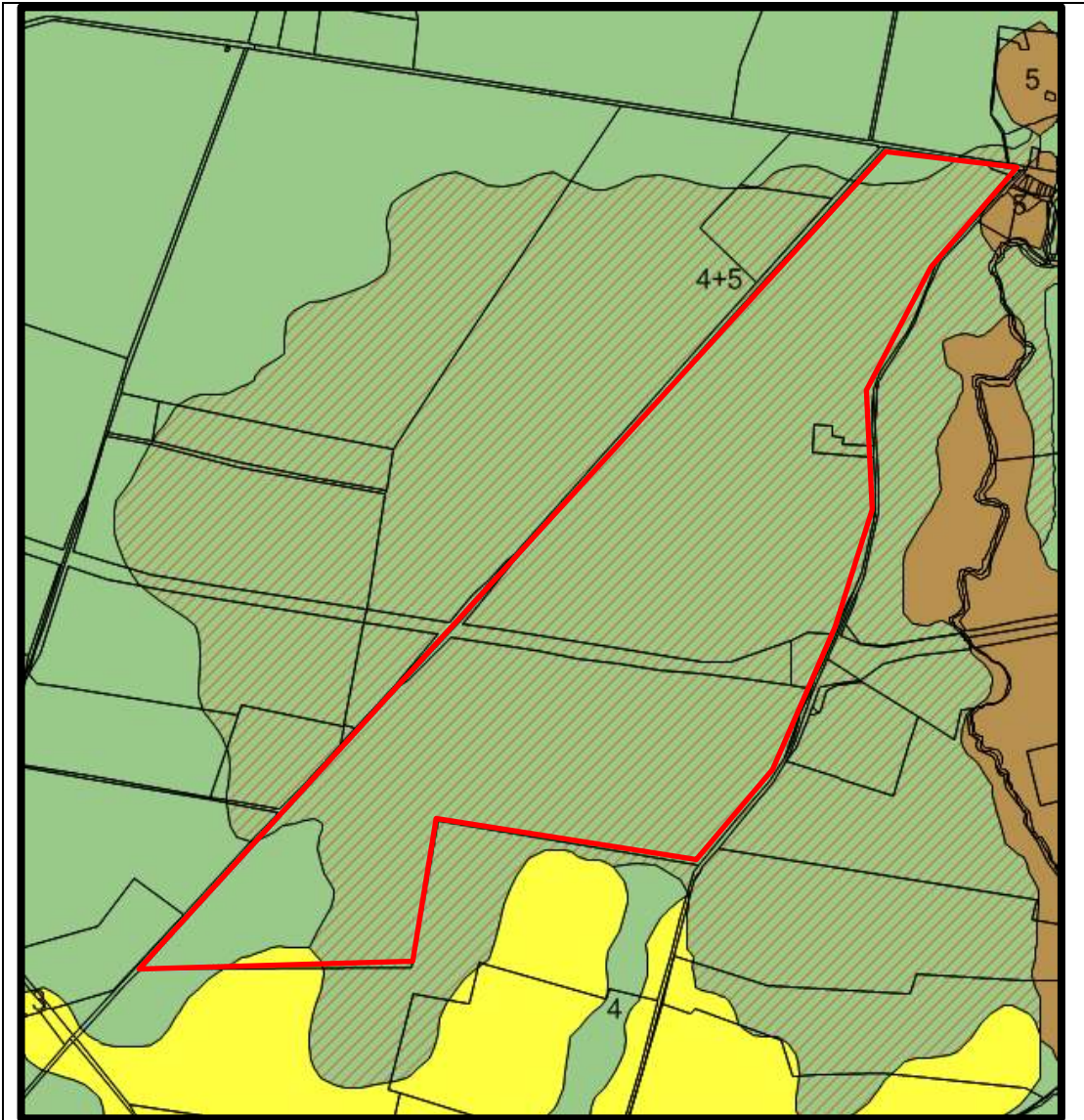


Figure 3: land capability of subject land (outlined in red), showing Class 4 (green) and Class 5 (brown) land. Green and brown hatching indicates a mix of Class 4 and 5 land.

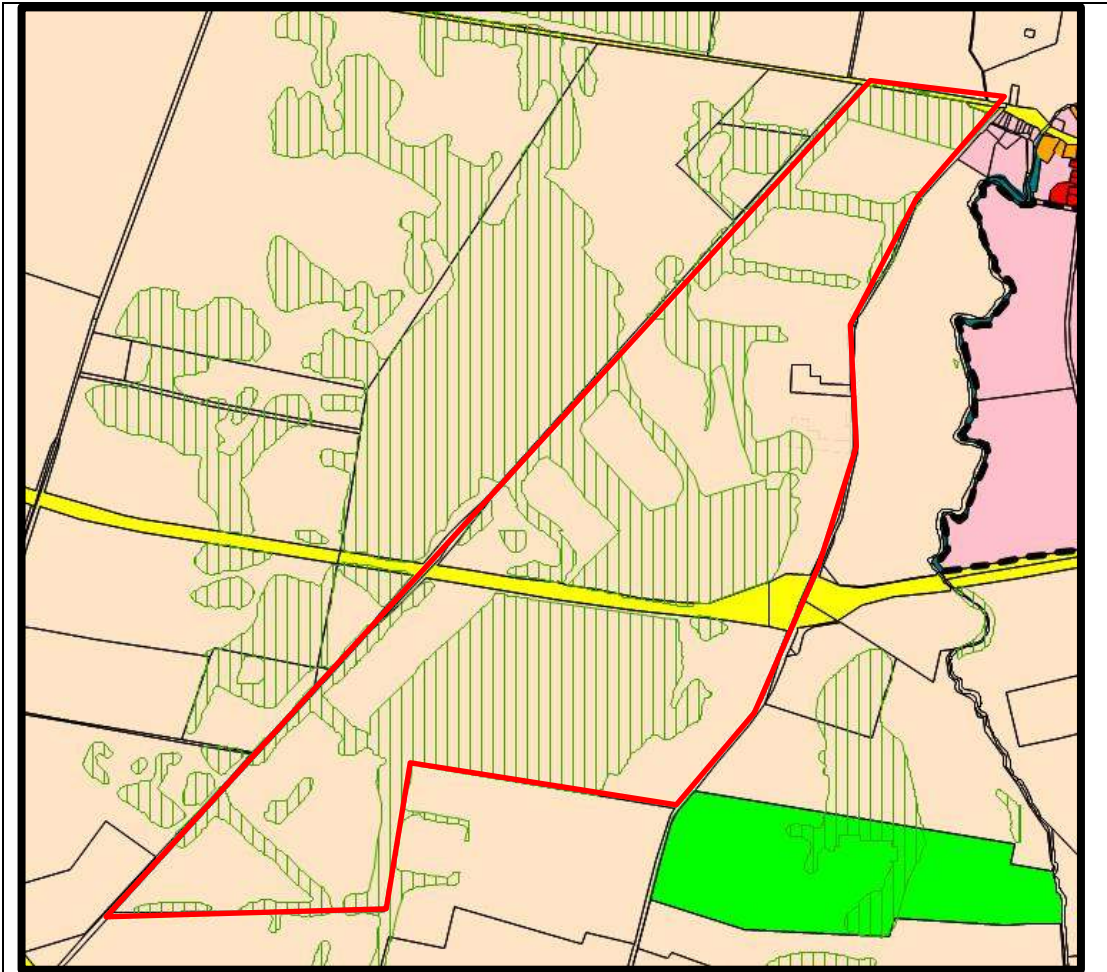


Figure 4: priority habitat (green hatching) within subject land (outlined in red)

Areas encumbered with protected vegetation have been assigned a Class 6 capability, being severely constrained.

The class definitions are as follows.

Class 4

Land primarily suitable for grazing but which may be used for occasional cropping. Severe limitations restrict the length of cropping phase and/or severely restrict the range of crops that could be grown. Major conservation treatments and/or careful management is required to minimise degradation. Cropping rotations should be restricted to one to two years out of ten in a rotation with pasture or equivalent, during 'normal' years to avoid damage to the soil resource. In some areas longer cropping phases may be possible but the versatility of the land is very limited. (NB some parts of Tasmania are currently able to crop more frequently on Class 4 land than suggested above. This is due to the climate being drier than 'normal'. However, there is a high risk of crop or soil damage if 'normal' conditions return.)

Class 5

This land is unsuitable for cropping, although some areas on easier slopes may be cultivated for pasture establishment or renewal and occasional fodder crops may be possible. The land may have slight to moderate limitations for pastoral use. The effects of limitations on the grazing potential may be reduced by applying appropriate soil conservation measures and land management practices.

The land is currently used for primary industry activities and in order to satisfy the Performance Criteria the proposal must show improvements to that productive capacity.

While the supporting documentation submitted with the application states that the purpose of the subdivision is to create land parcels that will improve the productive capacity of the land, there is little evidence within the application to support this. The key arguments presented are that smaller parcels will be more manageable, new ownership has the potential for capital investment and access to irrigation will allow for intensification of agricultural activities.

Improvements to the productive capacity of the land must be dependent on the subdivision occurring. If the improvements can happen without the subdivision occurring, then the criteria has not been met. New ownership, investment of capital and changes in land management can result in increased productivity, however, subdivision is not fundamental to achieving these outcomes. The subject property has access to the Whitemore Irrigation Scheme and the proposed subdivision does not need to proceed in order to obtain access to these water resources.



Photo 7: subject title to the east of Whitemore Road



Photo 8: neighbouring title to the west of Whitemore Road (immediately adjacent), showing the impacts of irrigation and improvement

The report does not provide detail of the productivity of the current title or potential increases that will result from the development. There are no demonstrated plans for improving productivity through significant infrastructure investment, cropping or improved pasture, which cannot be achieved with the land in its current form. The suggested improvements are purely speculative and are possible under the current lot arrangement. The purchasing of rights which are currently available does not justify the permanent fragmentation of the land.

The proposed subdivision is not considered to increase the productive

capacity of the land. The creation of separate titles significantly increases the risk of the land being sold into separate ownership, with each parcel being managed in isolation. From the planning submission, this appears to be the intent of the subdivision (it is noted that advertising has been erected for the sale of the land to the south of the Bass Highway).

Separate ownership and management of the land significantly reduces opportunities to achieve economies of scale. Economies of scale are the cost advantages and increased productivity that are gained from an increase in size as the scale of an operation increases and the cost per unit of output decreases. The existing large title has the greatest potential for long term increases in productivity through efficient use of resources, including the irrigation resources available. Fragmentation of the land through subdivision reduces the productivity of the land by reducing the efficiencies gained by farming the land as a single unit.

It is also noted that, although the land is divided by the Bass Highway, the existing stock underpass provides direct connectivity and allows the farm to function as a single unit.

Subdivision of productive land for raising capital is not an accepted sustainable land use practice. The speculative benefits of smaller titles are far outweighed by the permanent risks to productivity associated with the fragmentation of the land.

The application does not provide sufficient justification that the proposed subdivision will improve the productive capacity of the land for resource development and/or extractive industries and does not support the objective of the standard or the zone purpose. Permanent fragmentation of agricultural land is an unreasonable risk to long term productivity and the improvements presented by the applicant are not dependent on the proposed subdivision.

Representations

One (1) representation was received (see attached documents). A summary of the representation is as follows:

- Concerns regarding the ongoing availability of the land to be used for access purposes during Agfest.

Comment:

Council is not party to, nor has any ability to enforce any agreement between Rural Youth and current or future land owners allowing access via proposed Lot 1. There is no scope within the scheme or the Land Use Planning and Approvals Act 1993 to make the landowners provide any permanent right of access.

However, the applicant and landowners have presented three options to continue the current access arrangement:

Option 1: The current lessor Ashburn Holdings enters in to a binding legal agreement with the lessee Rural Youth / Agfest that they will make any sale / transfer of the Lot 1 land conditional on the new owner legally entering into a continuation (and/or extension) of the existing lease arrangement.

Option 2: That a Right of Way (Private) is created in the Schedule of Easements / the Sealed Plan over the strip of leased land within proposed Lot 1 in favour of the Rural Youth land (F/R 135734/3) on the opposite side of Oaks Road. Ashburn Holdings would require compensation for this arrangement.

Option 3: That the strip of land subject to the existing lease to Rural Youth / Agfest is dedicated as a Road lot on the sealed Plan of Survey and title for it would ultimately vest with Meander Valley Council. Compensation considerations would be similar to Option 2 with the additional consideration re the cost of fencing of the new road boundaries.

Option 1 is the easiest to implement but lacks surety of tenure for Rural Youth / Agfest whereas Option 2 and 3 provides a definitive and permanent solution.

These options are outside the scope of the scheme and will require negotiation between the landowner and Rural Youth to achieve a suitable outcome.

Conclusion

In conclusion, it is considered that the application for Use and Development for Subdivision (2 Lots to 4 Lots) does not improve the productive capacity of

the land for resource development and/or extractive industries and should be refused.

AUTHOR: Justin Simons
TOWN PLANNER

12) Recommendation

That the application for Use and Development for Subdivision (2 Lots to 4 Lots) on land located at 126 & 160 Oaks Road, Carrick (CTs: 40003/1 & 42/8955) by D J McCulloch Surveying, requiring the following discretions:

- 26.4.2 - Subdivision

be REFUSED, for the following reason/s:

- 1. The proposed subdivision does not improve the productive capacity of the land for resource development and/or extractive industries.**
- 2. The application does not provide satisfactory evidence that the proposed subdivision will improve the productive capacity of the land.**
- 3. Reducing the land area of holdings reduces the sustainability of the holdings, and in this instance, there is no evidence of a secure benefit to productive capacity.**

DECISION:

D.J. McCulloch Surveying

AUTHORISED LAND, ENGINEERING & MINING SURVEYORS

A.B.N. 36 400 870 790

Dallas McCulloch, M.L.S.(Tas) M.L.S.V.
Registered Land Surveyor (Tas.)



P.O. BOX 725

148 West Tamar Road
RIVERSIDE, TAS, 7250

Phone (03) 63271394

Mobile 0417 526589

Facsimile (03) 63272934

mcculldj@bigpond.net.au

Your ref :

3916GL1MVC

Our ref :

10 May, 2017

The Manager
Meander Valley Council
PO Box 102,
Westbury
Tas. 7303

Dear Sir,

**Re: - Proposed Development – Subdivision & Boundary Adjustment
126 & 160 Oaks Road, Carrick
Ashburn Holdings & Gilbert Walker owners**

Please find enclosed herewith, for Councils' consideration:

- Subdivision proposal plans 391601DA & 391602DA
- Our planning report
- The completed Development Application Form
- Copy of the subject title and title plans
- Agricultural Report

Please invoice us by email for the amount of the required planning fees and any other information that you may require.

Do not hesitate to contact us to arrange a meeting with your planning staff to discuss any issues in respect of this submission.

Yours sincerely,

Dallas McCulloch

SEARCH OF TORRENS TITLE

VOLUME 40003	FOLIO 1
EDITION 5	DATE OF ISSUE 16-Jan-2014

SEARCH DATE : 01-Aug-2016

SEARCH TIME : 03.35 PM

DESCRIPTION OF LAND

Parish of SILLWOOD, Land District of WESTMORLAND
 Lot 1 on Plan 40003
 Being the land described in Conveyance No. 64/4636
 Excepting thereout (4.1/10P) 70/99 D.O. Surr. 33/8122, (13.9/10P) 70/99 D.O. Surr. 33/8122, Lots 3 & 4 P.34666 4.149ha,
 Lot 1 P. 35168 14.95ha, 13.2/10P 89/19 D.O. SPD. 1047 6A-OR-19.4P.
 Derivation : Part of 2000A-OR-0Ps., 1000A-OR-0Ps, 644A-OR-0Ps., & 640A-OR-0Ps Gtd. to William Page and Part of 639A-OR-0Ps. Gtd. to William Bryan.
 Prior CT 4574/38

SCHEDULE 1

C905974 TRANSFER to ASHBURN HOLDINGS PTY LTD and GILBERT MICHAEL WALKER as tenants in common in equal shares Registered 01-Jul-2009 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 B738897 PROCLAMATION under Section 9A and 52A of the Roads and Jetties Act 1935 Registered 10-May-1995 at noon
 B903255 LEASE to Optus Mobile Pty Limited of a leasehold estate for the term of 5 years from 18-Sep-2010 of part of the said land within described as shown on the plan thereon Registered 20-Nov-1995 at 12.03 PM
 C514669 INSTRUMENT creating Restrictive Covenants pursuant to section 34 Nature Conservation Act 2002 (over part of the land as shon on the plan attached thereto) Registered 14-Sep-2004 at noon
 D114491 LEASE to NBN CO LIMITED of a leasehold estate for the term of 10 years from 23-Jan-2013 (of that part of the said land within described Lot 1 shown on Annexure Plan 'B' attached to the said Lease) Registered 16-Jan-2014 at noon
 D114492 LEASE to NBN CO LIMITED of a leasehold estate for the term of 10 years from 23-Jan-2023 (of that part of

the said land within described Lot 1 shown on
Annexure Plan 'B' attached to the said Lease)
Registered 16-Jan-2014 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

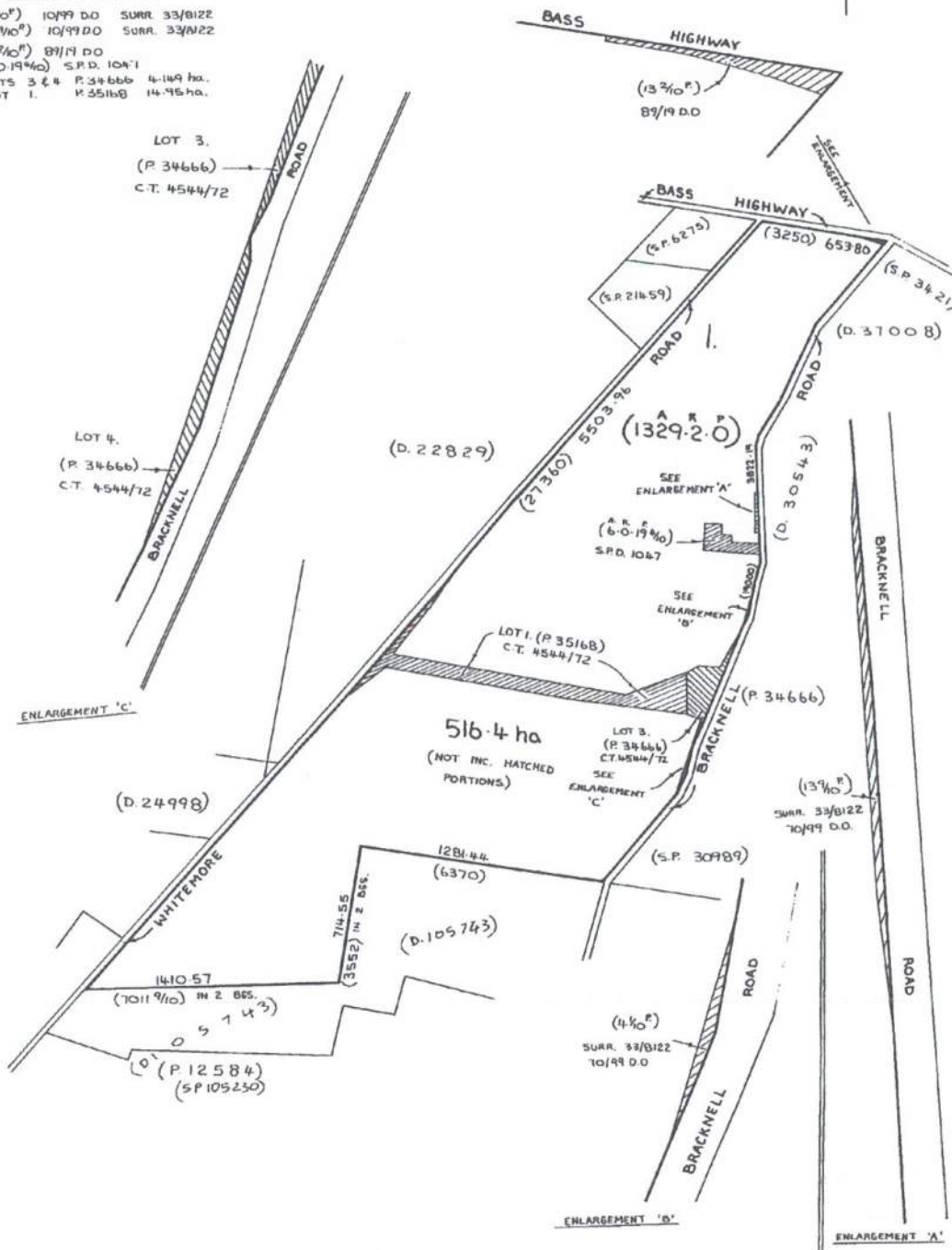
APPROVED 	CONVERSION PLAN 33/1365	REGISTERED NUMBER P.40003
RECORDED OF TITLES	GRANTEE PART OF 2000-00, 1000-0-0, 644-0-0 & 640-0-0 G.T.D. TO WILLIAM PAGE ASHURNER & PART OF 639-0-0 G.T.D. TO WILLIAM BRYAN.	DRAWN A.H. 14.6.89
FILE NUMBER Y.10227		

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF
LAND DISTRICT OF WESTMORLAND
PARISH OF SILLWOOD
LENGTHS ARE IN METRES NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES

"EXCEPTED LANDS"

- (4 1/20") 10/99 D.O. SURR. 33/8122
- (13 7/10") 10/99 D.O. SURR. 33/8122
- (13 7/10") 89/19 D.O.
- (6 0 19 4/10) S.P.D. 10471
- LOTS 3 & 4 P.34666 4.149 ha.
- LOT 1. P.35168 14.95 ha.



PROPERTY ID: 7008400
MUNICIPALITY: MEANDER VALLEY

PROPERTY ADDRESS: ASHBURN
 126 OAKS RD
 CARRICK TAS 7291

PROPERTY NAME: ASHBURN

TITLE OWNER: 42/8955

INTERESTED PARTIES: WALKER, GILBERT MICHAEL

POSTAL ADDRESS: ASHBURN
 (Interested Parties) 126 OAKS RD
 CARRICK TAS 7291

MAIN IMPROVEMENTS SUMMARY

Improvements: HOUSE
Improvement Sizes (Top 3 by Size): Improvement: Area:
 HOUSE 202.0 square metres
 OTHER IMPROVEMENTS 2.0 square metres
 SHED

Number of Bedrooms: 4

Construction Year of Main Building: 1971

Roof Material: Tile

Wall Material: Masonry Brick

Land Area: 2.477 hectares

LAST VALUATIONS

Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
21/09/2012	01/07/2012	\$90,000	\$290,000	\$11,600	Revaluation
18/12/2006	01/10/2006	\$80,000	\$262,000	\$10,480	Revaluation

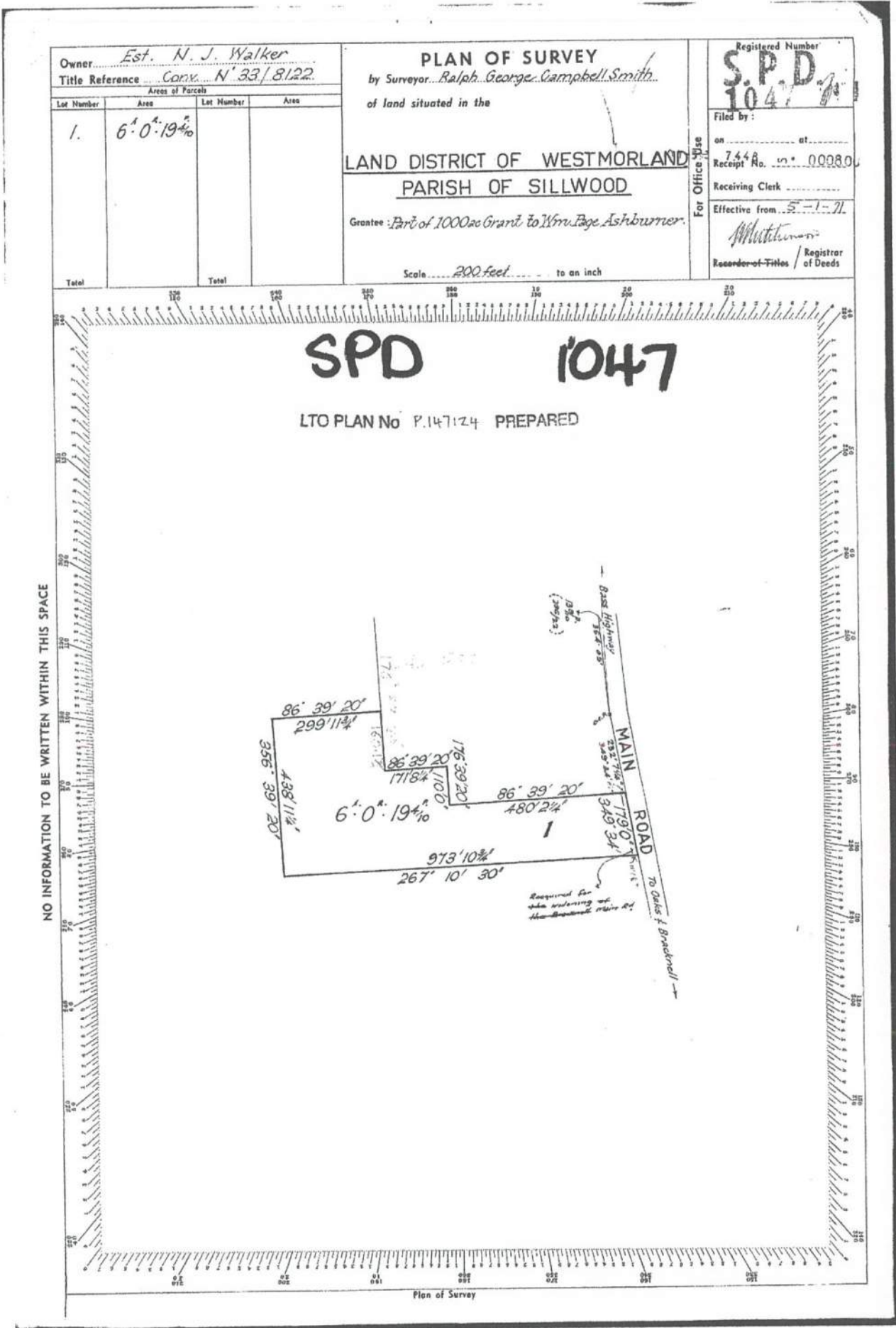
No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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272045



272045

To be completed when additional sheets are annexed:
Detailed drawings of the parcels shown in the above plan are contained in the additional sheet/s annexed hereto and signed by us.

Surveyor: _____

Council Clerk: _____

To be filled in by Surveyor	Survey Commenced	31-7-69
	Survey Finished	1-8-69
Office Examination	Error of Close	
	Plot Checked	
	Mathematically Checked	
	Examined as to Boundaries	
Entered on Card		

Surveyor's Declaration

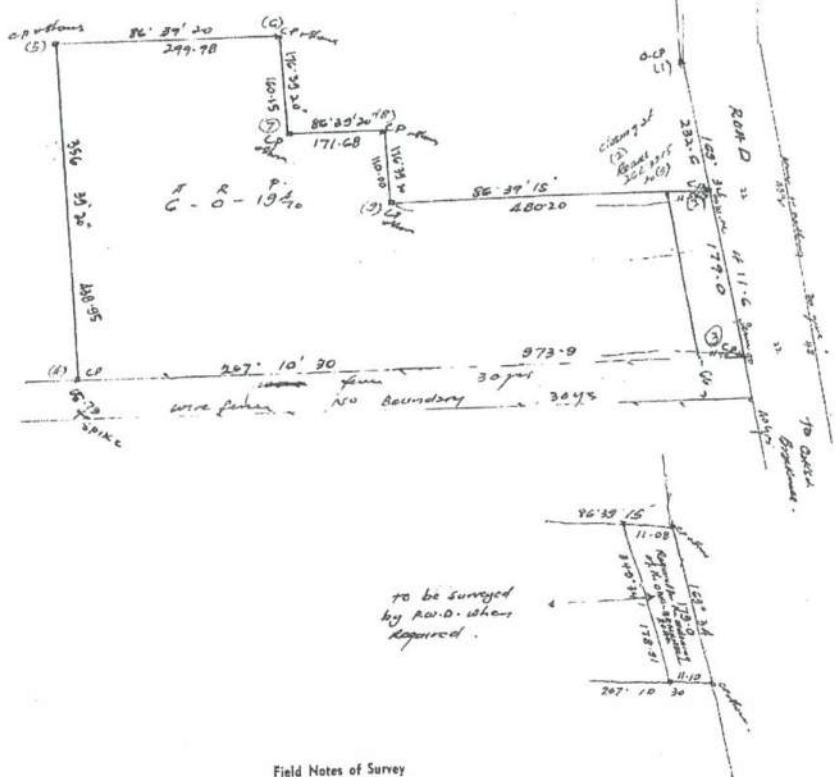
I, Ralph Campbell Smith, of Launceston in Tasmania, registered Surveyor, hereby certify that this plan has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field check, and that both plan and surveys are correct, and have been made in accordance with the Land Surveyors By-Laws 1960.

Ralph Campbell Smith
Registered Surveyor

SPD 1047

WESTERLAND
SKLWOOD
Part of 1000^{sq} Granted to
William Page Kibbourn
Est. N.J. 23/1/61
Owners
Con. No 33/8/22

Note:- As this lot comes in the centre of a large property I have made the connection to R.W.D. Road Requisition survey shown on Plans 296/22. My station (C) is Station (C) of Plan 206/22 R.S.



Field Notes of Survey

272045

APPROVAL BY LOCAL AUTHORITY

The subdivision shown in this Plan is approved

Insert here any qualification to the approval under section 468 (12), section 472, or section 477B of the Local Government Act, 1962. Rule through any blank space.

Seal

The application and proposal plan were submitted on the day of 20/08/2017
 In witness whereof the common seal of the Council of the said municipality has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the day of 20/08/2017, in the presence of us

[Signature] } Members
[Signature] } Council Clerk

N.B. One of these forms must be completed before the Plan is forwarded for registration.

Insert firm name where applicable

NOMINATIONS BY OWNER

For the purposes of section 464 of the Local Government Act 1962, I nominate:

As my solicitor

As my surveyor

Signature of Owner

Note: If the signature of the owner cannot conveniently be procured to the above form, the Council Clerk should complete the following certificate:

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated:

As his solicitor *Tyson & Tyson*

As his surveyor *Campbell Smith & Pedlow*

[Signature]
Council Clerk

D.J.McCulloch Surveying
Consulting Land & Engineering Surveyors

P.O.BOX 725 Riverside,
TAS, 7250

148 West Tamar Road Riverside,
TAS, 7250

Phone:---03 63271394

Mobile:-- 0417 526589

Facsimile :- 63272934

Monday 1st May 2017

Planning Report

Proposed Subdivision

Land at Oaks Road, Whitemore Road, Carrick

Ashburn Holdings & Gilbert Walker owners

Planning Authority: Meander Valley Council

Planning Scheme: Meander Valley Interim Planning Scheme 2013

The Proposed Subdivision

It is proposed to subdivide the existing 516.4ha title to create 3 lots to be used for agricultural purposes (i.e. Lots 1,2 &3) and to add land by boundary adjustment to the existing rural residential 2.477ha title to create a more amenable and manageable parcel (i.e. Lot 4).

There are existing dwellings and outbuildings wholly within the proposed lots 3 & 4. No change in use of the existing dwellings/buildings is proposed by this development application.

The owners Gilbert Walker and Ashburn Holdings Heather Stephens & Gerry Grundy wish to subdivide their existing large property for estate management purposes into parcels that will improve the productive capacity of the land.

Zoning

The whole of the parent title is zoned Rural Resource under the provisions of the Meander Valley Planning Interim Scheme 2013

Compliance with provisions of the Rural Resource Zone

ZONE PURPOSE

26.1.1.1 The proposed development provides for the sustainable use or development of resources for agriculture.

26.1.2 Local Area Objectives

- The development does not compromise the Local Area Objectives

12.1.3 Desired Future Character Statements

- The proposed development will have no effect on the existing rural landscape.

SUBDIVISION (LOTS 1, 2 & 3)

26.4.2

P1

- a) The productive capacity of the land will be improved as a result of this subdivision because:
- The smaller parcels being created will be more manageable agricultural areas.
 - New ownerships have the potential to bring expanded agricultural activities to the land through the use of irrigation and intensive agriculture activities.
 - The smaller parcels being created will be able to be more readily used as security for borrowings for new agricultural activities.

See the attached Agricultural Report by Dr Lee Peterson of Macquarie Franklin for detailed assessment of the suitability of the proposed subdivision.

BOUNDARY ADJUSTMENT SUBDIVISION (LOT 4)

SPECIAL PROVISIONS

9.3.1

- (a) no additional lots are created.
- (b) there is only minor change to the relative size, shape and orientation of the existing lot.
- (c) no setback to an existing building is to be reduced below the applicable minimum setback requirement.
- (d) no frontage is reduced below the applicable minimum frontage requirement.

GENERAL

- This development complies with the objectives of the Meander Valley Interim Planning Scheme 2013 and satisfies the purposes of the Rural Resource Zone thereof.



D.J. McCulloch

8/05/2017

AGRICULTURAL REPORT

Ashburn Oaks Road Carrick

April 2017



 **MACQUARIE
FRANKLIN**
Consultants for business, agriculture and environment



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Report author: Dr Lee Peterson

An appropriate citation for this report is: Macquarie Franklin, *April 2017, Agricultural Report: Ashburn Oaks Road Carrick, TAS*

Document status: Final

Date	Status /Issue number	Authorised by	Transmission method
20/4/2017	Final	L Peterson	Email

This report has been prepared in accordance with the scope of services described in the contract or agreement between Macquarie Franklin and the Client. Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Macquarie Franklin accepts no responsibility for its use by other parties.

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Executive Summary

This report examines the land capability and classification of Ashburn Oaks Road Carrick and the suitability in respect to boundary adjustment and subdivision on the property. There are 2 titles on the property, one large title encompassing all the current agricultural activities and 1 dwelling and associated outbuildings and a small title that is currently only the main house and encompasses further sheds and outbuildings.

The proposal is to subdivide into 4 titles, one of which will be a boundary adjustment of the existing smaller title.

Land classification on the property is predominantly Class 6 due to the large area of conservation covenant in place on remnant vegetation, the majority of the agricultural area is Class 5 with sandy loam soils on the majority of the property and some areas with dolerite outcrops.

The current agricultural use of the property is dryland pasture based livestock production. The proposed subdivision does not impact the upon the current agricultural activities and increases the potential for intensification of agricultural activity should irrigation rights be purchased from the Whitemore Irrigation Scheme pipeline that transects the property.

1 Introduction

This report, prepared by Dr Lee Peterson, Principal Consultant, Macquarie Franklin, has been prepared to provide an expert agricultural assessment of the proposed boundary adjustment and subdivision of Ashburn Oaks Road Carrick.

This report reviews the current agricultural usage of the present land titles and the surrounding region in relation to the Land Capability and Land Classification. This includes soils, aspect, topography, water resource, and impact in relation to agricultural potential.

2 Qualifications and Experience

Dr Lee Peterson is an agricultural science graduate from the University of Tasmania with 33 years of experience in primary industry production, research and consulting. Dr Peterson has worked with a variety of farming enterprises throughout Tasmania. A detailed outline of experience and qualifications is attached in Appendix A.

3 Location and Proposal

The property proposed for boundary adjustment and subdivision, Ashburn Oaks Road Carrick currently consist of two titles, reference 40003/1 and 42/8955.

Title reference 42/8955 is currently 2.5 ha and encompasses an existing house, gardens and outbuildings. Title 22995/1 is approximately 522 ha and encompasses all the current agricultural land as well as a second dwelling associated sheds, stock yards.

The properties are bordered by agricultural land on the east, west and south and road to the north as well as transected by the Bass Highway through the centre of the main property

The proposal is to subdivide the property from 2 Lots to 4 Lots resulting in 3 main agricultural Lots and one Lot that is an enlargement of 42/8955 from 2.5 ha to 5 ha, Appendix B.

4 Land Classification

Land capability of the property was assessed according to the Tasmanian Land Capability Classification System (Grose, 1999). Land is ranked according to its ability to sustain a range of agricultural activities without degradation of the land resource. Class 1 land is the best land and Class 7 land is the poorest. A wide range of limitations are considered and the most significant limitation determines its final classification, or ranking. Limitations in relation to soils include stoniness, topsoil depth, drainage and erosion hazard. Limitations to topography include slope and associated erosion hazard. Limitations relating to climate include low rainfall and frost.

A full explanation of the Land Capability System is available in the *DPIPWE Tasmanian Land Capability Handbook*.

The classification system assumes an average standard of land management and that production will be sustainable if the land is managed according to the guidelines of its Class. The system does not take into account the economics of production, distance from markets, social or political factors, all of which can change over time.

The DIPWE classification has been conducted at 1:100,000 and has assigned the majority of the property as Class 4 + 5 with small area of Class 4 on the south west of the property..

Class 4 land is described as follows:

Land marginally suitable for cropping because of limitations which restrict the range of crops that can be grown, and/or make major conservation treatment and careful management necessary. Cropping rotations should be restricted to one to two years out of ten in a rotation with pasture or equivalent. This land is well suited to intensive grazing.

Class 4 + 5 land is described as follows:

At least 60% Land well suited to grazing but which is limited to occasional cropping or a very restricted range of crops, up to 40% Land unsuited to cropping and with slight to moderate limitations to pastoral use

A more detailed, site specific assessment of land classification of the property proposed for development was undertaken by the author on 20th December 2016.

The attached map (Appendix B) illustrates the extent of each land capability class within the property. Land classification on the property is predominantly Class 6 which is the areas of conservation covenant with areas of Class 5 and Class 4 with varying ranges of subclass limitations also present. On the eastern side of the property there is an area that is Class 6w in a low lying region that is poorly drained. Table 1 provides a detailed description of each land capability class.

Class 5 land is described as follows:

Land with slight to moderate limitations to pastoral use but which is unsuitable for cropping, although some areas on easier slopes may be cultivated for pasture establishment or renewal and occasional fodder crops may be possible. The effects of limitations on the grazing potential may be reduced by applying appropriate soil conservation measures and land management practices.

Class 6 land is described as follows:

Land marginally suitable for grazing because of severe limitations. This land has low productivity, high risk of erosion, low natural fertility or other limitations that severely restrict agricultural use.

Table 1: Land Capability Summary

Land Capability Class ¹	Area (ha)	Limitation	Soil Description	Cropping Suitability Rating ²	Land Use Types ³	Cropping Frequency ⁴
4s1	41.7	Soil structure	Kurosol, sandy loams on tertiary sediments, moderately well drained 3-8% slope	Moderate, Low	IP, DP, DS, ISD	3 to 5/10 years
4s2	4.2	Soil structure	Sodosol, soils developed on dolerite bedrock and colluvium on rolling hills, 3-8% slope.	Moderate, Low	IP, DP, DS, ISD	3 to 5/10 years
5s1	30.3	Soil structure	Dermosol, grey earths on Permian mudstone, prone to crusting, 0-5% slope	Moderate, Low	IP, DP	Annual
5s2	48	Soil structure	Kurosol, very sandy loams on tertiary sediments, prone to Aeolian movement, 3-8% slope	Low	IP, DP	Annual
5s3	68.6	Soil Structure	Sodosol, soils developed on dolerite bedrock and colluvium on rolling hills, 3-8% slope. Rock outcrops	Low	IP,DP	Annual
5w	4.6	Waterlogging	Dermosol grey earths on Permian mudstone, prone to crusting, 0-3% slope, poorly drained	Low	IP,DP	Annual

6	296.4	Topography	Sandy loams on tertiary sediments to grey earths, poor fertility.	NA	NA	NA
6w	26.5	Waterlogging	Dermosol, clay loam on impermeable clay. Low fertility. Low slope (0-5%), prone to pugging	Unsuitable	DP	Annual

¹ Land Capability Class

Land capability was assessed according to the Tasmanian Land Capability Classification System (Grose, 1999). Land is ranked according to its ability to sustain a range of agricultural activities without degradation of the land resource. Class 1 land is the best land and Class 7 land is the poorest. A wide range of limitations are considered and the most significant limitation determines its final classification, or ranking. The classification system assumes an average standard of land management and that production will be sustainable if the land is managed according to the guidelines of its Class. The system does not take into account the economics of production, distance from markets, social or political factors, all of which can change over time.

² Cropping Suitability Rating

- High - Soils with no or only slight limitations to use. Can support a wide range of intensive cropping and grazing activities. Cropping can occur almost continuously with only occasional pasture breaks.
- Moderate - Soils with moderate limitations to use. Conservation practices and sound management are needed to overcome limitations. Regular short-term pasture breaks are also required.
- Low - Soils suited to occasional cropping through severe limitations. Major conservation treatments and/or careful management required to minimise degradation.
- Very low - Very limited cropping with long pasture breaks (greater than 8 years).
- Unsuitable - No cropping should be undertaken.

³ Land Use Types

- DP (Dryland pasture)
- IP (Irrigated pasture)
- DS (Dryland surface cropping; i.e. cereals and poppies)
- ISD (Irrigated surface cropping – dry harvest; i.e. cereals, poppies, carrot seed and grass seed)
- ISW (Irrigated surface cropping – wet harvest; i.e. peas, beans and broccoli)
- IRC (Irrigated root cropping; i.e. potatoes and carrots)
- H (Horticulture; i.e. grapes, olives and fruit)
- F (Forestry)

⁴ Cropping Frequency is given as an approximate range only. It assumes that best practices are being implemented in relation to soil management, sustainable crop rotations undertaken, and that seasonal and long term climatic conditions are favourable for cropping activities. Best practice soil management includes cultivation at an appropriate soil moisture level so as to maintain soil structure, management of cropping residues to assist in maintaining soil structure, and implementation of the most appropriate cultivation techniques. The lower range pertains to a more intensive cropping rotation (i.e. typically including irrigated root cropping) and/or less favourable seasonal/growing conditions. The upper range pertains to non-intensive cropping rotations (i.e. cereals and poppies) and/or more favourable seasonal/growing conditions (see Appendix 1). Cropping frequency does not include irrigated pasture which can be irrigated annually.

5 Soils

Two main soil types are present on the property. The majority of the property is a Kurosol, sandy loams on tertiary sediments, moderately well drained. These soils are generally low fertility, moderate to low permeability but prone to water logging in poorly drained areas. The major limitation is care when cultivation, if soils are left cultivated they are prone to mass movement particularly Aeolian.



Class 4 land with improved pasture also suitable for irrigated cropping

The second soil type is a sandy loam on dolerite that has outcrops of dolerite rock in places. These soils have potential for cropping where rock outcrops do not occur, they are generally moderately fertile and produce good pasture and respond well to irrigation increasing productivity.



Dolerite outcrops in Class 5 areas limiting cropping potential

6 Climate

The climate of the region is described by Noble (1992) as mild to cool maritime climate which is favourable for agricultural production. This maritime influence decreases with distance inland from the coast, and with increasing altitude.

The main agriculturally significant climate changes that occur at the properties distance inland are increasing rainfall and frost events. The nearby weather station at the Cressy (091022) has a long term average rainfall of 620mm which is moderate and relatively evenly spread.

However the frost frequency and timing is critical for any flowering crops.

Table 2	August	September	April
Number of days below 2 degrees (deemed frost risk)	14.6	9.7	7.5

Table 2 indicates the average number of days where temperatures drop below 2 degrees Celsius. This is deemed high risk for most temperate perennial flowering crops but is lower risk for many annual crops.

Large rainfall events and heat spikes have significantly damaged agricultural production in other regions of Australia in recent years, this region is moderately prone to such events but deemed a lower risk than the frost risk.

7 Waterways, Native Vegetation and Threatened Species

The property has historically been cleared for pasture improvement and many areas of remnant vegetation left as shelter belts. Significant areas of conservation covenant have been established, a total of 166.3 ha.

There are no significant direct or indirect impacts anticipated from the boundary adjustment and subdivision as proposed.

8 Existing Infrastructure

There are current 2 residences, one on each of the existing titles. The boundary adjustment of 42/8955 will adhere the land that encompasses outbuildings and small area of pasture. The proposed Lot 3 will encompass the second dwelling and existing sheds, yards as a separate 154 ha Lot. There is no exiting infrastructure on the remainder of the property other than stock water holes that will be encompassed by proposed Lots 1 and 2.

9 Water Resources

There are no dams on the property of any significance for irrigation but there is livestock waterholes. There is a Tasmanian Irrigation Scheme pipeline that traverses the property but no outlet or associated water rights are currently utilised on the property. However there is potential to acquire irrigation rights from Tasmanian Irrigation as the property is within the Whitemore Irrigation District.

10 Current Agricultural Activities

The property Ashburn Oaks Road Carrick is currently operated as a livestock enterprise. The proposed subdivision will not change the agricultural use of the main property title or limit any land from agricultural activity.

11 Weeds and pests

Weeds present are typical of the region and main noxious weed present is gorse. The only other weeds present are typical pasture weeds of the region that are easily controlled given the correct management.

12 Erosion

The soils types and low slopes do provide some risk of soil mass movement either by wind or water if left without ground cover. There are small areas of soils that are prone to tunnel erosion but the slopes are low and the risk is minimal.

13 Fire Management

Fire risk is low in all areas. The predominant ground cover is pasture species.

14 Meander Valley Interim Planning Scheme 2013

Section 26.1 of the Scheme outlines the purpose of the Rural Resource zone.

Scheme	Response
26.1.1 To provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunities for resource processing.	The assessment above reveals that the proposed subdivision has no impact on the current agricultural activity.
26.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.	The proposed subdivision will not conflict with resource development uses for the zone. No change in use will result
26.1.3 To provide for economic development that is compatible with primary industry, environmental and landscape values.	This is not relevant in respect to the proposed development as no change in use.
26.1.4 To provide for tourism-related use and development where the sustainable development of rural resources will not be compromised.	This is not relevant in respect to the proposed development.

Clause 26.1.5 outlines the Local Area Objectives.

Scheme	Response
<p>a) Primary Industries: Resources for primary industries make a significant contribution to the rural economy and primary industry uses are to be protected for long-term sustainability. The prime and non-prime agricultural land resource provides for variable and diverse agricultural and primary industry production which will be protected through individual consideration of the local context. Processing and services can augment the productivity of primary industries in a locality and are supported where they are related to primary industry uses and the long-term sustainability of the resource is not unduly compromised.</p> <p>b) Tourism Tourism is an important contributor to the rural economy and can make a significant contribution to</p>	<p>The proposed subdivision supports the Primary Industry objective. Potential exists to increase the productivity of all proposed Lots through purchase of irrigation rights.</p> <p>This is not relevant in respect to the proposed subdivision.</p>

Scheme	Response
<p>the value adding of primary industries through visitor facilities and the downstream processing of produce. The continued enhancement of tourism facilities with a relationship to primary production is supported where the long-term sustainability of the resource is not unduly compromised.</p> <p>The rural zone provides for important regional and local tourist routes and destinations such as through the promotion of environmental features and values, cultural heritage and landscape. The continued enhancement of tourism facilities that capitalise on these attributes is supported where the long-term sustainability of primary industry resources is not unduly compromised.</p> <p>c) Rural Communities</p> <p>Services to the rural locality through provision for home-based business can enhance the sustainability of rural communities. Professional and other business services that meet the needs of rural populations are supported where they accompany a residential or other established use and are located appropriately in relation to settlement activity centres and surrounding primary industries such that the integrity of the activity centre is not undermined and primary industries are not unreasonably confined or restrained.</p>	<p>The proposed subdivision supports the Rural Communities objective as it will provide potential opportunities to employ casual labour as a result of any agricultural intensification</p>

Clause 26.3.3 of the Scheme outlines the use standards for irrigation districts.

<p>Objective: To ensure that land within irrigation districts proclaimed under Part 9 of the <i>Water Management Act 1999</i> is not converted to uses that will compromise the utilisation of water resources.</p>	
Acceptable Solution	Performance Criteria
<p>A1 Non-agricultural uses are not located within an irrigation district proclaimed under Part 9 of the <i>Water Management Act 1999</i>.</p>	<p>P1 Non-agricultural uses within an irrigation district proclaimed under Part 9 of the <i>Water Management Act 1999</i> must demonstrate that the current and future irrigation potential of the land is not unreasonably reduced having regard to:</p> <ul style="list-style-type: none"> a) the location and amount of land to be used; and b) the operational practicalities of irrigation systems as they relate to the land; and c) any management or conservation plans for the land.
<p>Response</p> <ol style="list-style-type: none"> 1. Objective – no change in current land use. 2. No planned non-agricultural use proposed. 	

15 PAL Policy

Background

An assessment of land capability is required to ensure that the proposed development does not conflict with the principles outlined in State Policy on the Protection of Agricultural Land 2009 (PAL Policy). The purpose of the PAL Policy is to conserve and protect agricultural land so that it remains available for the sustainable development of agriculture, recognising the particular importance of prime agricultural land.

Principles

The PAL Policy is guided by 11 Principles. These Principles are discussed in detail below. Note that no one Principle should be read in isolation from the others to imply a particular action or cause and that generally the Principles are to be implemented through the planning scheme as it states in the PAL Policy.

Principle	Response
1. Principle 1: Agricultural land is a valuable resource and its use for the sustainable development of agriculture should not be unreasonably confined or restrained by non-agricultural use or development.	No change in agricultural use.
2. Principle 2: Use or development of prime agricultural land should not result in unnecessary conversion to non-agricultural use or agricultural use not dependent on the soil as the growth medium.	This is not applicable in this case. No prime agricultural land present.
3. Principle 3: Use or development, other than residential, of prime agricultural land that is directly associated with, and a subservient part of, an agricultural use of that land is consistent with this Policy.	This is not applicable in this case. No prime agricultural land present
4. Principle 4: The development of utilities, extractive industries and controlled environment agriculture on prime agricultural land may be allowed, having regard to criteria, including the following: <ol style="list-style-type: none"> a. minimising the amount of land alienated; 	This is not applicable in this case.

Principle	Response
<ul style="list-style-type: none"> b. minimising negative impacts on the surrounding environment; and c. ensuring the particular location is reasonably required for operational efficiency. 	
<p>5. Principle 5: Residential use of agricultural land is consistent with this Policy where it is required as part of an agricultural use or where it does not unreasonably convert agricultural land and does not confine or restrain agricultural use on or in the vicinity of that land.</p>	<p>No change in residential use is proposed within the boundary adjustment.</p>
<p>6. Principle 6: Proposals of significant benefit to a region that may cause prime agricultural land to be converted to non-agricultural use or agricultural use not dependent on the soil as a growth medium, and which are not covered by Principles 3, 4 or 5, will need to demonstrate significant benefits to the region based on an assessment of the social, environmental and economic costs and benefits.</p>	<p>This is not applicable in this case.</p>
<p>7. Principle 7: The protection of non-prime agricultural land from conversion to non-agricultural use will be determined through consideration of the local and regional significance of that land for agricultural use.</p>	<p>This is not applicable in this case.</p>
<p>8. Principle 8: Provision must be made for the appropriate protection of agricultural land within irrigation districts proclaimed under Part 9 of the Water Management Act 1999 and may be made for the protection of other</p>	<p>The subject title is within an irrigation district. No change in land use is proposed by the subdivision and potential exists to acquire irrigation rights and intensify the current agricultural land.</p>

Principle	Response
<p>areas that may benefit from broad-scale irrigation development.</p>	
<p>9. Principle 9: Planning schemes must not prohibit or require a discretionary permit for an agricultural use on land zoned for rural purposes where that use depends on the soil as the growth medium, except as prescribed in Principles 10 and 11.</p>	<p>This is not applicable in this case.</p>
<p>10. Principle 10: New plantation forestry must not be established on prime agricultural land unless a planning scheme reviewed in accordance with this Policy provides otherwise. Planning scheme provisions must take into account the operational practicalities of plantation management, the size of the areas of prime agricultural land, their location in relation to areas of non-prime agricultural land and existing plantation forestry, and any comprehensive management plans for the land.</p>	<p>This is not applicable in this case.</p>
<p>11. Principle 11: Planning schemes may require a discretionary permit for plantation forestry where it is necessary to protect, maintain and develop existing agricultural uses that are the recognised fundamental and critical components of the economy of the entire municipal area, and are essential to maintaining that economy's sustainability.</p>	<p>This is not applicable in this case.</p>

16 References

Grose C.J. (1999) Land Capability Handbook: Guidelines for the Classification of Agricultural Land in Tasmania. 2nd Edition, DPIWE, Tasmania

Noble K.E. (1992) Land Capability Survey of Tasmania. Tamar Report, Land Capability Study, DPIWE, Tasmania

17 Declaration

I declare that I have made all the enquiries which I consider desirable or appropriate, and no matters of significance which I regard as relevant have, to my knowledge, been withheld.

Dr Lee Peterson B. Agri. Sci (Hons), ISHS, MAICD, CPag, PhD
Principal Consultant
Macquarie Franklin Pty Ltd
April 2017

18 Appendices

[Appendix A: Profile Dr Lee Peterson](#)

[Appendix B: Proposed new title boundary and land capability assessment](#)

**Position:**

Principal Consultant

Qualifications:

B Ag Sc (Hons) University of Tasmania

PhD (Ag Science) Horticultural Research Group University of Tasmania

Professional Associations:

Certified Practicing Agriculturalist (CPAg)

Company Directors Graduate Diploma 2007

Member of the International Society of Horticultural Science

Contact Details:

M: 0418 141 762

E: lpeterson@macfrank.com.auwww.macquariefranklin.com.au

Tech 4, Unit 2 Technopark Innovation Drive

Dowsing Point TAS 7010

INTRODUCTION

Dr Lee Peterson is an agricultural professional with extensive expertise in many aspects of agricultural production gained over a period of 30 years in industry, consulting and research. Lee has considerable experience in the areas of new crop development, horticultural production systems, plant extracts and waste stream management in agricultural.

PROFESSIONAL EXPERIENCE

2011 – present: Principal Consultant Macquarie Franklin

2005-2011: Executive Director – Agribusiness
Agricultural Resource Management (AGRM Pty Ltd)

2000- 2004: Agricultural Resource Management Group

1998- 1999: Serve-Ag Senior Project Agronomist

1996-1997: Private agricultural consultancy and contract research provider

1993- 1995: General Manager of Essential Oils of Tasmania

1989- 1993: Production Manager of Essential Oils of Tasmania

1985- 1989: Post-Graduate at the University of Tasmania

1984- 1985: Agricultural Officer with the Tasmanian Department of Agriculture, Pasture and Field Crops Branch

RECENT PROJECTS

- Technical advisor to Houston's Farm roles include production system development, variety assessment, market research, crop scheduling, pesticide strategies, IPM program and representation of the company in respect to technical issues such as biosecurity and IPM
- Tasmanian contractor for the CSIRO land use and management information system estimating changes in soil carbon from changes in land use, an Australian Greenhouse Organisation project
- Project manager for the agricultural component of 8 wastewater reuse developments including Tasmania's two largest schemes, Brighton and Clarence.
- Agricultural advisor to United Utilities bid to develop effluent reuse for Ballarat North waste water treatment plant.
- Independent advisor and author to the "Environmental Guidelines for Recycled Water Use in Tasmania, 2002".

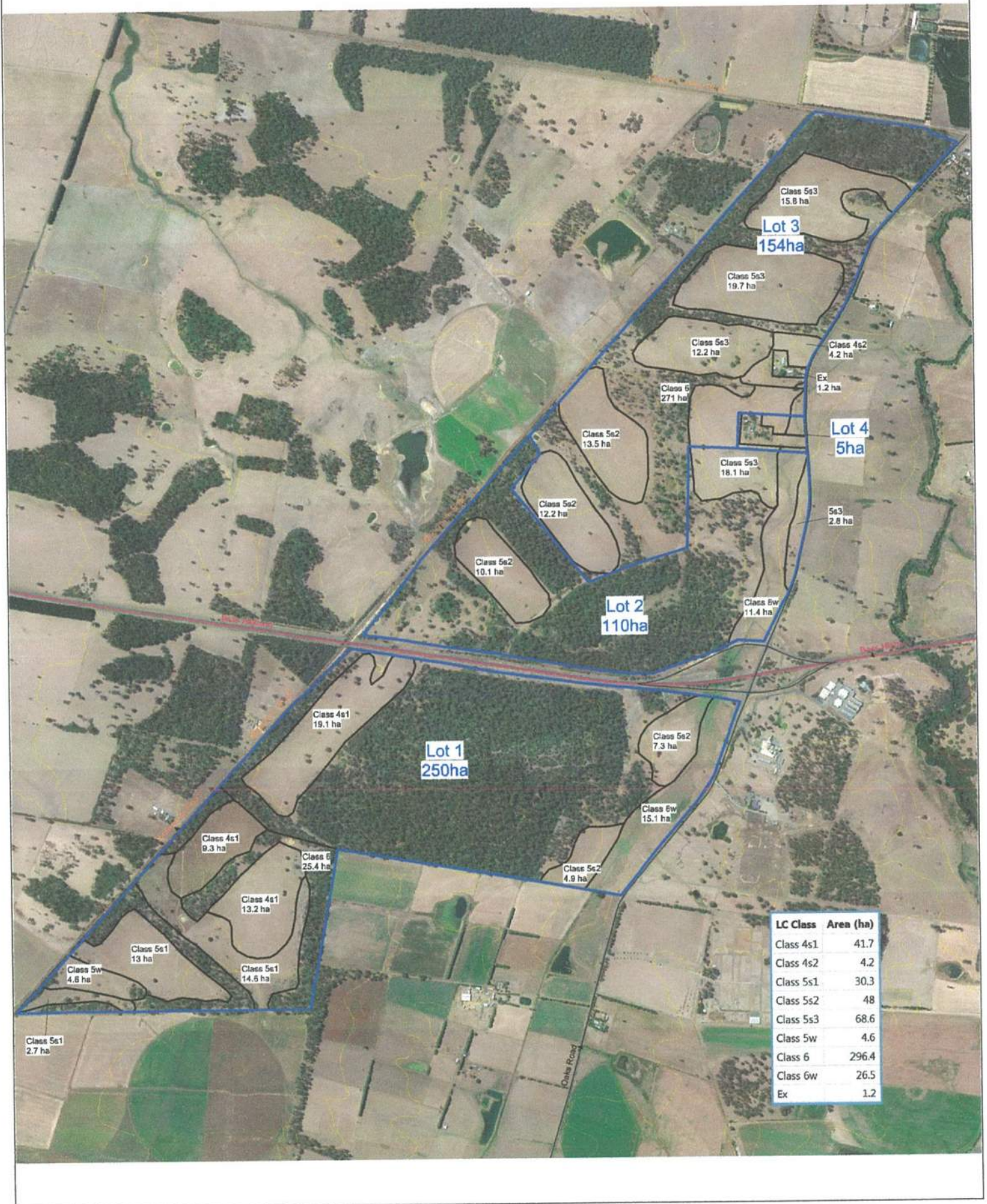
Areas of Expertise

- New crop development including essential oils, culinary herbs, medicinals and leafy vegetables
- Design of innovative harvest systems for new crops
- Waste water and effluent reuse
- Agricultural research and development
- Sustainable agricultural system design and implementation
- Environmental monitoring
- Plant physiology
- Land capability assessment
- Group training
- Agribusiness and financial management
- Socio and economic impact assessment

Macquarie Franklin Expertise

- Economic studies
- Business and farm management
- Feasibility studies
- State and regional development
- Irrigation and water development
- Land capability and mapping
- Natural resource management
- Training and extension
- Technical agricultural

- Development of annual soil monitoring programs for Clarence, Brighton and Collinsvale reuse schemes.
- Project Manager for the land capability assessment for the Meander Dam Development Proposal
- Agricultural potential study for the Jordan Dam Feasibility Study
- Review of the Australian Lavender industry for RIRDC
- Partner in the largest Boronia plantation development ever undertaken
- Project manager for Rekuna Pty Ltd, a Panax ginseng production company supported by an AusIndustry Commercial Ready Grant
- Climatic and resource suitability assessment for salad vegetable production on Australia's east coast, including risk assessment
- Technical advisor to Raspberry Fresh, out of season glasshouse raspberry production company
- Study tour and technical review of latest developments in hydroponic production of salad vegetables, Canada, Belgium, Holland and Italy
- Project manager for field services operation establishment for Tasmanian Poppy Enterprises
- Technical advisor to South Pacific Oils, essential oil production and extraction company, Vanuatu – Sandalwood production and research
- Technical resource to Southern Water for the coordinate and manage Tasmania's largest agricultural recycled water irrigation scheme, the Clarence Recycled Water (CRW)
- Technical advisor to Heydon Park Olives, Talmalmo, Victoria
- Production system economic assessment and inputs for TIDB feasibility studies – Musselrow, Great Forester and South East irrigation scheme developments
- Land capability assessments for numerous properties to support agricultural development, subdivision of non-agricultural land and expert witness reporting for legal representation
- Review of Industrial Hemp as a commercial cropping opportunity in Tasmania
- Review of pyrethrum industry strategic plan and industry development officer program
- Economic and socio analysis of the impact of blueberry rust incursion to the Tasmanian blueberry industry
- Site assessment, property liaison and development of Irrigation and Ground Water Management Plans for effluent management of Tassal hatchery expansion at Ranelagh and waste processing plant at Triabunna including representation to EPA



Land Capability Assessment
"Ashburn"



Macquarie Franklin
112 Wright Street
East Devonport Tas 7510
Ph: (03) 6427 3300
www.macquariefranklin.com.au



Print Date: 20th April 2017

Datum: GDA94 (Zone 55)
Created by: Mick Lehman
Reference: Mapping/LP



0 250 500
metres

1 : 15,000 @ A3

- LEGEND**
- Property Boundary
 - Proposed Subdivision
 - Highway
 - Major Road
 - Road
 - Contour (10m)
 - Land Capability Boundary

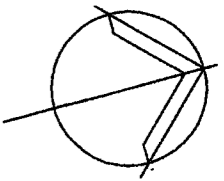




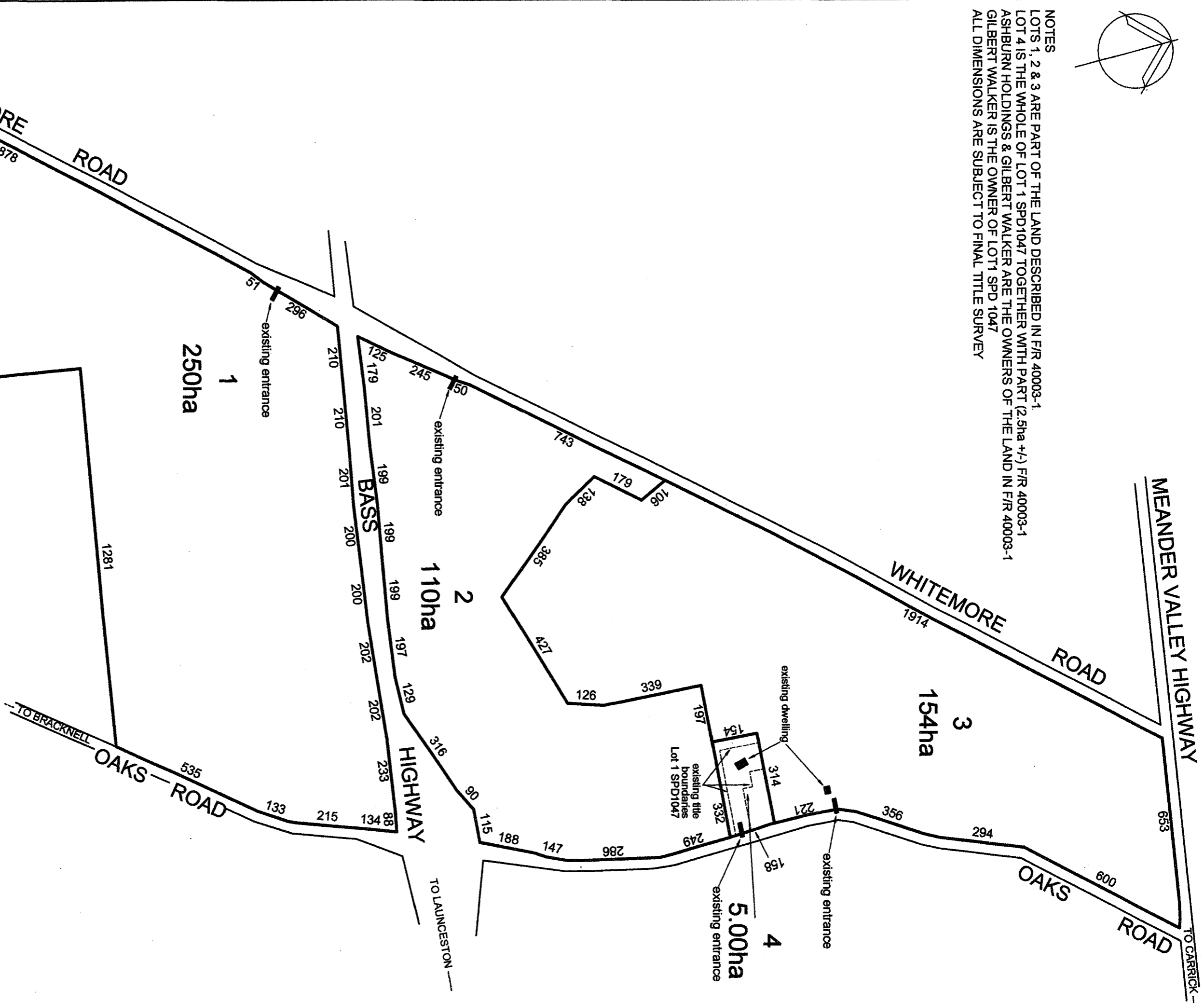

 Registered Land Surveyor 01/05/2017 Date
 Job No. 1200-1639
Plan Number
3916-02DA

D.J.McCULLOCH Surveying
 AUTHORISED LAND, ENGINEERING & MINING SURVEYORS
 PO BOX 725 PHONE 03 63271394 FACSIMILE 03 63272934
 RIVERSIDE MOBILE 0417526589 EMAIL:- mccullidj@bigpond.net.au
 TAS 7250
PROPOSED SUBDIVISION
 Ashburn Holdings & Gilbert Walker Owners
 Whitmore Road / Oaks Road, Carrick
 Title Reference - F/R 40003/1& Conv.42/8955
 Development Application for Planning Permit
 Meander Valley Council

This plan has been prepared as a proposed subdivision plan to accompany an application to Council for Planning Approval and it should not be used for any other purpose. The dimensions, areas, boundary positions and number of lots are subject to final survey and also to the requirements of Council and any other authority acting under any relevant legislation. In particular no reliance should be placed on the information shown on this plan for any legal or financial dealings involving the subject or adjoining lands. This note is an integral part of this plan.



NOTES
 LOTS 1, 2 & 3 ARE PART OF THE LAND DESCRIBED IN F/R 40003-1
 LOT 4 IS THE WHOLE OF LOT 1 SPD1047 TOGETHER WITH PART (2.5ha +/-) F/R 40003-1
 ASHBURN HOLDINGS & GILBERT WALKER ARE THE OWNERS OF THE LAND IN F/R 40003-1
 GILBERT WALKER IS THE OWNER OF LOT 1 SPD 1047
 ALL DIMENSIONS ARE SUBJECT TO FINAL TITLE SURVEY



Registered Land Surveyor Date
 SCALE 1:12,500 (A3)
 Job No. 1200-1639
 Plan Number
 3916-01DA-R1

D.J. McCulloch Surveying
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 MOBILE 0417526889 EMAIL: d.mcculloch@bigpond.net.au

PROPOSED SUBDIVISION
 Ashburn Holdings & Gilbert Walker Owners
 Whitmore Road / Oaks Road, Carrick
 Title Reference - F/R 40003/1 & Conv 42/8955
 Development Application for Planning Permit
 Meander Valley Council

Revision 1 = Existing entrances added 23/05/2017

Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

'Ashburn', 126 Oaks Road, Carrick



Prepared for (Client)

D.J. McCulloch Surveying

PO Box 725

RIVERSIDE TAS 7250

Assessed & Prepared by

Rebecca Green

Senior Planning Consultant & Accredited Bushfire Hazard Assessor

Rebecca Green & Associates

PO Box 2108 LAUNCESTON TAS 7250

Mobile: 0409 284 422

Version 1

28 May 2017

Job No: RGA-B601

Executive Summary

The proposed development at 'Ashburn', 126 Oaks Road, Carrick, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

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Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Meander Valley Interim Planning Scheme 2013, the Building Code of Australia and Australian Standards, *AS 3959-2009, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a 4 Lot Subdivision at 126 Oaks Road, Carrick. Two lots currently exist; the proposal is for two additional lots.

Lot 1 will have an area of approximately 250 hectares and will front Oaks Road, Whitemore Road and Bass Highway. Lot 1 is to continue to be used for rural purposes.

Lot 2 will have an area of approximately 110 hectares and will front Oaks Road, Whitemore Road and Bass Highway. Lot 2 is to continue to be used for rural purposes.

Lot 3 will have an area of approximately 154 hectares and will front Oaks Road, Whitemore Road and Meander Valley Highway. Lot 3 will contain an existing dwelling and be used for residential and rural purposes.

Lot 4 will have an area of approximately 5.0 hectares and will front Oaks Road. Lot 4 will contain an existing dwelling and be used for residential purposes.

2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan

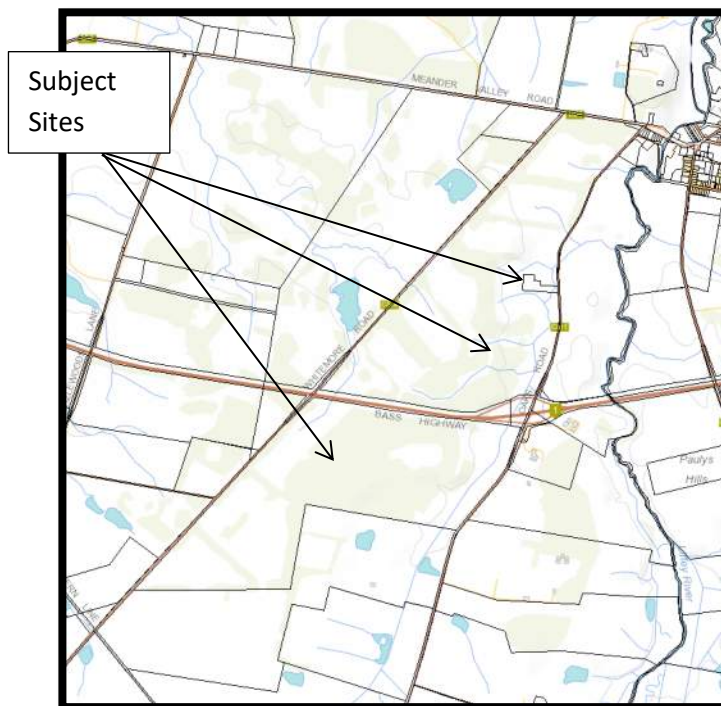


Figure 1: Location Plan of 126 Oaks Road, Carrick

2.2 Site Details

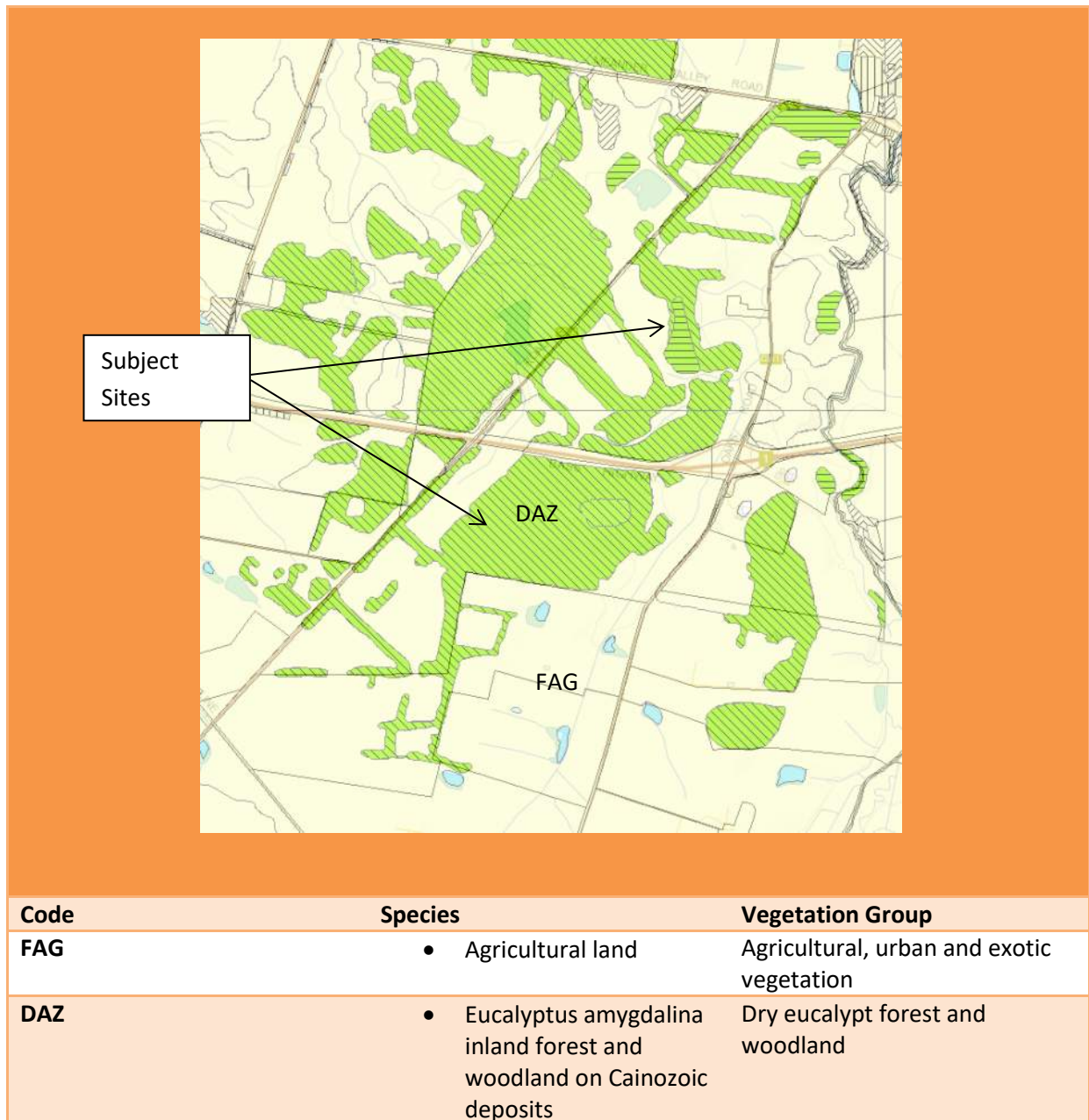
Property Address	'Ashburn', 126 Oaks Road, Carrick
Certificate of Title	Volume 40003 Folio 1 and Volume 42 Folio 8955
Owner	Ashburn Holdings Pty Ltd and Gilbert Michael Walker
Existing Use	Residential and Rural
Type of Proposed Work	4 Lot Subdivision
Existing Structures	2 x dwelling and outbuildings
Water Supply	On-site for fire fighting for Lots 1, 2 and 3.
Road Access	Oaks Road, Whitemore Road, Meander Valley Highway and Bass Highway

3.0 Bushfire Site Assessment

3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



3.1.2 Site & Vegetation Photos



Looking northwest towards Lot 1 from Oaks Road



Looking north towards Lot 1 from Oaks Road



View looking west towards Lot 1 from Oaks Road



View looking west towards Lot 2 from Oaks Road



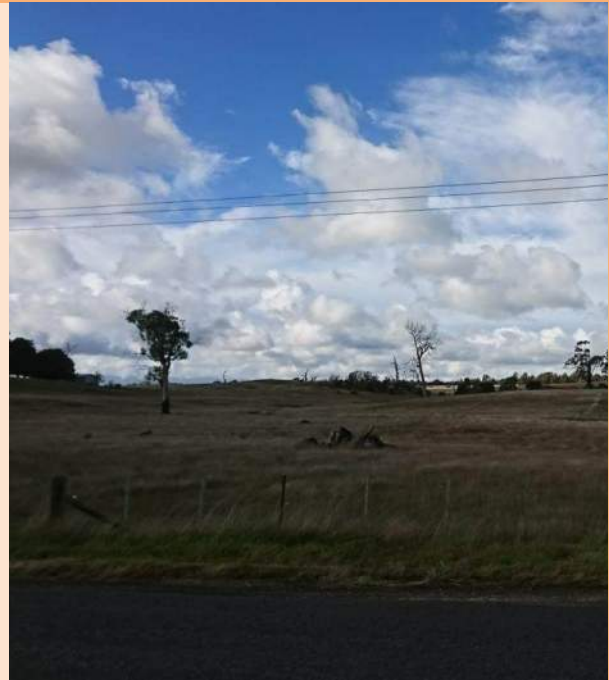
View looking west towards Lot 4 from Oaks Road



View looking east from Lot 4



View looking west towards dwelling on Lot 3 from Oaks Road



View looking east from Lot 3



View looking north towards Lot 3 from Oaks Road



View looking east towards Lot 3 from Whitemore Road



View looking southeast towards Lot 3 from Whitemore Road



View looking east towards Lot 1 from Whitemore Road



View looking east towards Lot 1 from Whitemore Road

3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 1.6.1 of Interim Planning Directive No. 1 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.4.4 of AS3959-2009 Construction of Buildings in Bushfire Prone Areas for **BAL 19**.

Lot 1

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input checked="" type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Forest	<input checked="" type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m Grassland 23-<32 Forest	10-<14m Grassland	10-<14m Grassland 23-<32 Forest	10-<14m Grassland 23-<32 Forest

Lot 2

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input checked="" type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m Grassland 15-<22 Woodland	10-<14m Grassland 23-<32m Forest	10-<14m	10-<14m

Lot 3

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m Grassland	10-<14m Grassland 23-<32 Forest	10-<14m	10-<14m Grassland

Lot 4

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m Grassland	10-<14m Grassland 15-<22 Woodland	10-<14m	10-<14m Grassland 15-<22 Woodland

BAL – 19	<p>The risk is considered to be MODERATE.</p> <p>There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m².</p>
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3.3 Outbuildings

Not applicable - existing.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

<p>New – Lots 1, 2 and 3 Road Access and Driveways</p>	<p>Access via direct road frontage</p> <p>Private access driveway / roads are to be constructed/maintained from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply (if applicable). Private access roads are to be constructed/maintained to a standard not less than specified in Table E2.</p>
<p>Lot 4 Road Access and Driveways</p>	<p>Access via existing direct road frontage.</p> <p>Private access driveway / roads are to be <u>maintained</u> from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply. Private access roads are to be maintained to a standard not less than specified in Table E2.</p>

Table E2: Standards for Property Access

The following design and construction requirements apply to property access length is 30 metres or greater or access for a fire appliance to a fire fighting point):

- (i) All weather construction;
- (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (iii) Minimum carriageway width of 4 metres;
- (iv) Minimum vertical clearance of 4 metres;
- (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (vi) Cross falls of less than 3 degrees (1:20 or 5%);
- (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (viii) Curves with a minimum inner radius of 10 metres;
- (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (x) Terminate with a turning area for fire appliances provided by one of the following:
 - a) A turning circle with a minimum inner radius of 10 metres;
 - b) A property access encircling the building; or
 - c) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.

3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a Habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (lay) connected to –

- (i) A fire hydrant with a minimum flow rate of 600L per minute and pressure of 200kpa; or
- (ii) A stored water supply in a water tank, swimming pool, dam or lake available for firefighting at all times which has the capacity of at least 10,000L for each separate building.

New – Lots 1, 2 and 3 On-site Dedicated Fire Fighting Water Supply	On-site water supply is required for any new dwelling/additions.
Lot 4	No increase in risk – 1 x existing dwelling.

It should be recognised that although water supply as specified above may be in compliance with the requirements of the Building Code of Australia, the supply may not be adequate for all firefighting situations.

Table E5: Static Water Supply for Fire Fighting

Column 1		Column 2
Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (1) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and (2) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B.	Static Water Supplies	A static water supply: <ul style="list-style-type: none"> (1) May have a remotely located offtake connected to the static water supply; (2) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (3) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (4) Must be metal, concrete or lagged by non-combustible materials if above ground; and (5) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009 the tank may be constructed of any material provided that the lowest 400mm of the

		<p>tank exterior is protected by:</p> <ul style="list-style-type: none"> (a) Metal; (b) Non-combustible material; or (c) Fibre-cement a minimum 6mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <ul style="list-style-type: none"> (1) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal diameter of 50mm; (3) Be metal or lagged by non-combustible materials if above ground; (4) if buried, have a minimum depth of 300mm; (5) Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment; (6) Ensure the coupling is accessible and available for connection at all times; (7) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (8) Ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (9) If a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (a) Visible; (b) Accessible to allow connection by fire fighting equipment; (c) At a working height of 450-600mm above ground level; and (d) Protected from possible damage, including damage from vehicles.
D.	Signage for static water connections	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <ul style="list-style-type: none"> (1) Comply with water tank signage requirements within AS 2304-2011 Water storage tanks for fire protection systems; or (2) be: <ul style="list-style-type: none"> (a) marked with the letter “W” contained within a circle with the letter in upper case of not less than 100mm in height; (b) in fade-resistant material with white reflective lettering and circle on a red background; (c) located within 1m of the fire fighting water point in a situation which will not impede access or operation; and (d) no less than 400mm above the ground.
E.	Hardstand	<p>A hardstand area for fire appliances must be provided:</p> <ul style="list-style-type: none"> (1) No more than 3m from the fire fighting water point, measured as a hose lay (including the minimum

- water level in dams, swimming pools and the like);
- (2) No closer than 6m from the building area to be protected;
 - (3) a minimum width of 3m constructed to the same standard as the carriageway; and
 - (4) Connected to the property access by a carriageway equivalent to the standard of the property access.

4.0 Bushfire-Prone Areas Code Assessment Criteria

Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

E1.4 – Exemptions – No increase in risk to existing dwelling on Lot 4 as Lot 4 will increase in size. Adequate separation to boundaries is existing. Any future additions to the dwelling on Lot 4 will require a separate assessment, however, it is demonstrated that the lot can provide for a BAL 19 building area.

E1.5 Vulnerable Uses – Not applicable.

E1.6.1 Subdivision

E1.6.1.1 Hazard Management Areas

		Comments
<input checked="" type="checkbox"/>	A1 (b)	Specified distances for Hazard Management Areas for BAL 19 as specified on the plan are in accordance with AS3959. The proposal complies.

P1

E1.6.2 Public Access

		Comments
<input checked="" type="checkbox"/>	A1 (a)	Lot 4 contains an existing dwelling. Adequate separation to boundaries is existing. There is insufficient increase in risk to the existing dwelling by the proposed subdivision.

<input checked="" type="checkbox"/>	A1 (b)	The private driveway to Lots 1, 2 and 3 will be constructed/maintained in accordance with Table E2. The property access is greater than 30 metres.
-------------------------------------	---------------	--

P1

A2 Not applicable.

P2 No PC

E1.6.3 Water supply for fire fighting purposes

		Comments
<input type="checkbox"/>	A1	Not applicable.

P1 No PC

<input checked="" type="checkbox"/>	A2 (a)	Lot 4 contains an existing dwelling. Adequate separation to boundaries is existing and increasing. There is insufficient increase in risk to the existing
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dwelling by the proposed subdivision.		
<input checked="" type="checkbox"/>	A2	(b) It is proposed that Lots 1, 2 and 3 will need to have its own independent firefighting water supply for any future dwelling/additions. A new dwelling on each lot is to be supplied with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table E5.
<input type="checkbox"/>	P2	No PC

5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Not relevant to this proposal.

7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 19 in Table 2.4.4 of AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas.

Access

Lots 1, 2 and 3 - The driveway to each lot is to be constructed/maintained of all-weather construction, with a minimum width of access of 4 metres.

Lot 4 – Existing access is not restricted.

Water Supplies

Lots 1, 2 and 3 - On-site water storage – 10,000 litre dedicated fire fighting water supply, water tank, swimming pool, dam or the like is to be provided to any future dwelling or additions to existing dwelling on Lot 3.

Lot 4 – Insufficient increase in risk to existing dwelling.

Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2.

Schedule 2 – Bushfire Hazard Management Plan

Access Road (All lots):

Private access roads are to be constructed (Lots 1, and 2) and maintained (Lots 3 and 4) from the entrance to the property cross-over with the public road through to the dwelling and water storage on the site.

- > All-weather construction (minimum)
- > Minimum carriageway width of 4 metres
- >Vegetation must be cleared for a height of 4 metres above the carriageway and 0.5 metres each side of the carriageway
- >Must terminate with a turning area for fire appliances of either a turning circle with a minimum inner radius of 10 metres, a property access encircling the building, or a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long

Hazard Management- Vegetation Management:

Vegetation in the hazard management area (as dimensioned and shown) is to be managed and maintained in a minimum fuel condition

On-Site Water Storage (Lots 1, 2 and 3 - Future Dwelling/additions):

10,000 litre dedicated fire fighting water supply tank, Swimming pool, Dam or the like is to be provided as specified below:

- > Tanks above ground pipes and fittings must be made of non-rusting, non-combustible, non-heat-deforming materials
- > Tanks and fittings must be situated more than 6 metres from a building but contained within the hazard management area
- > Tanks must be fitted with a standard compliant forged storz 65mm adaptor fitted with a standard (delivery) washer rated to 1800kPa working pressure and 2400kPa burst pressure
- >The building area to be protected must be located within 90 metres of the water connection point of a static water supply (measured as a hose lay)



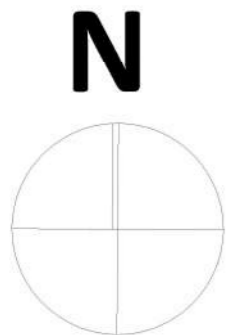
BUSHFIRE HAZARD MANAGEMENT PLAN

'Ashburn', 126 Oaks Road, CARRICK

4 Lot Subdivision

Bushfire Attack Level - BAL 19

Date: 28 May 2017



Form 55

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director of Building Control's Determination)*

Speciality area of expertise: *(description from Column 4 of the Director of Building Control's Determination)*

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 28 May 2017, Job No. RGA-B601)
Relevant	N/A
References:	<i>Interim Planning Directive No 1, Bushfire-Prone Areas Code</i> <i>Australian Standard 3959-2009</i>

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level to Australian Standard 3959
2. Bushfire Hazard Management Plan showing BAL-19 solutions.

Scope and/or Limitations

Scope
This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with *Interim Planning Directive No 1, Bushfire-Prone Areas Code* issued by the Tasmanian Planning Commission, the *Building Act 2016 & Regulations 2016, Building Code of Australia* and *Australian Standard 3959-2009, Construction of buildings in bushfire-prone areas*.

Limitations
The assessment has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate.
2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.
4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire.
5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire.

No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.

I certify the matters described in this certificate.

Qualified person:	<i>Signed:</i> 	<i>Certificate No:</i> 28 May 2017	<i>Date:</i> RG-499/2017
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Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

CODE E1 – BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies²

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Meander Valley Interim Planning Scheme 2013

Street address:

'Ashburn", 126 Oaks Road, Carrick

Certificate of Title / PID:

CT 40003/1 and CT 42/8955

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

Certificate of Title / PID:

2. Proposed Use or Development

Description of Use or Development:

4 Lot Subdivision

Code Clauses³:

E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

³ Indicate by placing X in the corresponding for the relevant clauses of E1.0 Bushfire-prone Areas Code.

3. Documents relied upon⁴

Documents, Plans and/or Specifications

Title: Proposed Subdivision, Plan Number 3916-01DA-R1

Author: D.J. McCulloch Surveying

Date: 01/05/2017 **Version:** 1

Bushfire Hazard Report

Title: Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

Author: Rebecca Green

Date: 28 May 2017 **Version:** 1

Bushfire Hazard Management Plan

Title: Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

Author: Rebecca Green

Date: 28 May 2017 **Version:** 1

Other Documents

Title:

Author:

Date: **Version:**

⁴ List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire. Each document must be identified by reference to title, author, date and version.

4. Nature of Certificate⁵

<input checked="" type="checkbox"/> E1.4 – Use or development exempt from this code			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input checked="" type="checkbox"/>	E1.4 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017 – Lot 4.

<input type="checkbox"/> E1.5.1 – Vulnerable Uses			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.1 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.1 A2	BHMP	
<input type="checkbox"/>	E1.5.1 A3	Emergency Plan	

<input type="checkbox"/> E1.5.2 – Hazardous Uses			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.2 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.2 A2	BHMP	
<input type="checkbox"/>	E1.5.2 A3	Emergency Plan	

<input checked="" type="checkbox"/> E1.6 – Development standards for subdivision			
E1.6.1 Subdivision: Provision of hazard management areas			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1 P1	Hazard Management Areas are sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1 A1 (a)	Insufficient increase in risk	

⁵ The certificate must indicate by placing X in the corresponding for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

<input checked="" type="checkbox"/>	E1.6.1 A1 (b)	Provides BAL 19 for all lots	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017.
<input type="checkbox"/>	E1.6.1 A1 (c)	Consent for Part 5 Agreement	

E1.6.2 Subdivision: Public and fire fighting access			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.2 P1	Access is sufficient to mitigate risk	
<input checked="" type="checkbox"/>	E1.6.2 A1 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017 – Lot 4.
<input checked="" type="checkbox"/>	E1.6.2 A1 (b)	Access complies with Tables E1, E2 & E3	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017 – Lots 1, 2 and 3.

E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.3 A1 (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.3 A1 (b)	Reticulated water supply complies with Table E4	
<input type="checkbox"/>	E1.6.3 A1 (c)	Water supply consistent with the objective	
<input checked="" type="checkbox"/>	E1.6.3 A2 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017 – Lot 4.
<input checked="" type="checkbox"/>	E1.6.3 A2 (b)	Static water supply complies with Table E5	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 28 May 2017 – Lots 1, 2 and 3.
<input type="checkbox"/>	E1.6.3 A2 (c)	Static water supply is consistent with the objective	

5. Bushfire Hazard Practitioner⁶

Name:	Rebecca Green	Phone No:	0409 284 422
Address:	PO Box 2108	Fax No:	
		Email Address:	admin@rgassociates.com.au
	Launceston, Tas		7250
Accreditation No:	BFP – 116	Scope:	1, 2, 3A, 3B, 3C

6. Certification⁷

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

<i>The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
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or

<i>There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
--	--------------------------

and/or

<i>The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
--	-------------------------------------

Signed:
certifier



Date: 28 May 2017 **Certificate No:** RGA-37/2017

⁶ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of *Fire Service Act 1979*. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

⁷ The relevant certification must be indicated by placing X in the corresponding .

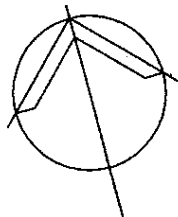


Attachment 2 – AS3959-2009 Construction Requirements

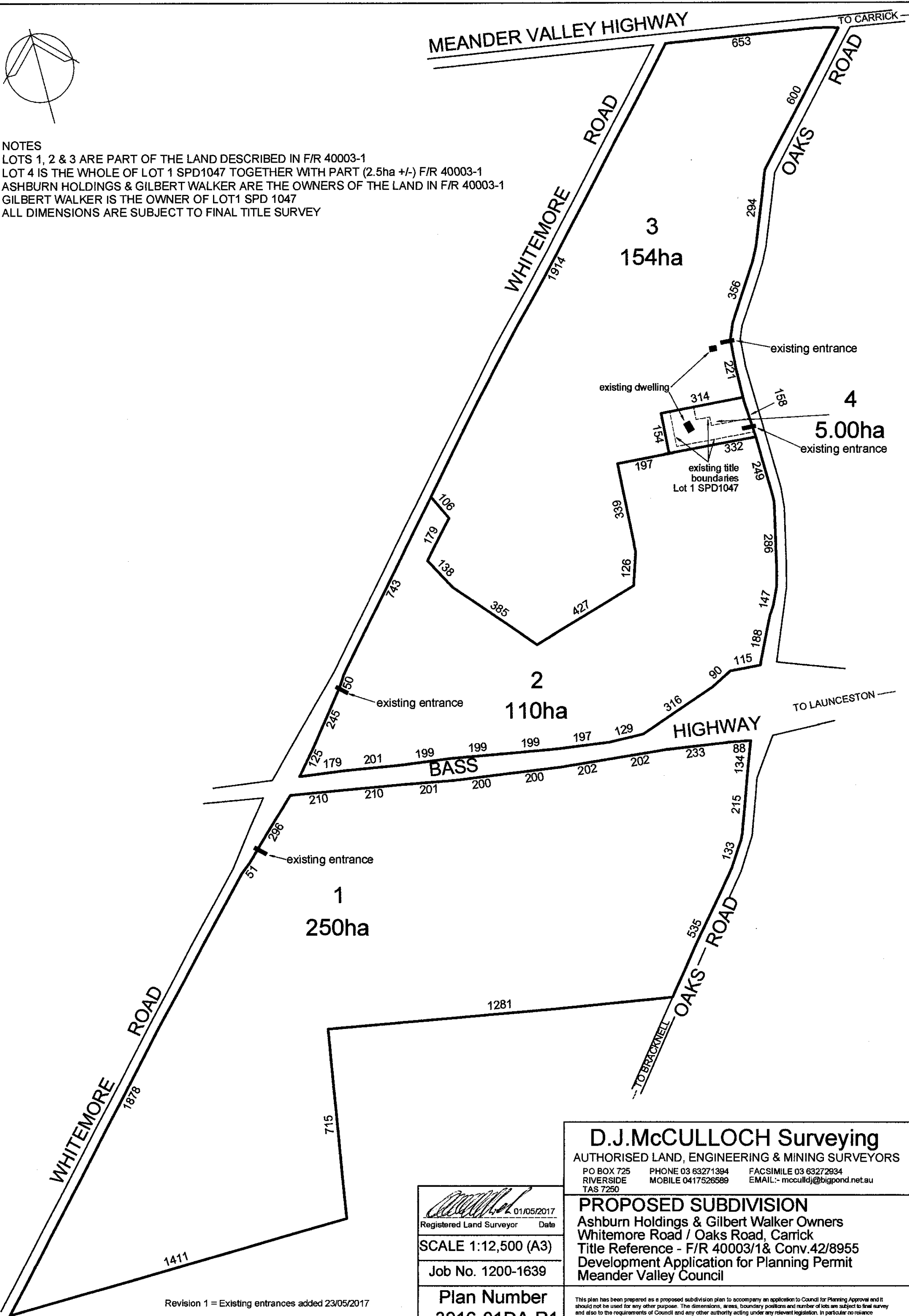
	BAL-LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL-FZ (FLAME ZONE)
SUBFLOOR SUPPORTS	No special construction requirements	No special construction requirements	No special construction requirements	Enclosure by external wall or by fixed, frame or aluminium mesh, non-combustible supports where the mesh is attached to, or supported by, non-combustible framing or posts by 25 mm metal strips	If enclosed by external wall or by fixed, frame or aluminium mesh, non-combustible supports where the mesh is attached to, or supported by, non-combustible framing or posts by 25 mm metal strips	External wall or non-combustible wall or non-combustible supports with an RFL of 30/2 - or be tested for bushfire resistance to AS 5308.2
FLOORS	No special construction requirements	No special construction requirements	No special construction requirements	Concrete slab on ground, enclosure by external wall, metal mesh or frame or framing less than 400 mm above ground level, or non-combustible, non-ferrous metal mesh or framing or protected on the underside with suitable wood protection	Concrete slab on ground, enclosure by external wall or protection of materials with a non-combustible metal mesh or frame or framing or the non-combustible or be tested for bushfire resistance to AS 5308.1	Concrete slab on ground or enclosure by external wall or an RFL of 30/20/30 or protection of materials with 30 mm metal independent spread of the system or be tested for bushfire resistance to AS 5308.2
EXTERNAL WALLS	No special construction requirements	As per BAL-19	External walls - thicker than 400 mm above ground or decks etc to be of non-combustible material, 5 mm fibre cement clad or weather resistant cladding, fire resistant timber	Non-combustible material (masonry, brick, stone, metal block, weather concrete, concrete, timber framed or clad with 5 mm fibre cement cladding or metal mesh or frame or framing or 100 mm above ground level) or bushfire resistant frame or cladding	Non-combustible material (masonry, brick, stone, metal block, weather concrete, concrete) or timber framed or clad with 5 mm fibre cement cladding or metal mesh or frame or framing or 100 mm above ground level or be tested for bushfire resistance to AS 5308.1	Non-combustible material (masonry, brick, stone, metal block, weather concrete, concrete) or timber framed or clad with 5 mm fibre cement cladding or metal mesh or frame or framing or 100 mm above ground level or be tested for bushfire resistance to AS 5308.2
EXTERNAL WINDOWS	No special construction requirements	As per BAL-19 except that 5 mm Clad 4 safety glass can be used in place of 5 mm tempered glass	Protected by weather shield, completely screened with mesh or aluminium mesh or glass with 5 mm tempering or 400 mm above threshold, metal or weather resistant timber framed for 400 mm above ground, cladding, etc. Type fitting with weather strips at base	Protected by weather shield or completely screened with mesh or aluminium mesh or glass with 5 mm tempering or 400 mm above threshold, metal or weather resistant timber framed type fitting with weather strips at base	Protected by weather shield or completely screened with mesh or aluminium mesh or glass with 5 mm tempering or 400 mm above threshold, metal or weather resistant timber framed type fitting with weather strips at base	Protected by weather shield or completely screened with mesh or aluminium mesh or glass with 5 mm tempering or 400 mm above threshold, metal or weather resistant timber framed type fitting with weather strips at base
EXTERNAL DOORS	No special construction requirements	As per BAL-19	Protected by weather shield, or screened with steel, timber or aluminium mesh or glass with 5 mm tempering or 400 mm above threshold, metal or weather resistant timber framed for 400 mm above ground, cladding, etc. Type fitting with weather strips at base	Protected by weather shield, or screened with steel, timber or aluminium mesh or non-combustible, 65 mm solid timber for 400 mm above threshold, metal or weather resistant timber framed type fitting with weather strips at base	Protected by weather shield, or screened with steel, timber or aluminium mesh or non-combustible, 65 mm solid timber for 400 mm above threshold, metal or weather resistant timber framed type fitting with weather strips at base	Protected by weather shield or timber framed with RFL of 30/20/30 or tested for bushfire resistance to AS 5308.2. External wall or non-combustible wall or non-combustible supports. Opening fitted with non-combustible material or glass, fixed to be fully sealed and no roof mounted evaporative coolers
ROOFS	No special construction requirements	As per BAL-19	Non-combustible covering, fixed roof junction sealed. Opening fitted with non-combustible material or glass, fixed to be fully sealed	Non-combustible covering, fixed roof junction sealed. Opening fitted with non-combustible material or glass, fixed to be fully sealed	Non-combustible covering, fixed roof junction sealed. Opening fitted with non-combustible material or glass, fixed to be fully sealed and no roof mounted evaporative coolers	Roof with RFL of 30/20/30 or tested for bushfire resistance to AS 5308.2. External wall or non-combustible wall or non-combustible supports. Opening fitted with non-combustible material or glass, fixed to be fully sealed and no roof mounted evaporative coolers
VERANDAS DECKS ETC.	No special construction requirements	As per BAL-19	Enclosed side floor space - no special requirement for materials except within 400 mm of ground. Decking to be non-combustible or weather resistant with 300 mm horizontally and 400 mm vertically from a glass element	Enclosed side floor space or non-combustible or weather resistant timber supports. Decking to be non-combustible	Enclosed side floor space or non-combustible supports. Decking to be non-combustible	Enclosed side floor space or non-combustible supports. Decking to be non-combustible or weather resistant timber supports. Decking to be non-combustible

Attachment 3 – Plan of Subdivision


D.J. McCulloch Surveying



NOTES
 LOTS 1, 2 & 3 ARE PART OF THE LAND DESCRIBED IN F/R 40003-1
 LOT 4 IS THE WHOLE OF LOT 1 SPD1047 TOGETHER WITH PART (2.5ha +/-) F/R 40003-1
 ASHBURN HOLDINGS & GILBERT WALKER ARE THE OWNERS OF THE LAND IN F/R 40003-1
 GILBERT WALKER IS THE OWNER OF LOT1 SPD 1047
 ALL DIMENSIONS ARE SUBJECT TO FINAL TITLE SURVEY



Revision 1 = Existing entrances added 23/05/2017

	01/05/2017
Registered Land Surveyor	Date
SCALE 1:12,500 (A3)	
Job No. 1200-1639	
Plan Number 3916-01DA-R1	

D.J.McCULLOCH Surveying
 AUTHORISED LAND, ENGINEERING & MINING SURVEYORS
 PO BOX 725 PHONE 03 63271394 FACSIMILE 03 63272934
 RIVERSIDE MOBILE 0417526589 EMAIL:- mcculldj@bigpond.net.au
 TAS 7250

PROPOSED SUBDIVISION
 Ashburn Holdings & Gilbert Walker Owners
 Whitemore Road / Oaks Road, Carrick
 Title Reference - F/R 40003/1& Conv.42/8955
 Development Application for Planning Permit
 Meander Valley Council

This plan has been prepared as a proposed subdivision plan to accompany an application to Council for Planning Approval and it should not be used for any other purpose. The dimensions, areas, boundary positions and number of lots are subject to final survey and also to the requirements of Council and any other authority acting under any relevant legislation. In particular no reliance should be placed on the information shown on this plan for any legal or financial dealings involving the subject or adjoining lands. This note is an integral part of this plan.



D.J.McCULLOCH Surveying
 AUTHORISED LAND, ENGINEERING & MINING SURVEYORS
 PO BOX 725 RIVERSIDE TAS 7250
 PHONE 03 63271394 MOBILE 0417526589 FACSIMILE 03 63272934
 EMAIL:- mcculldj@bigpond.net.au

[Signature] 01/05/2017
 Registered Land Surveyor Date

Job No. 1200-1639

Plan Number
 3916-02DA

PROPOSED SUBDIVISION
 Ashburn Holdings & Gilbert Walker Owners
 Whitmore Road / Oaks Road, Carrick
 Title Reference - F/R 40003/1& Conv.42/8955
 Development Application for Planning Permit
 Meander Valley Council

This plan has been prepared as a proposed subdivision plan to accompany an application to Council for Planning Approval and it should not be used for any other purpose. The dimensions, areas, boundary positions and number of lots are subject to final survey and also to the requirements of Council and any other authority acting under any relevant legislation. In particular no reliance should be placed on the information shown on this plan for any legal or financial dealings involving the subject or adjoining lands. This note is an integral part of this plan.

Attachment 4 – Tasmania Fire Service Water Supply Signage Guideline

Tasmania Fire Service Water Supply Signage Guideline

Guidelines for the design and
installation of water supply signs &
fire hydrant marking in bushfire-prone
areas

fire.tas.gov.au

Bushfire Planning & Policy

GPO Box 1526 Hobart Tasmania 7001

Phone (03) 6230 8600 | planning@fire.tas.gov.au

Meander Valley Council Ordinary Agenda ~~CD SA~~ August 2017



This Guideline has been developed in consultation with TasWater.



For further information

Tasmania Fire Service
Bushfire Planning & Policy
GPO Box 1526
HOBART TAS 7001
PH: (03) 6230 8600
Fax: (03) 6234 6647
Email: planning@fire.tas.gov.au
Web: www.fire.tas.gov.au

Disclaimer

While the State Fire Commission has made every effort to ensure the accuracy and reliability of the information contained in this booklet, the State Fire Commission does not accept any responsibility for the accuracy, completeness, or relevance to the reader's purpose, of the information contained in this document and those reading it for whatever purpose are advised to verify its accuracy and to obtain appropriate professional advice.

The State Fire Commission, its officers, employees and agents do not accept any liability, however arising, including liability for negligence, for any loss or damage resulting from the use of, or reliance upon, the information contained in this document.

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1.0 Identification

1.1 Guideline Title

1.1.1 This Guideline is called the *Tasmania Fire Service Water Supply Signage Guideline*.

1.2 Composition of this Guideline

1.2.1 This Guideline consists of:

- (a) This document;
- (b) Design drawing TFS-WS01; and
- (c) Design drawing TFS-WS02.

2.0 Purpose

2.1 The purpose of this Guideline is:

- (a) To ensure that fire fighting water points are appropriately identified to reduce the risk to human life and property, and the cost to the community, caused by bushfires; and
- (b) To describe the water supply signage requirements which are referred to in the *Bushfire-Prone Areas Code*¹ and the *Directors Determination Requirements for Building in Bushfire-Prone Areas*².

3.0 Application

3.1 Where referenced by the relevant planning and building regulations, the content of this Guideline forms a statutory requirement for development within bushfire-prone areas.

3.2 This Guideline may be voluntarily adopted as required.

3.3 This Guideline applies to:

- (a) Private and water corporation owned or managed fire fighting water points;
- (b) Fire fighting water points servicing a bushfire-prone area; and
- (c) Fire fighting water points connected to:
 - i. A static water supply; or
 - ii. A reticulated water supply that does not comply with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, and where a single fire fighting water point discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure.

¹ The *Bushfire-Prone Areas Code* can be accessed via www.iplan.tas.gov.au

² The *Directors Determination Requirements for Building in Bushfire-Prone Areas* can be accessed via <http://www.justice.tas.gov.au/building/publications>

4.0 Definition of Terms

In this Guideline:

bushfire-prone area	<p>means:</p> <p>(a) land that is within the boundary of a bushfire-prone area shown on an overlay on a planning scheme map; and</p> <p>(b)</p> <ol style="list-style-type: none"> i. where there is no overlay on a planning scheme map; or ii. where the land is outside the boundary of a bushfire-prone area shown on an overlay on such a map, land that is within 100m of an area of bushfire-prone vegetation equal to or greater than 1 hectare.
bushfire-prone vegetation	means contiguous vegetation including grasses and shrubs but not including maintained lawns, parks and gardens, nature strips, plant nurseries, golf courses, vineyards, orchards or vegetation on land that is used for horticultural purposes.
carriageway	means the section of road formation which is used by traffic, and includes all the area of the traffic lane pavement together with the formed shoulders.
fire hydrant	means a fire hydrant as described in <i>AS 2419.1-2005 Fire hydrant installations – System design, installation and commissioning</i> .
fire fighting water point	means the point where a fire appliance is able to connect to a water supply for fire fighting purposes. This includes a coupling in the case of a fire hydrant, offtake or outlet, or the minimum water level in the case of a static water body.
property access	means the carriageway which provides vehicular access from the carriageway of a road onto land, measured along the centre line of the carriageway, from the edge of the road carriageway to the nearest point of the building area.
static water supply	means water stored in a tank, swimming pool, dam, or lake, that is available for fire fighting purposes at all times.
water corporation	means the corporation within the meaning of the <i>Water and Sewerage Corporation Act 2012</i> .

5.0 Referenced Documents

The following documents are referenced in this guideline:

AS 1743 Road signs—Specifications

AS 1744 Standard alphabets for road signs

AS 2700 Colour Standards for general purposes

AS 2419.1 Fire hydrant installations - System design, installation and commissioning

AS/NZS 1734 Aluminium and aluminium alloys—Flat sheet, coiled sheet and plate

AS/NZ 1906.1 Retroreflective materials and devices for road traffic control purposes
Part 1: Retroreflective Sheeting.

Australian Paint Approval Scheme Specifications AP-S0041, CSIRO

Bushfire-Prone Areas Code, Tasmanian Planning Commission, Department of Justice, Tasmania.

Determination Director of Building Control Requirements for Building in Bushfire-Prone Areas, Building Standards & Occupational Licencing, Department of Justice, Tasmania.

TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA, TasWater, Tasmania.

6.0 Design Standards for Marking Compliant Fire Hydrants

6.1 Compliant Hydrant Markings (General)

A fire hydrant connected to a reticulated water supply that complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code* will be marked in accordance with water corporation specifications³.

Water corporation specified fire hydrant markings include a combination of:

- a) Fire Plug Indicator: a yellow, 250 mm x 450 mm triangle, marked on the pavement, and pointing towards the location of the hydrant;
- b) Fire Plug Kerb Marking: a yellow, 300 mm long rectangle, marked on the carriageway kerb, adjacent to the location of the fire hydrant;
- c) Two-Way Retroreflective Raised Pavement Marker: a blue, square marker, adhered to the pavement, and located perpendicular to the hydrant;
- d) Fire Plug Cover and Surround: a yellow, 400 mm x 400 mm square; surrounding the hydrant cover; and
- e) Marker Post: a yellow post with blue decals, located adjacent to the carriageway.

³ TasWater specifications: <https://www.taswater.com.au/Development/Development-Standards>

7.0 Design Standards for Marking Non-Compliant Fire Hydrants

7.1 Marking Criteria

A fire hydrant connected to a reticulated water supply that:

- a) Otherwise complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, except for flow and pressure; and
- b) Discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure;

shall have additional markings to those identified in 6.1, in accordance with the following:

7.2 Pavement Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.2.1 Pavement marking materials shall conform to Australian Paint Approval Scheme Specifications <i>AP-S0041</i> , or similar.	

7.3 Post Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.3.1 Post marking material shall be: <ol style="list-style-type: none"> (a) Class 1 retroreflective material, compliant with <i>AS/NZS1906.1</i>; or (b) A suitable outdoor, long-life, UV stabilised coating. 	

7.4 Pavement & Post Marking Design

Objective:	Fire fighting water points are clearly visible and identifiable.
7.4.1 Pavement and post marking shall comprise of a legend designed in accordance with design drawing TFS-WS02.	
7.4.2 The legend shall be: <ol style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with <i>AS2700</i> (or equivalent colour); and (b) Comprised of the letter 'W' within a circular band. 	
7.4.3 The letter 'W' in the legend shall be: <ol style="list-style-type: none"> (a) Uppercase; (b) No less than 44 mm in height; 	

- (c) Located in the centre of the circular band; and
- (d) Consistent with the form and dimensions of Series F, as defined in *AS1744*.

7.4.4 The circular band in the legend shall have:

- (a) An outer diameter of 100 mm; and
- (b) A line thickness of 6.5 mm.

7.5 Pavement & Post Marking

Objective:

Fire fighting water points are clearly visible and identifiable.

7.5.1 Where fire hydrants are of the in-ground type (fire plug), the hydrant cover (lid) shall be marked in accordance with 7.2 and 7.4.

7.5.2 Where hydrant location is identified using a marker post, the post shall be marked:

- (a) In accordance with 7.3 and 7.4;
- (b) With legend facing the carriageway; and
- (c) No less than 400 mm above ground level (where practical).

8.0 Design Standards for Signs

Static water supplies shall be identified in accordance with the following:

8.1 Sign Materials

Objective:

Signs that identify fire fighting water points are durable and resilient against the elements.

8.1.1 The signboard material shall be:

- (a) 1.6 mm thick aluminium alloy, type 5251 or 5052, of temper H36 or H38;
- (b) Free from scratches or other surface blemishes;
- (c) Have edges that are true and smooth; and
- (d) Compliant with *AS/NZS1734*.

8.1.2 The sign background material shall be:

- (a) Non-reflective;
- (b) Of uniform density;
- (c) Compatible with the material used for the legend both in application and durability; and
- (d) Applied to the sign face in accordance with *AS1743*.

8.1.3 The sign legend material shall be:

- (a) Class 1 retroreflective material, compliant with *AS/NZS1906.1*;
- (b) Of uniform density;

- (c) Compatible with the material used for the background in application and durability; and
- (d) Applied to the sign face in accordance with *AS1743*.

8.2 Sign Design

Objective:	Signs that identify fire fighting water points are clearly visible and identifiable.
8.2.1 The sign shall be designed in accordance with: <ul style="list-style-type: none"> (a) Design drawing TFS-WS01. 	
8.2.2 The sign shall: <ul style="list-style-type: none"> (a) Be square; (b) Have rounded corners with a radii of 25 mm; and (c) Have a side length of 300 mm. 	
8.2.3 The sign background shall be: <ul style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with <i>AS2700</i> (or equivalent colour). 	
8.2.4 The legend shall be: <ul style="list-style-type: none"> (a) Coloured white (N14) in accordance with <i>AS2700</i> (or equivalent colour); (b) Comprised of the letter 'W' within a circular band; and (c) Visually centred on the sign. 	
8.2.5 The letter 'W' in the legend shall be: <ul style="list-style-type: none"> (a) Uppercase; (b) No less than 100 mm in height; (c) Located in the centre of the circular band; and (d) Consistent with the form and dimensions of Series F, as defined in <i>AS1744</i>. 	
8.2.6 The circular band in the legend shall have: <ul style="list-style-type: none"> (a) An outer diameter of 230 mm; and (b) A line thickness of 15 mm. 	
8.2.7 The rear surface of the signboard shall be stamped or engraved with: <ul style="list-style-type: none"> (a) The designation of the sign manufacturer; (b) Four numerals indicating the month and year of manufacture (e.g. 01/17); (c) The design drawing identification (e.g. TFS-WS01); and (d) Letters & numerals no less than 5 mm high. 	

8.3 Sign Mounting

Objective:	Signs that identify fire fighting water points are, and will remain, clearly visible.
------------	---

8.3.1 The sign shall be permanently mounted to:

- (a) A vertical surface;
- (b) A surface that cannot change orientation or position; and
- (c) A surface that is:
 - i. Non-flammable; and
 - ii. Non-heat deforming.

8.4 Sign Location

Objective:	Signs that identify fire fighting water points are located adjacent to the fire fighting water point, and are clearly visible.
<p>8.4.1 The sign shall be mounted in a location:</p> <ul style="list-style-type: none"> (a) No further than 2 m vertically and 1 m horizontally from the fire fighting water point; (b) No less than 400 mm above ground level; (c) That will not impede access or operation of the fire fighting water point; (d) That will not become obscured by visual obstructions; and (e) That is visible from the property access on approach from a public road. 	

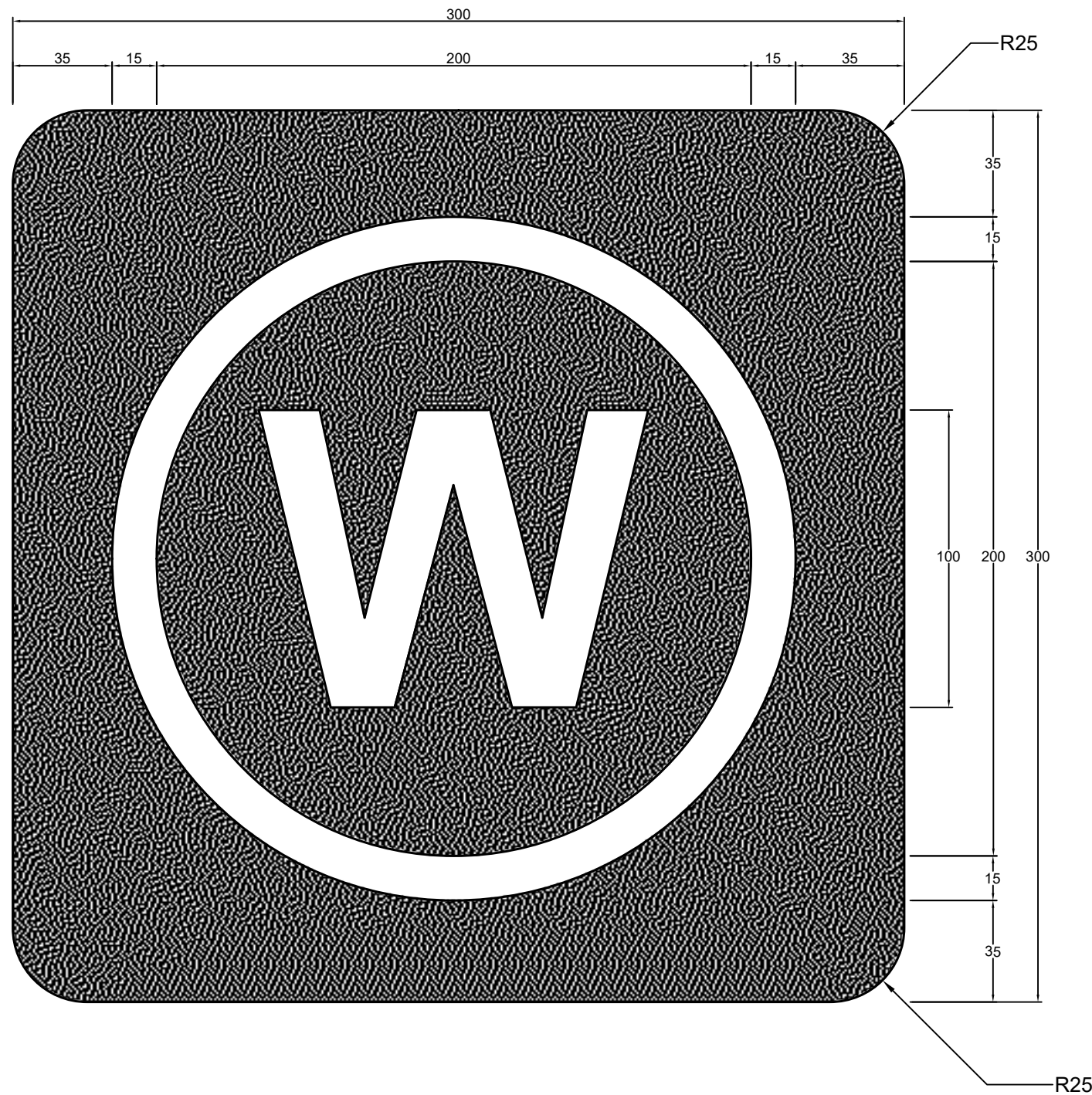
9.0 Design & Manufacture Tolerances of Sign & Legend

9.1 Dimensional tolerances of the signboard

- (a) Overall dimensions of signboard: ± 5 mm;
- (b) Maximum allowable warp, twist or departure from flatness: 1.5 mm; and
- (c) Squareness: corners < 2 mm from theoretical position relative to other corners.

9.2 Dimensional tolerances of the legend

- (a) Shape, size and alignment of legend elements: ± 2 mm; and
- (b) Legend position: ± 2 mm.

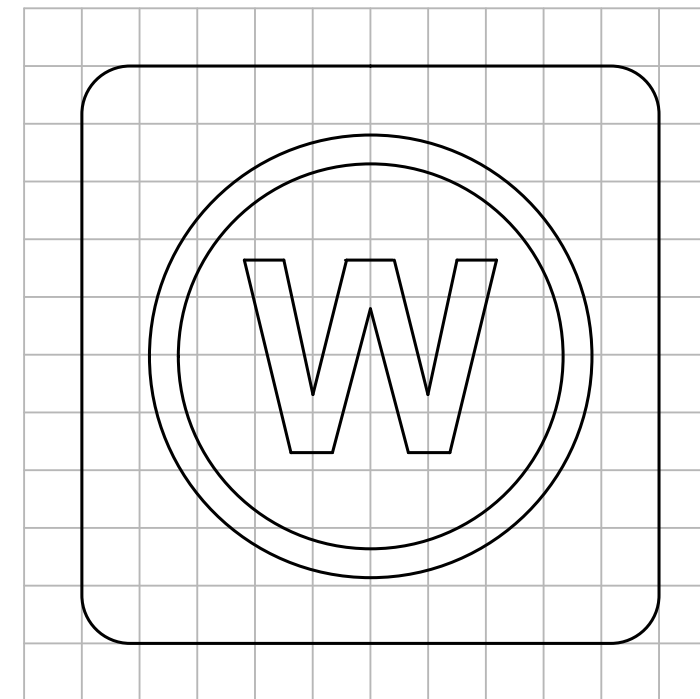


OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
 SURFACE AREA OF SIGN (sq m) : 0.0895

LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
 WITH A RETROREFLECTIVE SURFACE FINISH
 BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
 TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
 REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



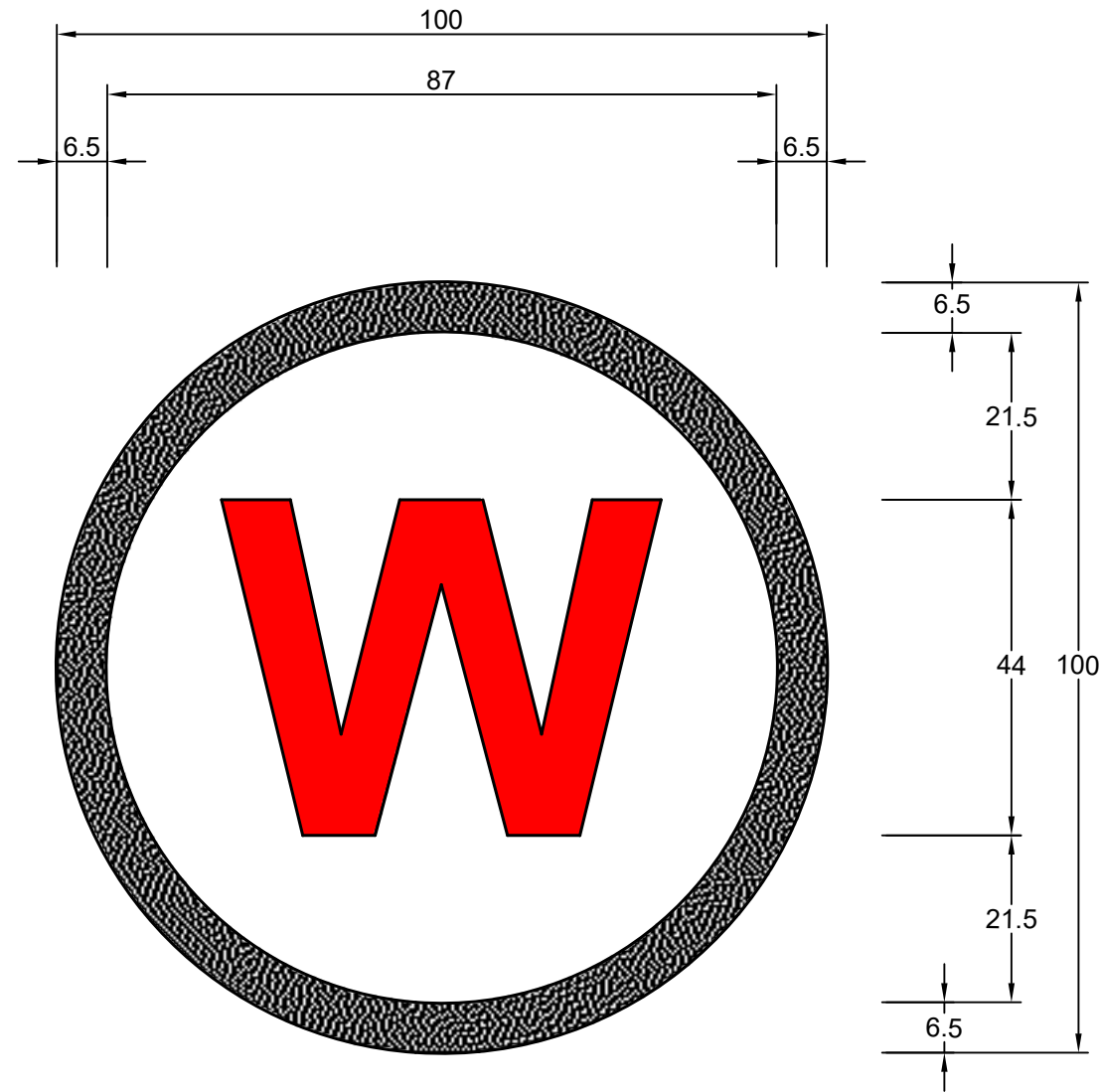
GRID MODULE X = 30mm Y= 30mm



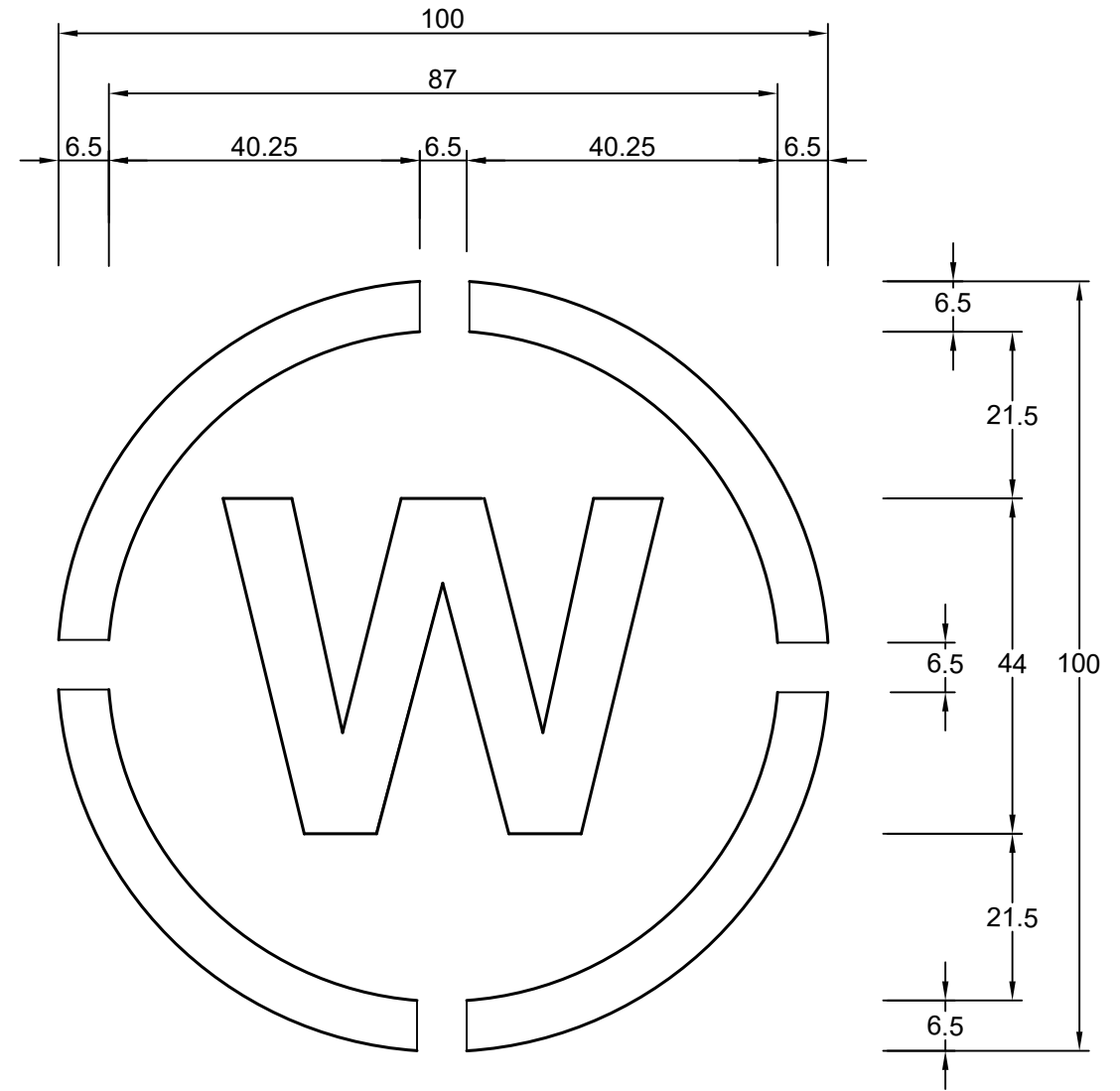
ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			

NOTES
 - all dimensions are in mm
 - written dimensions take precedence over scaled measurements

TITLE
**TASMANIA FIRE SERVICE
 WATER SUPPLY SIGN**

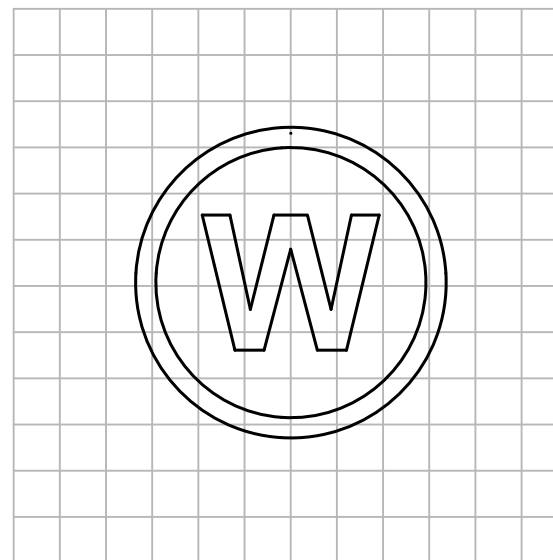


POST AND PAVEMENT DESIGN



TEMPLATE

GRID MODULE X = 15mm Y= 15mm



WHERE A TEMPLATE IS USED, THE CIRCULAR BAND MAY HAVE UP TO FOUR BREAKS OF UP TO 6.5MM IN WIDTH

OVERALL LEGEND DIMENSIONS (mm): 100 x 100, +/- 5

FOR TEMPLATE APPLICATION REQUIREMENTS, REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			

NOTES
 - all dimensions are in mm
 - written dimensions take precedence over scaled measurements

TITLE
**TASMANIA FIRE SERVICE
 NON-COMPLIANT FIRE HYDRANT MARKING**

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fire.tas.gov.au

Bushfire Planning & Policy GPO Box 1526 Hobart Tasmania 7001
Phone (03) 6230 8600 | Fax (03) 6231 6647 | planning@fire.tas.gov.au

References

- (a) Tasmanian Planning Commission 2017, *Tasmanian Interim Planning Directive No. 1.1, Bushfire-Prone Areas Code*, Tasmania.
- (b) Australian Standards, AS 3959-2009, *Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney NSW.
- (c) Resource Management & Conservation Division of the Department Primary Industry & Water September 2006, TASVEG, *Tasmanian Vegetation Map*, Tasmania.
- (d) Tasmanian Government, Land Information System Tasmania, www.thelist.tas.gov.au

Traffic Assessment



Proposed Subdivision

Between Oaks Road and Whitemore Road, Carrick

SUBMITTED BY:

TERRY EATON
Traffic Engineer

29 Carey's Road
Bridgenorth Tas 7277

TEL/FAX: (03) 6330 1510

JUNE 2017

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ATTACHMENTS

- Subdivision Plan

1. Introduction

A subdivision proposal is being advanced with Meander Valley Council for land between Oaks Road and Whitemore Road from south of Meander Valley Road to south of the Bass Highway.

In accord with the Meander Valley Interim Planning Scheme a traffic assessment to the satisfaction of Council's Infrastructure Department (the road authority for accessed roads) is required as a prerequisite to acceptance of a planning application. This report, provided by Terry Eaton, an experienced traffic engineer, is provided for that purpose.

Preparation of the report has included a site visit.

2. The Site

The site is a large rural holding of some 519 hectares situated between Oaks Road and Whitemore Road from frontage to those roads from Meander Valley Highway to south of the Bass Highway. Note, there is no access to the Bass Highway with that highway over passing both Oaks Road and Whitemore Road.

The land is generally developed as a mix of pasture and dry forest.

Existing development on the land includes two residences with frontage to Oaks Road, one located some 1,260 metres and the other some 1,600 metres south of Meander Valley Road. Existing driveways are provided to the residences plus two developed driveways to Whitemore Road located either side of the Bass Highway overpass.

3. The Proposal

The proposal is to subdivide the land to provide three lots (lots 1, 2 and 3) as agricultural land with lot 4 as a low density rural living lot of some 5 hectares. The existing dwelling No. 126 as the dwelling for lot 3 with lot 4 at No. 160 to cover the existing Ashburn Homestead. Proposed lots 1 and 2 to be accessed by the existing driveways to Whitmore Road.

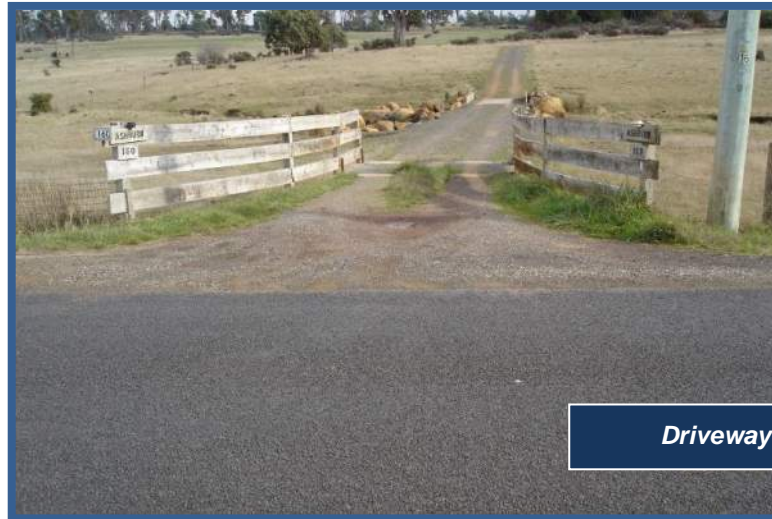
Driveways

- The driveway to No. 126 Oaks Road is constructed with a gravel surface some 3.5 metres wide at the gateway widening to a throat width of some 13.4 metres at the edge of seal with turn radius of some 5.5 metres for the exit turn to the left and some 2.0 metres for the left turn entry with this turn offset some 2.5 metres from the edge of seal at the entry tangent point. An approach taper some 30 metres in length is provided for the left turn approach with a short 4 metre taper for the left turn exit. In profile the driveway is a downgrade toward the road.

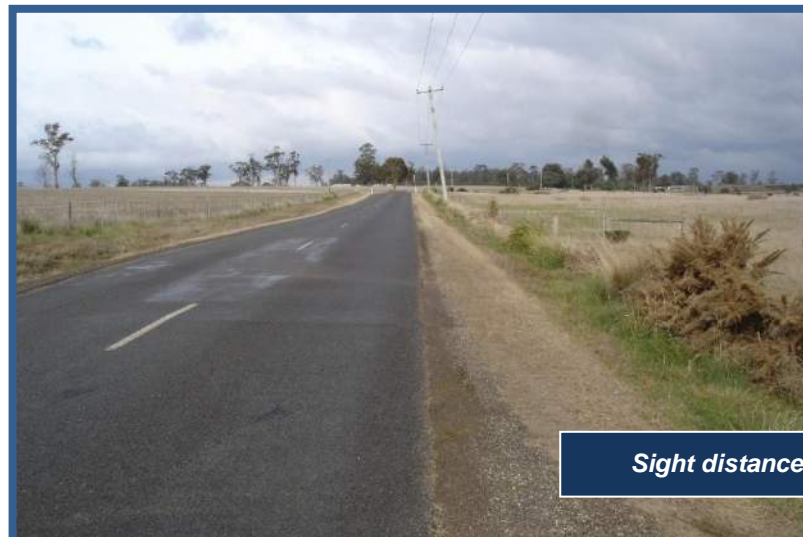


Sight distance at this driveway is some 300 metres to the north and some 500 metres to the south.

- The driveway to No. 160 Oaks Road is gravel surfaced some 3.0 metres wide at the cattle grid set back some 9.2 metres from the edge of seal widening to a throat width of some 8.0 metres at the edge of seal. In profile the driveway is relatively flat.



Sight distance at the driveway is some 190 metres to the south and in excess of 500 metres to the north.



-
- The driveway to lot 2 is located some 360 metres north of the Bass Highway, is gravelled surface some 5.5 metres wide at the gateway and throat width at edge of seal of some 13.5 metres, length 10.6 metres. The driveway is a downgrade of some 10% to within 2 metres of the edge of seal with a sag curve transition between the downgrade and the road shoulder downgrade of some 3%.



Sight distance of some 300 metres to the north and 270 metres to the south.

- The driveway to lot 1 is located some 300 metres south of the Bass Highway. The driveway is gravel surfaced some 4.0 metres wide with throat width of 12 metres at edge of seal, length 12.5 metres from edge of seal. The driveway profile is a downgrade of some 5% from the gateway to a 4.0 metre sag curve connection to the edge of seal.



Sight distance of in excess of 400 metres for both directions.

A driveway to land on the opposite side of the road is located in close proximity, i.e. centre-line to centre-line distance some 5.5 metres.

4. Road Facilities

- **Oaks Road**

This road is considered as a rural collector road serving to provide access to rural frontage farms, the link from junctioning roads to Meander Valley Road, as access to the Agfest site and to Bracknell.

In terms of use the section of road between the connections to / from the Bass Highway overpass and Meander Valley Road is seen of lesser traffic use than the section south of the Bass Highway as a major component of the traffic use for Oaks Road would be to / from the Bass Highway.

In the vicinity of the existing driveways to proposed lots 3 and 4 the road is constructed with a sealed width of 6.0 metres, 0.5 metre minimum width gravel shoulders and grass verges.

The road alignment is a series of straights connected by curves, considered as a typical rural access / connector curvilinear alignment. The road profile is relatively flat with some undulations north of the driveway for No. 126. Overall, the road is considered of a satisfactory standard for the functional use.

The rural default 100 km/h speed limit applies.

- **Whitemore Road**

This road is considered as a minor rural collector connecting between Meander Valley Road to just south of Whitemore. In proximity to the Bass Highway the road is constructed wider than the normal 5.0 metre seal.

At the driveways for lots 1 and 2 the sealed width is some 7.5 metres with gravel shoulders of some 1.0 metre width with grass verges.

The road alignment is straight with a profile as a general downgrade from both directions to a vertical curve at the Bass Highway overpass.

The road standard is considered consistent with the normal provisions for rural roads except for the wider section in proximity to the overpass.

The rural default 100 km/h speed limit applies.

5. Traffic Data

Limited traffic data is available for the roads fronting the proposed subdivision. A sample survey indicates average daily traffic (ADT) values in the order of:

- **Oaks Road**, indicative ADT value for the section north of the Bass Highway interchange at some 250 vehicles
- **Whitemore Road**, indicative ADT value for this road at some 150 vehicles per day
- **Proposed Subdivision**, indications are that traffic generation for rural lots is in the order of 10 vehicles per day for agricultural land uses and some 6 vehicles per day for rural residential lots.

6. Assessment

Assessment in accord with the Meander Valley Interim Planning Scheme indicates:

i) Road Capacity

Calculations based on road capacity parameters indicates an hourly traffic volume (level of service "B") of some 180 vehicles per hour for both Oaks Road and Whitemore Road.

Comparison with the estimated ADT values of some 250 vehicles for Oaks Road and 150 vehicles per day for Whitemore Road with indicative peak hour volumes of some 30 vehicles per day and some 20 vehicles per day respectively for the roads are well below the estimated peak hour capacity. Allowance of some 2 peak hour vehicles per lot would increase the peak hour capacity for both roads by 4 vehicles per hour (2 lots to each road). The addition of such volumes to the estimated peak hour volumes on each road will increase the peak hour volumes on both roads to values well below the calculated level of service "B" values, i.e. the increase in traffic is considered insignificant to the road capacity.

ii) Compliance with Section E4 of the planning scheme indicates:

E4.6.1 A3 Comparison between the estimated ADT for both Oaks Road (250 vpd) and Whitemore Road (150 vpd) to the predicted traffic generation for each lot up to 10 vehicle movements per day indicates the daily traffic movements at less than 10% of the passing traffic
- complies

E4.7.1 Lots 1 and 2 abut the Bass Highway road reserve with substantial lot sizes and the driveways more than 50 metres from the Highway. The opportunity exists for site development away from the Bass Highway in compliance with this provision
- deemed to comply

E4.7.2 A2 Existing driveways exist for all lots with no new access ways required
- complies

E4.7.3 Not applicable

E4.7.4 Sight distance to all lots except for the view to the south for the existing driveway at lot 4 comply with table E4.7.4 provisions.

For lot 4 the sight distance to the south at some 190 metres is calculated to satisfy table E4.7.4 requirements for an 85 km/h vehicle approach speed. However, the 190 metre distance meets truck stopping criteria for an 80 km/h approach speed (2 second reaction time) with that speed seen as realistic for the road location and standard. This distance is also in excess of ASD for a 100 km/h approach speed (2.5 second reaction time) with ASD accepted as the minimum sight distance criteria for intersection sight distance for rural municipal roads.

- deemed to comply

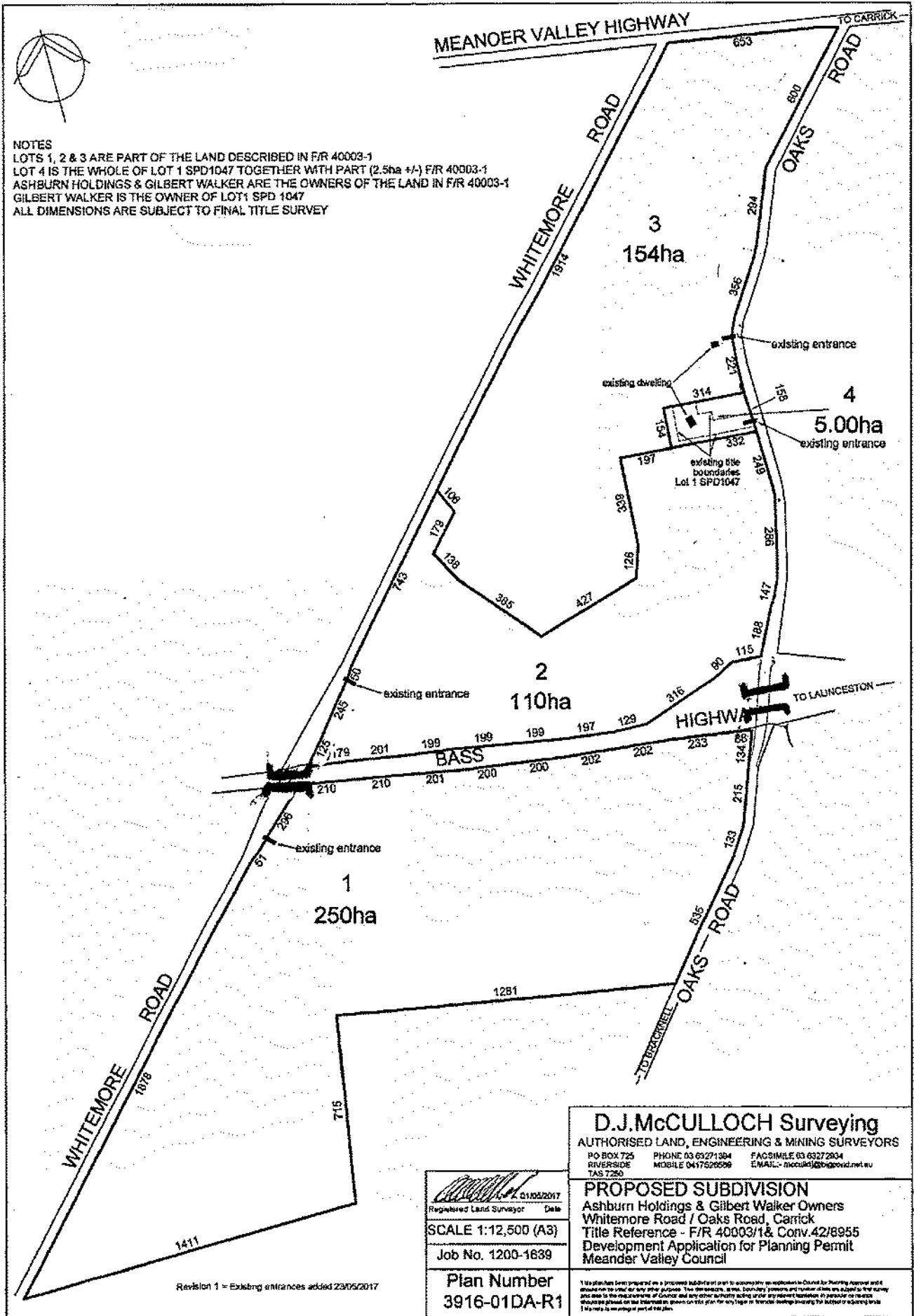
7. Conclusions

A traffic assessment for a proposed four lot subdivision indicates no road capacity concerns with the likely traffic generation for the proposal with assessed deemed compliance with the Section E4 requirements of the Meander Valley Interim Planning Scheme.

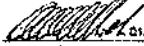
Terry Eaton



NOTES
 LOTS 1, 2 & 3 ARE PART OF THE LAND DESCRIBED IN F/R 40003-1
 LOT 4 IS THE WHOLE OF LOT 1 SPD1047 TOGETHER WITH PART (2.5ha +/-) F/R 40003-1
 ASHBURN HOLDINGS & GILBERT WALKER ARE THE OWNERS OF THE LAND IN F/R 40003-1
 GILBERT WALKER IS THE OWNER OF LOT1 SPD 1047
 ALL DIMENSIONS ARE SUBJECT TO FINAL TITLE SURVEY



Revision 1 = Existing entrances added 23/05/2017

	01/08/2017
Registered Land Surveyor	Date
SCALE 1:12,500 (A3)	
Job No. 1200-1639	
Plan Number 3916-01DA-R1	

D.J. McCULLOCH Surveying
 AUTHORISED LAND, ENGINEERING & MINING SURVEYORS
 PO BOX 725 PHONE 03 63271364 FACSIMILE 03 63272804
 RIVERSIDE MOBILE 0417526596 EMAIL: d.j.mcculloch@bigpond.net.au
 TAS 7250

PROPOSED SUBDIVISION
 Ashburn Holdings & Gilbert Walker Owners
 White more Road / Oaks Road, Carrick
 Title Reference - F/R 40003/1 & Conv.42/8955
 Development Application for Planning Permit
 Meander Valley Council

1. This plan has been prepared as a proposed subdivision and is to accompany the application to Council for Planning Approval and it should not be used for any other purpose. The description, area, boundary, position and number of lots are subject to final survey and also to the requirements of Council and any other authority acting under any relevant legislation in respect of matters mentioned herein or that may be referred to herein on this plan. No right or benefit is intended to be conferred or enjoyed by any person or persons by the operation of this plan.

Justin Simons

From: TasWater - Development <Development@taswater.com.au>
Sent: Tuesday, 23 May 2017 9:11 AM
To: Planning @ Meander Valley Council
Cc: Leanne Rabjohns
Subject: RE: Oaks Road 126 & 160 Carrick - northern region - subdivision
Attachments: Serviced Land.pdf

The subject property is not located within TasWater's serviced land areas for water and or sewer. This being the case the referral is understood to be exempt under WATER AND SEWERAGE INDUSTRY (GENERAL) REGULATIONS 2009 (S.R. 2009, NO. 67) - REG 12. When planning authority not required to notify regulated entity about planning application.

Regards,
Anthony Cengia
Senior Assessment Officer

D (03) 6237 8243
F 1300 862 066
A GPO Box 1393, Hobart TAS 7001
169 Main Road, Moonah, TAS 7009
E anthony.cengia@taswater.com.au
W <http://www.taswater.com.au/>

Have I been helpful? Please provide feedback by clicking here.

-----Original Message-----

From: Leanne Rabjohns [mailto:Leanne.Rabjohns@mvc.tas.gov.au]
Sent: Monday, 22 May 2017 4:42 PM
To: Anthony Cengia
Subject: Oaks Road 126 & 160 Carrick - northern region - subdivision

Good afternoon Anthony

Thank you for your assistance with this one. The plan of subdivision is attached. Cheers

Leanne Rabjohns | Town Planner

Meander Valley Council

working together

T: 03 +61 3 6393 5326 | F: 03 6393 1474 | E: leanne.rabjohns@mvc.tas.gov.au | W: www.meander.tas.gov.au

26 Lyall Street (PO Box 102), Westbury, TAS 7303

Please consider the environment before printing this email.-----Original Message-----

From: Anthony Cengia [mailto:Anthony.Cengia@taswater.com.au]

Justin Simons

From: Rural Youth Finance <finance@ruralyouth.com.au>
Sent: Thursday, 6 July 2017 11:54 AM
To: Planning @ Meander Valley Council; generalmanager@mvc.tas.gov.au; Jo Oliver
Cc: Rural Youth General Manager
Subject: Application for Planning Approval PA\17\0206

Dear Sir/Madam

With reference to the information contained in the Application for Planning Approval PA\17\0206, we would like to voice our concerns over the proposed sub-division and the subsequent impact this may have on our annual event, Agfest Field Days.

We currently have a long term lease in place with the Walkers, for a sliver of land that runs along the Oaks Road edge of what will be Lot 1 under the proposed new subdivision. This land allows us to open up a third lane of traffic in and out of the Agfest site, for the three patron days of the event each year. This greatly alleviates traffic congestion, and prior to its inception in 2004, traffic flow and community safety were always a huge issue during the event.

We have previously written to Craig Perkins on the 4th April 2017, asking if the council would give consideration to purchasing the land, or providing alternative solutions, however we have not received a response to date.

We would like to ensure that we retain access to the land so that we can continue to open the third lane each year for the event. Without this access, the impact to the event and the community would be diabolical, considering the effect it would have on the Bass Highway, Oaks Road and all surrounding thoroughfares. This is not just isolated to Agfest, it will impact on others such as Tas Police, not to mention other people trying to get around the north of the state during that period.

I spoke to Leanne in the Planning Department yesterday and she advised that we should put our concerns in writing. If this is not sufficient, or you require further information, please contact either myself or Karen Robinson on 6331 6154.

Kind regards,

Linda Perkins

Finance Administrator
Rural Youth Organisation of Tas. Inc.
..... organisers of the Agfest Field Days
3rd, 4th and 5th May 2018



AGFEST

Tel: (03) 6331 6154 Fax: (03) 6334 4386

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C&DS 3 69 KING STREET, WESTBURY - SUBDIVISION (4 LOTS)

1) Introduction

This report considers application PA\17\0217 for Subdivision (4 lots) on land located at 69 King Street, Westbury (CT: 240103/1).

2) Background

Applicant

PDA Surveyors obo B & S Walker

Planning Controls

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

Use & Development

The application proposes to subdivide an existing lot into four lots, intended for a residential use. Lot 1 will be 4310m² in area and contains the existing dwelling. Lots 1 and 2 have areas of 6300m² and 5100m² respectively and will take access from Pensioners Row. Lot 4 will be 5660m² in area and will take access from King Street. All lots will be serviced by reticulated water. The lots are all fronted by Council maintained roads. The subdivision layout is indicated in Figure 1 below.



Figure 1: proposed plan of subdivision (PDA Surveyors, 2017)

Site & Surrounds

The subject site is 2.14 hectares in area and is located within the semi-urban area of Westbury, to the south of Meander Valley Road. The property is a corner lot with frontage on King Street and Pensioners Row. It is relatively flat and is generally cleared of vegetation. An existing single dwelling is located in the south-west corner of the lot.

The neighbouring properties to the east, south and west are used for residential purposes, comprising single dwellings on larger lots. The land to the north currently contains a warehouse. This land was formerly used as a sawmill, however it has not been in operation for well over two years and no longer retains any existing use rights for this purpose.



Photo 1: aerial photo of subject title and surrounding land



Photo 2: existing dwelling at 69 King Street, looking north from King Street



Photo 3: frontage of proposed Lots 1 and 2 looking north on Pensioners Row



Photo 4: frontage of proposed Lots 2 and 3 looking south on Pensioners Row



Photo 5: frontage of proposed Lot 3 and 4, looking west on King Street



Photo 6: looking north across Lot 1,3 & 4 from the proposed access to Lot 1

Statutory Timeframes

Date Received:	14 June 2017
Request for further information:	Not applicable
Information received:	Not applicable
Advertised:	24 June 2017
Closing date for representations:	10 July 2017
Extension of time granted:	13 July 2017
Extension of time expires:	9 August 2017
Decision due:	8 August 2017

3) Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

4) Policy Implications

Not applicable.

5) Statutory Requirements

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

6) Risk Management

Management of risk is inherent in the conditioning of the permit.

7) Consultation with State Government and other Authorities

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA2017/00855-MVC) was received on 6 June 2017 (attached document).

8) Community Consultation

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

9) Financial Impact

Not applicable.

10) Alternative Options

Council can either approve the application with amended conditions, or refuse the application.

11) Officers Comments

Zone

The subject property is located in the Low Density Residential Zone. The land surrounding the site is located in the Low Density Residential Zone.



Figure 2: Zoning of subject title and surrounding land

Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential (Single Dwelling)

Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Low Density Residential Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

Compliance Assessment

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

Low Density Residential Zone			
Scheme Standard		Comment	Assessment
12.3.1 Amenity			
A1	If for permitted or no permit required uses.	The proposed development is a subdivision, with lots suitable for residential use and development.	Complies
A2	Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	Not applicable	
12.4.3.1 General Suitability			
A1	No Acceptable Solution	No Acceptable Solution.	Relies on Performance Criteria
12.4.3.2 Lot Area, Building Envelopes and Frontage			
A1	Each lot must: <ul style="list-style-type: none"> a) have a minimum area in accordance with Table 12.4.3.1; and b) be able to contain a 35 metres diameter circle with the centre of the circle not more than 35 metres from the frontage; and c) have new boundaries 	The proposed lots all exceed 5000m ² in area and are able to contain a 35m diameter circle, within 35m of the frontage. The existing dwelling on	Complies

	<p>aligned from buildings that satisfy the relevant acceptable solutions for setbacks; or</p> <p>d) be required for public use by the Crown, a an agency, or a corporation all the shares of which are held by Councils or a municipality; or</p> <p>e) be for the provision of public utilities; or</p> <p>f) for the consolidation of a lot with another lot with no additional titles created; or</p> <p>g) to align existing titles with zone boundaries and no additional lots are created.</p>	<p>proposed Lot 3 is setback more than 12m from the nearest new boundary and complies with the Acceptable Solutions for setbacks in the Low Density Residential Zone.</p>	
A2	<p>Each lot must have a frontage of at least 4 metres.</p>	<p>All of the proposed lots have direct frontage to a sealed, Council maintained road in excess of 44m.</p>	<p>Complies</p>
A3	<p>Each lot must be connected to a reticulated:</p> <p>a) water supply; and</p> <p>b) sewerage system.</p>	<p>The proposed lots will be connected to the reticulated water supply, however the land is not serviced by reticulated sewerage.</p>	<p>Relies on Performance Criteria</p>
A4	<p>Each lot must be connected to a reticulated stormwater system.</p>	<p>The subject lots on Pensioners Row are fronted by Council's open stormwater drain.</p>	<p>Relies on Performance Criteria</p>

		Lot 4 does not have access to a public stormwater system.	
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Bushfire-Prone Areas Code			
Scheme Standard		Comment	Assessment
E1.6.1 Subdivision - Provision of hazard management areas			
A1	<p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</p> <p>b) The proposed plan of subdivision:</p> <p>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;</p> <p>(ii) shows the building area for each lot;</p> <p>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of <i>Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-</i></p>	<p>The application includes a Bushfire Hazard Management Plan prepared by an Accredited Bushfire Practitioner, which shows a building area on all of the proposed lots and hazard management areas between the building area and the bushfire prone vegetation which achieves BAL 19.</p> <p>The assessment identifies that there is insufficient risk associated with Lot 3 to warrant any specific measures.</p>	Complies

	<p><i>prone areas</i>; and</p> <p>(iv) is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009</p> <p>Construction of buildings in bushfire-prone areas; and</p> <p>c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</p>		
E1.6.2 Subdivision: Public and fire fighting access			
A1	a) TFS or an accredited person certifies that there is an insufficient	The Bushfire Hazard Management	Complies

	<p>increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</p> <p>b) A proposed plan of subdivision showing the layout of roads and fire trails, and the location of property access to building areas, and which complies to the extent necessary with Tables E1, E2 and E3, is included in a bushfire hazard management plan certified</p>	<p>Plan submitted with the application certifies that the public access to the property is consistent with (b).</p> <p>The assessment identifies that there is insufficient risk associated with Lot 3 to warrant any specific measures.</p>	
E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
A1	<p>In areas serviced with reticulated water by the water corporation:</p> <p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</p> <p>b) A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or</p>	<p>The subject lot is in a serviced area, however there are no hydrants within 120m of the BAL 19 building areas identified within the lots.</p> <p>While the bushfire hazard management plan submitted with the application has certified the development under A2 (b) below, this is considered to also be compliant with the</p>	Complies

	<p>c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>	<p>requirements of A1 (C). A 10,000L dedicated fire fighting tank, constructed and marked in accordance with A2 (b) is considered to be sufficient to manage the bushfire risk for a new dwelling.</p>	
A2	<p>In areas not serviced by reticulated water by the water corporation:</p> <p>a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for fire fighting purposes;</p> <p>b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</p> <p>c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting</p>	<p>The subject lots are within a reticulated area, however it is noted that the development complies with A2 (b).</p>	Complies

	purposes is sufficient to manage the risks to property and lives in the event of a bushfire.		
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Recreation and Open Space Code			
Scheme Standard		Comment	Assessment
E10.6.1 Provision of Public Open Space			
A1	The application includes consent in writing from the General Manager that no land is required for public open space but instead there is to be a cash payment in lieu.	The General Manager has provided consent for a cash payment to be made in lieu of public open space.	Complies

Road and Railway Assets Code			
Scheme Standard		Comment	Assessment
E4.6.1 Use and road or rail infrastructure			
A1	Sensitive use within 50m of a category 1 or 2 road with a speed limit of more than 60km/h, a railway or future road or railway, does not increase the annual average daily traffic movements by more than 10%.	Not applicable	
A2	For roads with a speed limit of 60km/h or less the use must not generate more than 40 movements per day.	The likely use of the proposed lots will be residential. A single dwelling will not result in more than 40 vehicle movements at each of the proposed access points.	Complies
A3	For roads with a speed limit of more than 60km/h the use must not increase the annual	Not applicable	

	average daily traffic movements by more than 10%.		
E4.7.2 Management of Road Accesses and Junctions			
A1	For roads with a speed limit of 60km/h or less the development must include one access providing both entry and exit, or two accesses providing separate entry and exit.	Each lot is provided with one access.	Complies
A2	For roads with a speed limit of more than 60km/h the development must not include a new access or junction.	Not applicable	
E4.7.4 Site Distance at Access Junctions and Level Crossings			
A1	A1 Sight distances at an access or junction must <ul style="list-style-type: none"> a) comply with the Safe Intersection Sight Distance shown in Table E4.7.4; and b) rail level crossings must comply with AS1742.7 Manual of uniform traffic control devices - Railway crossings, Standards Association of Australia; or c) If the access is a temporary access, the written consent of the relevant authority has been obtained. 	Sight distances at all of the proposed access points exceed 200m in both directions.	Complies

Car Parking and Sustainable Transport Code			
Scheme Standard		Comment	Assessment
6.6.1 Car Parking Numbers			
A1	The number of car parking spaces must not be less than the requirements of: a) Table E6.1; or b) a parking precinct plan.	Each lot has sufficient area to provide parking in accordance with the Acceptable Solutions.	Complies

Performance Criteria

Low Density Residential Zone
12.4.3.1 General Suitability
<p>Objective</p> <p><i>The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the Low Density Residential Zone.</i></p>
<p>Performance Criteria P1</p> <p><i>Each new lot on a plan must be suitable for use and development in an arrangement that is consistent with the Zone Purpose, having regard to the combination of:</i></p> <ul style="list-style-type: none"> <i>a) slope, shape, orientation and topography of land;</i> <i>b) any established pattern of use and development;</i> <i>c) connection to the road network;</i> <i>d) availability of or likely requirements for utilities;</i> <i>e) any requirement to protect ecological, scientific, historic, cultural or aesthetic values; and</i> <i>f) potential exposure to natural hazards.</i>
<p>Comment:</p> <p>The proposed lots are all relatively flat and have an area in excess of 5000m². They all have frontage to a Council maintained road and access to reticulated water. Each lot has sufficient area and dimensions for the onsite treatment of waste water and stormwater.</p> <p>The lot has not been identified as having any significant ecological, scientific, historic, cultural or aesthetic values. Bushfire hazard is addressed in the assessment below and there are no other identified natural hazards on the lot.</p>

The proposed lots are considered to be generally suitable for residential use and development and are consistent with the purpose of the Low Density Residential Zone.

12.4.3.2 Lot Area, Building Envelopes and Frontage

Objective

To ensure:

- a) *the area and dimensions of lots are appropriate for the zone; and*
- b) *the conservation of natural values, vegetation and faunal habitats; and*
- c) *the design of subdivision protects adjoining subdivision from adverse impacts; and*
- d) *each lot has road, access, and utility services appropriate for the zone.*

Performance Criteria P3

Lots that are not provided with reticulated water and sewerage services must be:

- a) *in a locality for which reticulated services are not available or capable of being connected; and*
- b) *capable of accommodating an on-site wastewater management system.*

Comment:

The lots are all proposed to be connected to reticulated water services. Sewerage infrastructure is not available in close proximity to the development and it is not feasible to extend the system. However, the significant size of the lots, more than 5000m², provides sufficient area to accommodate an on-site waste water treatment system. Council's Environmental Health Officers have assessed the proposal and are satisfied that there is significant scope for future onsite treatment of waste water.

The development is consistent with the objective and each lot is provided with utility services appropriate for the Low Density Residential Zone.

Performance Criteria P4

Each lot must be capable of disposal of stormwater to a legal discharge point.

Comment:

Lots 1, 2 and 3, front a Council maintained open drain and have the ability

to connect. It is also noted that these lots are also of a size where onsite management is possible, if necessary. Stormwater management is further commented on in the discussion of the representation below.

Lot 4 is of sufficient size that stormwater generated by a typical dwelling and associated outbuildings can be effectively managed onsite.

It is considered that the development is consistent with the objective and all stormwater can be disposed of to a legal discharge point or onsite waste water management system in a manner appropriate for the Low Density Residential Zone.

Representations

One (1) representation was received during the advertising period (see attached documents). An extract from the representation is below:

I want to ensure if any subdivisions and/or subsequent building on the subdivisions of the property 69 king street that/if there are plans for using the storm water runoff through our property of 12 pensioners row Westbury, that meander valley council will at their cost upgrade the current stormwater open ditch to underground culverts. We already are already experiencing overflowing within our paddock in heavy wet conditions with the current flow from the mill.

Comment:

The proposed development will result in two additional lots fronting the open drain on Pensioners Row and may result in an increase in stormwater entering the public stormwater system. The public stormwater system in this area collects stormwater from Pensioners Row and from swales on intersecting streets before it is directed through the existing open drain crossing 12 Pensioners Row.



Photo 7: Existing public drain crossing 12 Pensioners Row

However, any increase in flow resulting from the addition of two residential titles is not considered to be substantial in the context of the existing catchment.

Council's Director Infrastructure Services has provided the following comments:

The proposed subdivision of 69 King Street may well result in an increase in stormwater runoff from that land following development due to the construction of impervious surfaces. Although there may be on site collection and disposal of stormwater implemented as part of future development, it is still expected that an increase in stormwater discharge to the open drains in Pensioners Row from Lots 1 and 2 would occur during large rainfall events. The annual recurrence interval or peak rainfall event in which additional discharge from the site may occur has not been explored at this point in time. Stormwater from the road side drainage system discharges to the existing open drain within No.12 Pensioners Row. This existing open drain is deemed to be part of the existing public drainage network in this area. Following inspection, the existing drain is in need of cleaning out and reshaping by Council, and this work would mitigate current and future flooding. If the owner of No.12 is wanting to see the existing open drain piped by Council, this would need to be a

consideration by Council as part of the capital works review process. If the open drain were to be piped in the future, consideration of the overland flow path would also be required. Maintenance of existing open drains of this type by Council's works department are generally undertaken at regular intervals as flagged by Council's asset management program or through direct coordination with landowners on an as-needed basis.

It is noted that additional stormwater will not be generated by the subdivision itself, but through subsequent development. In the process of obtaining Building approvals, there is opportunity for Council's Plumbing Surveyor to require detention for any future use and development if the existing stormwater system is determined to be under capacity. Council as a stormwater authority also has the capacity to require detention as a condition of providing a connection point for future use and development. Onsite detention results in the storage of stormwater onsite during rainfall events and controls the release of stormwater into the public system over time. This approach is commonly used for developments in higher density areas, such as Prospect Vale. Onsite stormwater treatment systems, using soakage trenches, are common in Westbury and this type of system may also be used by future land owners. A note is recommended on the permit indicating that onsite detention may be required for future stormwater management.

Council can also consider applying a condition that the applicant enter into a Part 5 Agreement with Council, requiring that all stormwater generated by future development on the newly created lots be managed on-site. However, the costs associated with this are considered unnecessary, as there are other options available.

It is considered that there are adequate opportunities for Council to manage stormwater through the plumbing/building approval process associated with any future use and development. Council's Infrastructure Department and Works Departments will undertake maintenance on the existing open drainage system as required to mitigate existing and future flooding.

Conclusion

In conclusion, it is considered that the application for Use and Development for Subdivision (4 lots) is an acceptable development for the subject lot and is consistent with the purpose of the Low Density Residential Zone. Approval, with conditions, is recommended.

AUTHOR: Justin Simons
TOWN PLANNER

12) Recommendation

That the application for Use and Development for Subdivision (4 lots) on land located at 69 King Street, Westbury (CT: 240103/1) by PDA Surveyors, requiring the following discretions:

- 12.4.3.1 - General Suitability
- 12.4.3.2 - Lot Area, Building Envelopes and Frontage

be APPROVED, generally in accordance with the endorsed plans:

- a) PDA Surveyors – Plan of Subdivision - Job Number: L17072-1;**
- b) Rebecca Green and Associates – Bushfire Hazard Assessment Report and Hazard Management Plan, dated May 2017**

and subject to the following conditions:

- 1. Covenants or similar restrictive controls must not be included on or otherwise imposed on the titles to the lots created by the subdivision, permitted by this permit unless:**
 - a) Such covenants or controls are expressly authorised by the terms of this permit; or**
 - b) Such covenants or similar controls are expressly authorised by the consent in writing of Council.**
 - c) Such covenants or similar controls are submitted for and receive written approval by Council prior to submission of a Plan of Survey and associated title documentation is submitted to Council for sealing.**
- 2. The vehicular crossover servicing proposed Lots 1, 2 & 4 must be constructed and sealed in accordance with LGAT standard drawing TSD-RO3-V1 and TSD-RO4-V1 (attached) and to the satisfaction of Council’s Director Infrastructure Services (see Note 1).**
- 3. Prior to the sealing of the final plan of survey, the following must be completed to the satisfaction of Council:**
 - a) The developer must pay Council \$4390.00, a sum equivalent to 5% of the unimproved value of the approved lots.**

- b) Crossovers for Lots 1, 2 & 4 completed (as per Condition 2).**
 - c) All stormwater works completed (as per Condition 3).**
- 4. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA 2017/00855-MVC, attached).**

Note:

- 1. Prior to the construction of any vehicle accesses (e.g. a driveway crossover) separate consent is required by the Road Authority. A Driveway Crossover Application Form is enclosed. All enquiries should be directed to Council's Technical Officer on 6393 5312.**
- 2. Future development on Lots 1, 2 & 4 may be required to manage stormwater via an on-site stormwater management system or may require detention prior to controlled discharge to the public stormwater system.**
- 3. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
4. This permit takes effect after:
 - a) The 14 day appeal period expires; or
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
 - c) Any other required approvals under this or any other Act are granted.
5. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.

6. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
7. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
8. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
9. If any Aboriginal relics are uncovered during works;
 - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
 - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au); and
 - c) The relevant approval processes will apply with state and federal government agencies.

DECISION:

LAUNCESTON

J.W. Dent, OAM, B. SURV. (Tas.), M.SSSI. (Director)
 M.B. Reid, B. GEOM.(HONS) (Tas.), M.SSSI M.AIPM (Associate)

HOBART

C.M. Terry, B. SURV. (Tas.), M.SSSI. (Director)
 D. Panton, B.E. M.I.E. AUST., C.P.ENG. (Director)
 H. Clement, B. SURV. (Tas.), M.SSSI (Director)
 A.M. Peacock, B. APP. SC. (SURV), M.SSSI. (Consultant)
 M. McQueen, B.E., M.I.E. AUST., C.P.ENG. (Associate)
 M.S.G. Denholm, B. GEOM. (Tas.), M.SSSI (Associate)
 L.H. Kiely, Ad. Dip. Civil Eng, Cert IV I.T., (Associate)
 A. Collins, Ad. Dip. Surv & Map, (Associate)

KINGSTON

A.P. (Lex) McIndoe, B. SURV. (Tas.), M.SSSI. (Director)

BURNIE/DEVONPORT

A.J. Hudson, B. SURV. (Tas.), M.SSSI. (Director)
 A.W. Eberhardt, B. GEOM. (Tas.), M.SSSI (Director)



PDA Surveyors

ABN 71 217 806 325

Surveying, Engineering & Planning

PO Box 284 (3/23 Brisbane Street)
 Launceston Tasmania, 7250
 Phone (03) 6331 4099

ABN 71 217 806 325
 Fax (03) 6334 3098
 Email: pda.ltn@pda.com.au
 www.pda.com.au

Our Ref: 17072

26th May, 2017.

Meander Valley Council
 P O Box 102
 WESTBURY, TAS. 7303

Attention: Mrs. J. Richardson

Dear Jan,

Re: Four Lot Subdivision – Pensioners Row, Westbury

We submit herewith an application on behalf of Stephen and Bronwyn Walker to subdivide their land into four lots in stages. We will now address the provisions of the Meander Valley Interim Planning Scheme as it relates to this subdivision.

12.4.3.1 General Suitability

The Performance Criteria are met in that this subdivision fits into the established pattern of development in this area. The blocks can be connected to the road network and water and there are no other hazards or issues that would prevent this site from being suitable for subdivision.

12.4.3.1 Lot Area Building Envelope and Frontage

Lots 1, 2 and 4 are over the 5,000m² minimum lot size and contain the required circle. Lot 3 is just under the 5,000m² lot size at 4,310m² and so we will address the Performance Criteria for this lot.

Because there is an existing house located on the block the plan shows that the dwelling can fit on the block and that onsite parking and manoeuvrability and adequate Private Open Space can be provided. The block is not out of place with the surrounding area and because lots 2 and 4 can see exactly where the house is located they can build to an appropriate place to ensure that their amenity is protected. There is an existing hedge along the northern side of lot 3 which is the closest boundary to the house and this provides adequate protection for the amenity of the residence of lot 3.

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OFFICES ALSO AT:

- 16 Emu Bay Road, Deloraine, 7304 (03) 6362 2993
- 6 Queen Street, Burnie, 7330 (03) 6229 2131
- 63 Don Road, Devonport, 7310 (03) 6423 875

- 127 Bathurst Street, Hobart, 7000
- 6 Freeman Street, Kingston, 7050
- 1001 Devonville, 7109

- (03) 6234 3217
- (03) 6229 2131
- (03) 6264 1277

2.

Acceptable Solution A2 is met in that the frontage of each lot is well above the 4 metre minimum frontage.

Acceptable Solution A3 is met as far as water supply is concerned and we have shown the existing and proposed water supply connections for each of the lots on this site. Performance Criteria P3 can be met in that lot 3 has an existing septic tank located on it as shown on the plan and lots 2, 3 and 4 are large enough to be able to be of sufficient size for waste water management to occur within the boundaries of the property. Performance Criteria P4 is met in that all the lots can drain water to the roads, either Pensioners Row or King Street and are large enough to absorb stormwater within the boundaries of each lot.

Code E1 Bushfire Prone Areas is met as indicated in the accompanying Bushfire Hazard Management Report.

Code E4 Road and Rail Access Code is met in that the existing access to lot 3 and the proposed accesses to lots 1, 2 and 4 meet the provisions of this code as they are in a safe location for access to be provided to each lot.

Code E19 Open Space Code appears to apply to the low density zone and if your Council requires an Open Space Contribution could you please arrange for the consent of the General Manager to be provided that no land is required and that a cash in lieu payment would be provided.

We enclose the following to enable you to assess the application:

- Three copies of the Proposal Plan
- Copy of the Title.
- Completed Development Application Form.
- Bushfire Hazard Management Report.

Could you please forward an invoice for your fees for this application to S and B Walker c/o john.dent@pda.com.au and we will arrange for its payment direct to your Council.

Please get in touch if you have any questions or if you need any further information.

Yours faithfully
PDA Surveyors

Per:


JOHN DENT

SEARCH OF TORRENS TITLE

VOLUME 240103	FOLIO 1
EDITION 1	DATE OF ISSUE 16-Mar-1995

SEARCH DATE : 12-May-2017

SEARCH TIME : 09.52 AM

DESCRIPTION OF LAND

Town of WESTBURY
 Lot 1 on Plan 240103
 Derivation : Lot 63 and Part of Lot 1 Sec C.1 Gtd to C McFall
 and A Douglas respectively
 Prior CT 3684/12

SCHEDULE 1

B759614 TRANSFER to STEPHEN BARRY WALKER and BRONWYN KAY
 HINGSTON

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 B765938 MORTGAGE to Westpac Banking Corporation Registered
 09-Sep-1994 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

05 0 435

ANNEXURE TO CERTIFICATE OF TITLE

VOL. 3684 FOL. 12



REGISTERED NUMBER

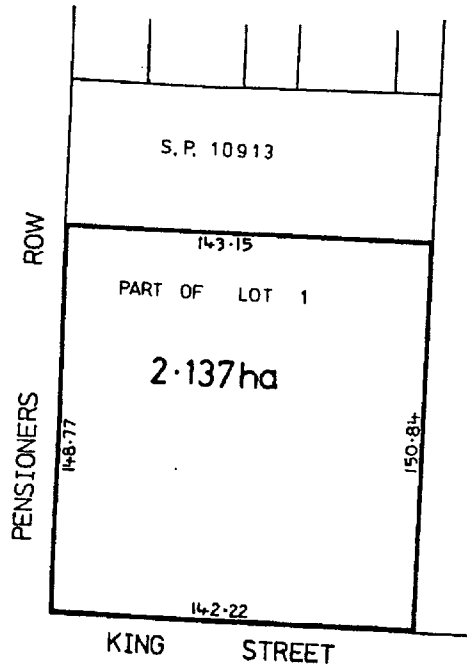
240103

Recorder of Titles

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

TWN. WESTBURY
MEAS. IN METRES

554 D.
28



Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

69 King Street, Westbury



Prepared for (Client)

Stephen and Bronwyn Walker

C/- PDA Surveyors

PO Box 284

LAUNCESTON TAS 7250

Assessed & Prepared by

Rebecca Green

Senior Planning Consultant & Accredited Bushfire Hazard Assessor

Rebecca Green & Associates

PO Box 2108 LAUNCESTON TAS 7250

Mobile: 0409 284 422

Version 1

21 May 2017

Job No: RGA-B589

Executive Summary

The proposed development at 69 King Street, Westbury, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

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Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Meander Valley Interim Planning Scheme 2013, the Building Code of Australia and Australian Standards, *AS 3959-2009, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a 4 Lot Subdivision at 69 King Street, Westbury. One lot currently exists; the proposal is for three additional lots.

Lot 1 will have an area of approximately 6300m² and will front Pensioners Row. Lot 1 will be vacant.

Lot 2 will have an area of approximately 5100m² and will also front Pensioners Row. Lot 2 will be vacant.

Lot 3 will have an area of approximately 4310m² and will front Pensioners Row and King Street. Lot 3 will contain the existing dwelling.

Lot 4 will have an area of approximately 5660m² and will front King Street. Lot 4 will be vacant.

2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan

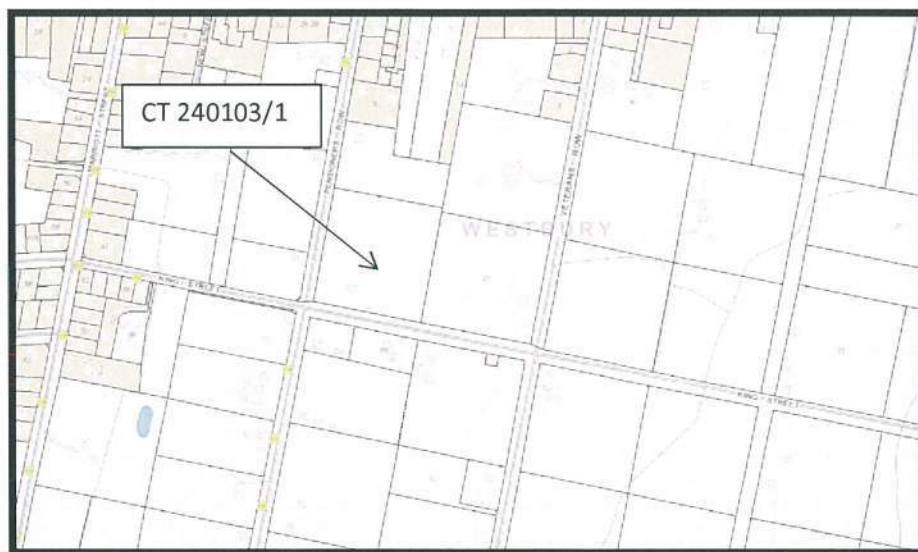


Figure 1: Location Plan of 69 King Street, Westbury

2.2 Site Details

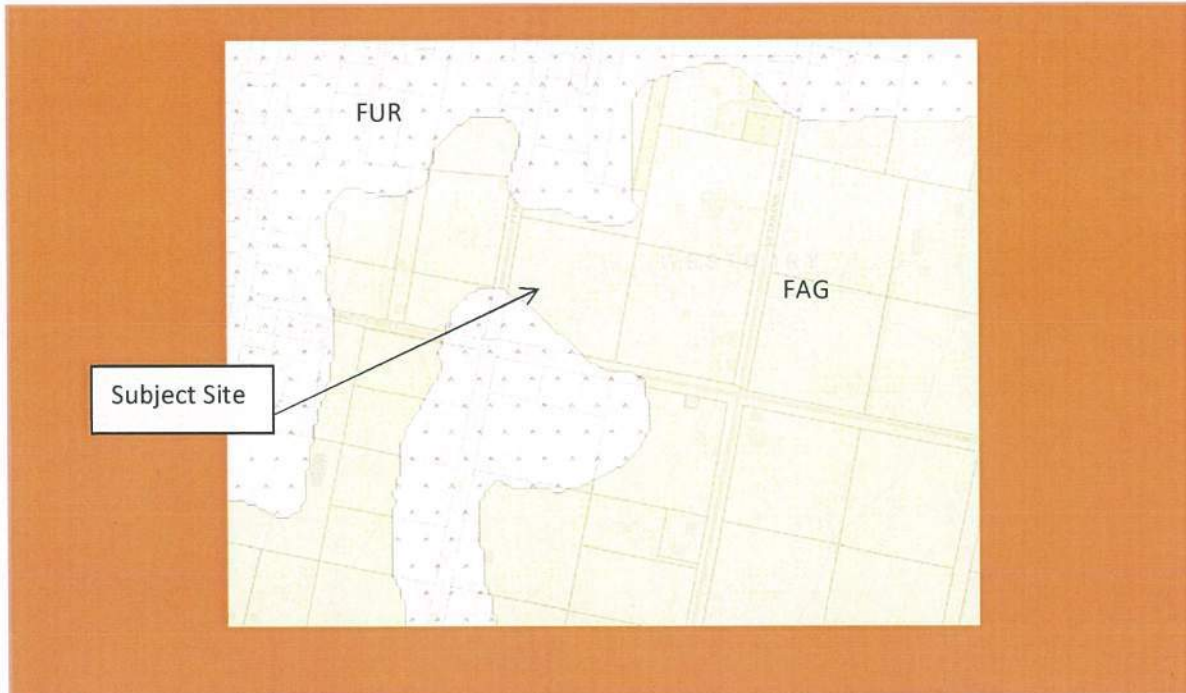
Property Address	69 King Street, Westbury
Certificate of Title	Volume 240103 Folio 1
Owner	Stephen Barry Walker and Bronwyn Kay Hingston
Existing Use	Residential
Type of Proposed Work	4 Lot Subdivision
Existing Structures	1 x dwelling
Water Supply	On-site for fire fighting if greater than 120m from existing fire hydrants in Pensioners Row
Road Access	Pensioners Row and King Street

3.0 Bushfire Site Assessment

3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



Code	Species	Vegetation Group
FAG	<ul style="list-style-type: none"> Agricultural land 	Agricultural, urban and exotic vegetation
FUR	<ul style="list-style-type: none"> Urban areas 	Agricultural, urban and exotic vegetation

3.1.2 Site & Vegetation Photos





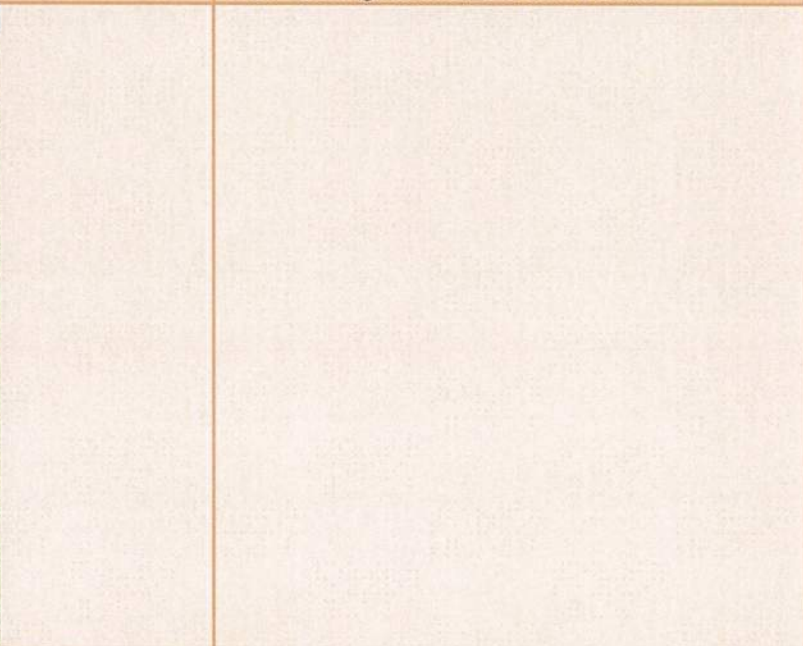
View looking west from Veterans Row



View looking southeast towards Lot 1



Existing fire plug west of Lot 3 in Pensioners Row



3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 1.6.1 of Interim Planning Directive No. 1 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.4.4 of AS3959-2009 Construction of Buildings in Bushfire Prone Areas for **BAL 19**.

Lots 1 & 2

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m	10-<14m	10-<14m	10-<14m
REQUIRED Distance to classified vegetation for BAL 12.5	14-<50m	14-<50m	14-<50m	14-<50m

Lot 3

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m	10-<14m	10-<14m	10-<14m
REQUIRED Distance to classified vegetation for BAL 12.5	14-<50m	14-<50m	14-<50m	14-<50m

Lot 4

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	10-<14m	10-<14m	10-<14m	10-<14m
REQUIRED Distance to classified vegetation for BAL 12.5	14-<50m	14-<50m	14-<50m	14-<50m

BAL – 12.5	The risk is considered to be LOW . There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m ² .
BAL – 19	The risk is considered to be MODERATE . There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m ² .

3.3 Outbuildings

Not applicable.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

<p>New – Lot 1, 2 and 4 Road Access and Driveways</p>	<p>Access via direct road frontage</p> <p>Private access driveway / roads are to be constructed from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply (if applicable). Private access roads are to be constructed/maintained to a standard not less than specified in Table E2.</p>
<p>Lot 3 Road Access and Driveways</p>	<p>Access via existing direct road frontage.</p> <p>Private access driveway / roads are to be <u>maintained</u> from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply. Private access roads are to be maintained to a standard not less than specified in Table E2.</p>

Table E2: Standards for Property Access

The following design and construction requirements apply to property access length is 30 metres or greater or access for a fire appliance to a fire fighting point):

- (i) All weather construction;
- (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (iii) Minimum carriageway width of 4 metres;
- (iv) Minimum vertical clearance of 4 metres;
- (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (vi) Cross falls of less than 3 degrees (1:20 or 5%);
- (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (viii) Curves with a minimum inner radius of 10 metres;
- (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and

- (x) Terminate with a turning area for fire appliances provided by one of the following:
- A turning circle with a minimum inner radius of 10 metres;
 - A property access encircling the building; or
 - A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a Habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (lay) connected to –

- A fire hydrant with a minimum flow rate of 600L per minute and pressure of 200kpa; or
- A stored water supply in a water tank, swimming pool, dam or lake available for firefighting at all times which has the capacity of at least 10,000L for each separate building.

<p>New – Lot 1, 2 and 4 On-site Dedicated Fire Fighting Water Supply</p>	<p>On-site water supply is required if habitable building greater than 120m from existing fire hydrants in Pensioners Row.</p>
<p>Lot 3</p>	<p>No increase in risk – 1 x existing dwelling.</p>

It should be recognised that although water supply as specified above may be in compliance with the requirements of the Building Code of Australia, the supply may not be adequate for all firefighting situations.

Table E5: Static Water Supply for Fire Fighting

Column 1	Column 2
Element	Requirement
<p>A. Distance between building area to be protected and water supply</p>	<p>The following requirements apply:</p> <ol style="list-style-type: none"> The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
<p>B. Static Water Supplies</p>	<p>A static water supply:</p> <ol style="list-style-type: none"> May have a remotely located offtake connected to the static water supply; May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of

		<p>fire fighting water must be available at all times;</p> <p>(3) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;</p> <p>(4) Must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>(5) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009 the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by:</p> <p>(a) Metal;</p> <p>(b) Non-combustible material; or</p> <p>(c) Fibre-cement a minimum 6mm thickness.</p>
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <p>(1) Have a minimum nominal internal diameter of 50mm;</p> <p>(2) Be fitted with a valve with a minimum nominal diameter of 50mm;</p> <p>(3) Be metal or lagged by non-combustible materials if above ground;</p> <p>(4) if buried, have a minimum depth of 300mm;</p> <p>(5) Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment;</p> <p>(6) Ensure the coupling is accessible and available for connection at all times;</p> <p>(7) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length);</p> <p>(8) Ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and</p> <p>(9) If a remote offtake is installed, ensure the offtake is in a position that is:</p> <p>(a) Visible;</p> <p>(b) Accessible to allow connection by fire fighting equipment;</p> <p>(c) At a working height of 450-600mm above ground level; and</p> <p>(d) Protected from possible damage, including damage from vehicles.</p>
D.	Signage for static water connections	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <p>(1) Comply with water tank signage requirements within AS 2304-2011 Water storage tanks for fire protection systems; or</p> <p>(2) be:</p> <p>(a) marked with the letter "W" contained within a</p>

		<p>circle with the letter in upper case of not less than 100mm in height;</p> <p>(b) in fade-resistant material with white reflective lettering and circle on a red background;</p> <p>(c) located within 1m of the fire fighting water point in a situation which will not impede access or operation; and</p> <p>(d) no less than 400mm above the ground.</p>
E.	Hardstand	<p>A hardstand area for fire appliances must be provided:</p> <p>(1) No more than 3m from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);</p> <p>(2) No closer than 6m from the building area to be protected;</p> <p>(3) a minimum width of 3m constructed to the same standard as the carriageway; and</p> <p>(4) Connected to the property access by a carriageway equivalent to the standard of the property access.</p>

4.0 Bushfire-Prone Areas Code Assessment Criteria

Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

E1.4 – Exemptions – No increase in risk to existing dwelling on Lot 3. Adequate separation to boundaries is existing. Any future additions to the dwelling on Lot 3 will require a separate assessment, however, it is demonstrated that the lot can provide for a BAL 19 building area.

E1.5 Vulnerable Uses – Not applicable.

E1.6.1 Subdivision

E1.6.1.1 Hazard Management Areas		
		Comments
<input checked="" type="checkbox"/>	A1 (b)	Specified distances for Hazard Management Areas for BAL 19 as specified on the plan are in accordance with AS3959. The proposal complies.
<input type="checkbox"/>	P1	
E1.6.2 Public Access		
		Comments
<input checked="" type="checkbox"/>	A1 (a)	Lot 3 contains an existing dwelling. Adequate separation to boundaries is existing. There is insufficient increase in risk to the existing dwelling by the proposed subdivision.
<input checked="" type="checkbox"/>	A1 (b)	The private driveway to Lots 1, 2 and 4 will be constructed in accordance with Table E2. The property access is likely to be greater than 30 metres.
<input type="checkbox"/>	P1	
<input checked="" type="checkbox"/>	A2	Not applicable.

<input type="checkbox"/> P2	No PC	
E1.6.3 Water supply for fire fighting purposes		
Comments		
<input checked="" type="checkbox"/> A1	(b)	It is proposed that Lots 1, 2 and 4 will need to have its own independent firefighting water supply if a new dwelling is greater than 120m from existing fire hydrants located in Pensioners Row.
<input type="checkbox"/> P1	No PC	
<input checked="" type="checkbox"/> A2	(a)	Lot 3 contains an existing dwelling. Adequate separation to boundaries is existing. There is insufficient increase in risk to the existing dwelling by the proposed subdivision.
<input checked="" type="checkbox"/> A2	(b)	It is proposed that Lots 1, 2 and 4 will need to have its own independent firefighting water supply if a new dwelling is greater than 120m from existing fire hydrants located in Pensioners Row. A new dwelling on Lots 1, 2 and 4 is to be supplied with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table E5.
<input type="checkbox"/> P2	No PC	

5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Not relevant to this proposal.

7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 19 in Table 2.4.4 of AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas.

Access

Lots 1, 2 and 4 - The driveway is to be constructed of all-weather construction, with a minimum width of access of 4 metres.

Lot 3 – Existing access is not restricted.

Water Supplies

Lots 1, 2 and 4 - On-site water storage – 10,000 litre dedicated fire fighting water supply, water tank, swimming pool, dam or the like is to be provided if a new dwelling is located greater than 120m from existing fire hydrants located in Pensioners Row.

Lot 3 – Insufficient increase in risk to existing dwelling.

Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2.

Schedule 2 – Bushfire Hazard Management Plan

Access Road (All lots):

Private access roads are to be constructed (Lots 1, 2 and 4) and maintained (Lot 3) from the entrance to the property cross-over with the public road through to the dwelling and water storage on the site.

- > All-weather construction (minimum)
- > Minimum carriageway width of 4 metres
- >Vegetation must be cleared for a height of 4 metres above the carriageway and 0.5 metres each side of the carriageway
- >Must terminate with a turning area for fire appliances of either a turning circle with a minimum inner radius of 10 metres, a property access encircling the building, or a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long

Hazard Management- Vegetation Management:

Vegetation in the hazard management area (as dimensioned and shown) is to be managed and maintained in a minimum fuel condition

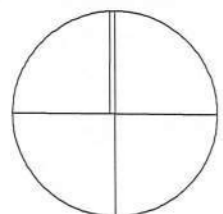
On-Site Water Storage (Lots 1, 2 and 4 if greater than 120m from existing fire hydrant):

10,000 litre dedicated fire fighting water supply tank, Swimming pool, Dam or the like is to be provided as specified below:

- > Tanks above ground pipes and fittings must be made of non-rusting, non-combustible, non-heat-deforming materials
- > Tanks and fittings must be situated more than 6 metres from a building but contained within the hazard management area
- > Tanks must be fitted with a standard compliant forged storz 65mm adaptor fitted with a standard (delivery) washer rated to 1800kPa working pressure and 2400kPa burst pressure
- >The building area to be protected must be located within 90 metres of the water connection point of a static water supply (measured as a hose lay)



N



Rebecca Green
& Associates

BUSHFIRE HAZARD MANAGEMENT PLAN

69 King Street, Westbury
4 Lot Subdivision

Bushfire Attack Level - BAL 19 and BAL 12.5

Date: 21 May 2017

Form 55

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form 55

To: Stephen and Bronwyn Walker
C/- PDA Surveyors
PO Box 284
LAUNCESTON 7250

Owner /Agent
Address
Suburb/postcode

Qualified person details:

Qualified person: Rebecca Green
Address: PO Box 2108
Launceston 7250
Licence No: BFP-116
Phone No: 0409 284 422
Fax No:
Email address: admin@rgassociates.com.au

Qualifications and Insurance details: Accredited to report on bushfire hazards under Part IVA of the Fire Services Act 1979
(description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: Analysis of hazards in bushfire prone areas
(description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: 69 King Street
WESTBURY 7303
Lot No: 1
Certificate of title No: 240103
The assessable item related to this certificate: 4 Lot Subdivision
(description of the assessable item being certified)
Assessable item includes –
- a material,
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: Bushfire Hazard
(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - *(tick one)*
building work, plumbing work or plumbing installation or demolition work:
or
a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 21 May 2017, Job No. RGA-B589)
Relevant	N/A
References:	<i>Interim Planning Directive No 1, Bushfire-Prone Areas Code</i> <i>Australian Standard 3959-2009</i>

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level to Australian Standard 3959
2. Bushfire Hazard Management Plan showing BAL-19 and BAL-12.5 solutions.

Scope and/or Limitations

Scope
This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with *Interim Planning Directive No 1, Bushfire-Prone Areas Code* issued by the Tasmanian Planning Commission, the *Building Act 2016 & Regulations 2016, Building Code of Australia* and *Australian Standard 3959-2009, Construction of buildings in bushfire-prone areas.*

Limitations
The assessment has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate.
2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.
4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire.
5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire.

No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.

I certify the matters described in this certificate.

Qualified person:	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
		21 May 2017	RG-487/2017

Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

CODE E1 – BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies²

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Meander Valley Interim Planning Scheme 2013

Street address:

69 King Street, Westbury

Certificate of Title / PID:

CT 240103/1

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

Certificate of Title / PID:

2. Proposed Use or Development

Description of Use or Development:

4 Lot Subdivision

Code Clauses³:

E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

³ Indicate by placing X in the corresponding for the relevant clauses of E1.0 Bushfire-prone Areas Code.

3 Documents relied upon⁴

Documents, Plans and/or Specifications

Title:

Author:

Date: **Version:**

Bushfire Hazard Report

Title:

Author:

Date: **Version:**

Bushfire Hazard Management Plan

Title:

Author:

Date: **Version:**

Other Documents

Title:

Author:

Date: **Version:**

⁴ List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire. Each document must be identified by reference to title, author, date and version.

4 Nature of Certificate⁵

<input checked="" type="checkbox"/>	E1.4 – Use or development exempt from this code		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input checked="" type="checkbox"/>	E1.4 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lot 3.

<input type="checkbox"/>	E1.5.1 – Vulnerable Uses		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.1 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.1 A2	BHMP	
<input type="checkbox"/>	E1.5.1 A3	Emergency Plan	

<input type="checkbox"/>	E1.5.2 – Hazardous Uses		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.2 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.2 A2	BHMP	
<input type="checkbox"/>	E1.5.2 A3	Emergency Plan	

<input checked="" type="checkbox"/>	E1.6 – Development standards for subdivision		
	E1.6.1 Subdivision: Provision of hazard management areas		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1 P1	Hazard Management Areas are sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1 A1 (a)	Insufficient increase in risk	

⁵ The certificate must indicate by placing X in the corresponding for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

<input checked="" type="checkbox"/>	E1.6.1 A1 (b)	Provides BAL 19 for all lots	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017.
<input type="checkbox"/>	E1.6.1 A1 (c)	Consent for Part 5 Agreement	

E1.6.2 Subdivision: Public and fire fighting access			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.2 P1	Access is sufficient to mitigate risk	
<input checked="" type="checkbox"/>	E1.6.2 A1 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lot 3.
<input checked="" type="checkbox"/>	E1.6.2 A1 (b)	Access complies with Tables E1, E2 & E3	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lots 1, 2 and 4.

E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.3 A1 (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.3 A1 (b)	Reticulated water supply complies with Table E4	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lots 1, 2 and 4.
<input type="checkbox"/>	E1.6.3 A1 (c)	Water supply consistent with the objective	
<input checked="" type="checkbox"/>	E1.6.3 A2 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lot 3.
<input checked="" type="checkbox"/>	E1.6.3 A2 (b)	Static water supply complies with Table E5	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 21 May 2017 – Lots 1, 2 and 4.
<input type="checkbox"/>	E1.6.3 A2 (c)	Static water supply is consistent with the objective	

5. Bushfire Hazard Practitioner⁶

Name:	Rebecca Green	Phone No:	0409 284 422
Address:	PO Box 2108	Fax No:	
		Email Address:	admin@rgassociates.com.au
	Launceston, Tas		7250
Accreditation No:	BFP – 116	Scope:	1, 2, 3A, 3B, 3C

6. Certification

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

<i>The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
---	-------------------------------------


or

<i>There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
--	--------------------------

and/or

<i>The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
--	-------------------------------------

Signed:
certifier



Date: 21 May 2017 Certificate No: RGA-34/2017

⁶ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of Fire Service Act 1979. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

⁷ The relevant certification must be indicated by placing X in the corresponding .

Attachment 2 – AS3959-2009 Construction Requirements

	BAL-LOW	BAL-125	BAL-19	BAL-29	BAL-40	BAL-FZ (FLAMEZONE)
SUBFLOOR SUPPORTS	No special construction requirements	No special construction requirements	No special construction requirements	Exclusion by external wall or by steel, concrete or masonry walls, non-combustible, supporting the surface of the ground, fully fixed to the base of the wall or post, or 15 mm steel straps	If enclosure by external wall or by steel, concrete or masonry walls, non-combustible, supporting the surface of the ground, fully fixed to the base of the wall or post, or 15 mm steel straps	Subfloor supports - masonry by external wall or non-combustible with an RL of 200+ or in the field by masonry resistance to AS 5383.2
FLOORS	No special construction requirements	No special construction requirements	No special construction requirements	Concrete slab on ground enclosure by external wall, steel joists in above or below for less than 400 mm above ground level. Slab non-combustible and 75 mm reinforced concrete or protected in the enclosure with masonry or concrete wall resistance	One side slab on ground, enclosure by external wall or protection of masonry with a non-combustible non-structural slab of their construction or the masonry resistance to AS 5383.1	Concrete slab on ground or enclosure by external wall or an RL of 200/200 or protection of masonry with 50 mm masonry support of the system to be fixed to masonry resistance to AS 5383.2
EXTERNAL WALLS	No special construction requirements	As per BAL-19	External walls - 75mm has less than 100 mm above ground level, 50 mm steel joist or steel or masonry resistance for only the wall face below	Non-combustible external masonry, block work, steel joist, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.1	Non-combustible masonry, brick, concrete, block, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.1	Non-combustible masonry, block work, masonry, steel joist, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.2
EXTERNAL WINDOWS	No special construction requirements	As per BAL-19 must have flame spread rating less than 250 mm	Protected by masonry surface, completely enclosed with steel, concrete or masonry walls or 5 mm masonry frame, or glass blocks within 400 mm of ground, 100 mm masonry frame, masonry frame with frame or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface or completely protected with steel, concrete or masonry walls, or 5 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface or 5 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface or masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling
EXTERNAL DOORS	No special construction requirements	As per BAL-19 must have flame spread rating less than 250 mm	Protected by masonry surface, or concrete with steel, concrete or masonry walls or 5 mm masonry frame, or glass blocks within 400 mm of ground, 100 mm masonry frame, masonry frame with frame or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface, or concrete with steel, concrete or masonry walls or 5 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface, or concrete with steel, concrete or masonry walls or 5 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	Protected by masonry surface or masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling
ROOFS	No special construction requirements	As per BAL-19	Non-combustible masonry, block work, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.1	Non-combustible masonry, block work, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.1	Non-combustible masonry, block work, masonry concrete, concrete, masonry frame, steel joist or steel joist on the outside and steel joist on the inside, masonry resistance to AS 5383.1	Roof (see) RL of 200/200, protected by masonry surface or masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling
VERANDAS DECKS ETC.	No special construction requirements	As per BAL-19	External slab floor space - 100 mm of ground, masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	External slab floor space or non-combustible masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	External slab floor space or non-combustible masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling	External slab floor space or non-combustible masonry frame, or 50 mm masonry frame, or glass blocks within 400 mm of ground or metal or plastic or PVC (U) or masonry walling

Attachment 3 – Plan of Subdivision – PDA Surveyors

PLAN OF SUBDIVISION



PDA Surveyors

Surveying, Engineering & Planning

3/23 Brisbane Street Launceston,
Tasmania, 7000

www.pda.com.au

Also at: Burnie, Devonport & Hobart

ABN 71 217 806 325

PHONE: +61 03 6331 4099

FAX: +61 03 6334 3098

EMAIL: pda.ltr@pda.com.au

Owners Stephen Barry Walker & Bronwyn Kay Hingston

Address 69 King Street Westbury

Council Meander Valley Council

Planning Scheme Meander Valley Interim Planning Scheme 2013

Zone & Overlay 12.0 Low Density Residential

Title References FR 240103/1

Schedule Of Easements Nil.

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

Scale 1:500 **Date** 18 May 2017 **PDA Reference** L17072-1 **Map reference** 4840-42 **PID** 1545854 **Point of Interest** 487265E, 5402497N
GDA94 MGA55

LEGEND

- Title/Proposed boundary
- Other boundary
- - - Sewer line
- - - Water line



Attachment 4 – Tasmania Fire Service Water Supply Signage Guideline

Tasmania Fire Service Water Supply Signage Guideline

Guidelines for the design and installation of water supply signs & fire hydrant marking in bushfire-prone areas



fire.tas.gov.au

Bushfire Planning & Policy

GPO Box 1526 Hobart Tasmania 7001

Phone (03) 6230 8600 | planning@fire.tas.gov.au



Tasmania Fire Service



Tasmanian
Government

This Guideline has been developed in consultation with TasWater.



For further information

Tasmania Fire Service
Bushfire Planning & Policy
GPO Box 1526
HOBART TAS 7001
PH: (03) 6230 8600
Fax: (03) 6234 6647
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Disclaimer

While the State Fire Commission has made every effort to ensure the accuracy and reliability of the information contained in this booklet, the State Fire Commission does not accept any responsibility for the accuracy, completeness, or relevance to the reader's purpose, of the information contained in this document and those reading it for whatever purpose are advised to verify its accuracy and to obtain appropriate professional advice.

The State Fire Commission, its officers, employees and agents do not accept any liability, however arising, including liability for negligence, for any loss or damage resulting from the use of, or reliance upon, the information contained in this document.

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1.0 Identification

1.1 Guideline Title

1.1.1 This Guideline is called the *Tasmania Fire Service Water Supply Signage Guideline*.

1.2 Composition of this Guideline

1.2.1 This Guideline consists of:

- (a) This document;
- (b) Design drawing TFS-WS01; and
- (c) Design drawing TFS-WS02.

2.0 Purpose

2.1 The purpose of this Guideline is:

- (a) To ensure that fire fighting water points are appropriately identified to reduce the risk to human life and property, and the cost to the community, caused by bushfires; and
- (b) To describe the water supply signage requirements which are referred to in the *Bushfire-Prone Areas Code*¹ and the *Directors Determination Requirements for Building in Bushfire-Prone Areas*².

3.0 Application

3.1 Where referenced by the relevant planning and building regulations, the content of this Guideline forms a statutory requirement for development within bushfire-prone areas.

3.2 This Guideline may be voluntarily adopted as required.

3.3 This Guideline applies to:

- (a) Private and water corporation owned or managed fire fighting water points;
- (b) Fire fighting water points servicing a bushfire-prone area; and
- (c) Fire fighting water points connected to:
 - i. A static water supply; or
 - ii. A reticulated water supply that does not comply with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, and where a single fire fighting water point discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure.

¹ The *Bushfire-Prone Areas Code* can be accessed via www.iplan.tas.gov.au

² The *Directors Determination Requirements for Building in Bushfire-Prone Areas* can be accessed via <http://www.justice.tas.gov.au/building/publications>

4.0 Definition of Terms

In this Guideline:

bushfire-prone area	means: (a) land that is within the boundary of a bushfire-prone area shown on an overlay on a planning scheme map; and (b) i. where there is no overlay on a planning scheme map; or ii. where the land is outside the boundary of a bushfire-prone area shown on an overlay on such a map, land that is within 100m of an area of bushfire-prone vegetation equal to or greater than 1 hectare.
bushfire-prone vegetation	means contiguous vegetation including grasses and shrubs but not including maintained lawns, parks and gardens, nature strips, plant nurseries, golf courses, vineyards, orchards or vegetation on land that is used for horticultural purposes.
carriageway	means the section of road formation which is used by traffic, and includes all the area of the traffic lane pavement together with the formed shoulders.
fire hydrant	means a fire hydrant as described in <i>AS 2419.1-2005 Fire hydrant installations – System design, installation and commissioning</i> .
fire fighting water point	means the point where a fire appliance is able to connect to a water supply for fire fighting purposes. This includes a coupling in the case of a fire hydrant, offtake or outlet, or the minimum water level in the case of a static water body.
property access	means the carriageway which provides vehicular access from the carriageway of a road onto land, measured along the centre line of the carriageway, from the edge of the road carriageway to the nearest point of the building area.
static water supply	means water stored in a tank, swimming pool, dam, or lake, that is available for fire fighting purposes at all times.
water corporation	means the corporation within the meaning of the <i>Water and Sewerage Corporation Act 2012</i> .

5.0 Referenced Documents

The following documents are referenced in this guideline:

AS 1743 Road signs—Specifications

AS 1744 Standard alphabets for road signs

AS 2700 Colour Standards for general purposes

AS 2419.1 Fire hydrant installations - System design, installation and commissioning

AS/NZS 1734 Aluminium and aluminium alloys—Flat sheet, coiled sheet and plate

AS/NZ 1906.1 Retroreflective materials and devices for road traffic control purposes
Part 1: Retroreflective Sheeting.

Australian Paint Approval Scheme Specifications AP-S0041, CSIRO

Bushfire-Prone Areas Code, Tasmanian Planning Commission, Department of Justice, Tasmania.

Determination Director of Building Control Requirements for Building in Bushfire-Prone Areas, Building Standards & Occupational Licencing, Department of Justice, Tasmania.

TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA, TasWater, Tasmania.

6.0 Design Standards for Marking Compliant Fire Hydrants

6.1 Compliant Hydrant Markings (General)

A fire hydrant connected to a reticulated water supply that complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code* will be marked in accordance with water corporation specifications³.

Water corporation specified fire hydrant markings include a combination of:

- a) Fire Plug Indicator: a yellow, 250 mm x 450 mm triangle, marked on the pavement, and pointing towards the location of the hydrant;
- b) Fire Plug Kerb Marking: a yellow, 300 mm long rectangle, marked on the carriageway kerb, adjacent to the location of the fire hydrant;
- c) Two-Way Retroreflective Raised Pavement Marker: a blue, square marker, adhered to the pavement, and located perpendicular to the hydrant;
- d) Fire Plug Cover and Surround: a yellow, 400 mm x 400 mm square; surrounding the hydrant cover; and
- e) Marker Post: a yellow post with blue decals, located adjacent to the carriageway.

³ TasWater specifications: <https://www.taswater.com.au/Development/Development-Standards>

7.0 Design Standards for Marking Non-Compliant Fire Hydrants

7.1 Marking Criteria

A fire hydrant connected to a reticulated water supply that:

- a) Otherwise complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, except for flow and pressure; and
- b) Discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure;

shall have additional markings to those identified in 6.1, in accordance with the following:

7.2 Pavement Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.2.1 Pavement marking materials shall conform to Australian Paint Approval Scheme Specifications <i>AP-S0041</i> , or similar.	

7.3 Post Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.3.1 Post marking material shall be: <ol style="list-style-type: none"> (a) Class 1 retroreflective material, compliant with <i>AS/NZS1906.1</i>; or (b) A suitable outdoor, long-life, UV stabilised coating. 	

7.4 Pavement & Post Marking Design

Objective:	Fire fighting water points are clearly visible and identifiable.
7.4.1 Pavement and post marking shall comprise of a legend designed in accordance with design drawing TFS-WS02.	
7.4.2 The legend shall be: <ol style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with <i>AS2700</i> (or equivalent colour); and (b) Comprised of the letter 'W' within a circular band. 	
7.4.3 The letter 'W' in the legend shall be: <ol style="list-style-type: none"> (a) Uppercase; (b) No less than 44 mm in height; 	

<ul style="list-style-type: none"> (c) Located in the centre of the circular band; and (d) Consistent with the form and dimensions of Series F, as defined in AS1744.
<p>7.4.4 The circular band in the legend shall have:</p> <ul style="list-style-type: none"> (a) An outer diameter of 100 mm; and (b) A line thickness of 6.5 mm.

7.5 Pavement & Post Marking

Objective:	Fire fighting water points are clearly visible and identifiable.
<p>7.5.1 Where fire hydrants are of the in-ground type (fire plug), the hydrant cover (lid) shall be marked in accordance with 7.2 and 7.4.</p>	
<p>7.5.2 Where hydrant location is identified using a marker post, the post shall be marked:</p> <ul style="list-style-type: none"> (a) In accordance with 7.3 and 7.4; (b) With legend facing the carriageway; and (c) No less than 400 mm above ground level (where practical). 	

8.0 Design Standards for Signs

Static water supplies shall be identified in accordance with the following:

8.1 Sign Materials

Objective:	Signs that identify fire fighting water points are durable and resilient against the elements.
<p>8.1.1 The signboard material shall be:</p> <ul style="list-style-type: none"> (a) 1.6 mm thick aluminium alloy, type 5251 or 5052, of temper H36 or H38; (b) Free from scratches or other surface blemishes; (c) Have edges that are true and smooth; and (d) Compliant with AS/NZS1734. 	
<p>8.1.2 The sign background material shall be:</p> <ul style="list-style-type: none"> (a) Non-reflective; (b) Of uniform density; (c) Compatible with the material used for the legend both in application and durability; and (d) Applied to the sign face in accordance with AS1743. 	
<p>8.1.3 The sign legend material shall be:</p> <ul style="list-style-type: none"> (a) Class 1 retroreflective material, compliant with AS/NZS1906.1; (b) Of uniform density; 	

- (c) Compatible with the material used for the background in application and durability; and
- (d) Applied to the sign face in accordance with AS1743.

8.2 Sign Design

Objective:	Signs that identify fire fighting water points are clearly visible and identifiable.
8.2.1 The sign shall be designed in accordance with:	
<ul style="list-style-type: none"> (a) Design drawing TFS-WS01. 	
8.2.2 The sign shall:	
<ul style="list-style-type: none"> (a) Be square; (b) Have rounded corners with a radii of 25 mm; and (c) Have a side length of 300 mm. 	
8.2.3 The sign background shall be:	
<ul style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with AS2700 (or equivalent colour). 	
8.2.4 The legend shall be:	
<ul style="list-style-type: none"> (a) Coloured white (N14) in accordance with AS2700 (or equivalent colour); (b) Comprised of the letter 'W' within a circular band; and (c) Visually centred on the sign. 	
8.2.5 The letter 'W' in the legend shall be:	
<ul style="list-style-type: none"> (a) Uppercase; (b) No less than 100 mm in height; (c) Located in the centre of the circular band; and (d) Consistent with the form and dimensions of Series F, as defined in AS1744. 	
8.2.6 The circular band in the legend shall have:	
<ul style="list-style-type: none"> (a) An outer diameter of 230 mm; and (b) A line thickness of 15 mm. 	
8.2.7 The rear surface of the signboard shall be stamped or engraved with:	
<ul style="list-style-type: none"> (a) The designation of the sign manufacturer; (b) Four numerals indicating the month and year of manufacture (e.g. 01/17); (c) The design drawing identification (e.g. TFS-WS01); and (d) Letters & numerals no less than 5 mm high. 	

8.3 Sign Mounting

Objective:	Signs that identify fire fighting water points are, and will remain, clearly visible.
------------	---

8.3.1 The sign shall be permanently mounted to:

- (a) A vertical surface;
- (b) A surface that cannot change orientation or position; and
- (c) A surface that is:
 - i. Non-flammable; and
 - ii. Non-heat deforming.

8.4 Sign Location

Objective:	Signs that identify fire fighting water points are located adjacent to the fire fighting water point, and are clearly visible.
<p>8.4.1 The sign shall be mounted in a location:</p> <ul style="list-style-type: none"> (a) No further than 2 m vertically and 1 m horizontally from the fire fighting water point; (b) No less than 400 mm above ground level; (c) That will not impede access or operation of the fire fighting water point; (d) That will not become obscured by visual obstructions; and (e) That is visible from the property access on approach from a public road. 	

9.0 Design & Manufacture Tolerances of Sign & Legend

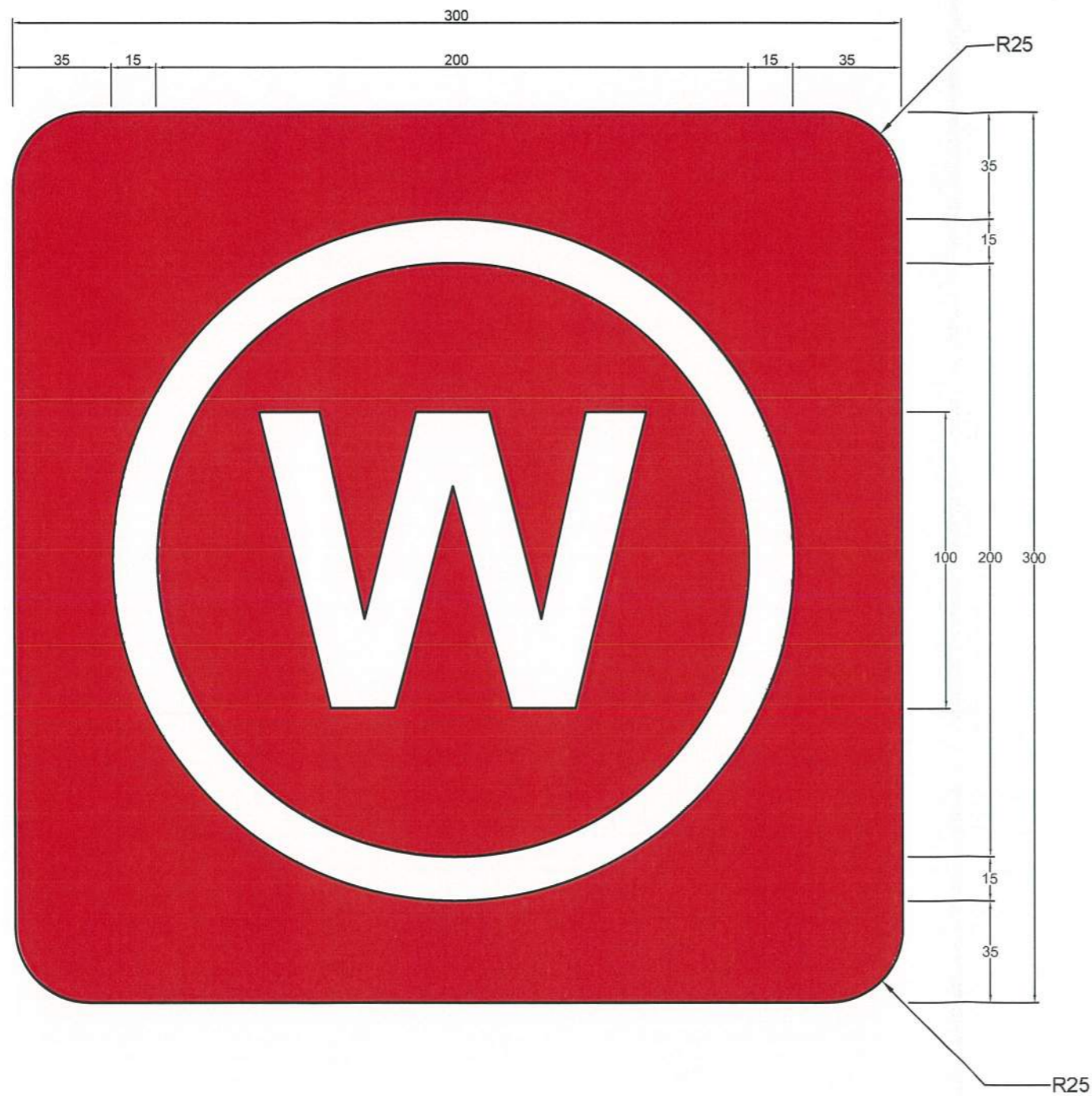
9.1 Dimensional tolerances of the signboard

- (a) Overall dimensions of signboard: ± 5 mm;
- (b) Maximum allowable warp, twist or departure from flatness: 1.5 mm; and
- (c) Squareness: corners < 2 mm from theoretical position relative to other corners.

9.2 Dimensional tolerances of the legend

- (a) Shape, size and alignment of legend elements: ± 2 mm; and
- (b) Legend position: ± 2 mm.



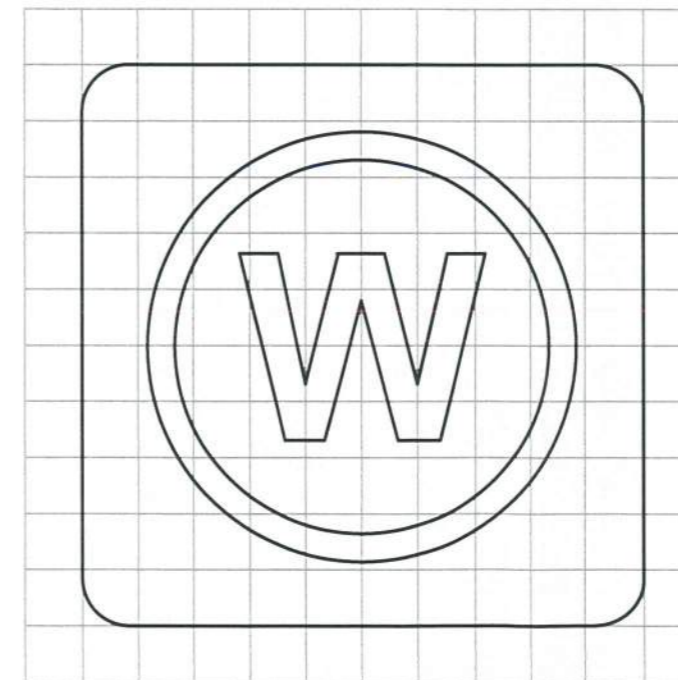


OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
 SURFACE AREA OF SIGN (sq m) : 0.0895

LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
 WITH A RETROREFLECTIVE SURFACE FINISH
 BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
 TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
 REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



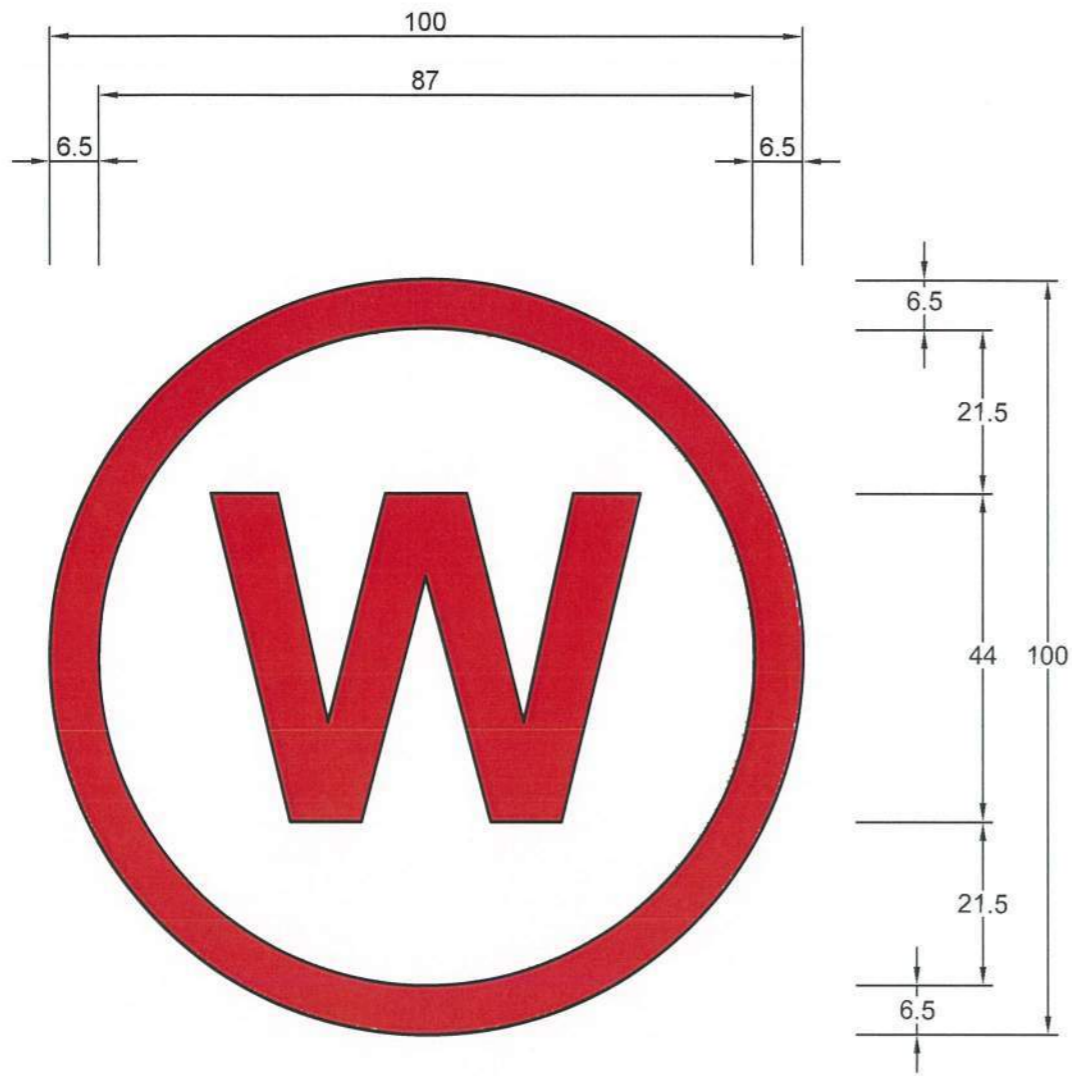
GRID MODULE X = 30mm Y = 30mm



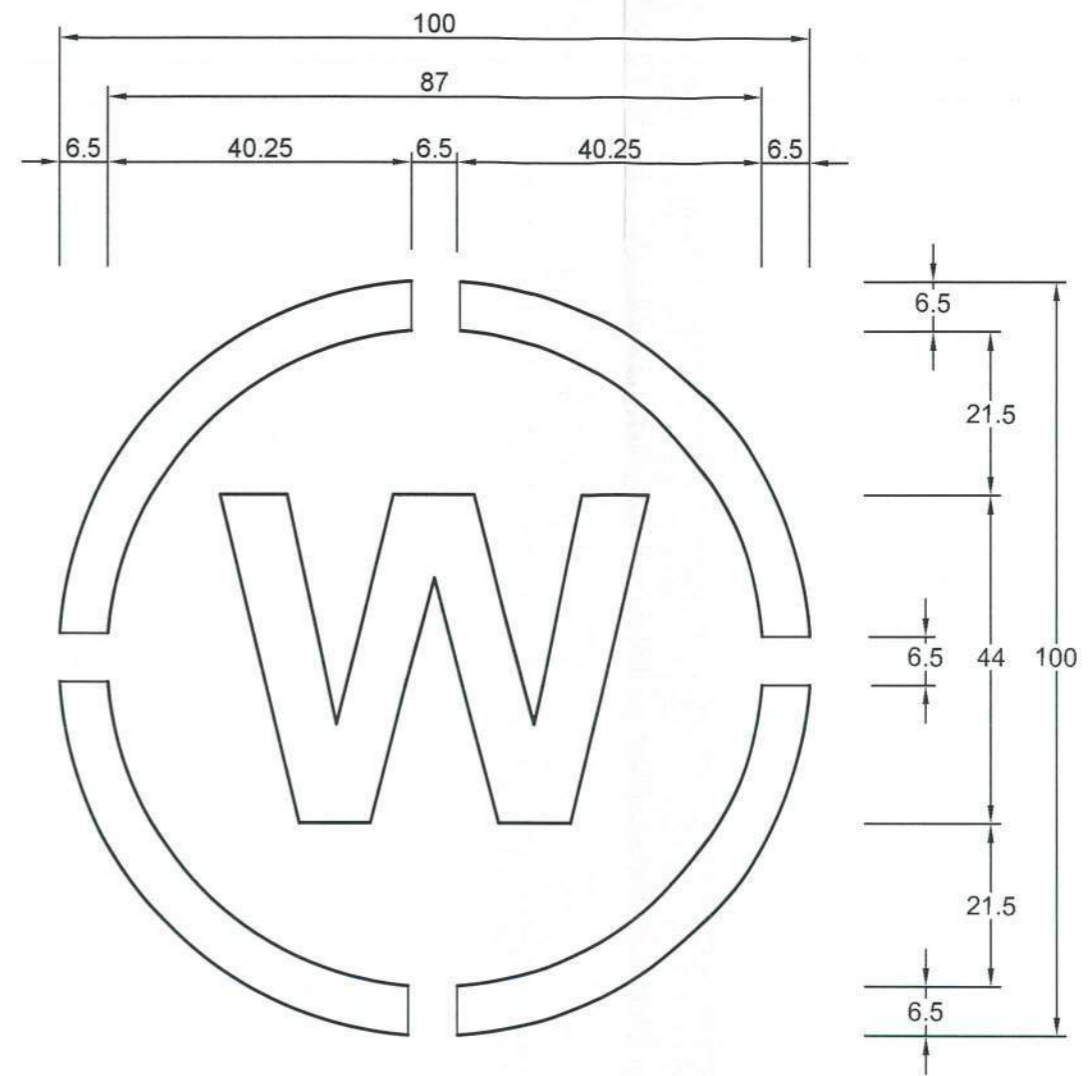
ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			
D			

NOTES			
- all dimensions are in mm			
- written dimensions take precedence over scaled measurements			
DRWN	WH	APPR'D	CC
DATE		2/2/2017	

TITLE			
TASMANIA FIRE SERVICE WATER SUPPLY SIGN			
FILE	BPP	DWG NO.	TFS-WS01
SCALE			1:2

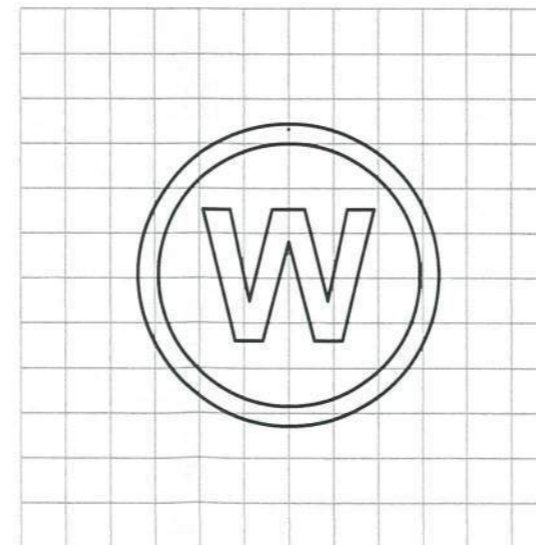


POST AND PAVEMENT DESIGN



TEMPLATE

GRID MODULE X = 15mm Y = 15mm



OVERALL LEGEND DIMENSIONS (mm): 100 x 100, +/- 5

FOR TEMPLATE APPLICATION REQUIREMENTS, REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

WHERE A TEMPLATE IS USED, THE CIRCULAR BAND MAY HAVE UP TO FOUR BREAKS OF UP TO 6.5MM IN WIDTH



Tasmania Fire Service

ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			
D			

NOTES			
- all dimensions are in mm			
- written dimensions take precedence over scaled measurements			
DRWN	WH	APPR'D	CC
DATE		7/2/2017	

TITLE			
TASMANIA FIRE SERVICE NON-COMPLIANT FIRE HYDRANT MARKING			
FILE	BPP	DWG NO.	TFS-WS02
SCALE			1:1

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Tasmania Fire Service



Tasmanian
Government



Tasmania Fire Service

fire.tas.gov.au

fire.tas.g

Bushfire Planning & Policy GPO Box 1526 Hobart Tasmania 7001
Phone (03) 6230 8600 | Fax (03) 6231 6647 | planning@fire.tas.gov.au

References

- (a) Tasmanian Planning Commission 2017, *Tasmanian Interim Planning Directive No. 1.1, Bushfire-Prone Areas Code*, Tasmania.
- (b) Australian Standards, AS 3959-2009, *Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney NSW.
- (c) Resource Management & Conservation Division of the Department Primary Industry & Water September 2006, *TASVEG, Tasmanian Vegetation Map*, Tasmania.
- (d) Tasmanian Government, Land Information System Tasmania, www.thelist.tas.gov.au

PLAN OF SUBDIVISION



PDA Surveyors

Surveying, Engineering & Planning

3/23 Brisbane Street Launceston
Tasmania, 7000

www.pda.com.au

Also at Burnie, Devonport & Hobart

ABN 71 217 866 325

PHONE +61 03 6331 4000

FAX +61 03 6331 3008

EMAIL pda@pda.com.au

Owners Stephen Barry Walker & Bronwyn Kay Hingston

Address 69 King Street Westbury

Council Meander Valley Council

Planning Scheme Meander Valley Interim Planning Scheme 2013

Zone & Overlay 12.0 Low Density Residential

Title References FR 240103/1

Schedule Of Easements Nil.

Scale 1:500

Date 22 May 2017

PDA Reference L17072-1

Map reference 4840-42

PID 1545854

Point of Interest 487265E, 5402497N
GDA94 MGA55

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

LEGEND

- Title/Proposed boundary
- Other boundary
- - - Sewer line
- ~ ~ ~ Water line



STAGING : EACH LOT IS A SEPARATE STAGE IN ANY ORDER

Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0217	Council notice date	06/06/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00855-MVC	Date of response	09/06/2017
TasWater Contact	Amanda Craig	Phone No.	03) 6345 6318
Response issued to			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
Development details			
Address	69 KING ST, WESTBURY	Property ID (PID)	1545854
Description of development	Subdivision		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
PDA Surveyors	L17072-1 Plan of Subdivision	--	18/05/2017
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection to each lot of the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost. 3. Prior to commencing construction / use of the development, a boundary backflow prevention device and water meter must be installed, to the satisfaction of TasWater. <p>ASSET CREATION & INFRASTRUCTURE WORKS</p> <ol style="list-style-type: none"> 4. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. 5. Prior to applying for a Permit to Construct to construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water to TasWater’s satisfaction. 6. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater’s satisfaction. 7. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater’s requirements. 8. Prior to the issue of a Consent to Register a Legal all additions, extensions, alterations or upgrades to TasWater’s water and sewerage infrastructure required to service the development, generally as 			

shown on the concept servicing plan “PDA Surveyors, Plan of Subdivision, L17072-1 dated 18/05/2017”, are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.

9. After testing/disinfection, to TasWater’s requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer’s cost.
10. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document, the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b. A request for a joint on-site inspection with TasWater’s authorised representative must be made;
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d. As constructed drawings must be prepared by a suitably qualified person to TasWater’s satisfaction and forwarded to TasWater.
11. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer’s cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer’s cost. Upon completion, of the defects liability period the developer must request TasWater to issue a “Certificate of Final Acceptance”. The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
12. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer’s cost.
13. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

14. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater and the certificate must be submitted to the Council as evidence of compliance with these conditions when application for sealing is made.

DEVELOPMENT ASSESSMENT FEES

15. The applicant or landowner as the case may be, must pay a development assessment and Consent to Register a Legal Document fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:
 - a. \$467.40 for development assessment; and
 - b. \$221.40 for Consent to Register a Legal Document

The payment is required within 30 days of the issue of an invoice by TasWater.

16. In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer’s cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

TasWater have a small number of townships that are on Boil Water and Do Not Consume Alerts. Please visit <http://www.taswater.com.au/News/Outages--Alerts> for a current list of these areas.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Justin Simons

From: Adam Morgan <adam.morgan18@live.com.au>
Sent: Sunday, 9 July 2017 8:40 PM
To: Planning @ Meander Valley Council
Subject: PA\17\0217 subdivision planning

To the general manager,

This is Adam Morgan and Megan Quarrell of 12 pensioners row Westbury. I am writing to make a representation to planning of subdivisions of 69 king street application # PA\17\0217.

I want to ensure if any subdivisions and/or subsequent building on the subdivisions of the property 69 king street that/if there are plans for using the storm water run off through our property of 12 pensioners row Westbury, that meander valley council will at their cost upgrade the current stormwater open ditch to under ground culverts. We already are already experiencing overflowing within our paddock in heavy wet conditions with the current flow from the mill.

Sincerely

Adam Morgan and Megan Quarrell

Adam Morgan

[Adam.morgan18@live.com.au](mailto:adam.morgan18@live.com.au)

0408144475

Megan Quarrell

meganaquarrell@hotmail.com

0419435567

Sent from my iPhone

C&DS 4 493 WEETAH ROAD, WEETAH - SUBDIVISION (2 LOTS)

1) Introduction

This report considers application PA\17\0224 for Subdivision (2 lots) on land located at 493 Weetah Road, Weetah (CT: 26794/1).

2) Background

Applicant

Woolcott Surveys

Planning Controls

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

Use & Development

This application proposes to subdivide an existing lot of 1.95ha in area, into two lots. Lot 1 will be 0.81ha and will include the existing dwelling. Lot 2 will be 1.15ha in area and will be vacant. The proposal will use existing access points on Weetah Road and Whitchurch Lane. No works will be required by the proposal other than the upgrading of crossovers and the relocation of boundary fencing. The proposed lots are intended to be used for residential purposes. The land is not connected to reticulated water, stormwater or sewerage services and the application proposes to manage wastewater onsite.

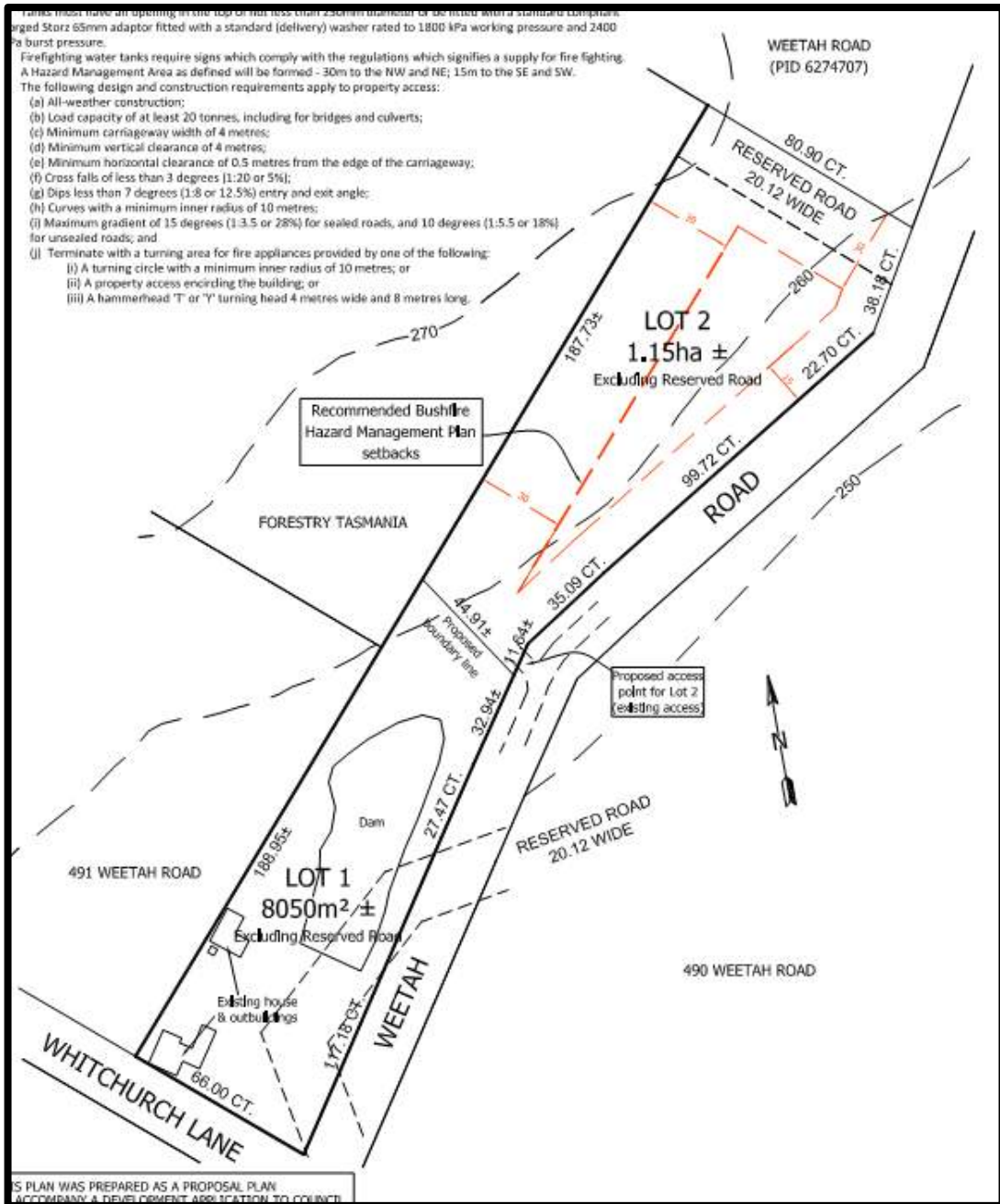


Figure 1: proposed Plan of Subdivision (Woolcott Surveys, 2017)

Site & Surrounds

The subject title is 1.95ha in area and has been developed for a residential use, including a single dwelling, residential outbuildings and domestic gardens. The land has otherwise been converted to pasture. A remnant screen of native vegetation is located along Weetah Road. The title is subject to two Reserved Road easements, which have not been developed.

The land to the south and east of the title comprises residential lifestyle lots. These titles are generally of a large size and have been developed with single dwellings and residential outbuildings. Although the lots are large in area,

existing dwellings tend to be clustered along Weetah Road. The land to the north of the title is owned by Sustainable Timber Tasmania (formerly Forestry Tasmania) and is managed as part of the Permanent Timber Production Estate. This land is covered in native vegetation.



Photo 1: aerial photo of subject title and surrounding land



Photo 2: existing dwelling and domestic gardens on proposed Lot 1, looking north from Weetah Road



Photo 3: proposed Lot 2, looking west from Weetah Road, showing existing vegetation on the neighbouring property and adjacent the road reserve



Photo 4: proposed Lot 2, looking west from Weetah Road



Photo 5: proposed Lot 2, looking north from Weetah Road



Photo 6: neighbouring dwellings to the east of the subject title



Photo 7: neighbouring dwellings to the west of the subject title

Statutory Timeframes

Date Received:	28 June 2017
Request for further information:	Not applicable.
Information received:	Not applicable.
Advertised:	8 July 2017
Closing date for representations:	24 July 2017
Extension of time granted:	26 July 2017
Extension of time expires:	9 August 2017
Decision due:	8 August 2017

3) Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

4) Policy Implications

Not applicable.

5) Statutory Requirements

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

6) Risk Management

Management of risk is inherent in the conditioning of the permit.

7) Consultation with State Government and other Authorities

Not applicable.

8) Community Consultation

The application was advertised for the statutory 14-day period.

One (1) representation was received (attached document). The representation is discussed in the assessment below.

9) Financial Impact

Not applicable.

10) Alternative Options

Council can either approve the application with amended conditions or refuse the application.

11) Officers Comments

Zone

The subject property is located in the Rural Living Zone. The land surrounding the site is located in the Rural Living and Rural Resource zones.

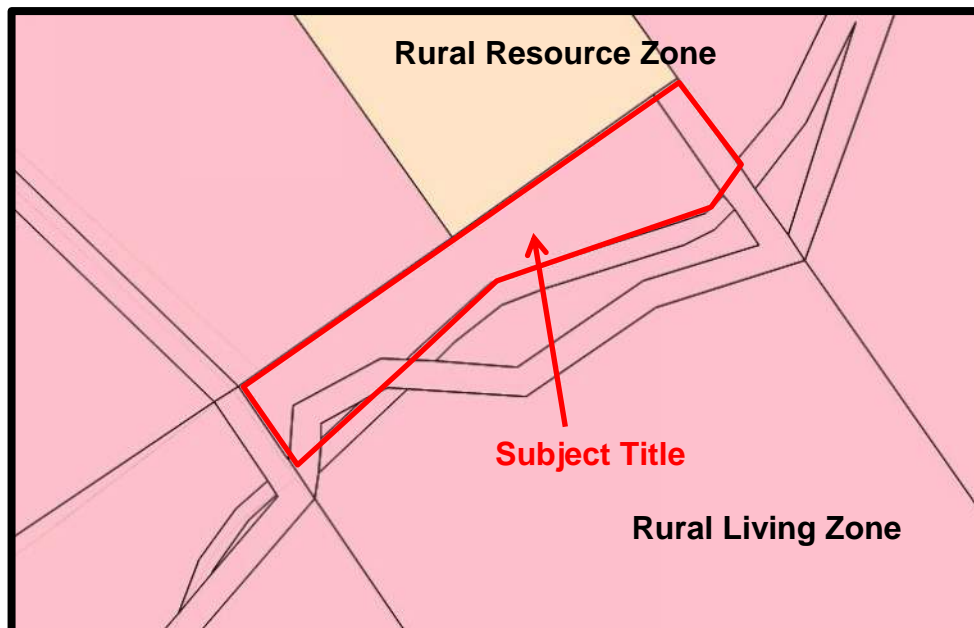


Figure 2: Zoning of subject title and surrounding land

Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential

Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Rural Living Zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

Compliance Assessment

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

Rural Living Zone			
Scheme Standard		Comment	Assessment
13.3.1 Amenity			
A1	If for permitted or no permit required uses.	Residential Use	Complies
A2	Commercial vehicles for discretionary uses must only operate between 6.00am and 10.00pm.	Not applicable	
13.4.2.1 General Suitability			
A1	No Acceptable Solution	No Acceptable Solution	Relies on Performance Criteria
13.4.2.2 Lot Area, Building Envelopes and Frontage			
A1	<p>A1.1 Each lot must:</p> <ul style="list-style-type: none"> a) have a minimum area in accordance with Table 13.1 below; <p>Table 13.1 – Lot Size Weetah – 10ha</p> <p>Or</p> <ul style="list-style-type: none"> b) be required for public use by the Crown an agency, or a corporation all the shares of which are held by Councils or a municipality; or c) for the provision of public utilities; or d) for the consolidation of a lot with another lot with no additional titles created; or e) to align existing titles with zone boundaries 	<p>Lot 1 will have an area of 8050m². Lot 2 will have an area of 1.15ha. The lot areas exclude the reserved roads on the titles.</p> <p>These areas are significantly less than the 10ha required by the Acceptable Solutions.</p>	Relies on Performance Criteria

	<p>and no additional lots are created.</p> <p>A1.2 Each lot must have new boundaries aligned from buildings that satisfy the relevant acceptable solutions for setbacks.</p>		
A2	Each lot must have a frontage of at least 15 metres.	Both lots have frontage to a Council maintained road in excess of 15m.	Complies

Bushfire-Prone Areas Code

Scheme Standard	Comment	Assessment
E1.6.1 Subdivision - Provision of hazard management areas		
A1	<p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</p> <p>b) The proposed plan of subdivision:</p> <p>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;</p> <p>(ii) shows the building area for each lot;</p> <p>(iii) shows hazard management areas between bushfire-prone vegetation and each</p>	<p>The application is accompanied by a Bushfire Hazard Management Plan prepared by an accredited Bushfire Practitioner which shows hazard management areas for Lot 2 providing a BAL 19.</p> <p>Complies</p>

	<p>building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of <i>Australian Standard AS 3959 –2009 Construction of buildings in bushfire-prone areas</i>; and</p> <p>(iv) is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-prone areas; and</p> <p>c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the</p>		
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	bushfire hazard management plan.		
E1.6.2 Subdivision: Public and fire fighting access			
A1	<p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</p> <p>b) A proposed plan of subdivision showing the layout of roads and fire trails, and the location of property access to building areas, and which complies to the extent necessary with Tables E1, E2 and E3, is included in a bushfire hazard management plan certified</p>	The Bushfire Hazard Management Plan submitted with the application certifies that the public access to the property is consistent with (b).	Complies
E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
A1	<p>In areas serviced with reticulated water by the water corporation:</p> <p>a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</p> <p>b) A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or</p>	Not Applicable	

	<p>accredited person as being compliant with Table E4; or</p> <p>c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>		
A2	<p>In areas not serviced by reticulated water by the water corporation:</p> <p>a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for fire fighting purposes;</p> <p>b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</p> <p>c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes</p>	<p>The Bushfire Hazard Management Plan submitted with the application certifies that the water supply for fire fighting purposes is consistent with Acceptable Solutions (b) and (c).</p>	<p>Complies</p>

	is sufficient to manage the risks to property and lives in the event of a bushfire.		
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Road and Railway Assets Code			
Scheme Standard		Comment	Assessment
E4.6.1 Use and road or rail infrastructure			
A1	Sensitive use within 50m of a category 1 or 2 road with a speed limit of more than 60km/h, a railway or future road or railway, does not increase the annual average daily traffic movements by more than 10%.	Not applicable	
A2	For roads with a speed limit of 60km/h or less the use must not generate more than 40 movements per day.	Not applicable	
A3	For roads with a speed limit of more than 60km/h the use must not increase the annual average daily traffic movements by more than 10%.	The application proposes to use an existing gate on Weetah Road to provide access to Lot 2. Use of this access will increase by more than 10%.	Relies on Performance Criteria

Car Parking and Sustainable Transport Code			
Scheme Standard		Comment	Assessment
6.6.1 Car Parking Numbers			
A1	The number of car parking spaces must not be less than the requirements of: a) Table E6.1; or b) a parking precinct plan.	The existing dwelling on Lot 1 includes two residential parking spaces, consistent with Table E6.1. There is sufficient space	Complies

		on Lot 2 to provide for the parking requirements of a future residential use.	
--	--	---	--

Water Quality Code			
Scheme Standard		Comment	Assessment
E9.6.5 Sediment and Erosion Control			
A1	The subdivision does not involve any works.	The proposed subdivision does not involve any works, other than fencing and upgrading of the Lot 2 crossover to LGAT standards.	Complies

Performance Criteria

Rural Living Zone	
13.4.2.1 General Suitability	
Objective	
<i>The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the Rural Living Zone.</i>	
Performance Criteria P1	
<i>Each new lot on a plan must be suitable for use and development in an arrangement that is consistent with the Zone Purpose, having regard to the combination of:</i>	
<ul style="list-style-type: none"> <i>a) slope, shape, orientation and topography of land;</i> <i>b) any established pattern of use and development;</i> <i>c) connection to the road network;</i> <i>d) availability of or likely requirements for utilities;</i> <i>e) any requirement to protect ecological, scientific, historic, cultural or aesthetic values; and</i> <i>f) potential exposure to natural hazards.</i> 	
Comment:	
The proposed boundary is a significant distance from the existing dwelling on Lot 1 and will not impact that dwelling or the access, private open space	

or onsite waste water management associated with it. The proposed Lot 2 is of a size, shape and slope which provide adequate potential for future development of a dwelling.

While the proposed lots are smaller in area than neighbouring lots, the dispersal of dwellings, which would result from one additional building lot is consistent with the existing pattern of development. The Weetah settlement is characterised by residential use and development concentrated along Weetah Road (see Photos 6 and 7 above and 8 and 9 below). This pattern of development is also recognised in the Desired Future Character Statement for Weetah.

The proposed lots both have direct access to Weetah Road and Whitchurch Lane. While there is no reticulated water or sewerage services in the area, the proposed lots are of a size which provides significant opportunity for the on-site management of waste water.

The land has not been identified as having any ecological, scientific, historic, cultural or aesthetic values of significance.

Bushfire is discussed in the assessment below. No other natural hazards have been identified as having an impact on the land.

13.4.2.2 Lot Area, Building Envelopes and Frontage

Objective

Objective

To ensure that subdivision:

- a) Provides for appropriate wastewater disposal, and stormwater management in consideration of the characteristics or constraints of the land; and*
- b) Provides area and dimensions of lots that are appropriate for the zone; and*
- c) Provides frontage to a road at a standard appropriate for the use; and*
- d) Furthers the local area objectives and desired future character statements for the area, if any.*

Performance Criteria P1

Each lot must:

- a) be to facilitate protection of a place of Aboriginal, natural or cultural*

heritage; or

- b) provide for each lot, sufficient useable area and dimensions to allow for:
 - i. a dwelling to be erected in a convenient, appropriate and hazard free location; and*
 - ii. appropriate disposal of wastewater and stormwater; and*
 - iii. on-site parking and manoeuvrability; and*
 - iv. adequate private open space; and*
 - v. vehicular access from the carriageway of the road to a building area on the lot, if any; and**
- c) be consistent with the Local Area Objectives and Desired Future Character Statements having regard to:
 - i. the topographical or natural features of the site within the context of the area; and*
 - ii. the ability of vegetation to provide buffering; and*
 - iii. any features of natural or cultural significance; and*
 - iv. the presence of any natural hazards; and**
- d) not create additional lots at Kimberley, Red Hills, Ugbrook, Upper Golden Valley, Weegen and Western Creek; and*
- e) not be located on land with frontage to Parkham Road.*

Comment:

Although the proposed lot has an area significantly less than the Acceptable Solutions, it is considered to be consistent with the Performance Criteria. Both lots are suitable for the intended use. Lot 1 contains an existing dwelling and Lot 2 has sufficient area to accommodate a future dwelling in a convenient and hazard free location. There is sufficient space within the proposed lots to provide for wastewater and stormwater disposal, on-site parking and manoeuvring, private open space and vehicular access.

The proposal is consistent with the Local Area Objective and Desired future Character Statements for Weetah.

The Local Area Objective for Weetah is:

- a) To retain lower densities and locate development with reasonable separation distances, consistent with the purpose of the zone being for large lots.*
- b) Future subdivision will be determined on the basis of capacity for access, any potential for natural hazards, the pattern and visibility of development and potential for conflict with adjoining land uses.*

While the proposed lots are smaller than the Acceptable Solutions for lot size, the separation maintained between dwellings is consistent with the zone purpose. The buildable area of Lot 2 is more than 150 metres from the existing dwelling on Lot 1, and more than 250 metres from the nearest neighbouring dwelling. While the neighbouring lots have a greater area, the separation distances between neighbouring dwellings are generally consistent with what can be achieved by a dwelling on proposed Lot 2.



Photo 8: aerial photo showing the separation between proposed Lot 2 and neighbouring dwellings to the east



Photo 9: aerial photo showing the separation between proposed Lot 2 and neighbouring dwellings to the west

Lot 1 will use the existing access on Whitchurch Lane, while Lot 2 will take access from Weetah Road. Council's Director Infrastructure Services has determined that the new access will not impact the safety and efficiency of the road network. Bushfire risk has been considered in the assessment above.

Visibility of future development on Lot 2 is minimised by the existing vegetation screen along Weetah Road, within the property and along the road reserve. While a future dwelling will likely be visible, the maintenance of this buffer will ensure that development is discreet when viewed from adjoining dwellings and public spaces. Although the lot is significantly smaller than the minimum lot size, the vegetation screening ensures that future development will be discreet and will not alter the character of the area. It is considered appropriate that the existing vegetation screen be protected by a Section 71 Agreement to ensure that it is maintained into the future.



Photo 10: existing vegetation screen fronting Lot 2

The visual character of Lot 1 will not be altered by the proposal.

There is minimal potential for conflicts with adjoining land uses. The neighbouring land to the south, east and west is used for residential purposes with some grazing activities. Dwellings are located more than 150m from the vacant lot, Lot 2. The land to the north is owned by Sustainable Timber Tasmania and is part of the Permanent Timber Production Zone. This land has been selectively harvested in the past, however, large parts of it are mapped as priority habitat and total clearance is unlikely. Impacts from timber harvesting are generally experienced over a relatively short period of time during harvesting and are not considered to be unreasonable.

The Desired Future Character Statement for Weetah is:

- a) *Weetah is primarily characterised by visible, linear development along Weetah Road. Development along Eynans Road and Whitchurch Lane is more discreetly located within the landscape due to vegetation screening and topography.*
- b) *Where development is visible, ensure that materials are non-reflective and the design integrates with the landscape.*
- c) *The retention or planting of vegetation is the preferred means to*

integrate and screen development, particularly on the hill slopes to the north where potentially visible.

The proposed lots both front Weetah Road and follow the linear pattern of development. The application does not include the development of any buildings, however, the retention of the existing vegetation along Weetah Road will assist future development to integrate with the landscape and minimise visibility.

With appropriate conditions, the proposed development can be made consistent with the Objective. Although the lots are relatively small for the zone, the maintenance of the existing vegetation screen on Weetah Road, combined with the development provisions of the zone, ensures that future development will be discreet and will not compromise the character of the area.

Recommended Condition:

- 1. A Section 71 agreement must be executed, that provides for the following:**

The vegetation located along the Weetah Road frontage of Lot 2 is not to be removed without prior consent from the Council. The land owner is responsible for the maintenance of the screen and ensuring that any dead trees are replaced with new trees, of native species, which will attain a similar height and appearance.

Once executed, the agreement must be lodged and registered in accordance with Section 78 of the *Land Use Planning and Approvals Act 1993*.

All costs associated with preparing and registering the Agreement must be borne by the applicant.

Road and Railway Assets Code

E4.6.1 Use and road or rail infrastructure

Objective

To ensure that the safety and efficiency of road and rail infrastructure is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.

Performance Criteria P3

For limited access roads and roads with a speed limit of more than 60km/h:

- a) access to a category 1 road or limited access road must only be via an existing access or junction or the use or development must provide a significant social and economic benefit to the State or region; and*
- b) any increase in use of an existing access or junction or development of a new access or junction to a limited access road or a category 1, 2 or 3 road must be for a use that is dependent on the site for its unique resources, characteristics or locational attributes and an alternate site or access to a category 4 or 5 road is not practicable; and*
- c) an access or junction which is increased in use or is a new access or junction must be designed and located to maintain an adequate level of safety and efficiency for all road users.*

Comment:

The application includes a traffic impact assessment prepared by a traffic engineer. The assessment demonstrates that, although the use of the access will increase, it will not result in traffic exceeding the design speed of Weetah Road. An assessment of the sight distances has identified that the access complies with Table E4.7.4 to the left. However, to the right, the sight distances are 15 metres less than required by Table E4.7.4. The report recommends the erection of a "concealed access" sign to warn approaching motorists of the access.

Council's Director Infrastructure Services has also reviewed the assessment and notes:

Assuming the shortest sight distance noted in the report is correct, being 140m looking to the left of the proposed access to Lot 2, and taking 80km/hr as the 85 percentile speed, the minimum stopping sight distance as noted in the Australian Standard for a domestic property access is satisfied. On this basis, it is considered that the new driveway and traffic to and from the proposed new allotment would not adversely impact on the safety or efficiency of the road network.

As such it is considered that the existing access is acceptable for the proposed development and likely residential use and will not reduce the safety and efficiency of the road network.

Representations

One (1) representation was received from Sustainable Timber Tasmania (see attached documents). A summary of the representation is as follows:

- Concerns regarding the northern boundary fence not being located correctly. The representation calls for the location of the boundary to be confirmed and a boundary fence erected in the correct location.

Comment:

The proposed titles will be fully surveyed prior to sealing of the final plan of survey and survey pegs will be placed along the boundary. The proposed subdivision is for the title CT: 26794/1 only. Approval of the subdivision will not change the existing external boundaries of the title or their position on the ground.

It is recommended that a note be added to the permit encouraging the applicant to notify Sustainable Timber Tasmania (STT) once the location of the northern boundary has been confirmed. Any agreement between the land owner and STT for use or purchase of the land is between the two land owners and cannot be regulated through the issuing of a planning permit.

Conclusion

In conclusion, it is considered that the application for Use and Development for Subdivision (2 lots) is an acceptable development in the Rural Living Zone and can be effectively managed by conditions.

AUTHOR: Justin Simons
TOWN PLANNER

12) Recommendation

That the application for Use and Development for Subdivision (2 lots) on land located at 493 Weetah Road, Weetah (CT: 26794/1) by Woolcott Surveys, requiring the following discretions:

- 13.4.2.1 - General Suitability
- 13.4.2.2 - Lot Area, Building Envelopes and Frontage
-

be APPROVED, generally in accordance with the endorsed plans:

a) Woolcott Surveys, Plan of Survey: L170310, Sheet: 1

b) Woolcott Surveys, Bushfire Assessment, dated 31 May 2017

and subject to the following conditions:

- 1. Covenants or similar restrictive controls must not be included on or otherwise imposed on the titles of the lots created by the subdivision, permitted by this permit unless:
 - a) Such covenants or controls are expressly authorised by the terms of this permit; or**
 - b) Such covenants or similar controls are expressly authorised by the consent in writing of Council.**
 - c) Such covenants or similar controls are submitted for and receive written approval by Council prior to submission of a Plan of Survey and associated title documentation is submitted to Council for sealing.****

- 2. The vehicular crossover servicing proposed Lot 2 must be constructed and sealed in accordance with LGAT standard drawing TSD-RO3-V1 and TSD-RO4-V1 (attached) and to the satisfaction of Council's Director Infrastructure Services (see Note 1).**

- 3. A Section 71 agreement must be executed, that provides for the following:**

The vegetation located along the Weetah Road frontage of Lot 2 is not to be removed without prior consent from the Council. The land owner is responsible for the maintenance of the screen and ensuring that any dead trees are replaced with new trees, of native species, which will attain a similar height and appearance.

Once executed, the agreement must be lodged and registered in accordance with Section 78 of the *Land Use Planning and Approvals Act 1993*.

All costs associated with preparing and registering the Agreement must be borne by the applicant.

- 4. Prior to the sealing of the final plan of survey, the following must be completed to the satisfaction of Council:
 - a) Crossover for Lot 2 completed (as per Condition 2).****

b) Section 71 Agreement executed (as per Condition 3).

Note:

- 1. Prior to the construction of any vehicle accesses (e.g. a driveway crossover) separate consent is required by the Road Authority. A Driveway Crossover Application Form is enclosed. All enquiries should be directed to Council's Technical Officer on 6393 5312.**
- 2. The adjoining landowner, Sustainable Timber Tasmania, has requested that they be notified of the shared boundary on completing the survey of the proposed lots. Sustainable Timber Tasmania can be contacted on 64 332 668.**
- 3. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
4. This permit takes effect after:
 - a) The 14 day appeal period expires; or
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or.
 - c) Any other required approvals under this or any other Act are granted.
5. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.
6. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14

day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.

7. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.

8. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.

9. If any Aboriginal relics are uncovered during works;
 - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,
 - b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage Tasmania Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au); and
 - c) The relevant approval processes will apply with state and federal government agencies.

DECISION:



WOOLCOTT SURVEYS



Our Ref: L170310

June 6, 2017

The Planning Department
Meander Valley Council
P.O. Box 102
WESTBURY TAS 7303

Dear Planners,

APPLICATION FOR 2 LOT SUBDIVISION #493 WEETAH ROAD, WEETAH, C.T.26794/1.

Please find enclosed the following information in support of a Planning Application for the above.

- Completed Application Form(s).
- Planning Report.
- Copies of Title Plan, Title Folio Text.
- Copies of Proposal Plan.
- Bushfire Assessment and Certificate.
- Site Distance Report

Can you please forward us an invoice by email for the planning fees and we will arrange payment. Invoice should be made out to:

Peter Walton
C-o Woolcott Surveys
office@woolcottsurveys.com.au

Our clients are keen to progress this application as soon as possible.

Kind regards

Woolcott Surveys

Sam Bucknell
Registered Land Surveyor

WOOLCOTT SURVEYS

Ph: (03) 6332 3760 F: (03) 6332 3764
10 Goodman Court, Invermay, TAS, 7248
PO Box 593, Mowbray Heights, TAS, 7248
Email: admin@woolcottsurveys.com.au

EAST COAST SURVEYING

Ph: (03) 6376 1972
Avery House Level 1
48 Cecilia Street, St Helens, TAS, 7216
PO Box 430, St Helens, TAS, 7216
Email: admin@ecosurveys.com.au

SEARCH OF TORRENS TITLE

VOLUME 26794	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Jun-2004

SEARCH DATE : 26-May-2017
SEARCH TIME : 12.37 PM

DESCRIPTION OF LAND

Parish of MALLING, Land District of DEVON
Lot 1 on Diagram 26794
Derivation : Part of Lot 6909 Gtd. to E.C. Gregory
Prior CT 4597/18

SCHEDULE 1

C458568 TRANSFER to PETER STUART WALTON Registered
23-Jun-2004 at noon

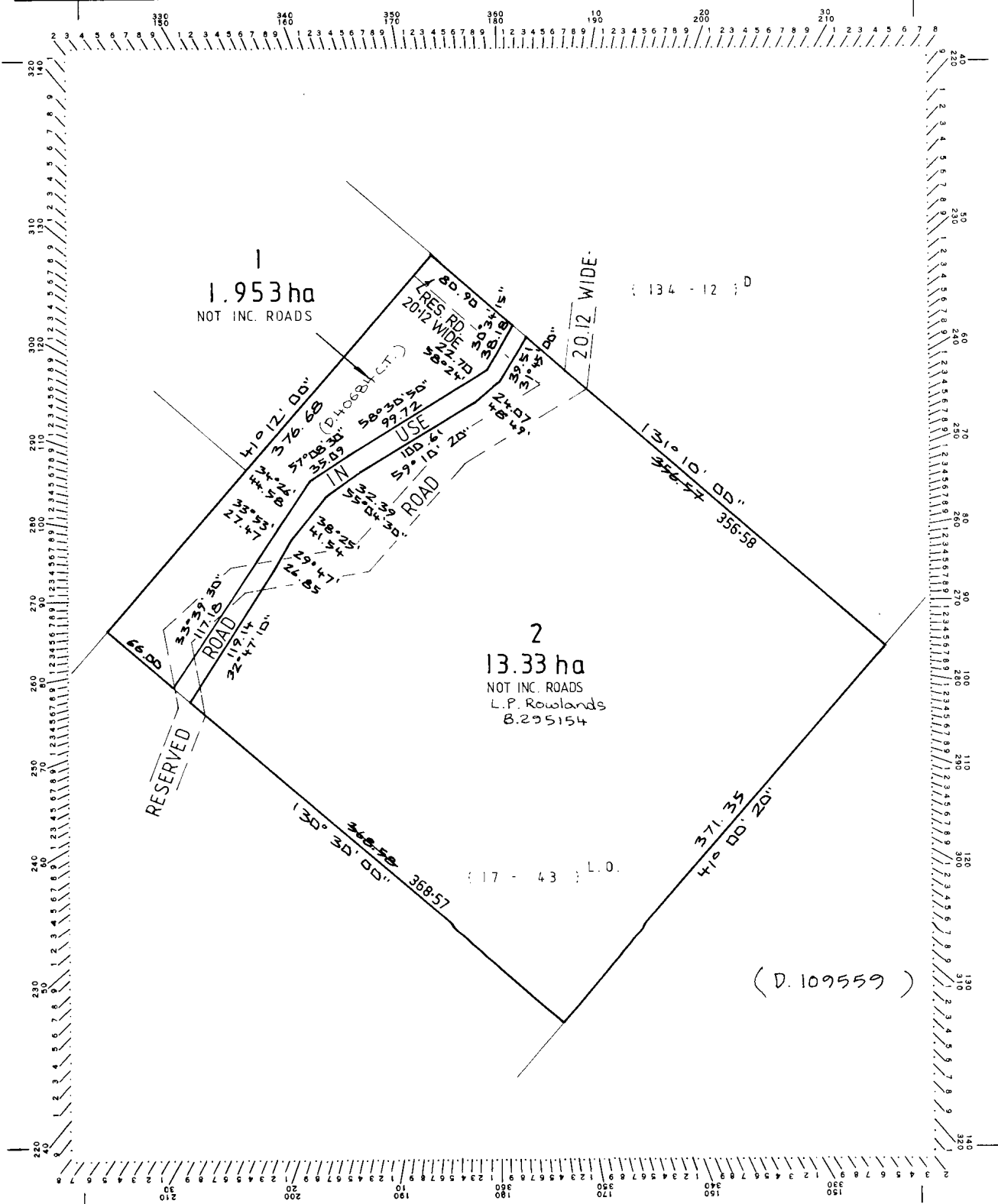
SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

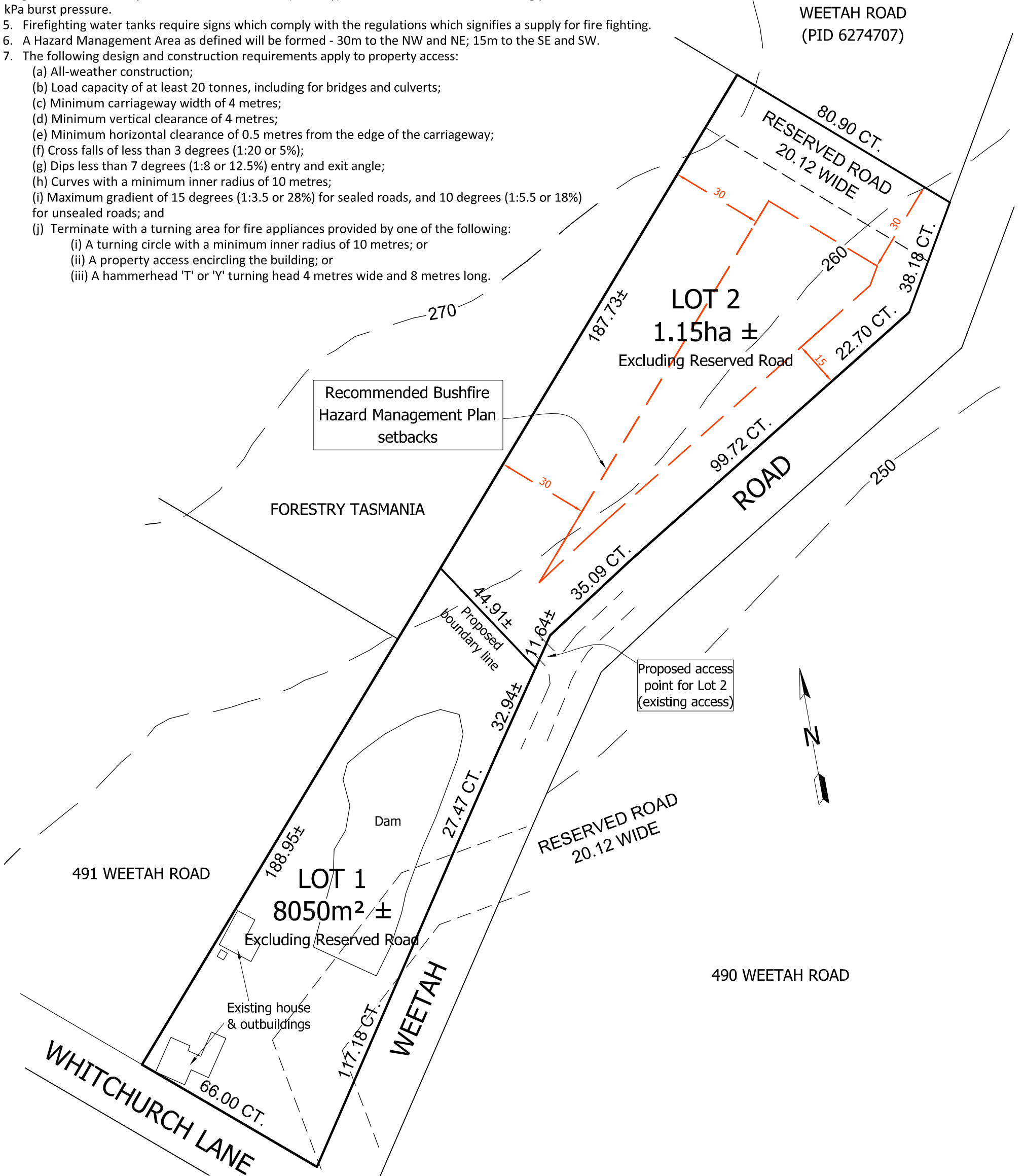
No unregistered dealings or other notations

Owner: JOHN LEONARD MEADOWS AND MICHELE MARIA MEADOWS	PLAN OF SURVEY by Surveyor... G. I. FISHER & J. of land situated in the FISHER & JACK PTY LTD LAND DISTRICT OF DEVON PARISH OF MALLING SCALE 1: 3000 MEASUREMENTS IN METRES	Registered Number: D26794
Title Reference: CT 362B-64		Approved Effective from:
Grantee: PART WHOLE OF LOT 6909 LTD TO EDWARD CULVERHOUSE GREGORY		Recorder of Titles



**BUSHFIRE HAZARD MANAGEMENT PLAN
RECOMMENDATIONS**

1. The site has a BAL 19 rating.
2. 10,000L static firefighting water supply must be located within 3m of accessible hard standing (access road, turning bay etc.), sited greater than 6m but closer than 120m to the habitable building.
3. Tanks, above ground pipes and fittings must be made of non-rusting, non-combustible, non-heat-deforming materials
4. Tanks must have an opening in the top of not less than 250mm diameter or be fitted with a standard compliant forged Storz 65mm adaptor fitted with a standard (delivery) washer rated to 1800 kPa working pressure and 2400 kPa burst pressure.
5. Firefighting water tanks require signs which comply with the regulations which signifies a supply for fire fighting.
6. A Hazard Management Area as defined will be formed - 30m to the NW and NE; 15m to the SE and SW.
7. The following design and construction requirements apply to property access:
 - (a) All-weather construction;
 - (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
 - (c) Minimum carriageway width of 4 metres;
 - (d) Minimum vertical clearance of 4 metres;
 - (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
 - (f) Cross falls of less than 3 degrees (1:20 or 5%);
 - (g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
 - (h) Curves with a minimum inner radius of 10 metres;
 - (i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
 - (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum inner radius of 10 metres; or
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead 'T' or 'Y' turning head 4 metres wide and 8 metres long.



THIS PLAN WAS PREPARED AS A PROPOSAL PLAN TO ACCOMPANY A DEVELOPMENT APPLICATION TO COUNCIL AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. ALL MEASUREMENTS AND AREAS ARE SUBJECT TO SURVEY.

PLANNING

PROPOSED 2 LOT SUBDIVISION
OWNER: PETER WALTON
493 WEETAH ROAD, WEETAH 7304 CT.26794/1



10 Goodman Court Invermay TAS 7248
PO Box 593 Mowbray Heights TAS 7248
Phone (03) 6332 3760
Fax (03) 6332 3764
Email: admin@woolcottsurveys.com.au

Job Number
L170310

Drawn SCB	File name L170310_PROPOSAL_170530	Date 29/05/2017	Scale 1:1250@A3	Edition 1	Sheet 1
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WOOLCOTT SURVEYS

**MEANDER VALLEY COUNCIL INTERIM PLANNING
SCHEME 2013**

APPLICATION FOR A 2 LOT SUBDIVISION

493 WEETAH ROAD
WEETAH, 7304

P.S. WALTON - OWNER

C.T. 26794/1 (PID 7556933)

June 2017

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1. Proposal

The owner of C.T. 26794/1 would like to perform a 2 lot subdivision of their land. The title is currently used for an existing residence, with gardens and open pasture. Considering the area of the land, the division into 2 lots would still provide for adequate area for a future dwelling on lot 2. A second access to Weetah Road is proposed to service Lot 2, and a Site Distance Report is included with this application.

The proposal has been discussed with Council, by way of a site meeting with the Owner and Jo Oliver, in March this year.

2. Subject Land

2.1 Location

The subject title is located at #493 Weetah Road, Weetah.



Figure 1. Location Map for the land

2.2 Title References

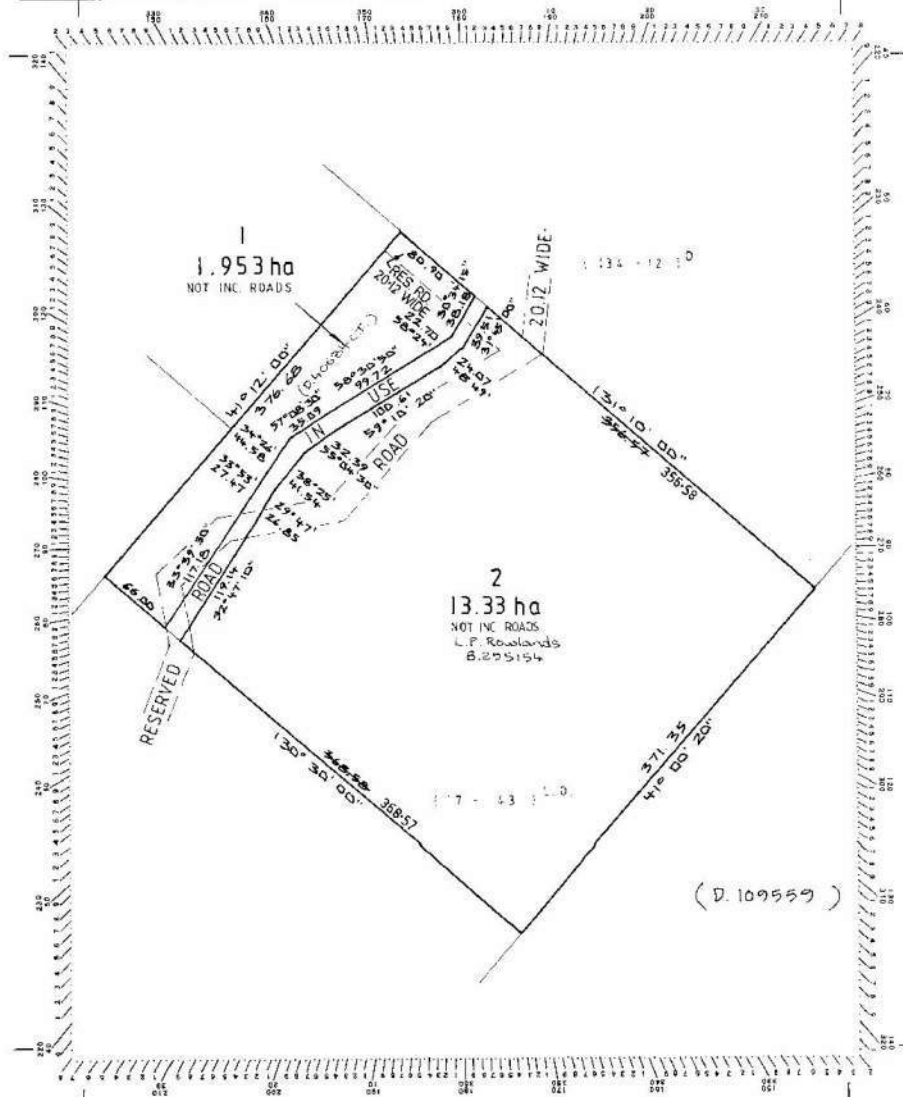
Copy of Certificate of Title Plan Volume 26794/1



FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980



Owner: JOHN LEONARD MEADOWS AND MICHELE MARIA MEADOWS	PLAN OF SURVEY by Surveyor... C. I. FISHER of of land situated in the FISHER & JACK PTY LTD LAND DISTRICT OF DEVON PARISH OF MALLING	Registered Number D26794
Title Reference: CT 362B-64	SCALE 1:3000 MEASUREMENTS IN METRES	Approved Effective from:
Grantee: PART WHOLE OF LOT 6939 GTD TO EDWARD CULVERHOUSE GREGORY		Recorder of Titles



2.3 Land Area

C.T. 26794/1 Comprises 1.953 hectares of land.

3. Existing Conditions

3.1 General Site Conditions and Infrastructure

General environmental quality and hazards

The subject title is a rural block that ranges in elevation from R.L. 250m near Weetah Road sloping gradually up to the North-west corner to R.L. 270m AHD83. The land, which runs longitudinally with Weetah Road, contains an existing residence and associated outbuildings, a dam and private gardens. The land proposed for Lot 2 is generally open pasture. The proposed Lot 2 is well screened from Weetah Road by native vegetation, which would provide for low visibility of any future dwelling.



Figure 2. View of Typical vegetation on the site (Lot 2).

Special or significant features of the subject land

There are no known special or significant values within the land, whether natural, historical or cultural values. The site is not known to contain any unique or special eco systems.

3.2 Buildings and significant structures on the subject land

Lot 1 contains an existing dwelling, with associated outbuildings.



Figure 3: Existing 2 storey weatherboard dwelling on Lot 1

3.3 Existing use of subject land and surrounding land

The subject land is currently used for Rural Living purposes – i.e. residential purposes in a rural setting, with large areas set aside from the dwelling for gardens, a dam and open pasture.



Figure 4. View of existing access for #493 Weetah Road.



Figure 5. View of proposed access location for Lot 2



Figure 6 – View looking East along Weetah Road from the proposed access point for 2



Figure 7 – View looking West along Weetah Road from the proposed access point for 2

4. Planning Controls

4.1 Existing zoning of the subject land and surrounding land

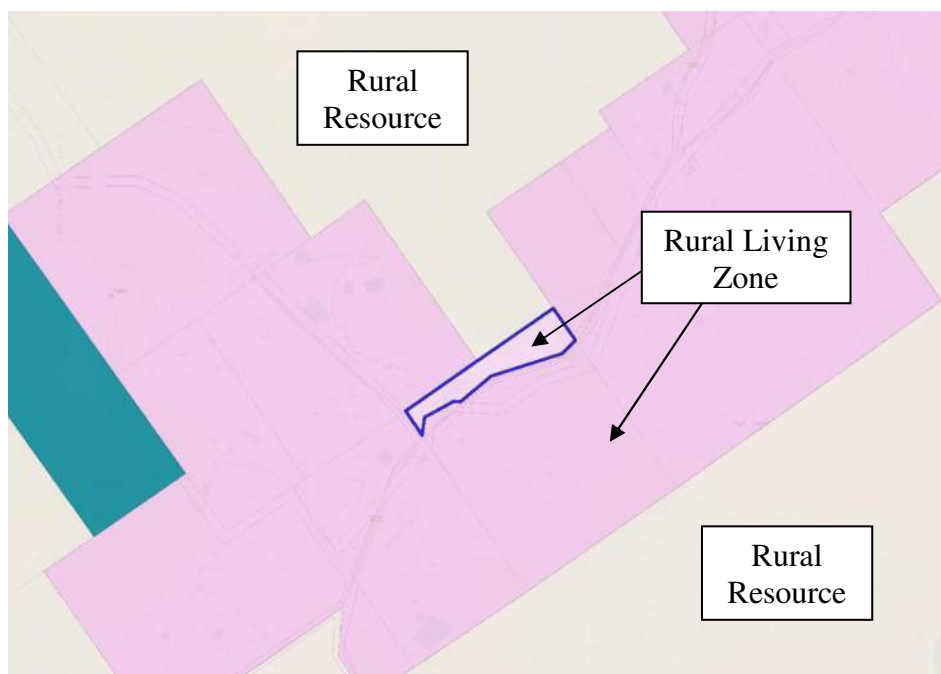


Figure 8. Zoning of site and surrounds

The site and the surrounding land directly to the south, west and north-east is also zoned Rural Living. Land to the north-east of the subject title is zoned Rural Resource, and is Forestry Land. The adjoining Forestry land runs *uphill* from the subject land.

4.2 Special controls and effect on subject and surrounding land

A very small Part of the site is contained in pockets of Priority Habitat (dark green hatched area in the image below). The hatching extends into the Reserved Road portion of the title in the north-east corner of the land and there is no proposal to alter any vegetation in this area.



Figure 9. Image showing Special Planning Overlays.

4.3 Planning Matters

The land is under the jurisdiction of the Meander Valley Council. The relevant planning instrument is the Meander Valley Interim Planning Scheme 2013 (the Planning Scheme).

4.4 Planning Definitions

Within the Planning Scheme there are a series of definitions into which use and development must fit. If there is no definition which describes the use or development the principle of “best fit” applies. In this instance the definition which describes the development is:

Subdivision

5. Meander Valley Interim Planning Scheme 2013

This section details how the proposed development complies with the zone requirements of the Planning Scheme. The following section numbering is the same as found in the Planning Scheme.

13 Rural Living Zone:

13.1 Zone Purpose

13.1.1 Zone Purpose Statements:

13.1.1.1 To provide for residential use or development on large lots in a rural setting where services are limited.

13.1.1.2 To provide for compatible use and development that does not adversely impact on residential amenity.

13.1.1.3 To provide for rural lifestyle opportunities in strategic locations to maximise efficiencies for services and infrastructure.

13.1.1.4 To provide for a mix of residential and low impact rural uses.

13.1.2 Local Area Objectives

<p><i>Weetah</i> a) To retain lower densities and locate development with reasonable separation distances, consistent with the purpose of the zone being for large lots.</p>	<p>a) Future subdivision will be determined on the basis of capacity for access, any potential for natural hazards, the pattern and visibility of development and potential for conflict with adjoining land uses.</p>
--	--

13.1.3 Desired Future Character Statements

<p><i>General</i> To maintain the existing character described for each locality through careful design and location of development.</p>
<p><i>Weetah</i> a) Weetah is primarily characterised by visible, linear development along Weetah Road. Development along Eynans Road and Whitchurch Lane is more discreetly located within the landscape due to vegetation screening and topography. b) Where development is visible, ensure that materials are non-reflective and the design integrates with the landscape. c) The retention or planting of vegetation is the preferred means to integrate and screen development, particularly on the hill slopes to the north where potentially visible.</p>

Response: It can be demonstrated that the proposal meets the Local Area Objectives & the Desired Future Character Statements for Weetah such that:

- Any future development on Lot 2 would be separated from the existing buildings on Lot 1 by around 300 metres
- There is sufficient capacity for the access to Lot 2 from Weetah Road.
- There are no known natural hazards to the land (Bushfire Hazards are addressed separately)
- The pattern of the subdivision aligns with the already established linear pattern of lots running along Weetah Road.
- Any future development on Lot 2 will have low visibility from Weetah Road due to the established vegetation along the road providing screening.

13.4.2 Subdivision

13.4.2.1 General Suitability

Objective:

The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the Rural Living Zone.

<i>Acceptable Solutions</i>	<i>Performance Criteria</i>
<i>A1 No Acceptable Solution</i>	<p><i>P1 Each new lot on a plan must be suitable for use and development in an arrangement that is consistent with the Zone Purpose, having regard to the combination of:</i></p> <ul style="list-style-type: none"> <i>a) slope, shape, orientation and topography of land;</i> <i>b) any established pattern of use and development;</i> <i>c) connection to the road network;</i> <i>d) availability of or likely requirements for utilities;</i> <i>e) ecological, scientific, historic, cultural or aesthetic values; and</i> <i>f) potential exposure to natural hazards.</i>

Response: The proposal complies with Performance Criteria P1. The proposed boundary between lot 1 and lot 2 runs predominantly along an existing fence line. This fence separates the gardens and dam on lot 1 from the vacant pasture for lot 2. The shape of the new lots are reasonably consistent with the existing *linear* shape of the title and the pattern of the existing use. Lot 2 features a long frontage to Weetah Road (>200 metres) and an access can easily be provided to that lot.

13.4.2.2 Lot Area, Building Envelopes and Frontage

Objective

To ensure that subdivision:

- a) Provides for appropriate wastewater disposal, and stormwater management in consideration of the characteristics or constraints of the land; and*
- b) Provides area and dimensions of lots that are appropriate for the zone; and*
- c) Provides frontage to a road at a standard appropriate for the use; and*
- d) Furthers the local area objectives and desired future character statements for the area, if any.*

<p><i>A1.1 Each lot must:</i></p> <ul style="list-style-type: none"> <i>a) have a minimum area in accordance with Table 13.1 below; or</i> <p><i>Table 13.1 (Part) – Lot Size</i></p> <table border="0" style="width: 100%;"> <tr> <td style="width: 60%;"><i>Weetah</i></td> <td style="text-align: right;"><i>10ha</i></td> </tr> </table> <p><i>A1.2 Each lot must have new boundaries aligned from buildings that satisfy the relevant acceptable solutions for setbacks.</i></p>	<i>Weetah</i>	<i>10ha</i>	<p><i>P1 Each lot must:</i></p> <ul style="list-style-type: none"> <i>a) be to facilitate protection of a place of Aboriginal, natural or cultural heritage; or</i> <i>b) provide for each lot, sufficient useable area and dimensions to allow for:</i> <ul style="list-style-type: none"> <i>i) a dwelling to be erected in a convenient, appropriate and hazard free location; and</i> <i>ii) appropriate disposal of wastewater and stormwater; and</i> <i>iii) on-site parking and manoeuvrability; and</i> <i>iv) adequate private open space; and</i> <i>v) vehicular access from the carriageway of the road to a building area on the lot, if any; and</i> <i>c) be consistent with the Local Area Objectives and Desired Future Character Statements having regard to:</i> <ul style="list-style-type: none"> <i>i) the topographical or natural features of the site within the context of the area; and</i> <i>ii) the ability of vegetation to provide buffering; and</i> <i>iii) any features of natural or cultural significance; and</i> <i>iv) the presence of any natural hazards; and</i> <i>d) not create additional lots at Kimberley, Red Hills, Ugbrook, Upper Golden Valley, Weegenah and Western Creek; and</i> <i>e) not be located on land with frontage to Parkham Road.</i>
<i>Weetah</i>	<i>10ha</i>		
<p><i>A2 Each lot must have a frontage of at least 15 metres.</i></p>	<p><i>P2 Each lot, or a lot proposed in a plan of subdivision, must be provided with a frontage, or legal connection to a road by a Right of Carriageway, of no less than 3.6m width, having regard to:</i></p>		

	<p>a) the width of frontage proposed, if any;</p> <p>b) whether any other land has a Right of Carriageway as its sole or principle means of access over the frontage;</p> <p>c) the number of immediately adjacent Rights of Carriageway;</p> <p>d) the topography of the site;</p> <p>e) the proposed use of the lot;</p> <p>f) the construction and maintenance of the road;</p> <p>g) the existing pattern of development in the surrounding area; and the advice of the road authority.</p>
--	---

Response: The proposal cannot comply with the acceptable solution A1.1. The proposal does comply with the acceptable solution A1.2, as the setbacks to the existing buildings on lot 1 will largely be unchanged.

However, the proposal can comply with the performance criteria P1 parts (b) and (c). (Parts (d) and (e) are not applicable). It can be seen on the proposal plan that the new lot has sufficient area for a future dwelling to be located within the recommended Bushfire Hazard Management setbacks. A rectangle, approximately 25m x 50m can fit within the required BHMP setbacks.

The area of lot 2, being approximately 1.15ha, is also sufficient to contain a wastewater system, private open space, manoeuvrability for vehicles to turn, etc. and for a driveway between the access to Weetah Road and a site for a dwelling.

As noted on page 11, the proposal is in keeping with the Local Area Objectives and the Desired Future Character Statements for the Weetah area. Proposed Lot 2 features existing vegetation along Weetah Road, along the eastern boundary, and along the proposed boundary with Lot 1, all of which provide for buffering between adjoining land uses. There is little vegetation along the boundary to the south-west; however the adjacent land at that point appears to be only used for occasional livestock grazing.

There are no known natural or cultural features within the land. Natural hazards that have been identified include Bushfire, due to the proximity of the bushland to the east and north of the title. The Bushfire Hazard has been assessed by a registered practitioner and the report, along with recommendations, is attached to this proposal.

The proposal complies with the acceptable solution A2. The frontage for proposed lot 1 is approximately 175 metres and the frontage for proposed lot 2 is approximately 200 metres.

Part E Codes

Within the Planning Scheme are a series of Codes which need consideration. Only those relevant to the development will be discussed.

E1.0 Bushfire Code

The subject title is within 100 metres of Bushfire prone vegetation and thus is contained on a Bushfire Prone area. The Bushfire Code applies to the development.

A Bushfire Assessment Report and certificate is provided in Annexure 3. The relevant clauses are addressed within this report and certificate.

E4.0 Road and Railway Assets Code

A Site Distance Report has been prepared, and is included in Annexure 4. The report addresses the proposed new access point for Lot 2 on Weetah Road.

6. Strategic Planning

6.1 State Policies

The following State Policies are currently in force:

- Tasmanian State Coastal Policy 1986;
- State Policy on Water Quality and Management 1997;
- State Policy on the Protection of Agricultural Land 2009;
- National Environment Protection Council (Ambient Air Quality) Measure;
- National Environment Protection Council (Assessment of Site Contamination) Measure 1999;
- National Environment Protection Council (Movement of Controlled Wastes between States and Territories) Measure;
- National Environment Protection Council (National Pollutant Inventory) Measure; and
- National Environment Protection Council (Used Packaging Materials) Measure.

The proposed development is not known to conflict with or contravene any of the above State Policies.

7. Summary

The proposed subdivision conforms to all the necessary requirements of the Meander Valley Interim Planning Scheme 2013. Any discretion sought is fair and reasonable given the particular characteristics of the site.

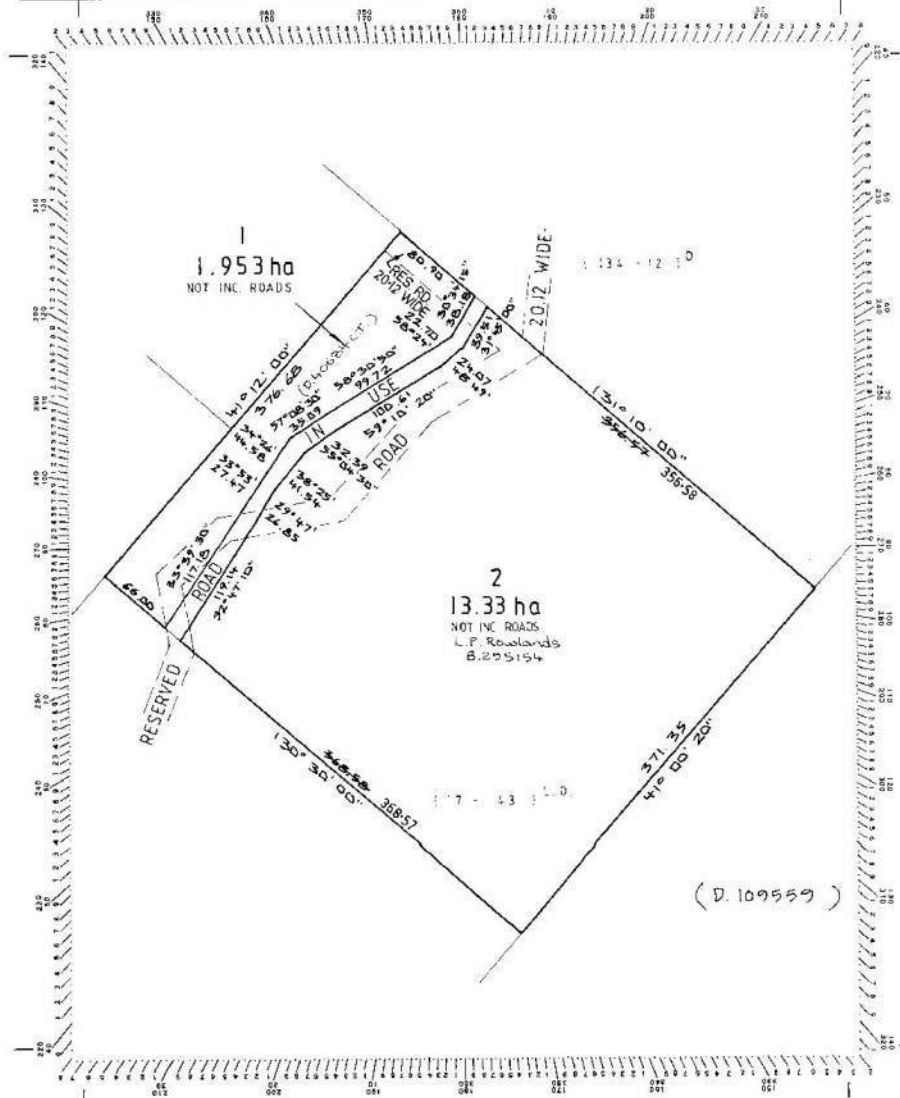
Annexure 1 - Certificate of Title and Text for C.T. 26794/1



FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



Owner: JOHN LEONARD MEADOWS AND MICHELE MARIA MEADOWS	PLAN OF SURVEY by Surveyor... C I FISHER of of land situated in the FISHER & JACK PTY LTD LAND DISTRICT OF DEVON PARISH OF MALLING	Registered Number D26794
Title Reference: C.T. 3628-64	SCALE 1:3000 MEASUREMENTS IN METRES	Approved Effective from:
Grantee: PART WHOLE OF LOT 6939 C/TD TO EDWARD CULVERHOUSE CRECORY		Recorder of Titles



SEARCH OF TORRENS TITLE

VOLUME 26794	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Jun-2004

SEARCH DATE : 26-May-2017
 SEARCH TIME : 12.37 PM

DESCRIPTION OF LAND

Parish of MALLING, Land District of DEVON
 Lot 1 on Diagram 26794
 Derivation : Part of Lot 6909 Gtd. to E.C. Gregory
 Prior CT 4597/18

SCHEDULE 1

C458568 TRANSFER to PETER STUART WALTON Registered
 23-Jun-2004 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Annexure 2 – Proposal Plans

Annexure 3 – Bushfire Assessment Report

Annexure 4 – Site Distance Report



WOOLCOTT SURVEYS

Bushfire Assessment
493 Weetah Road, Weetah
for
Peter Walton

Prepared by

IAN ABERNETHY

BFP 124

31/05/2017

Introduction

This is a Bushfire Assessment to support a proposal for a 2 lot subdivision of a property on Weetah Road.

Proposal

The proposal will see a 2 lot subdivision. The existing house and outbuildings will be contained on Lot 1 (8050 sqm), while Lot 2 will be vacant land (1.15ha).

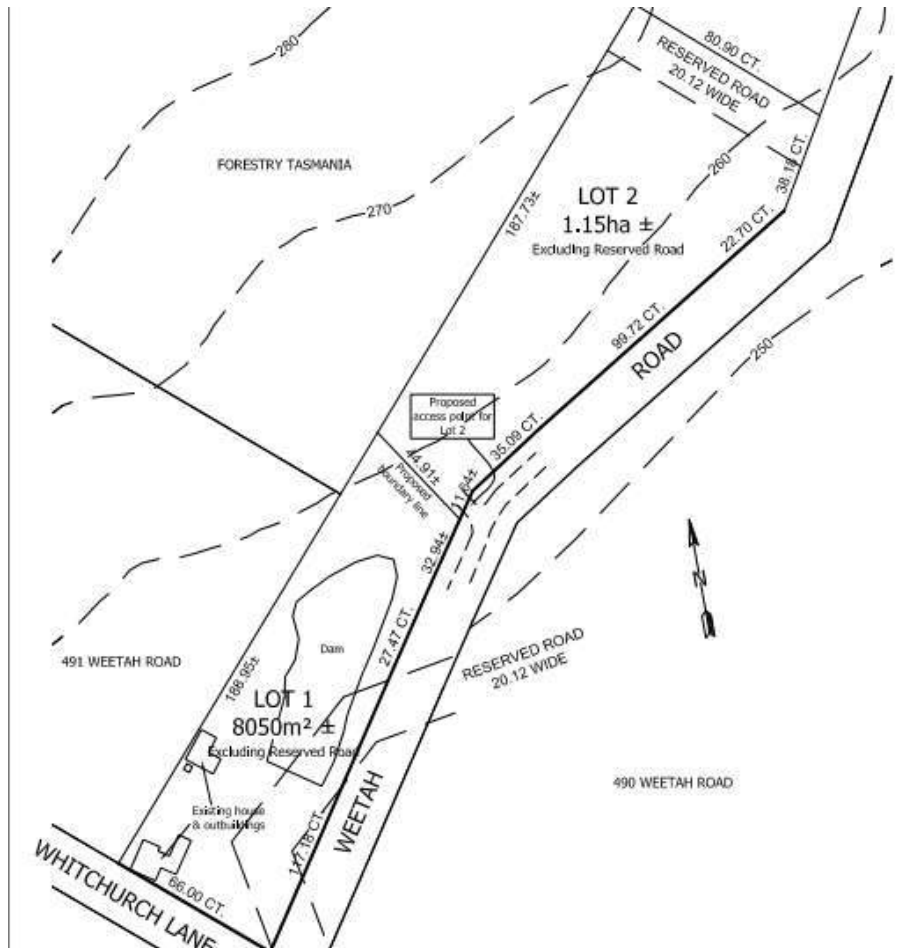


Figure 1 – site/proposal plan –source Woolcott Surveys

Title Details

Property Address	493 WEETAH RD WEETAH TAS 7304
Property ID	7556933
Title Reference	26794/1

Land Use Planning

The land use control document covering this site is the Meander Valley Interim Planning Scheme 2013. The site is zoned Rural Living use under the Planning Scheme. The adjoining land to the west, south, east and part north is also zoned Rural Living. Part of the land to the north is zoned Rural Resource.

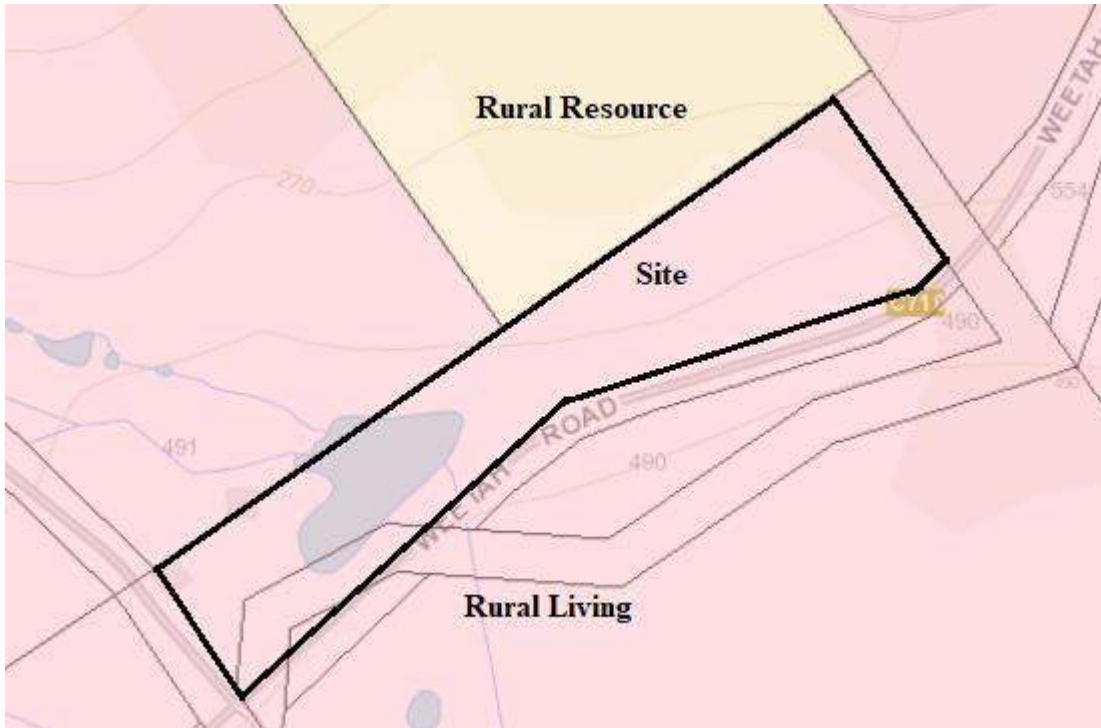


Figure 2 – zoning

Whilst there are no overlay controls directly impacting this site there is a priority habitat overlay covering the reserve road directly NE of the site, see below:



Figure 3 and 4 – overlay – topography and aerial photo

Current Uses in the Area

This is a 2ha irregular shaped site with an existing dwelling and outbuildings to the SW of the site. There are sparse native gum trees surrounding the house. The section to the Centre and NE is cleared grazing land with single mature trees spread across the paddocks. A denser coppice of gum trees is evident on the northern boundary of the site – abutting the reserved road.

Lands to the west, south, east and part north are cleared paddocks with dwellings and outbuildings. Part of the northern boundary is adjacent to a dense forest area.



Figure 5 – Uses in the immediate area



Figure 6 – Road looking West



Figure 7 – Road looking East

Critical Threat Areas

The critical threat area in terms of bushfire risk relates to the grasslands and forest surrounding the site.

As there is a dwelling on Lot 1 there will be no increase in risk from Bushfire to this lot irrespective of the subdivision. As such Lot 1 does not require any further assessment.



Figure 8 – Bushfire risk areas

Environmental Matters

Reference to Tas VEG 3 classifies the vegetation on the site. The site is classed as (FAG) Agricultural land.

Vegetation Community Group	Agricultural, urban and exotic vegetation
Vegetation Community Code	FAG
Vegetation Community Description	(FAG) Agricultural land
Emergent Tree	
Forest Structure	Other
Source Date	17/01/1997
Field Checked	
Source Type	Photo

The environmental matters are illustrated below:

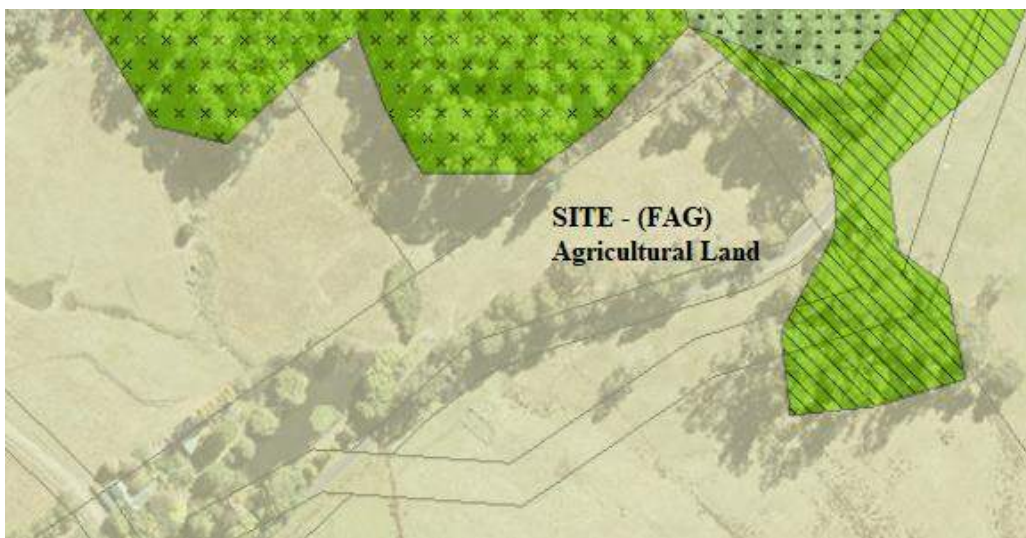


Figure 9 – environmental matters

Access

Access to the site will be Weetah Road a sealed public road.



Figure 10 – Weetah Road

Access to the current dwelling is from Whitchurch Lane



Figure 11 – Whitchurch Lane



Figure 12 – Whitchurch Lane

Access to the new Lot will be via a proposed driveway to the south of the site.

Water Supply

The site has no reticulated water supply and thus any development on this site will rely on water tanks for fire fighting supply.

Slope

The site slopes north west to south east with a gradient of 4 degrees.



Figure 13 – Access



Figure 14 – looking north



Figure 15 – Looking east

Power Lines

There are overhead powerlines to the southern side of the Weetah Road. The area under these power lines has been cleared of any significant vegetation.

Vegetation

The bushfire prone vegetation is predominantly grassland (grazing) and Forest. The required radius of 100m to assess bushfire vegetation is shown below:

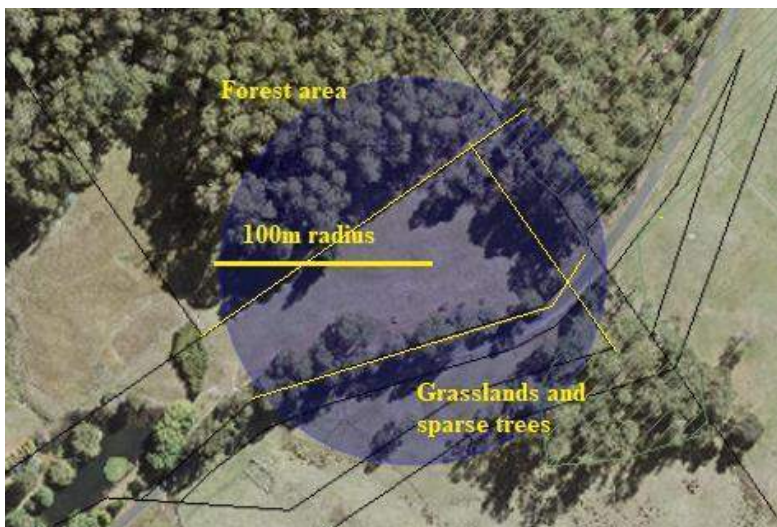


Figure 16 – Bushfire Prone Areas - theLIST

Assessment

The proposal is assessed against bushfire risk by taking into account all the matters listed above.

The assessment will relate to Lot 2 only as Lot 1 contains the existing house and there will be no increase in risk from bushfire as a result of the subdivision.



Figure 17 – Existing house

The slope, vegetation and required clearance to achieve a BAL 19 are tabulated below:

Lot 2 Assessment

	North West	South West	South East	North East
Vegetation	Forest	Grassland	Grassland	Woodland
Slope	Upslope	Flat (contour)	4 degrees	Flat (contour)
Distance to Vegetation	Zero	Zero	16m (mainly road reserve)	Zero
Required Clearance for BAL 19	23 – 32m	10 – 14m	11 – 16m	23 – 32m

BAL for new lots

The Code requires that new lots achieve a BAL 19 rating.

Assessment (Lot 1)

The subdivision does not present any greater risk to the existing house on Lot 1 in terms of bushfire – thus no specific requirements apply to Lot 1.

Recommendations (Lot 2 only)

1. The site has a BAL 19 rating.
2. 10,000L static firefighting water supply must be located within 3m of accessible hard standing (access road, turning bay etc.), sited greater than 6m but closer than 120m to the habitable building.
3. Tanks, above ground pipes and fittings must be made of non-rusting, non-combustible, non-heat-deforming materials
4. Tanks must have an opening in the top of not less than 250mm diameter or be fitted with a standard compliant forged Storz 65mm adaptor fitted with a standard (delivery) washer rated to 1800 kPa working pressure and 2400 kPa burst pressure.
5. Firefighting water tanks require signs which comply with the regulations which signifies a supply for fire fighting.
6. A Hazard Management Area as defined will be formed – 30m to the NW and NE; 15m to the SE and SW.
7. The following design and construction requirements apply to property access:
 - (a) All-weather construction;
 - (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
 - (c) Minimum carriageway width of 4 metres;
 - (d) Minimum vertical clearance of 4 metres;
 - (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
 - (f) Cross falls of less than 3 degrees (1:20 or 5%);
 - (g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
 - (h) Curves with a minimum inner radius of 10 metres;
 - (i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
 - (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum inner radius of 10 metres; or
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead 'T' or 'Y' turning head 4 metres wide and 8 metres long.

Conclusion

This is a simple two lot subdivision, annexing an existing dwelling from vacant land. As no building envelope was defined for Lot 2 the hazard management area will be formed around the perimeter of the site.

References

Meander Valley Interim Planning Scheme 2013.

Standards Australia. (2009). AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

Guidelines for development in Bushfire Prone Areas in Tasmania - 2005

Interim Directive No1 – Bushfire Prone Areas - 2016

PREPARED BY

IAN ABERNETHY – May 2017

CODE E1 – BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies²

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Meander Valley Interim Planning Scheme 2013

Street address:

493 Weetah Road, Weetah

Certificate of Title / PID:

26794/1

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

N/a

Certificate of Title / PID:

2. Proposed Use or Development

Description of Use or Development:

2 Lot subdivision – one lot contain existing dwelling.

Code Clauses³:

E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

3. Documents relied upon⁴

Documents, Plans and/or Specifications

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

³ Indicate by placing X in the corresponding for the relevant clauses of E1.0 Bushfire-prone Areas Code.

⁴ List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire. Each document must be identified by reference to title, author, date and version.

Title:
Author:
Date: **Version:**

Bushfire Report

Title:
Author:
Date: **Version:**

Bushfire Hazard Management Plan

Title:
Author:
Date: **Version:**

Other Documents

Title:
Author:
Date: **Version:**

4. Nature of Certificate⁵

<input type="checkbox"/>	E1.4 – Use or development exempt from this code		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.4 (a)	Insufficient increase in risk	

<input type="checkbox"/>	E1.5.1 – Vulnerable Uses		
	E1.5.1.1 Standards for vulnerable use		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.1.1 P1.	Risk is mitigated	
<input type="checkbox"/>	E1.5.1.1 A2.1	BHMP	
<input type="checkbox"/>	E1.5.1.1 A2.2	Emergency Plan	

<input type="checkbox"/>	E1.5.2 – Hazardous Uses		
	E1.5.2.1 Standards for hazardous use		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.2.1 P1.	Risk is mitigated	
<input type="checkbox"/>	E1.5.2.1 A2.1	BHMP	
<input type="checkbox"/>	E1.5.2.1 A2.2	Emergency Plan	

X	E1.6.1 – Development standards for subdivision		
	E1.6.1.1 Subdivision: Provision of hazard management areas		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.1 P1.	Hazard Management Areas are sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1.1 A1. (a)	Insufficient increase in risk	

⁵ The certificate must indicate by placing X in the corresponding for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

X	E1.6.1.1 A1. (b)	Provides BAL 19 for all lots	Report and Plans
---	------------------	------------------------------	------------------

E1.6.1.2 Subdivision: Public and fire fighting access			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.2 P1.	Access is sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1.2 A1. (a)	Insufficient increase in risk	
X	E1.6.1.2 A1. (b)	Access complies with Tables E3, E4 & E5	Report and Plans

E1.6.1.3 Subdivision: Provision of water supply for fire fighting purposes			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.3 A1. (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.1.3 A1. (b)	Reticulated water supply is consistent with the objective	
<input type="checkbox"/>	E1.6.1.3 A1. (c)	Reticulated water supply complies with Table E6.	
<input type="checkbox"/>	E1.6.1.3 A2. (a)	Insufficient increase in risk	
X	E1.6.1.3 A2. (b)	Static water supply is consistent with the objective	Report and Plans
X	E1.6.1.3 A2. (c)	Static water supply complies with Table E7.	Report and Plans

5. Bushfire Hazard Practitioner⁶

Name:	<input type="text" value="Ian Abernethy"/>	Phone No:	<input type="text" value="0417233732"/>
Address:	<input type="text" value="Cimitiere St"/>	Fax No:	<input type="text"/>
	<input type="text" value="Launceston"/>	Email Address:	<input type="text" value="iabernethy@pittsh.com.au"/>
	<input type="text" value="TAS"/>		<input type="text" value="7250"/>
Accreditation No:	<input type="text" value="BFP –"/>	Scope:	<input type="text" value="1, 2,3"/>

6. Certification⁷

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

<i>The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
---	--------------------------

or

<i>There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
--	--------------------------

and/or

<i>The Bushfire Hazard Management Plan/s identified in Section 4 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
--	-------------------------------------

Signed:
certifier



Date: **Certificate No:**

⁶ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of *Fire Service Act 1979*. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

⁷ The relevant certification must be indicated by placing X in the corresponding .



SITE DISTANCE REPORT

493 Weetah Road, Weetah, Tas, 7304

Prepared on behalf of
Peter Walton

Prepared By:

Risden Knightley BE (Civil), Ass Dip Civil Eng, FIEAust, CC 2539X

PO Box 128, Prospect 7250

Mobile: 0400 642 469

Email: mail@rjkconsultants.com.au

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INTRODUCTION

RJK Consulting Engineers have been engaged to undertake a sight distance and access assessment to determine site distance for a proposed new subdivision located at 493 Weetah Road, Weetah.

A site inspection was carried out on 20th April 2017.

Objectives

The key objectives of the report are:

- To describe the physical characteristics of the area in which the site is located;
- To describe the current arrangements for access; and
- To assess the suitability and long-term sustainability of a modified commercial access at this location.

Project Scope

This report (including all associated mapping and information) relates only to the area identified in the following map.



Figure 1 - Map reference of location



Figure 2 - Driveway location, 493 Weetah Road, Weetah

The outcomes have been developed based on the resources available. The report provides recommendations relating to site-specific investigations and detailed design.

LOCATION

The proposed driveway is located on the western side of Weetah Road.

Access onto Weetah Road has not been created and will require construction to Municipal Standards. At the defined point of exit, safe intersection site distance to the right is 190 metres to intersection with Whitchurch Ln and to the left is 140 metres to a corner/bend along Weetah Road.



Figure 4 - Site distance, Weetah Road looking right



Figure 5 - Site distance, Weetah Road looking left

There is no designated state speed limit for this location, with the 85% speed being assessed as 80 km/hr in both directions at time of inspection due to the road geometry and narrow nature. It is noted that these figures are from Council traffic data observations and local observations.

CLASSIFICATION – WEETAH ROAD

Weetah Road is classified as Category 5 local access roads. Estimated counts Weetah Road in this vicinity indicate AADT volumes of an average of 313 vehicles per day taking into account seasonal variance. These counts are based on information provided by Meander Valley Council. It is envisaged that minimal growth has occurred since this date.

The actual road layout in the vicinity of Weetah Road provides for:

- Average traffic lanes 2.5 metres wide;
- Gravelled verges;
- Road alignment and profile indicates a travel speed of some 80 km/hr;

Both roads at this location, have a variant continuous down grade from both directions. These grades range from 1% increasing to 2%.

Accident records indicate there have been no reported crashes in the past 5 years within the vicinity of the proposed access points.

ASSESSMENT

Upon inspection, Weetah Road is a typical local road construction with the only linemarking occurring at the intersection junctions, which are controlled by 'Give Way' signage.

Approach sight distance Weetah Road:

- To the right of the driveway for vehicles approaching from the Whitchurch intersection direction, 160 metres of sight distance is available. As such the 85th percentile for access is deemed to be under 80 km/hr of 175 to meet the Meander Valley Interim Planning Scheme 2013 for access requirements.
- To the left of the driveway for vehicles approaching from the north east, 180 metres of sight distance is available. This site distance meets Meander Valley Interim Planning Scheme 2013 for access requirements.

Driveway Profile:

An unformed access driveway currently exists for the access point. The indicative driveway profile is considered ideal for access off Weetah Road. This access will be constructed to the Municipal Standard Drawing TSD-R09-v1 and constructed in a manner that affords a downward grade to the road that enters perpendicular to the flow of traffic. It is also noted that an access works permit application will need to be submitted. This does not fall within the scope of this report.

Traffic Movements:

Weetah Road

A sample traffic count indicates daily traffic use on Weetah Road being 313 vehicles. Limited traffic growth is expected with a 1% per annum increase adopted as a likely worst case scenario.

For analysis purposes, ADT peak hour factor has been adopted at a peak hour between 8am and 9am with distribution being 50 percent towards Deloraine.

From the RTA guide, this equates to an additional 0.76 trips per hour rounded up equating to 1 trip per hour.

Based on the additional 1 trips per hour, together with the current volume, the level of service is considered not to alter.

Traffic Service:

No traffic service issues are likely at the intersection of the proposed driveway and Weetah Road. The current total traffic volume on Weetah Road is indicative of low road use and considered satisfactory.

PLANNING SCHEME REQUIREMENTS

E 4 Road & Railway Assets Code Assessment in accordance with code indicates:

MEANDER VALLEY INTERIM PLANNING SCHEME 2013		
Section	Acceptable Solution/ Performance Criteria	Response
E 4.6.1 Use and road or rail infrastructure	A3	
E 4.7.1 Development on and adjacent to Existing and Future Arterial Roads and Railways	Not Applicable	
E 4.7.2 Management of Road Access and Junctions	A2	One access point
E 4.7.3 Management of Rail Level Crossings	Not Applicable	
E 4.7.4 Sight Distance at Accesses, Junctions and Level Crossings	P1	Access will be sealed access and "Concealed Entrance" signs

CONCLUSION

Assessment of the proposed access point onto Weetah Road indicates:

1. Site distance is limited one way. It recommended "Concealed Entrance" signs are placed.
2. The new crossover on Weetah Road is to be constructed in accordance with the requirements of Municipal Standard Drawing TSD-R09-v1 to allow safe exit.

May 2017

Date: 12 July 2017

Phone: 6433 2668

Your Ref:

Our Ref:



ABN 91 628 769 359

Head Office:

Level 1, 99 Bathurst Street
Hobart TAS 7000

GPO Box 207
Hobart TAS 7001

Camdale:

2-4 East Cam Road
Camdale TAS 7320

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General Manager
Meander Valley Council
PO Box 102
Westbury TAS 7303

Dear Mr Gill,

Re: Planning Application 17/0224 - 493 Weetah Rd Subdivision

On behalf of Sustainable Timber Tasmania (STT), I wish to make representation regarding the above planning application that is adjacent to Permanent Timber Production Zone land. It is apparent from LISTmap and our own corporate mapping systems that the northern cadastral boundary of the property title (CT 26794/1) does not correspond to the existing fence line or the pasture / forest interface on the ground.

This indicates a significant encroachment on to PTPZL, and we request that a boundary survey be obtained and provided to Council and STT by the applicant before planning approval is granted, to confirm the location of the title boundary on the ground.

Should it be determined that the existing pasture area does encroach on to PTPZL, and the adjacent property owner wishes to continue using it, we will require them and any future owner of the new Lot 2, to obtain a Forest Lease or Licence for the relevant portion of land.

Alternatively, we request the true title boundary be fenced by the property owner to prevent further unauthorised access to our land.

For further communications you may contact me on 64332668 or emma.barker@sttas.com.au.

Yours sincerely

A handwritten signature in blue ink that reads "Emma Barker".

Emma Barker
Senior Forest Officer
Land Management (North)



Justin Simons

From: Sam Bucknell <sam@woolcottsurveys.com.au>
Sent: Tuesday, 25 July 2017 11:48 AM
To: Justin Simons
Cc: Colin Smith
Subject: RE: pa\17\0224 - Request for Extension of Time - 493 Weetah Road, Weetah - Subdivision (2 lots)

Follow Up Flag: Follow up
Flag Status: Completed

Dear Justin,

Thank you for your email and the attached Council notification and representation.

It appears that Ms. Barker from Sustainable Timber Tasmania (SST) has concerns regarding the position of the fencing between SST's parcel and our client's parcel, in relation to the title boundary. Our opinion is that the matters raised in the representor's letter are not relevant to the current Development Application and are not a Council Planning concern in any event.

I am happy for you to refer this email back to Ms. Barker and I can use this opportunity to state that the boundaries will be formally surveyed and marked once a Planning Permit is issued (as is normally the case). I can also state the indicative boundaries shown on the boundary adjustment proposal plan (L170310_PROPOSAL_170530), have been compiled from limited site work and do accord with the current Certificate of Title (CT.) boundaries.

We are reluctant to avoid any delays in the planning process. I would ask that the representors reconsider their concerns, given the information provided in this email.

Yours faithfully,

Sam Bucknell
Survey Manager
Registered Land Surveyor

M 0428 349 479

P 03 6332 3760

E sam@woolcottsurveys.com.au

W www.woolcottsurveys.com.au

A 10 Goodman Court, Invermay TAS (PO BOX 593, Mowbray Heights TAS 7248)

C&DS 5 126 MARY STREET, WESTBURY - SUBDIVISION (2 LOTS)

1) Introduction

This report considers application PA\17\0235 for Subdivision (2 lots) on land located at 126 Mary Street, Westbury (CT: 41319/1).

2) Background

Applicant

Cohen & Associates Pty Ltd

Planning Controls

The subject land is controlled by the *Meander Valley Interim Planning Scheme 2013* (referred to in this report as the 'Scheme').

Use & Development

The proposal is to subdivide a 2.23ha property into two residential lots. The land is located on the corner of Suburb Road and Mary Street in Westbury. Each lot proposes an access to Suburb Road. There is a watercourse and a small dam at the eastern side of the property.

Table 1: features of proposed subdivision

Lot	Area	Frontage	Features
1	8170m ² (0.817ha)	76 m – Suburb Road	Dwelling and outbuilding, existing access to Suburb Road
2	13400m ² (1.34ha)	119 m – Suburb Road 96m – Mary Street	Vacant land, Watercourse and dam, proposed access to Suburb Road, corner lot

The existing wastewater system extends into Lot 2. The *Onsite Wastewater & Stormwater Disposal Assessment* by Hydrodynamica state that both lots are suitable for waste water disposal on site.



Figure 1: proposed subdivision

Site & Surrounds

The subject property is located to the south of the Township of Westbury. Mary Street is a main road heading south of Westbury. To the north, east and south is characterised by dwellings on larger residential lots. A wood yard is located to the west.



Photo 1: aerial view of surrounding land

Statutory Timeframes

Date Received:	29 June 2017
Request for further information:	Not applicable.
Information received:	Not applicable.
Advertised:	8 July 2017
Closing date for representations:	24 July 2017
Extension of time granted:	Not applicable.
Extension of time expires:	Not applicable.
Decision due:	9 August 2017

3) Strategic/Annual Plan Conformance

Council has a target under the Annual Plan to assess applications within statutory timeframes.

4) Policy Implications

Not applicable.

5) Statutory Requirements

Council must process and determine the application in accordance with the *Land Use Planning Approval Act 1993 (LUPAA)* and its Planning Scheme. The application is made in accordance with Section 57 of LUPAA.

6) Risk Management

Management of risk is inherent in the conditioning of the permit.

7) Consultation with State Government and other Authorities

The application was referred to TasWater. A Submission to Planning Authority Notice (TWDA 2017/01051-MVC) was received on 13 July 2017 (attached document).

8) Community Consultation

The application was advertised for the statutory 14-day period.

One representation was received (attached document). The representation is discussed in the assessment below.

9) Financial Impact

Not applicable

10) Alternative Options

Council can either approve the application with amended conditions or refuse the application.

11) Officers Comments

Zone

The subject property is located in the Low Density Residential zone. The land surrounding the site is located in the Low Density Residential zone.

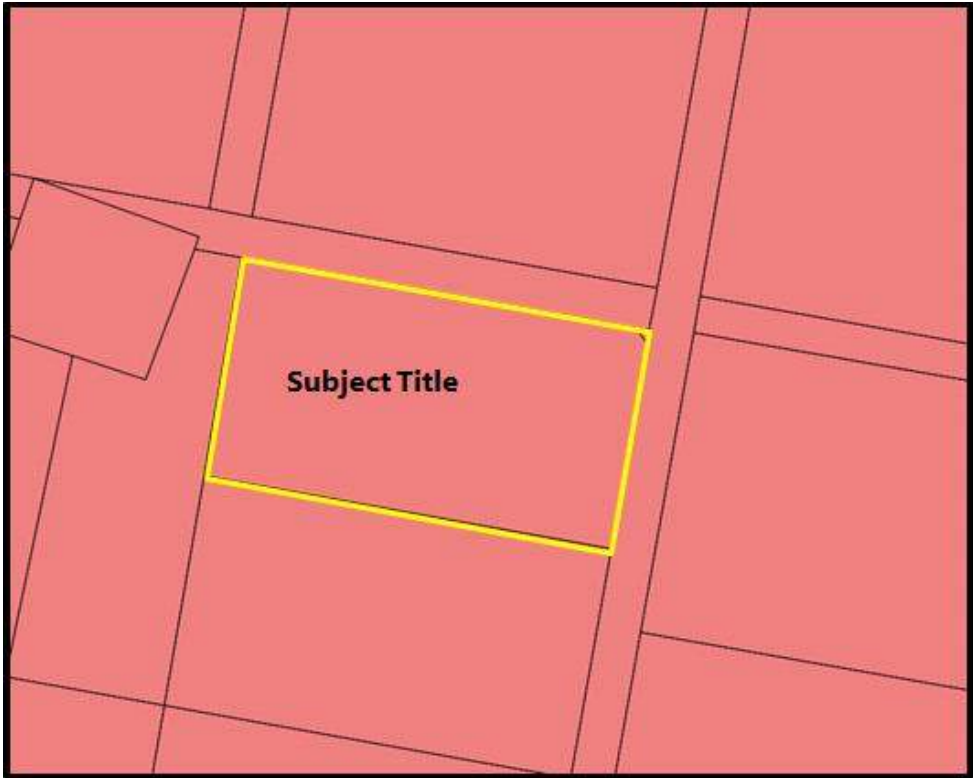


Figure 2: zone mapping



Figure 3: overlay mapping - blue line represents a watercourse

Use Class

Table 8.2 of the Scheme, categorises the proposed use class as:

- Residential

Applicable Standards

This assessment considers all applicable planning scheme standards.

In accordance with the statutory function of the State Template for Planning Schemes (Planning Directive 1), where use or development meets the Acceptable Solutions it complies with the planning scheme, however it may be conditioned if considered necessary to better meet the objective of the applicable standard.

Where use or development relies on performance criteria, discretion is applied for that particular standard only. To determine whether discretion should be used to grant approval, the proposal must be considered against the objectives of the applicable standard and the requirements of Section 8.10.

A brief assessment against all applicable Acceptable Solutions of the Low Density Residential zone and Codes is provided below. This is followed by a more detailed discussion of any applicable Performance Criteria and the objectives relevant to the particular discretion.

Compliance Assessment

The following table is an assessment against the applicable standards of the Meander Valley Interim Planning Scheme 2013.

Low Density Residential Zone			
Scheme Standard		Comment	Assessment
12.3.1 Amenity			
A1	If for permitted or no permit required uses.	Residential is a No Permit Required use in the Low Density Residential Zone.	Complies
A2	Commercial vehicles for discretionary uses must only	Not applicable	

	operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.		
12.4.3.1 General Suitability			
A1	No Acceptable Solution	No Acceptable Solution	Relies on Performance Criteria
12.4.3.2 Lot Area, Building Envelopes and Frontage			
A1	<p>Each lot must:</p> <ul style="list-style-type: none"> a) have a minimum area in accordance with Table 12.4.3.1; and b) be able to contain a 35 metres diameter circle with the centre of the circle not more than 35 metres from the frontage; and c) have new boundaries aligned from buildings that satisfy the relevant acceptable solutions for setbacks; or d) be required for public use by the Crown, a an agency, or a corporation all the shares of which are held by Councils or a municipality; or 	<p>Lot 1 is 1.34ha and Lot 2 is 0.817ha in area.</p> <p>Each lot is capable of containing a 35m diameter circle with the centre of the circle 35m from the frontage.</p>	Complies

	<p>e) be for the provision of public utilities; or</p> <p>f) for the consolidation of a lot with another lot with no additional titles created; or</p> <p>g) to align existing titles with zone boundaries and no additional lots are created.</p>		
A2	Each lot must have a frontage of at least 4 metres.	Council maintains both Mary Street and Suburb Road. The frontage of Lot 1 is 76 metres and of Lot 2 is 215 m.	Complies
A3	Each lot must be connected to a reticulated: <p>a) water supply; and</p> <p>b) sewerage system.</p>	The land is not connected to reticulated water or sewerage services.	Relies on Performance Criteria
A4	Each lot must be connected to a reticulated stormwater system.	The land is not connected to a reticulated stormwater system.	Relies on Performance Criteria

Bushfire-Prone Areas Code

Scheme Standard	Comment	Assessment
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E1.6.1 Subdivision - Provision of hazard management areas

<p>A1</p>	<p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</p> <p>(b) The proposed plan of subdivision:</p> <p>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;</p> <p>(ii) shows the building area for each lot;</p> <p>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 –2009 Construction of buildings in bushfire-prone areas; and</p> <p>(iv) is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing</p>	<p>The Bushfire Hazard Management Plan stated compliance with E1.6.1A1(b).</p>	<p>Complies</p>
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	<p>hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-prone areas; and</p> <p>(c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</p>		
E1.6.2 Subdivision - Public and fire fighting access			
A1	<p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</p> <p>(b) A proposed plan of</p>	The Bushfire Hazard Management Plan states compliance with E1.6.2A1(a+b).	Complies

	subdivision showing the layout of roads and fire trails, and the location of property access to building areas, and which complies to the extent necessary with Tables E1, E2 and E3, is included in a bushfire hazard management plan certified by the TFS or accredited person.		
E1.6.3 Subdivision - Provision of water supply for fire fighting purposes			
A1	<p>In areas serviced with reticulated water by the water corporation:</p> <p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</p> <p>(b) A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or</p> <p>(c) A bushfire hazard management plan certified by the TFS or an accredited</p>	Not applicable	

	<p>person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>		
A2	<p>In areas that are not serviced by reticulated water by the water corporation:</p> <p>(a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for fire fighting purposes;</p> <p>(b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</p> <p>(c) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>	<p>The Bushfire Hazard Management Plan states compliance with E1.6.3A2(a+b).</p>	<p>Complies</p>

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Recreation and Open Space Code			
Scheme Standard		Comment	Assessment
E10.6.1 Provision of Public Open Space			
A1	The application includes consent in writing from the General Manager that no land is required for public open space but instead there is to be a cash payment in lieu.	Written consent has been provided.	Complies

Road and Railway Assets Code			
Scheme Standard		Comment	Assessment
E4.6.1 Use and road or rail infrastructure			
A1	Sensitive use within 50m of a category 1 or 2 road with a speed limit of more than 60km/h, a railway or future road or railway, does not increase the annual average daily traffic movements by more than 10%.	Not applicable	
A2	For roads with a speed limit of 60km/h or less the use must not generate more than 40 movements per day.	Not applicable	

A3	For roads with a speed limit of more than 60km/h the use must not increase the annual average daily traffic movements by more than 10%.	Lots 1 and 2 each have access to Suburb Road.	Relies on Performance Criteria
E4.7.2 Management of Road Accesses and Junctions			
A1	For roads with a speed limit of 60km/h or less the development must include one access providing both entry and exit, or two accesses providing separate entry and exit.	Not applicable	
A2	For roads with a speed limit of more than 60km/h the development must not include a new access or junction.	A new access is required to Suburb Road.	Relies on Performance Criteria

Performance Criteria

Low Density Residential Zone

12.4.3.1 General Suitability

Objective

The division and consolidation of estates and interests in land is to create lots that are consistent with the purpose of the Low Density Residential Zone.

Performance Criteria P1

Each new lot on a plan must be suitable for use and development in an

arrangement that is consistent with the Zone Purpose, having regard to the combination of:

- a) slope, shape, orientation and topography of land;*
- b) any established pattern of use and development;*
- c) connection to the road network;*
- d) availability of or likely requirements for utilities;*
- e) any requirement to protect ecological, scientific, historic, cultural or aesthetic values; and*
- f) potential exposure to natural hazards.*

Comment:

The subject property is located on the corner of Suburb Road and Mary Street, in Westbury. The land gently slopes from the south-west corner downwards towards Suburb Road and Mary Street. The dam is located at the lowest point of the property.

The proposed layout shows the existing dwelling on Lot 1 meeting the standards for setbacks to a boundary. The dimensions of Lot 2 provide ample space for a building site between the shared boundary and the watercourse/dam. Each lot has access to Suburb Road (a Council maintained road).

Land to the north, east and south are used for residential purposes. Land to the west is used as a wood yard. A wood yard is not an activity that is triggered by the E11 Environmental Impacts and Attenuation Code.

The land is not connected to reticulated water, sewerage or stormwater. Water can be provided with rain water tanks. A report from Hydrodynamica stated that both waste water and stormwater can be appropriately managed on each lot.

The land is not mapped as being landslide hazard. The land is not heritage listed.

The Zone Purpose consists of the Zone Purpose Statement, the Local Area Objectives and the Desired Future Character Statements. The Zone Purpose states:

12.1 Zone Purpose

12.1.1 Zone Purpose Statements

12.1.1.1 To provide for residential use or development on larger lots in residential areas where there are infrastructure or environmental constraints that limit development.

12.1.1.2 To provide for non-residential uses that are compatible with residential amenity.

12.1.1.3 To ensure that development respects the natural and conservation values of the land and is designed to mitigate any visual impacts of development on public views.

12.1.2 Local Area Objectives

Westbury

a) Future subdivision will be determined on the basis of capacity for on-site servicing, access and any potential for natural hazards.

12.1.3 Desired Future Character Statements

Westbury

a) The low density character of the peripheral areas of the settlement are a distinctive feature of Westbury, reinforced by a strong grid pattern of roads and prominent hedge rows that border existing lots.

b) Future development is to maintain a density and pattern that keeps the distinction between the inner serviced core and the peripheral low density zone.

The proposed subdivision is for residential purposes. Both lots are larger than the standard for the zone. In addition, both lots can manage waste water and stormwater on site.

The proposal does not include a new road, so the established grid pattern of roads is maintained. The hawthorn hedge along the fence line do not require removal to accommodate the proposed new crossover for Lot 2.

No further action is required.

12.4.3.2 Lot Area, Building Envelopes and Frontage

Objective

To ensure:

- a) the area and dimensions of lots are appropriate for the zone; and*
- b) the conservation of natural values, vegetation and faunal habitats; and*
- c) the design of subdivision protects adjoining subdivision from adverse impacts; and*
- d) each lot has road, access, and utility services appropriate for the zone.*

Performance Criteria P3

Lots that are not provided with reticulated water and sewerage services must be:

- a) in a locality for which reticulated services are not available or capable of being connected; and*
- b) capable of accommodating an on-site wastewater management system.*

Comment:

The land is not serviced by reticulated water or sewerage services, although there is reticulated water infrastructure in Mary Street. TasWater advised the applicant that the size of the line prevents any new connections. An assessment by Hydrodynamica states that both lots are suitable for wastewater disposal on-site.

Council's Environmental Health Officer has provided the following information:

Council's records indicate that an on-site wastewater management system was installed at the time the dwelling at 126 Mary Street was constructed in 1990. A visit to the property and discussion with the property owner on 24 July 2017 verified the location of the system, including approximately sixty

metres of absorption trench which is located partially on the land of the proposed Lot 2. The property owner stated verbally at the time of the site visit that he was aware that the absorption area would need to be relocated and fully contained within the property boundary of Lot 1 for the subdivision to proceed, and that he had engaged Hydrodynamica to redesign the system. The report by Hydrodynamica dated 28 June 2017 submitted with the Planning Application notes two areas within the proposed Lot 1 which would be suitable land application areas for on-site wastewater disposal. The report also states that that the proposed Lot 2 is suitable for managing wastewater from a typical 3 bedroom dwelling.

Prior to the sealing of the subdivision, the existing absorption area of the on-site wastewater system servicing the dwelling on Lot 1 must be decommissioned and relocated within the boundaries of Lot 1. The applicant must apply for a Plumbing Permit for the relocation of the absorption area and a Certificate of Completion issued.

No further action is required.

Performance Criteria P4

Each lot must be capable of disposal of stormwater to a legal discharge point.

Comment:

The land is not connected to a reticulated stormwater system. As assessment by Hydrodynamica states that stormwater runoff can be disposed of on-site.

No further action is required.

Road and Railway Assets Code

E4.6.1 Use and road or rail infrastructure

Objective

To ensure that the safety and efficiency of road and rail infrastructure is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.

Performance Criteria P3

For limited access roads and roads with a speed limit of more than 60km/h:

- e) access to a category 1 road or limited access road must only be via an existing access or junction or the use or development must provide a significant social and economic benefit to the State or region; and*
- f) any increase in use of an existing access or junction or development of a new access or junction to a limited access road or a category 1, 2 or 3 road must be for a use that is dependent on the site for its unique resources, characteristics or locational attributes and an alternate site or access to a category 4 or 5 road is not practicable; and*
- g) an access or junction which is increased in use or is a new access or junction must be designed and located to maintain an adequate level of safety and efficiency for all road users.*

E4.7.2 Management of Road Accesses and Junctions

Objective

To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.

Performance Criteria P2

For limited access roads and roads with a speed limit of more than 60km/h:

- a) access to a category 1 road or limited access road must only be via an existing access or junction or the development must provide a significant social and economic benefit to the State or region; and*
- b) any increase in use of an existing access or junction or development of a new access or junction to a limited access road or a category 1, 2 or 3 road must be dependent on the site for its unique resources, characteristics or locational attributes and an alternate site or access to a category 4 or 5 road is not practicable; and*
- c) an access or junction which is increased in use or is a new access or junction must be designed and located to maintain an adequate level of*

safety and efficiency for all road users.

Comment:

Council's Director Infrastructure Services states that:

A new driveway is proposed to be constructed in Suburb Road approximately 100m west of the intersection with Mary Street to provide access to Lot 2.

The speed zone applicable to this section of residential road is 50km/hr.

The proposed driveway location is considered to be acceptable considering the low speed environment and sight distances in each direction are adequate. It is considered that the new driveway and traffic to and from the proposed new allotment would not adversely impact on the safety or efficiency of the road network.

The new access will be constructed to Council's LGAT standard drawing.

No further action is required.

Representations

One (1) representation was received (see attached documents). A summary of the representation is as follows:

- *...my concern is that the subdivision will create further issues and complaints of our business operation.*
- *...I am concern is that a new access Lot 2 will create an unsafe intersection at Suburb Road from Mary Street.*
- *...in the planning application notice applicant (Cohen & Associates) PA\17\0235. There is some misleading information. The applicant states:*
- *There is a wood yard within 300 metres of the property. The wood yard has a Council EPN in force which prohibits the use of chainsaws and other noisy machinery. The EPN states that COMBUSTION ENGINES chainsaws cannot be used on the wood yard site. Nothing stating that electric or hydraulic saws can't be used.*

- *The EPN also includes a firewood processor, BUT does not prohibit the use of it, it only states that the noise level that it cannot exceed.*
- *The EPN does not include any other machinery on site.*
- *It states that the owner has a good relationship with their client, unfortunately good is not the right word to use...*
- *It states that all the processing is done off on rural properties. This is not true. We do still process split firewood on site.*
- *It states that the yard is used for storage only. This is also not true. We process wood on site and it is likely we will bring the firewood processor back into the yard in future.*
- *There is some conflicting information from Cohen & Associates P/L on page 1 of their document REF: 34-86(7424). It states: The existing dwelling and access (of 25 years) will be contained within lot 1 with frontage onto Suburb Road; a Council owned and maintained road. There will be a new access to proposed Lot 2 from Mary Street...*
- *It should be noted in the Bushfire Site Assessment – vegetation analysis that the photos used in Section 3.1.2 are of our property, and not the property in question. In particular the view looking west. I am unsure if this is relevant.*

Comment:

The representation raised concerns regarding (1) traffic safety and access onto Suburb Road, (2) possible future complaints concerning an adjoining wood yard and the EPN, and the (3) Bushfire Site Assessment.

(1) Traffic safety and access onto Suburb Road

The access to Lot 2 is to Suburb Road, as shown on the Plan of Subdivision. The applicant had initially considered access to Mary Street. However due to the location of the watercourse, access to Suburb Road was chosen.

Council's Director Infrastructure Services has provided the following:
It is not considered that the intersection of Suburb Road at Mary Street will become more unsafe due to the new access to Lot 2 being created on Suburb Road. The probability of an accident occurring could be statistically higher than the present situation due to an increase in traffic, however, the volumes of traffic are very low and a recent study of crash data from the Department of State Growth between Jan 2006 and Dec 2016 did not show any crashes at this intersection. Any sight distance issues in relation to vegetation should be

addressed by Council as part of its ongoing vegetation and sight distance management program.

(2) Possible future complaints concerning an adjoining wood yard and the EPN

To the west of the subject property is a wood yard. This firewood business was in operation prior to the commencement of the Meander Valley Planning Scheme 1995, and as such has existing use rights. The firewood business does incorporate wood cutting activities on-site. An Environmental Protection Notice (EPN) governs the amount of noise that can be generated from that site. Based on the purpose of *E11 Environmental Impacts and Attenuation Code*, the wood yard was not considered a Sawmill (which is an Attenuation Activity).

The representation refers to an Environmental Protection Notice (EPN). Council's Environmental Health Officer has provided the following:

Environmental Protection Notices (EPN's) were issued under section 44 of the Environmental Management and Pollution Control Act 1994 to Dale Burns and Michael Burns relating to the wood cutting activity on the land at 22 Arthur Street, Westbury. The EPN's were issued in 2009 following complaints to Council over a number of years from adjoining landowners and subsequent noise monitoring by an acoustic engineer.

The EPN's provide parameters for wood cutting activities to be carried out at 22 Arthur Street, Westbury to prevent causing an environmental nuisance for the closest neighbouring properties referred to as receivers on the EPN's, including the land subject to this subdivision application, 126 Mary Street (also known as Lot 15 Mary Street). The EPN's require that the combined sound level of all machinery used in the wood cutting activity must not exceed the background sound level by more than five decibels when measured at the receivers in accordance with the Noise Measurement Procedures Manual. Wood cutting activities are defined on the EPN's as: 'the activity of cutting, sawing or splitting wood. This also includes the operation of any machinery used for this activity with the exception of industrial and rural motor vehicles, but not excluding the excavator'. The EPN's also stipulate prohibited hours of operation, namely: wood cutting activities must not occur before 9am or after 5pm Monday to Friday, and must not occur at any time on Saturday, Sunday or Public Holidays.

The new Lot (Lot 2) proposed by the subdivision is on the eastern side of the existing title, further away from both the land at 22 Arthur Street where the wood yard is located and the existing dwelling at 126 Mary Street, or receiver as noted on the EPN's. Therefore it can be assumed that by satisfying the sound level requirements at the receiver, it is very unlikely that a noise nuisance from the wood cutting activities would be caused on the new Lot 2 should a dwelling be constructed in the future. It should be noted that the EPN will remain in force regardless of whether a Planning Permit is granted for this subdivision application.

Planning Permits for a Firewood Processor and Noise Attenuation Structure were issued in 2009 and 2012; however these permits have since lapsed.

(3) Bushfire Site Assessment.

The author of the report clarified that the assessment must consider surrounding land. As such, some of the photos within the assessment are of surrounding land.

No further action is required.

Conclusion

In conclusion, it is considered that the application for Use and Development for a Subdivision (2 lots) is acceptable in the Low Density Residential zone.

AUTHOR: Leanne Rabjohns
TOWN PLANNER

12) Recommendation

That the application for Use and Development for Subdivision (2 lots) on land located at 126 Mary Street, Westbury (CT:41319/1) by Cohen & Associates Pty Ltd, requiring the following discretions:

- 12.4.3.1 General Suitability
- 12.4.3.2 Lot Area, Building Envelopes and Frontage
- E4.6.1 Use and road or rail infrastructure
- E4.7.2 Management of Road and Accesses and Junctions

be APPROVED, generally in accordance with the endorsed plans:

- a) Cohen & Associates P/L – Plan of Subdivision – Ref: 34-86 (7424);**
- b) Hydrodynamica – Onsite Wastewater & Stormwater Disposal Assessment – dated 28 June 2017;**
- c) Rebecca Green & Associates – Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan – dated 11 May 2017;**

and subject to the following conditions:

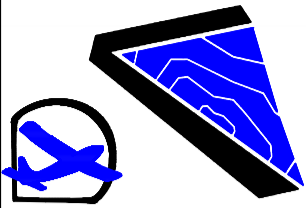
- 1. Covenants or similar restrictive controls must not be included on or otherwise imposed on the titles to the lots created by the subdivision, permitted by this permit unless:
 - a) Such covenants or controls are expressly authorised by the terms of this permit; or**
 - b) Such covenants or similar controls are expressly authorised by the consent in writing of Council.**
 - c) Such covenants or similar controls are submitted for and receive written approval by Council prior to submission of a Plan of Survey and associated title documentation is submitted to Council for sealing.****
- 2. The vehicular crossover servicing Lot 2 must be constructed and sealed in accordance with LGAT standard drawing TSD-RO3-V1 and TSD-R04-V1 (attached) and to the satisfaction of Council’s Director of Infrastructure Services.**
- 3. The existing absorption area of the on-site wastewater system servicing the single dwelling on Lot 1 must be decommissioned and relocated within the boundaries of Lot 1 (see Note 1).**
- 4. Prior to the sealing of the final plan of survey, the following must be completed to the satisfaction of Council:
 - a) The developer must pay Council \$3,004.00, a sum equivalent to 5% of the unimproved value of the approved lots.**
 - b) The vehicular crossover servicing Lot 2 must be constructed and sealed (as per Condition 2).**
 - c) All works associated with decommissioned and relocated Lot 1’s waste water system must be completed (as per Condition 3).****
- 5. The development must be in accordance with the Submission to Planning Authority Notice issued by TasWater (TWDA No 2017/01051-MVC attached).**

Note:

- 1. Prior to the decommissioning and relocating of the existing waste water system, the applicant must apply for a Plumbing Permit.**
- 2. Any other proposed development and/or use, including amendments to this proposal, may require a separate planning application and assessment against the Planning Scheme by Council. All enquiries can be directed to Council's Community and Development Services on 6393 5320 or via email: mail@mvc.tas.gov.au.**
3. This permit takes effect after:
 - a) The 14 day appeal period expires; or
 - b) Any appeal to the Resource Management and Planning Appeal Tribunal is abandoned or determined; or
 - c) Any other required approvals under this or any other Act are granted.
4. A planning appeal may be instituted by lodging a notice of appeal with the Registrar of the Resource Management and Planning Appeal Tribunal. A planning appeal may be instituted within 14 days of the date the Corporation serves notice of the decision on the applicant. For more information see the Resource Management and Planning Appeal Tribunal website www.rmpat.tas.gov.au.
5. If an applicant is the only person with a right of appeal pursuant to section 61 of the Land Use Planning and Approvals Act 1993 and wishes to commence the use or development for which the permit has been granted within that 14 day period, the Council must be so notified in writing. A copy of Council's Notice to Waive Right of Appeal is attached.
6. This permit is valid for two (2) years only from the date of approval and will thereafter lapse if the development is not substantially commenced. A once only extension may be granted if a request is received at least 6 weeks prior to the expiration date.
7. In accordance with the legislation, all permits issued by the permit authority are public documents. Members of the public will be able to view this permit (which includes the endorsed documents) on request, at the Council Office.
8. If any Aboriginal relics are uncovered during works;
 - a) All works are to cease within a delineated area sufficient to protect the unearthed and other possible relics from destruction,

- b) The presence of a relic is to be reported to Aboriginal Heritage Tasmania
Phone: (03) 6233 6613 or 1300 135 513 (ask for Aboriginal Heritage
Tasmania Fax: (03) 6233 5555 Email: aboriginal@heritage.tas.gov.au); and
- c) The relevant approval processes will apply with state and federal
government agencies.

DECISION:



COHEN & ASSOCIATES P/L

LAND & AERIAL SURVEYORS

ABN 70 689 298 535

103 CAMERON STREET
PO BOX 990 LAUNCESTON 7250 TAS
TELEPHONE : 03 6331 4633

www.surveyingtas.com.au
EMAIL : admin@surveyingtas.com.au

PLAN OF SUBDIVISION SHEET 1 OF 1

REF: **34-86
(7424)**

Municipality: MEANDER VALLEY COUNCIL

Site Address: MARY STREET, WESTBURY

Tasmap Sheet: -

Grid Reference: E: 485300 N: 5401300 (MGA)

Owners: C.D. & A.C BOUGH

Title Refs: 41319-1

Dates: Version A: 16-03-17
Version B:

Scale: 1 : 1000 @ A3

DISCLAIMER: This is a preliminary plan prepared without field survey and forms part of an application to subdivide the land described and is not to be used for any other purpose. Contours and levels may be transcribed from other sources and their accuracy has not been verified. These should not be used. The dimensions, area, location of improvements and number of lots are approximate and may vary as a result of decisions by the Municipality, Land Use Planning Review Panel, engineering or other advice. Easements may not be shown as these are to be determined at the time of survey. The plan is not to be copied unless this note is included.



IMPORTANT NOTE

THIS PLAN WAS PREPARED FOR C. BOUGH AS AN INDICATIVE SUBDIVISION DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION.

INFORMATION SHOWN ON THIS PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. IN PARTICULAR NO RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS.

THE AERIAL PHOTOGRAPHY HAS BEEN SHOWN FOR INDICATIVE PURPOSES ONLY AND SHOULD NOT BE RELIED UPON FOR AN ACCURATE COMPARISON TO THE TITLE BOUNDARIES.

THIS NOTE IS AN INTEGRAL PART OF THIS PLAN

SCALE 1cm = 10m





ONSITE WASTEWATER & STORMWATER DISPOSAL ASSESSMENT

LOT 15 MARY STREET, WESTBURY 7303

FOR C & A BOUGH

28 June 2017 – Revision 1

HYDRODYNAMICA

44 PENQUITE ROAD LAUNCESTON TAS 7250

T 04312 08450 E cameron.oakley@h-dna.com.au

Project: Lot 15 Mary Street Westbury, Onsite Wastewater & Stormwater Disposal Assessment

Authors: Cameron Oakley
Consulting Engineer

B.Eng (Hons), B.Tech (Env.), MBA

DATE	NATURE OF REVISION	REVISION NUMBER	PREPARED BY	AUTHORISED BY
13/06/2017	DRAFT	0	Cameron Oakley	Cameron Oakley
28/06/2017	FINAL	1	Cameron Oakley	Cameron Oakley

This document has been prepared in accordance with the scope of services agreed upon between Hydrodyamica (H-DNA) and the Client. To the best of H-DNA's understanding, this document represents the Client's intentions at the time of printing of the document. In preparing this document H-DNA has relied upon data, surveys, analysis, designs, plans and other information provided by the client, and other individuals and organisations referenced herein. Except as otherwise stated in this document, H-DNA has not verified the accuracy or completeness of such data, surveys, analysis, designs, plans and other information.

No responsibility is accepted for use of any part of this document in any other context or for any other purpose by third parties.

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1. INTRODUCTION

Hydrodynamica was engaged to prepare an onsite wastewater disposal assessment by C & A Bough for Lot 15 Mary Street, Westbury. The property is zoned 'Low Density Residential' within the Meander Valley Interim Planning Scheme 2013. The site is shown in Figure 1 below:

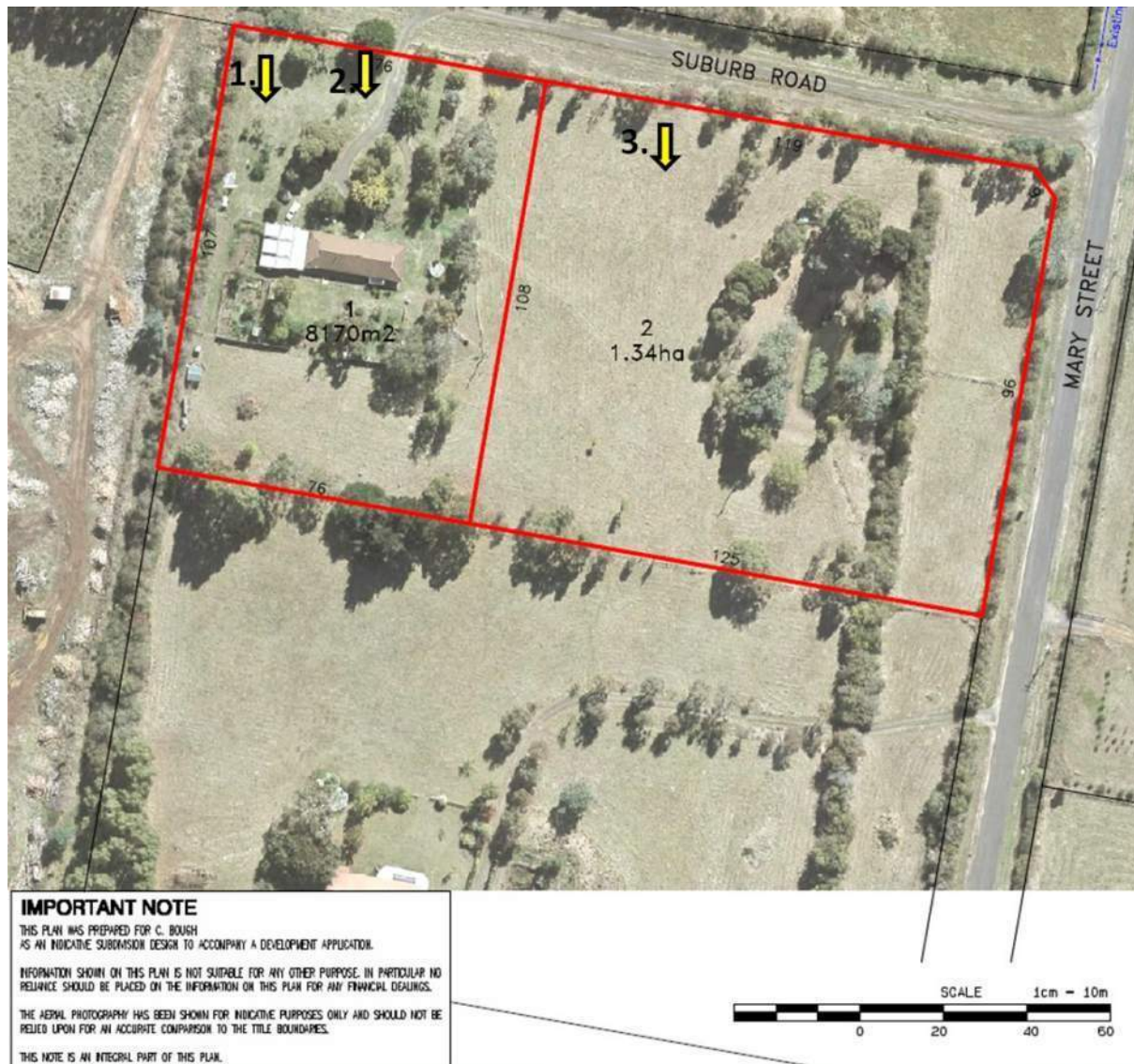


Figure 1. Proposed subdivision and bore log locations (from Cohen & Associates, 2017)

The property is approximately 2.16 hectares in size and falls north towards Suburb Road at approximately 5.2% grade. A shallow gully runs through the eastern side of lot 2 where a dam is located.

This report has been prepared in accordance with the requirements of *AS/NZS 1547:2012 On-site Domestic Wastewater Management* and the findings from our soil investigations dated 18th May 2017.

2. PROJECT CRITERIA

The following criteria have been considered in our waste water assessment of the new Lots:

Municipality	Meander Valley Council
Survey Plan	Prepared by Cohen & Associates
Climate	Annual rainfall for the area is approx. 835 mm (Ref. BOM station no. 91103 (Westbury – Valley View))
Land area	2.16 ha
Date of inspection	18 th May 2017
Desktop study	23 rd May 2017
Water supply	Tank
Land use	Low Density Residential – Meander Valley Interim Planning Scheme 2013
Land history	127 Mary Street – dwelling
Power Supply	Mains power available
Method of testing	3 no. bore log excavations by hand auger. The excavations were completed to identify the distribution of, and variation in soil material.

Table 1. Project Criteria

3. SITE EVALUATION

From our site and desktop investigations, the key findings were:

Site Gradient	A gentle 5% slope to the north
Exposure	The site has exposure to winds from any direction
Slope Stability	The site is not rated as a landslide risk by Mineral Resources Tasmania (MRT)
Boulder/ rock outcrops	None visible
Land Surface shape	Linear planar – refer Figure C2 AS/NZS 1547:2012
Soil Maps of Tasmania Classification	Brickendon – soils developed on flat to gently undulating river terraces – chromosol – lateritic podzolic soil
Vegetation	Native and introduced trees and grass
Waterways	None
Fill	None evident
Stormwater run-on and upslope seepage	The land application area is expected to receive localised stormwater runoff. On the eastern side of lot 2 runoff is collected by the dam
Channelled (concentrated) runoff	A drainage channel passes flow from the south-eastern corner of lot 2 to the dam
Salinity	Unknown
Erosion potential	Unknown
Ground Water Table Depth	Not encountered during testing
Water wells/ bores	N/A
Available land application area	The northern half of lot 1 (circa 25% of the total lot size) and the north-western section of lot 2 (25%) is available to accommodate land application area requirements with boundary appropriate setbacks. Figure 2 shows these areas indicatively.

Table 2. Site Evaluation



Figure 2. Indicative land application areas (from Cohen & Associates, 2017)

4. SOIL ASSESSMENT & EVALUATION

The soil evaluation for this site was carried out in accordance with AS/NZS 1547:2012 with 3 bore logs. These are detailed in Tables 3, 4 and 5.

	Depth (mm)	Description	Soil Category	Indicative Permeability (K_{sat}) (m/d)
Typical soil texture and profile	0 - 150	Brown-orange clay loam with common fine gravel fragments	4	0.5 – 1.5
	150-600	Brown-orange silty clay with common fine to medium gravel fragments	4	0.5 – 1.5
	600+	Brown-orange light-clay with abundant gravel classes and cobbles	5	< 0.06
	600+	Hole terminated	N/A	
Soil structure	Moderate - refer Table 5.1 AS/NZS 1547:2012			
Adopted Soil Category	Category 4 - refer Table 5.1 AS/NZS 1547:2012			
Indicative Permeability (K_{sat})	0.5 to 1.5 m/d - refer Table 5.1 AS/NZS 1547:2012			
Permeameter Results	Not undertaken in this instance, visual inspection of the site was conducted in accordance with AS/NZS 1547:2012			

Table 3. Soil evaluation summary (bore hole 1)

Typical soil texture and profile	Depth (mm)	Description	Soil Category	Indicative Permeability (K_{sat}) (m/d)
	0 - 300	Brown-orange clay loam with very few medium gravel fragments	4	0.5 – 1.5
	300-400	Brown-orange clay loam with very few medium gravel fragments	4	0.5 – 1.5
	400-1000	Brown-orange light clay with very few medium gravel fragments	5	< 0.06
	1000+	Hole terminated	N/A	
Soil structure	Moderate - refer Table 5.1 AS/NZS 1547:2012			
Adopted Soil Category	Category 4 - refer Table 5.1 AS/NZS 1547:2012			
Indicative Permeability (K_{sat})	0.5 to 1.5 m/d - refer Table 5.1 AS/NZS 1547:2012			
Permeameter Results	Not undertaken in this instance, visual inspection of the site was conducted in accordance with AS/NZS 1547:2012			

Table 4. Soil evaluation summary (bore hole 2)

Typical soil texture and profile	Depth (mm)	Description	Soil Category	Indicative Permeability (K_{sat}) (m/d)
	0 - 300	Brown-orange clay loam with very few fine gravel fragments	4	0.5 – 1.5
	300-600	Brown-orange silty clay loam with very few fine gravel fragments	4	0.5 – 1.5
	600-1000	Brown-orange silty clay loam with few fine gravel fragments	4	0.5 – 1.5
	1000+	Hole terminated	N/A	
Soil structure	Moderately - refer Table 5.1 AS/NZS 1547:2012			
Adopted Soil Category	Category 4 - refer Table 5.1 AS/NZS 1547:2012			
Indicative Permeability (K_{sat})	0.5 to 1.5 m/d - refer Table 5.1 AS/NZS 1547:2012			
Permeameter Results	Not undertaken in this instance, visual inspection of the site was conducted in accordance with AS/NZS 1547:2012			

Table 5. Soil evaluation summary (bore hole 3)

Conventional wastewater disposal trenches and beds require a minimum trench depth of 400mm which consists of a 150mm minimum depth of topsoil and 250mm minimum depth of aggregate. Absorption is also required from the bottom of the trench. The class 4 clay loams are suitable for traditional disposal trenches and were found in all three boreholes within the 150mm to 400mm disposal depth range. Alternatively an Aerated Wastewater Treatment System (AWTS) could be used with secondary treated effluent disposed by trenches or beds.

5. INDICATIVE DESIGN LOADING AND IRRIGATION RATES (DLR)

Table L1 of ASNZS1547:2012 provides the following recommended conservative DLR values for disposal trenches and distribution beds for a primary treated system:

Soil category	Soil texture	Structure	Indicative Permeability (K_{sat})	DLR (traditional trenches & beds)
4	Clay loam/silty clay loam	Moderate	0.5 to 1.5 m/d	10 mm/d

Table 5. DLR for disposal trenches and distribution beds

Evapotranspiration systems are not normally used on soil categories 1 to 3 and are therefore not recommended in this instance.

If an Aerated Wastewater Treatment System (AWTS) is to be used instead of a septic system then Table L1 of ASNZS1547:2012 provides the following recommended DLR value for a secondary treated system:

Soil category	Soil texture	Structure	Indicative Permeability (K_{sat})	DLR (traditional trenches & beds)
4	Clay loam/Silty clay loam	Moderate	0.5 to 1.5 m/d	30 mm/d

Table 6. DLR for AWTS

6. WASTEWATER SYSTEM DESIGN & RECOMMENDATIONS

Based on the soil permeability (K_{sat}) established from data in Section 4 and an indicative DLR values from Section 5, effluent disposal trenches designed to accommodate effluent loading rates specified in Tables L1 of AS/NZS 1547:2012, would likely represent a conservative and appropriate approach to soil loading capacity.

Typically, for a 3 bedroom dwelling on tank water, the effluent flow and indicative bed requirements are as follows:

Number of proposed bedrooms	3 bedrooms
Number of equivalent persons (AS/NZS 1547:2012 T. J1)	1-5 person
Water source	Tank
Daily Loading (L/per person / per day) (AS/NZS 1547:2012 T. H1)	120 Litres/Day
Total Loading per day (L/D)	600 Litres/Day max.
All waste Septic tank size (AS/NZS 1547:2012 T. J1)	3000 Litres
Adopted Soil Category (AS/NZS 1547:2012 T. L1)	4
Indicative K_{sat} (AS/NZS 1547:2012 T. L1)	0.5 m/d
Indicative DLR (mm/d) (AS/NZS 1547:2012 T. L1)	10 mm/d
Total Area required (m ²) (AS/NZS 1547:2012 L4.2)	60 m ²
Indicative trench dimensions (ref. Figure 2), or	5 no. trenches, 600mm wide x 20m long (with 1m separation)
Indicative bed dimensions (ref. Figure 3)	1 no. bed, 3m wide x 20m long

Table 7. Septic tank and distribution bed requirements

Indicative trench and bed details are shown in Figures 2 and 3.

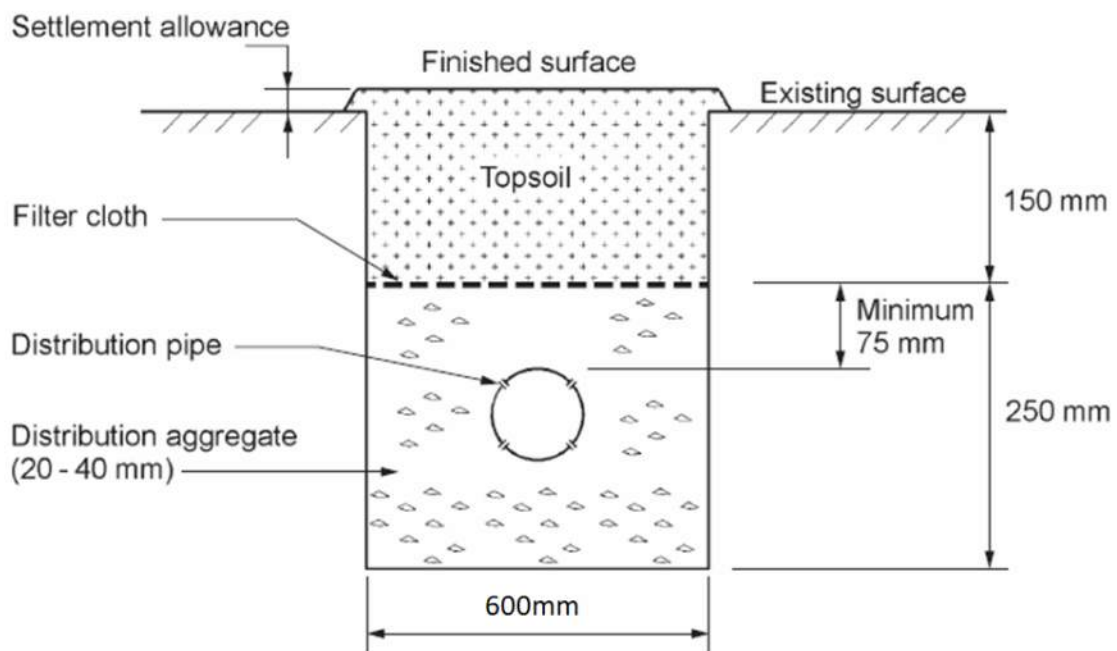


Figure 2. Typical Trench Dimensions (AS1547:2017)

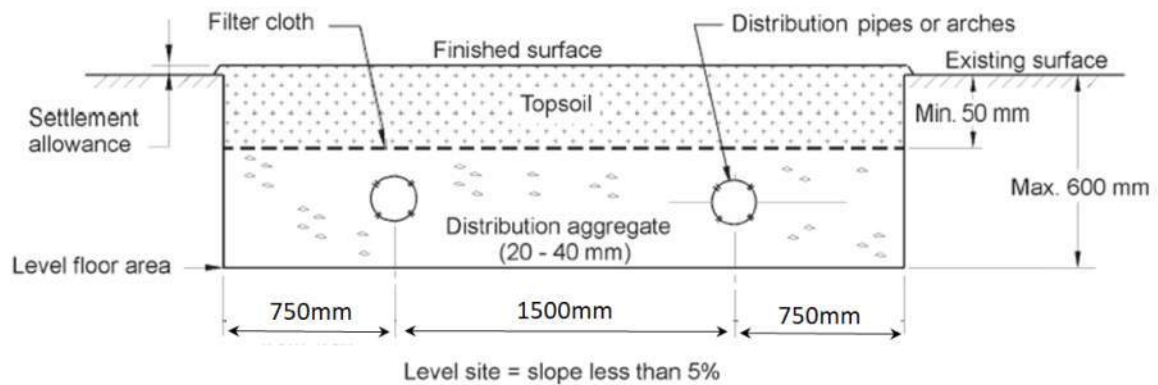


Figure 3. Typical Bed System Dimensions (AS1547:2017)

At 60m² in total application area distribution trenches or beds can effectively be situated spatially on the site. They should be installed where the slope is less than 5% however. The trench arrangement is less economical spatially as it requires 1m separation between each trench, which means 60m² required for the actual application area and 80m² for the separation strips. A single bed requires only the 60 m² application area.

The use of an AWTS for secondary treatment could potentially reduce the required area to 20 m².

Actual treatment system and bed/trench design will need to be formalised when any future dwelling designs are submitted. All works associated with the wastewater disposal any future dwellings should be carried out by an accredited and registered plumber in accordance with Appendix L (trenches and beds) of AS1547:2012.

7. STORMWATER SYSTEM DESIGN & RECOMMENDATIONS

It is assumed that any future dwelling will dispose of its stormwater onsite via absorption trenches/beds.

Absorption beds should be designed to cater for stormwater generated from two types of rainfall accumulation:

- a. A sudden event (e.g. 20 year ARI – 5% AEP) and
- b. The highest average monthly rainfall.

BOM 2016 Intensity-Frequency-Duration data for Westbury gives a 5% AEP 72 hour duration rainfall depth of 123 mm.

In order to account for peak flows from all impervious surfaces (pavement and roofs) it has been assumed that the maximum contributing area is 1.5 times the average Australian house footprint ($1.5 \times 230 \text{ m}^2 = 345 \text{ m}^2$).

A volumetric runoff coefficient of 0.75 has also been assumed, which allows for ponding, paver absorption and storage.

The volume of runoff for this event is therefore calculated:

$$\begin{aligned}\text{Volume (m}^3\text{)} &= 345 * 0.75 * 0.123 \\ &= 31.83 \text{ m}^3\end{aligned}$$

Storage for such runoff could be achieved within absorption trenches/beds and supplemented with dedicated tank storage.

Applying a conservative DLR of 30 mm/day (as per Table 5.2 in AS1547:2012 for secondary treated effluent) to the walls and floor of an adsorption trench/bed with indicative dimensions of 4m width, 13m length and 0.6m depth gives a predicted outflow (L/day) of:

$$Q_{\text{floor}} = 2 \times (4\text{m} \times 13\text{m}) * 30\text{mm/day} = 3120 \text{ L/day}$$

$$Q_{\text{walls}} = 2 \times 2 * (0.6\text{m} * 4\text{m} + 0.6\text{m} * 13\text{m}) * 30\text{mm/day} = 1080\text{L/day}$$

Therefore the net additional storage volume needed for the 72 hour (3 day) event (after uptake from walls and base of the trench) is $31.83 \text{ m}^3 - (4.2 * 3) = 19.3 \text{ m}^3$.

A simple trench design with nominal 20mm blue metal aggregate backfill gives approximately 32% void space for stormwater storage. On this basis the gross trench void space is $2 \times 0.6 * 4 * 13 * 0.32 = 20 \text{ m}^3$ which is adequate.

Alternatively a single stormwater absorption bed 0.5m deep, 20m long and 4m wide provides a three day outflow of 9.36 m³ and a void space of 12.8 m³. This arrangement would require a dedicated 10,000 litre water tank, designed to slow release the absorption bed.

The highest average monthly rainfall total at BOM Westbury – Birralee Road (station no. 91284) weather station is in August with 91.9 mm. Average evapotranspiration (ET) in Tasmania during this month is 30 mm, which gives 61.9 mm net rainfall available for runoff during the month, equivalent to 2 mm/day.

Checking the capacity required for the 5% AEP event against that for the highest monthly rainfall less evapotranspiration (61.9 mm):

$$\begin{aligned} \text{Volume} &= 345 \times 0.75 \times 0.0619 \\ &= 16.01 \text{ m}^3 \end{aligned}$$

This volume of runoff is much less than the volume of runoff from the 5% AEP 72 hour rainfall event (31.83 m³) therefore the absorption bed and storage details above remain suitable.

8. SUMMARY

Wastewater disposal using either traditional trenches or distribution beds is appropriate on Lot 1 and Lot 2.

This conservative assessment undertaken in section 6 of this report determined a total primary effluent disposal area of 60 m² was required, with a single bed being the most spatially efficient, refer to Figure 3. The size of any system could potentially be reduced further by undertaking a formal soil permeability measurement as per AS/NZS 1547:2012 prior to detailed design.

Stormwater runoff can be disposed of onsite with an additional absorption bed, potentially in combination with dedicated tank storage. Section 7 of this report shows that a 4m x 13m could accommodate the runoff volumes generated during the 5% AEP (1 in 20 year ARI) 72 hour duration storm event.

The combined size of the trenches/beds for effluent and stormwater disposal options given above is only 112 m². This can be accommodated in the available land application areas (refer to Figure 2).

The detailed design of specific systems will need to be undertaken once the size and layout of the future development is confirmed.

Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

Mary Street, Westbury



Prepared for (Client)

C.D. & A.C. Bough

C/- Cohen & Associates P/L

PO Box 990

LAUNCESTON TAS 7250

Assessed & Prepared by

Rebecca Green

Senior Planning Consultant & Accredited Bushfire Hazard Assessor

Rebecca Green & Associates

PO Box 2108 LAUNCESTON TAS 7250

Mobile: 0409 284 422

Version 1

11 May 2017

Job No: RGA-B585

Executive Summary

The proposed development at Mary Street, Westbury, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.

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Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Meander Valley Interim Planning Scheme 2013, the Building Code of Australia and Australian Standards, *AS 3959-2009, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a 2 Lot Subdivision at Mary Street, Westbury. One lot currently exists; the proposal is for one additional lot.

Lot 1 will have an area of approximately 8170 square metres and will front Suburb Road. Lot 1 will contain an existing dwelling as well as existing outbuildings.

Lot 2 will have an area of approximately 1.34ha and will front Suburb Road and Mary Street. Lot 2 will be vacant.

2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan



Figure 1: Location Plan of Mary Street, Westbury

2.2 Site Details

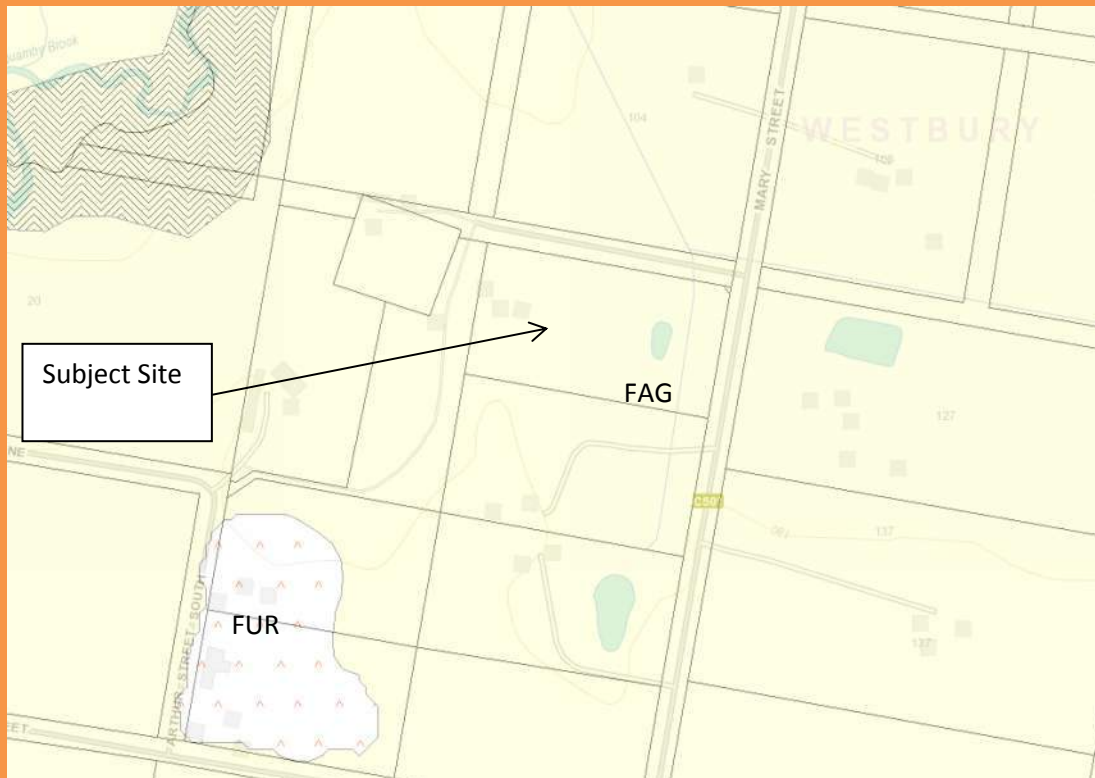
Property Address	Mary Street, Westbury
Certificate of Title	Volume 41319 Folio 1
Owner	Colin David Bough and Anne Christine Bough
Existing Use	Residential
Type of Proposed Work	2 Lot Subdivision
Existing Structures	1 x dwelling and outbuildings
Water Supply	On-site for fire fighting for Lot 2
Road Access	Mary Street and Suburb Road

3.0 Bushfire Site Assessment

3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



Code	Species	Vegetation Group
FAG	<ul style="list-style-type: none"> Agricultural land 	Agricultural, urban and exotic vegetation
FUR	<ul style="list-style-type: none"> Urban areas 	Agricultural, urban and exotic vegetation

3.1.2 Site & Vegetation Photos



View looking north



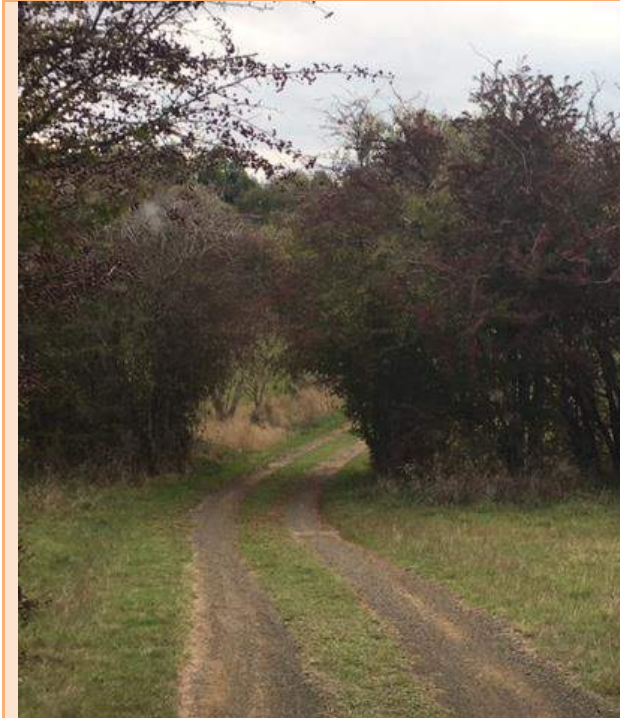
View looking towards lot 1



View looking west



View looking east



View looking towards Lot 2 from Mary Street

3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 1.6.1 of Interim Planning Directive No. 1 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.4.4 of AS3959-2009 Construction of Buildings in Bushfire Prone Areas for **BAL 19**.

Lots 1 & 2

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land
Effective slope (degrees)	<input type="checkbox"/> Up/0°	<input type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input checked="" type="checkbox"/> >0-5°	<input checked="" type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REQUIRED Distance to classified vegetation for BAL 19	11-<16m	11-<16m	10-<14m	10-<14m
REQUIRED Distance to classified vegetation for BAL 12.5	16-<50m	16-<50m	14-<50m	14-<50m

BAL – 12.5	The risk is considered to be LOW. There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m ² .
BAL – 19	The risk is considered to be MODERATE. There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m ² .

3.3 Outbuildings

Not applicable - existing.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

<p>New – Lot 2 Road Access and Driveways</p>	<p>Access via direct road frontage</p> <p>Private access driveway / roads are to be constructed from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply (if applicable). Private access roads are to be constructed/maintained to a standard not less than specified in Table E2.</p>
<p>Lot 1 Road Access and Driveways</p>	<p>Access via existing direct road frontage.</p> <p>Private access driveway / roads are to be <u>maintained</u> from the entrance of the property cross over at the public road through to the buildings and on-site dedicated fire fighting water supply. Private access roads are to be maintained to a standard not less than specified in Table E2.</p>

Table E2: Standards for Property Access

The following design and construction requirements apply to property access length is 30 metres or greater or access for a fire appliance to a fire fighting point):

- (i) All weather construction;
- (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (iii) Minimum carriageway width of 4 metres;
- (iv) Minimum vertical clearance of 4 metres;
- (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (vi) Cross falls of less than 3 degrees (1:20 or 5%);
- (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (viii) Curves with a minimum inner radius of 10 metres;
- (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (x) Terminate with a turning area for fire appliances provided by one of the following:
 - a) A turning circle with a minimum inner radius of 10 metres;
 - b) A property access encircling the building; or
 - c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a Habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (lay) connected to –

- (i) A fire hydrant with a minimum flow rate of 600L per minute and pressure of 200kpa; or
- (ii) A stored water supply in a water tank, swimming pool, dam or lake available for firefighting at all times which has the capacity of at least 10,000L for each separate building.

New – Lot 2 On-site Dedicated Fire Fighting Water Supply	On-site water supply is required.
Lot 1	No increase in risk – 1 x existing dwelling.

It should be recognised that although water supply as specified above may be in compliance with the requirements of the Building Code of Australia, the supply may not be adequate for all firefighting situations.

Table E5: Static Water Supply for Fire Fighting

Column 1		Column 2
Element		Requirement
A.	Distance between building area to be protected and water supply	<p>The following requirements apply:</p> <ol style="list-style-type: none"> (1) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and (2) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B.	Static Water Supplies	<p>A static water supply:</p> <ol style="list-style-type: none"> (1) May have a remotely located offtake connected to the static water supply; (2) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (3) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (4) Must be metal, concrete or lagged by non-combustible materials if above ground; and (5) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009 the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by: <ol style="list-style-type: none"> (a) Metal; (b) Non-combustible material; or (c) Fibre-cement a minimum 6mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <ol style="list-style-type: none"> (1) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal diameter of 50mm; (3) Be metal or lagged by non-combustible materials if above ground; (4) if buried, have a minimum depth of 300mm; (5) Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment; (6) Ensure the coupling is accessible and available for connection at all times; (7) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (8) Ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (9) If a remote offtake is installed, ensure the offtake is

		<p>in a position that is:</p> <ul style="list-style-type: none"> (a) Visible; (b) Accessible to allow connection by fire fighting equipment; (c) At a working height of 450-600mm above ground level; and (d) Protected from possible damage, including damage from vehicles.
D.	Signage for static water connections	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <ul style="list-style-type: none"> (1) Comply with water tank signage requirements within AS 2304-2011 Water storage tanks for fire protection systems; or (2) be: <ul style="list-style-type: none"> (a) marked with the letter “W” contained within a circle with the letter in upper case of not less than 100mm in height; (b) in fade-resistant material with white reflective lettering and circle on a red background; (c) located within 1m of the fire fighting water point in a situation which will not impede access or operation; and (d) no less than 400mm above the ground.
E.	Hardstand	<p>A hardstand area for fire appliances must be provided:</p> <ul style="list-style-type: none"> (1) No more than 3m from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (2) No closer than 6m from the building area to be protected; (3) a minimum width of 3m constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access.

4.0 Bushfire-Prone Areas Code Assessment Criteria

Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

E1.4 – Exemptions – No increase in risk to existing dwelling on Lot 1. Adequate separation to boundaries is existing. Any future additions to the dwelling on Lot 1 will require a separate assessment, however, it is demonstrated that the lot can provide for a BAL 19 and BAL 12.5 building area.

E1.5 Vulnerable Uses – Not applicable.

E1.6.1 Subdivision

E1.6.1.1 Hazard Management Areas		
Comments		
<input checked="" type="checkbox"/> A1	(b)	Specified distances for Hazard Management Areas for BAL 19 and BAL 12.5 as specified on the plan are in accordance with AS3959. The proposal complies.
<input type="checkbox"/> P1		
E1.6.2 Public Access		
Comments		
<input checked="" type="checkbox"/> A1	(a)	Lot 1 contains an existing dwelling. Adequate separation to boundaries is existing. There is insufficient increase in risk to the existing dwelling by the proposed subdivision.
<input checked="" type="checkbox"/> A1	(b)	The private driveway to Lot 2 will be constructed in accordance with Table E2. The property access is likely to be greater than 30 metres.
<input type="checkbox"/> P1		
<input checked="" type="checkbox"/> A2		Not applicable.
<input type="checkbox"/> P2	No PC	
E1.6.3 Water supply for fire fighting purposes		
Comments		
<input type="checkbox"/> A1		Not applicable.
<input type="checkbox"/> P1	No PC	
<input checked="" type="checkbox"/> A2	(a)	Lot 1 contains an existing dwelling. Adequate separation to boundaries is existing. There is insufficient increase in risk to the existing dwelling by the proposed subdivision.
<input checked="" type="checkbox"/> A2	(b)	It is proposed that Lot 2 will need to have its own independent firefighting water supply. A new dwelling on Lot 2 is to be supplied with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table E5.
<input type="checkbox"/> P2	No PC	

5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Not relevant to this proposal.

7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 19 and BAL 12.5 in Table 2.4.4 of AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas.

Access

Lot 2 - The driveway is to be constructed of all-weather construction, with a minimum width of access of 4 metres.

Lot 1 – Existing access is not restricted.

Water Supplies

Lot 2 - On-site water storage – 10,000 litre dedicated fire fighting water supply, water tank, swimming pool, dam or the like is to be provided.

Lot 1 – Insufficient increase in risk to existing dwelling.

Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2.

Schedule 2 – Bushfire Hazard Management Plan

Access Road (All lots):

- Private access roads are to be constructed (Lot 2) and maintained (Lot 1) from the entrance to the property cross-over with the public road through to the dwelling and water storage on the site.
- > All-weather construction (minimum)
- > Minimum carriageway width of 4 metres
- >Vegetation must be cleared for a height of 4 metres above the carriageway and 0.5 metres each side of the carriageway
- >Must terminate with a turning area for fire appliances of either a turning circle with a minimum inner radius of 10 metres, a property access encircling the building, or a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long

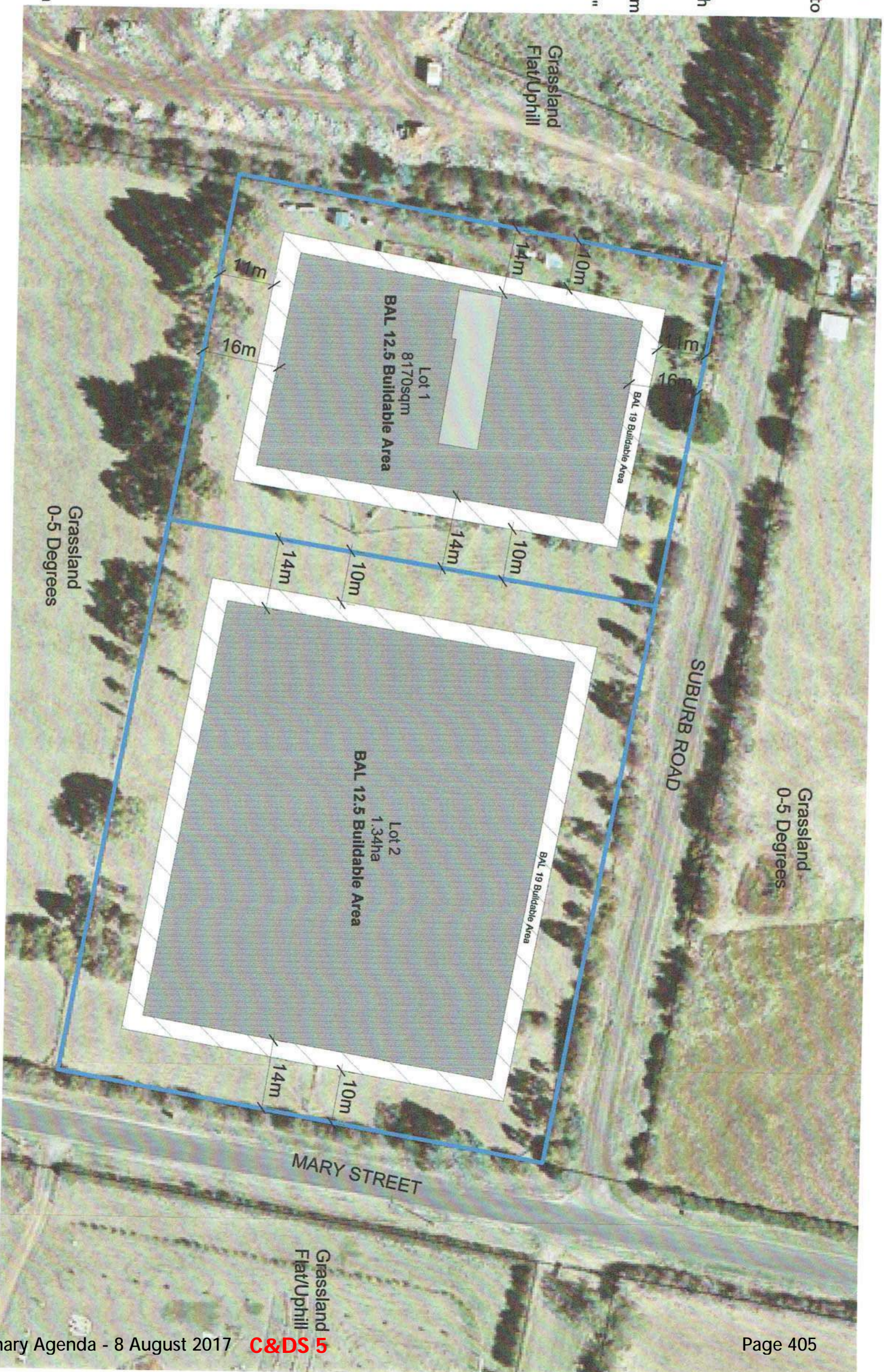
Hazard Management- Vegetation Management:

Vegetation in the hazard management area (as dimensioned and shown) is to be managed and maintained in a minimum fuel condition

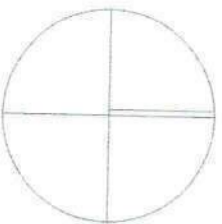
On-Site Water Storage (Lot 2):

10,000 litre dedicated fire fighting water supply tank, Swimming pool, Dam or the like is to be provided as specified below:

- > Tanks above ground pipes and fittings must be made of non-rusting, non-combustible, non-heat-deforming materials
- > Tanks and fittings must be situated more than 6 metres from a building but contained within the hazard management area
- > Tanks must be fitted with a standard compliant forged storz 65mm adaptor fitted with a standard (delivery) washer rated to 1800kPa working pressure and 2400kPa burst pressure
- >The building area to be protected must be located within 90 metres of the water connection point of a static water supply (measured as a hose lay)



N



**Rebecca Green
& Associates**

BUSHFIRE HAZARD MANAGEMENT PLAN

Mary Street, WESTBURY CT 41319/1

2 Lot Subdivision

Bushfire Attack Level - BAL 19 and 12.5

Date: 11 May 2017

Form 55

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:
 Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 11 May 2017, Job No. RGA-B585)
Relevant	N/A
References:	<i>Interim Planning Directive No 1, Bushfire-Prone Areas Code</i> <i>Australian Standard 3959-2009</i>

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level to Australian Standard 3959
2. Bushfire Hazard Management Plan showing BAL-19 and BAL-12.5 solutions.

Scope and/or Limitations

Scope
This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with *Interim Planning Directive No 1, Bushfire-Prone Areas Code* issued by the Tasmanian Planning Commission, the *Building Act 2016 & Regulations 2016, Building Code of Australia* and *Australian Standard 3959-2009, Construction of buildings in bushfire-prone areas*.

Limitations
The assessment has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate.
2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.
4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire.
5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire.

No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.

I certify the matters described in this certificate.

Qualified person:	Signed: 	Certificate No: 11 May 2017	Date: RG-483/2017
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Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

CODE E1 – BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies²

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Meander Valley Interim Planning Scheme 2013

Street address:

Mary Street, Westbury

Certificate of Title / PID:

CT 41319/1

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

Certificate of Title / PID:

2. Proposed Use or Development

Description of Use or Development:

2 Lot Subdivision

Code Clauses³:

E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

³ Indicate by placing X in the corresponding for the relevant clauses of E1.0 Bushfire-prone Areas Code.

3. Documents relied upon⁴

Documents, Plans and/or Specifications

Title: Plan of Subdivision – Ref 34-86 (7424)

Author: Cohen & Associates P/L

Date: 16-03-17 **Version:** A

Bushfire Hazard Report

Title: Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

Author: Rebecca Green

Date: 11 May 2017 **Version:** 1

Bushfire Hazard Management Plan

Title: Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

Author: Rebecca Green

Date: 11 May 2017 **Version:** 1

Other Documents

Title:

Author:

Date: **Version:**

⁴ List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire. Each document must be identified by reference to title, author, date and version.

4. Nature of Certificate⁵

<input checked="" type="checkbox"/> E1.4 – Use or development exempt from this code			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input checked="" type="checkbox"/>	E1.4 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017 – Lot 1.

<input type="checkbox"/> E1.5.1 – Vulnerable Uses			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.1 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.1 A2	BHMP	
<input type="checkbox"/>	E1.5.1 A3	Emergency Plan	

<input type="checkbox"/> E1.5.2 – Hazardous Uses			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.2 P1	Risk is mitigated	
<input type="checkbox"/>	E1.5.2 A2	BHMP	
<input type="checkbox"/>	E1.5.2 A3	Emergency Plan	

<input checked="" type="checkbox"/> E1.6 – Development standards for subdivision			
E1.6.1 Subdivision: Provision of hazard management areas			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1 P1	Hazard Management Areas are sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1 A1 (a)	Insufficient increase in risk	

⁵ The certificate must indicate by placing X in the corresponding for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

<input checked="" type="checkbox"/>	E1.6.1 A1 (b)	Provides BAL 19 for all lots	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017.
<input type="checkbox"/>	E1.6.1 A1 (c)	Consent for Part 5 Agreement	

E1.6.2 Subdivision: Public and fire fighting access			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.2 P1	Access is sufficient to mitigate risk	
<input checked="" type="checkbox"/>	E1.6.2 A1 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017 – Lot 1.
<input checked="" type="checkbox"/>	E1.6.2 A1 (b)	Access complies with Tables E1, E2 & E3	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017 – Lot 2.

E1.6.3 Subdivision: Provision of water supply for fire fighting purposes			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.3 A1 (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.3 A1 (b)	Reticulated water supply complies with Table E4	
<input type="checkbox"/>	E1.6.3 A1 (c)	Water supply consistent with the objective	
<input checked="" type="checkbox"/>	E1.6.3 A2 (a)	Insufficient increase in risk	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017 – Lot 1.
<input checked="" type="checkbox"/>	E1.6.3 A2 (b)	Static water supply complies with Table E5	Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green, 11 May 2017 – Lot 2.
<input type="checkbox"/>	E1.6.3 A2 (c)	Static water supply is consistent with the objective	

5. Bushfire Hazard Practitioner⁶

Name:	Rebecca Green	Phone No:	0409 284 422
Address:	PO Box 2108	Fax No:	
		Email Address:	admin@rgassociates.com.au
	Launceston, Tas		7250
Accreditation No:	BFP – 116	Scope:	1, 2, 3A, 3B, 3C

6. Certification⁷

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

<i>The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
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or

<i>There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
--	--------------------------

and/or

<i>The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
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Signed:
certifier



Date: 11 May 2017 **Certificate No:** RGA-31/2017

⁶ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of *Fire Service Act 1979*. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

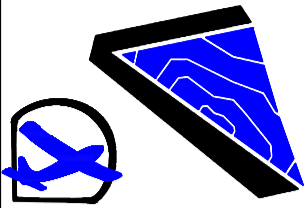
⁷ The relevant certification must be indicated by placing X in the corresponding .



Attachment 2 – AS3959-2009 Construction Requirements

	BAL-LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL-FZ (FLAME ZONE)
SUBFLOOR SUPPORTS	No special construction requirements.	No special construction requirements.	No special construction requirements.	Enclosure by external wall or by fixed, frame or aluminium mesh, non-combustible supports or timber or masonry in accordance with AS 1530.8.1. Timber slings or posts to 75 mm radial thickness.	If enclosed by external wall or timber, external wall or aluminium mesh, non-combustible supports or timber or masonry in accordance with AS 1530.8.1.	External wall or non-combustible wall or masonry in accordance with AS 1530.8.2.
FLOORS	No special construction requirements.	No special construction requirements.	No special construction requirements.	Concrete slab on ground, enclosure by external wall, metal mesh or above or framing less than 400 mm above ground level, to be non-combustible, including the supporting timber or protected on the underside with suitable wood protection.	Concrete slab on ground, enclosure by external wall or protection of underside with non-combustible material such as fibre cement sheet or the non-combustible or be tested for timber resistance to AS 1530.8.1.	Concrete slab on ground or enclosure by external wall or an RL of 300/2 or protection of underside with 30 minute independent spread of the system or be tested for timber resistance to AS 1530.8.2.
EXTERNAL WALLS	No special construction requirements.	As per BAL-19	External walls – Partitions less than 400 mm above ground or decks etc to be of non-combustible material, 5 mm fibre cement clad or suitable resilient/insulating fire resistant timber.	Non-combustible material (masonry, brick, concrete, masonry, metal, ceramic, concrete, timber, metal, fibre cement sheet or stone) on the outside and non-combustible material (insulating or timber) on the inside.	Non-combustible material (masonry, brick, concrete, metal, ceramic, concrete) or timber framed or clad with 5 mm fibre cement cladding or steel cladding or be tested for timber resistance to AS 1530.8.1.	Non-combustible material (masonry, brick, concrete, metal, ceramic, concrete) or timber framed or clad with 5 mm fibre cement cladding or steel cladding or be tested for timber resistance to AS 1530.8.2.
EXTERNAL WINDOWS	No special construction requirements.	As per BAL-19 except that 5 mm fibre cement clad or suitable resilient/insulating fire resistant glass can be used in place of 5 mm tempered glass.	Protected by suitable shutter, completely screened with metal mesh or aluminium mesh or 5 mm tempered glass, non-combustible or 25 mm solid timber for 400 mm above threshold, metal or suitable resilient/insulating timber framed for 400 mm above threshold, etc. Type fitting with weather strips at base.	Protected by suitable shutter or completely screened with metal mesh or aluminium mesh or non-combustible, or 25 mm solid timber for 400 mm above threshold, metal or suitable resilient/insulating timber framed type fitting with weather strips at base.	Protected by suitable shutter or 5 mm tempered glass, operable partition screened with steel or bronze mesh.	Protected by suitable shutter or RL of 400/2 and of suitable system screened with steel or bronze mesh or be tested for timber resistance to AS 1530.8.2.
EXTERNAL DOORS	No special construction requirements.	As per BAL-19 except that door framing can be made of the material (high density) below.	Protected by suitable shutter, or screen with steel, bronze or aluminium mesh or glass with 5 mm tempered glass, non-combustible or 25 mm solid timber for 400 mm above threshold, metal or suitable resilient/insulating timber framed for 400 mm above threshold, etc. Type fitting with weather strips at base.	Protected by suitable shutter, or screen with steel, bronze or aluminium mesh or non-combustible, or 25 mm solid timber for 400 mm above threshold, metal or suitable resilient/insulating timber framed type fitting with weather strips at base.	Protected by suitable shutter or 5 mm tempered glass, operable partition screened with steel or bronze mesh.	Protected by suitable shutter or RL of 400/2 and of suitable system screened with steel or bronze mesh or be tested for timber resistance to AS 1530.8.2.
ROOFS	No special construction requirements.	As per BAL-19	Non-combustible covering, board/wall junction sealed. Opening fitted with non-combustible material, gurnel, door to be fully sealed.	Non-combustible covering, board/wall junction sealed. Opening fitted with non-combustible material, gurnel, door to be fully sealed.	Non-combustible covering, board/wall junction sealed. Opening fitted with non-combustible material, gurnel, door to be fully sealed and roof mounted evaporative coolers.	Roof with RL of 300/20 or tested for timber resistance to AS 1530.8.2. Board/wall junction sealed. Opening fitted with non-combustible material, gurnel, door to be fully sealed and roof mounted evaporative coolers.
VERANDAS DECKS ETC.	No special construction requirements.	As per BAL-19	Enclosed side floor space – no special requirement for material except within 400 mm of ground. No special requirements for supports or framing. Decking to be non-combustible or suitable material with 300 mm horizontally and 400 mm vertically from a glass element.	Enclosed side floor space or non-combustible or suitable material frame supports. Decking to be non-combustible.	Enclosed side floor space or non-combustible supports. Decking to be non-combustible.	Enclosed side floor space or non-combustible supports. Decking to be non-combustible.

Attachment 3 – Plan of Subdivision – Cohen & Associates P/L



COHEN & ASSOCIATES P/L

LAND & AERIAL SURVEYORS

ABN 70 689 298 535

103 CAMERON STREET
PO BOX 990 LAUNCESTON 7250 TAS
TELEPHONE : 03 6331 4633

www.surveyingtas.com.au
EMAIL : admin@surveyingtas.com.au

PLAN OF SUBDIVISION SHEET 1 OF 1

REF: **34-86
(7424)**

Municipality: MEANDER VALLEY COUNCIL

Site Address: MARY STREET, WESTBURY

Tasmap Sheet: -

Grid Reference: E: 485300 N: 5401300 (MGA)

Owners: C.D. & A.C BOUGH

Title Refs: 41319-1

Dates: Version A: 16-03-17
Version B:

Scale: 1 : 1000 @ A3

DISCLAIMER: This is a preliminary plan prepared without field survey and forms part of an application to subdivide the land described and is not to be used for any other purpose. Contours and levels may be transcribed from other sources and their accuracy has not been verified. These should not be used. The dimensions, area, location of improvements and number of lots are approximate and may vary as a result of decisions by the Municipality, Land Use Planning Review Panel, engineering or other advice. Easements may not be shown as these are to be determined at the time of survey. The plan is not to be copied unless this note is included.



IMPORTANT NOTE

THIS PLAN WAS PREPARED FOR C. BOUGH AS AN INDICATIVE SUBDIVISION DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION.

INFORMATION SHOWN ON THIS PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. IN PARTICULAR NO RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS.

THE AERIAL PHOTOGRAPHY HAS BEEN SHOWN FOR INDICATIVE PURPOSES ONLY AND SHOULD NOT BE RELIED UPON FOR AN ACCURATE COMPARISON TO THE TITLE BOUNDARIES.

THIS NOTE IS AN INTEGRAL PART OF THIS PLAN

SCALE 1cm = 10m



Attachment 4 – Tasmania Fire Service Water Supply Signage Guideline

Tasmania Fire Service Water Supply Signage Guideline

Guidelines for the design and
installation of water supply signs &
fire hydrant marking in bushfire-prone
areas

fire.tas.gov.au

Bushfire Planning & Policy

GPO Box 1526 Hobart Tasmania 7001

Phone (03) 6230 8600 | planning@fire.tas.gov.au

Meander Valley Council Ordinary Agenda ~~CD 5~~ August 2017



This Guideline has been developed in consultation with TasWater.



For further information

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Bushfire Planning & Policy
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HOBART TAS 7001
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Disclaimer

While the State Fire Commission has made every effort to ensure the accuracy and reliability of the information contained in this booklet, the State Fire Commission does not accept any responsibility for the accuracy, completeness, or relevance to the reader's purpose, of the information contained in this document and those reading it for whatever purpose are advised to verify its accuracy and to obtain appropriate professional advice.

The State Fire Commission, its officers, employees and agents do not accept any liability, however arising, including liability for negligence, for any loss or damage resulting from the use of, or reliance upon, the information contained in this document.

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1.0 Identification

1.1 Guideline Title

1.1.1 This Guideline is called the *Tasmania Fire Service Water Supply Signage Guideline*.

1.2 Composition of this Guideline

1.2.1 This Guideline consists of:

- (a) This document;
- (b) Design drawing TFS-WS01; and
- (c) Design drawing TFS-WS02.

2.0 Purpose

2.1 The purpose of this Guideline is:

- (a) To ensure that fire fighting water points are appropriately identified to reduce the risk to human life and property, and the cost to the community, caused by bushfires; and
- (b) To describe the water supply signage requirements which are referred to in the *Bushfire-Prone Areas Code*¹ and the *Directors Determination Requirements for Building in Bushfire-Prone Areas*².

3.0 Application

3.1 Where referenced by the relevant planning and building regulations, the content of this Guideline forms a statutory requirement for development within bushfire-prone areas.

3.2 This Guideline may be voluntarily adopted as required.

3.3 This Guideline applies to:

- (a) Private and water corporation owned or managed fire fighting water points;
- (b) Fire fighting water points servicing a bushfire-prone area; and
- (c) Fire fighting water points connected to:
 - i. A static water supply; or
 - ii. A reticulated water supply that does not comply with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, and where a single fire fighting water point discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure.

¹ The *Bushfire-Prone Areas Code* can be accessed via www.iplan.tas.gov.au

² The *Directors Determination Requirements for Building in Bushfire-Prone Areas* can be accessed via <http://www.justice.tas.gov.au/building/publications>

4.0 Definition of Terms

In this Guideline:

bushfire-prone area	<p>means:</p> <p>(a) land that is within the boundary of a bushfire-prone area shown on an overlay on a planning scheme map; and</p> <p>(b)</p> <ol style="list-style-type: none"> i. where there is no overlay on a planning scheme map; or ii. where the land is outside the boundary of a bushfire-prone area shown on an overlay on such a map, land that is within 100m of an area of bushfire-prone vegetation equal to or greater than 1 hectare.
bushfire-prone vegetation	means contiguous vegetation including grasses and shrubs but not including maintained lawns, parks and gardens, nature strips, plant nurseries, golf courses, vineyards, orchards or vegetation on land that is used for horticultural purposes.
carriageway	means the section of road formation which is used by traffic, and includes all the area of the traffic lane pavement together with the formed shoulders.
fire hydrant	means a fire hydrant as described in <i>AS 2419.1-2005 Fire hydrant installations – System design, installation and commissioning</i> .
fire fighting water point	means the point where a fire appliance is able to connect to a water supply for fire fighting purposes. This includes a coupling in the case of a fire hydrant, offtake or outlet, or the minimum water level in the case of a static water body.
property access	means the carriageway which provides vehicular access from the carriageway of a road onto land, measured along the centre line of the carriageway, from the edge of the road carriageway to the nearest point of the building area.
static water supply	means water stored in a tank, swimming pool, dam, or lake, that is available for fire fighting purposes at all times.
water corporation	means the corporation within the meaning of the <i>Water and Sewerage Corporation Act 2012</i> .

5.0 Referenced Documents

The following documents are referenced in this guideline:

AS 1743 Road signs—Specifications

AS 1744 Standard alphabets for road signs

AS 2700 Colour Standards for general purposes

AS 2419.1 Fire hydrant installations - System design, installation and commissioning

AS/NZS 1734 Aluminium and aluminium alloys—Flat sheet, coiled sheet and plate

AS/NZ 1906.1 Retroreflective materials and devices for road traffic control purposes
Part 1: Retroreflective Sheeting.

Australian Paint Approval Scheme Specifications AP-S0041, CSIRO

Bushfire-Prone Areas Code, Tasmanian Planning Commission, Department of Justice, Tasmania.

Determination Director of Building Control Requirements for Building in Bushfire-Prone Areas, Building Standards & Occupational Licencing, Department of Justice, Tasmania.

TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA, TasWater, Tasmania.

6.0 Design Standards for Marking Compliant Fire Hydrants

6.1 Compliant Hydrant Markings (General)

A fire hydrant connected to a reticulated water supply that complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code* will be marked in accordance with water corporation specifications³.

Water corporation specified fire hydrant markings include a combination of:

- a) Fire Plug Indicator: a yellow, 250 mm x 450 mm triangle, marked on the pavement, and pointing towards the location of the hydrant;
- b) Fire Plug Kerb Marking: a yellow, 300 mm long rectangle, marked on the carriageway kerb, adjacent to the location of the fire hydrant;
- c) Two-Way Retroreflective Raised Pavement Marker: a blue, square marker, adhered to the pavement, and located perpendicular to the hydrant;
- d) Fire Plug Cover and Surround: a yellow, 400 mm x 400 mm square; surrounding the hydrant cover; and
- e) Marker Post: a yellow post with blue decals, located adjacent to the carriageway.

³ TasWater specifications: <https://www.taswater.com.au/Development/Development-Standards>

7.0 Design Standards for Marking Non-Compliant Fire Hydrants

7.1 Marking Criteria

A fire hydrant connected to a reticulated water supply that:

- a) Otherwise complies with the design criteria of *reticulated water supply for fire fighting* as defined within the *Bushfire-Prone Areas Code*, except for flow and pressure; and
- b) Discharges a minimum of 5 L per second and a minimum of 150 kPa residual pressure;

shall have additional markings to those identified in 6.1, in accordance with the following:

7.2 Pavement Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.2.1 Pavement marking materials shall conform to Australian Paint Approval Scheme Specifications <i>AP-S0041</i> , or similar.	

7.3 Post Marking Material

Objective:	Pavement markings that identify fire fighting water points are clearly visible and durable.
7.3.1 Post marking material shall be: <ol style="list-style-type: none"> (a) Class 1 retroreflective material, compliant with <i>AS/NZS1906.1</i>; or (b) A suitable outdoor, long-life, UV stabilised coating. 	

7.4 Pavement & Post Marking Design

Objective:	Fire fighting water points are clearly visible and identifiable.
7.4.1 Pavement and post marking shall comprise of a legend designed in accordance with design drawing TFS-WS02.	
7.4.2 The legend shall be: <ol style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with <i>AS2700</i> (or equivalent colour); and (b) Comprised of the letter 'W' within a circular band. 	
7.4.3 The letter 'W' in the legend shall be: <ol style="list-style-type: none"> (a) Uppercase; (b) No less than 44 mm in height; 	

- (c) Located in the centre of the circular band; and
- (d) Consistent with the form and dimensions of Series F, as defined in *AS1744*.

7.4.4 The circular band in the legend shall have:

- (a) An outer diameter of 100 mm; and
- (b) A line thickness of 6.5 mm.

7.5 Pavement & Post Marking

Objective:	Fire fighting water points are clearly visible and identifiable.
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7.5.1 Where fire hydrants are of the in-ground type (fire plug), the hydrant cover (lid) shall be marked in accordance with 7.2 and 7.4.

7.5.2 Where hydrant location is identified using a marker post, the post shall be marked:

- (a) In accordance with 7.3 and 7.4;
- (b) With legend facing the carriageway; and
- (c) No less than 400 mm above ground level (where practical).

8.0 Design Standards for Signs

Static water supplies shall be identified in accordance with the following:

8.1 Sign Materials

Objective:	Signs that identify fire fighting water points are durable and resilient against the elements.
------------	--

8.1.1 The signboard material shall be:

- (a) 1.6 mm thick aluminium alloy, type 5251 or 5052, of temper H36 or H38;
- (b) Free from scratches or other surface blemishes;
- (c) Have edges that are true and smooth; and
- (d) Compliant with *AS/NZS1734*.

8.1.2 The sign background material shall be:

- (a) Non-reflective;
- (b) Of uniform density;
- (c) Compatible with the material used for the legend both in application and durability; and
- (d) Applied to the sign face in accordance with *AS1743*.

8.1.3 The sign legend material shall be:

- (a) Class 1 retroreflective material, compliant with *AS/NZS1906.1*;
- (b) Of uniform density;

- (c) Compatible with the material used for the background in application and durability; and
- (d) Applied to the sign face in accordance with *AS1743*.

8.2 Sign Design

Objective:	Signs that identify fire fighting water points are clearly visible and identifiable.
8.2.1 The sign shall be designed in accordance with: <ul style="list-style-type: none"> (a) Design drawing TFS-WS01. 	
8.2.2 The sign shall: <ul style="list-style-type: none"> (a) Be square; (b) Have rounded corners with a radii of 25 mm; and (c) Have a side length of 300 mm. 	
8.2.3 The sign background shall be: <ul style="list-style-type: none"> (a) Coloured red, 'Signal Red' (R13) in accordance with <i>AS2700</i> (or equivalent colour). 	
8.2.4 The legend shall be: <ul style="list-style-type: none"> (a) Coloured white (N14) in accordance with <i>AS2700</i> (or equivalent colour); (b) Comprised of the letter 'W' within a circular band; and (c) Visually centred on the sign. 	
8.2.5 The letter 'W' in the legend shall be: <ul style="list-style-type: none"> (a) Uppercase; (b) No less than 100 mm in height; (c) Located in the centre of the circular band; and (d) Consistent with the form and dimensions of Series F, as defined in <i>AS1744</i>. 	
8.2.6 The circular band in the legend shall have: <ul style="list-style-type: none"> (a) An outer diameter of 230 mm; and (b) A line thickness of 15 mm. 	
8.2.7 The rear surface of the signboard shall be stamped or engraved with: <ul style="list-style-type: none"> (a) The designation of the sign manufacturer; (b) Four numerals indicating the month and year of manufacture (e.g. 01/17); (c) The design drawing identification (e.g. TFS-WS01); and (d) Letters & numerals no less than 5 mm high. 	

8.3 Sign Mounting

Objective:	Signs that identify fire fighting water points are, and will remain, clearly visible.
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8.3.1 The sign shall be permanently mounted to:

- (a) A vertical surface;
- (b) A surface that cannot change orientation or position; and
- (c) A surface that is:
 - i. Non-flammable; and
 - ii. Non-heat deforming.

8.4 Sign Location

Objective:	Signs that identify fire fighting water points are located adjacent to the fire fighting water point, and are clearly visible.
<p>8.4.1 The sign shall be mounted in a location:</p> <ul style="list-style-type: none"> (a) No further than 2 m vertically and 1 m horizontally from the fire fighting water point; (b) No less than 400 mm above ground level; (c) That will not impede access or operation of the fire fighting water point; (d) That will not become obscured by visual obstructions; and (e) That is visible from the property access on approach from a public road. 	

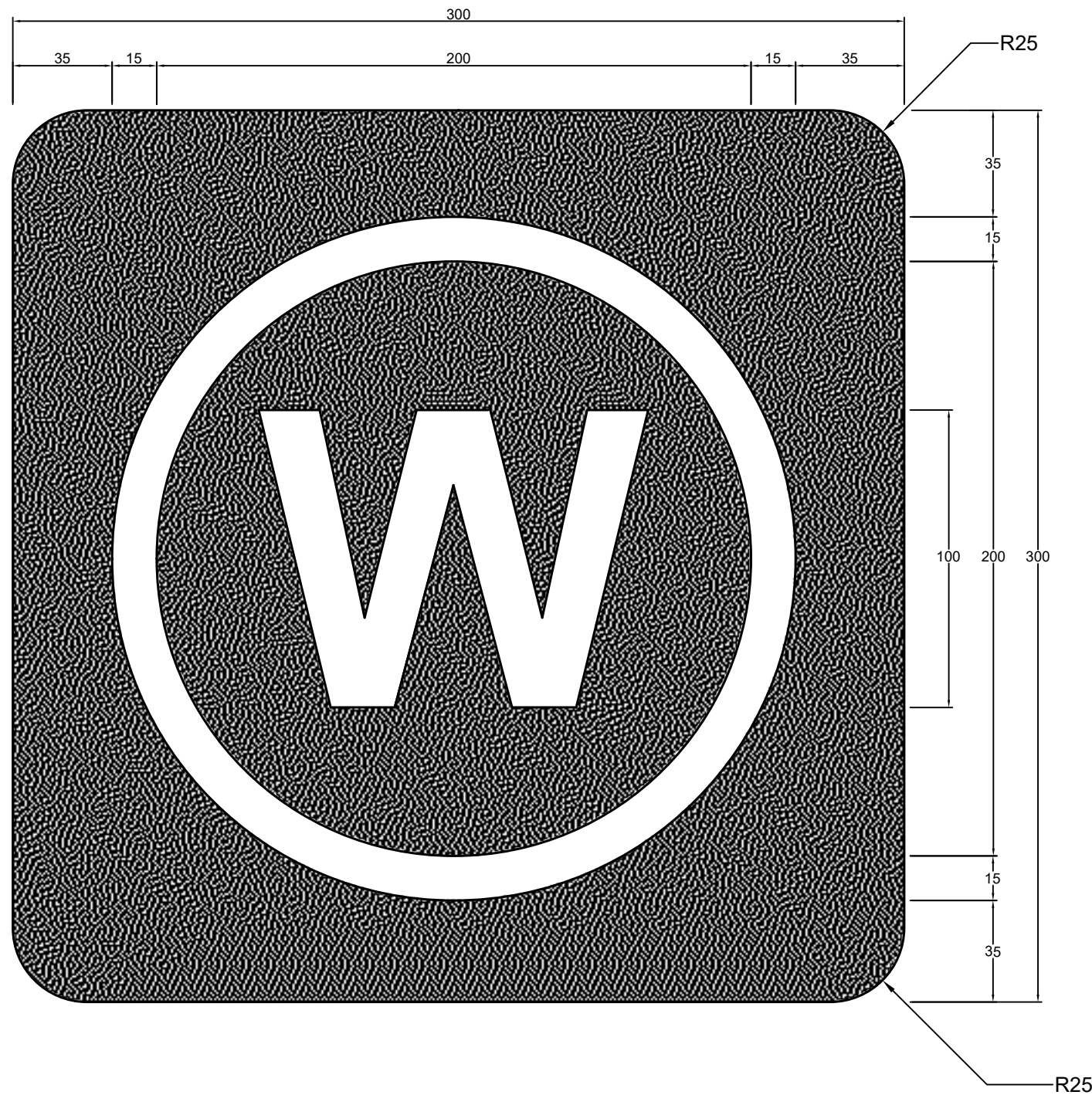
9.0 Design & Manufacture Tolerances of Sign & Legend

9.1 Dimensional tolerances of the signboard

- (a) Overall dimensions of signboard: ± 5 mm;
- (b) Maximum allowable warp, twist or departure from flatness: 1.5 mm; and
- (c) Squareness: corners < 2 mm from theoretical position relative to other corners.

9.2 Dimensional tolerances of the legend

- (a) Shape, size and alignment of legend elements: ± 2 mm; and
- (b) Legend position: ± 2 mm.

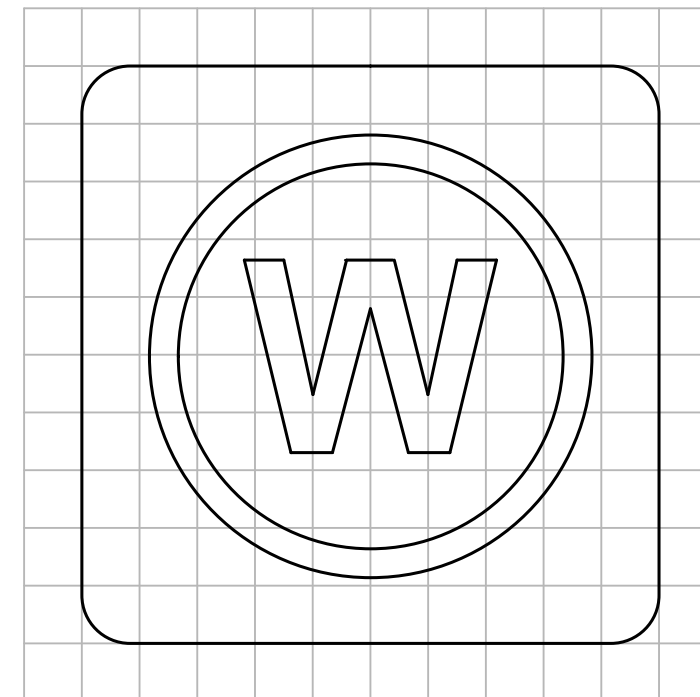


OVERALL SIGN DIMENSIONS (mm): 300 x 300, +/- 5
 SURFACE AREA OF SIGN (sq m) : 0.0895

LEGEND COLOUR: WHITE (N14) IN ACCORDANCE WITH AS2700,
 WITH A RETROREFLECTIVE SURFACE FINISH
 BACKGROUND COLOUR: SIGNAL RED (R13) IN ACCORDANCE WITH AS2700

FOR SIGN FIXING AND LOCATION REQUIREMENTS, REFER TO
 TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL
 REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



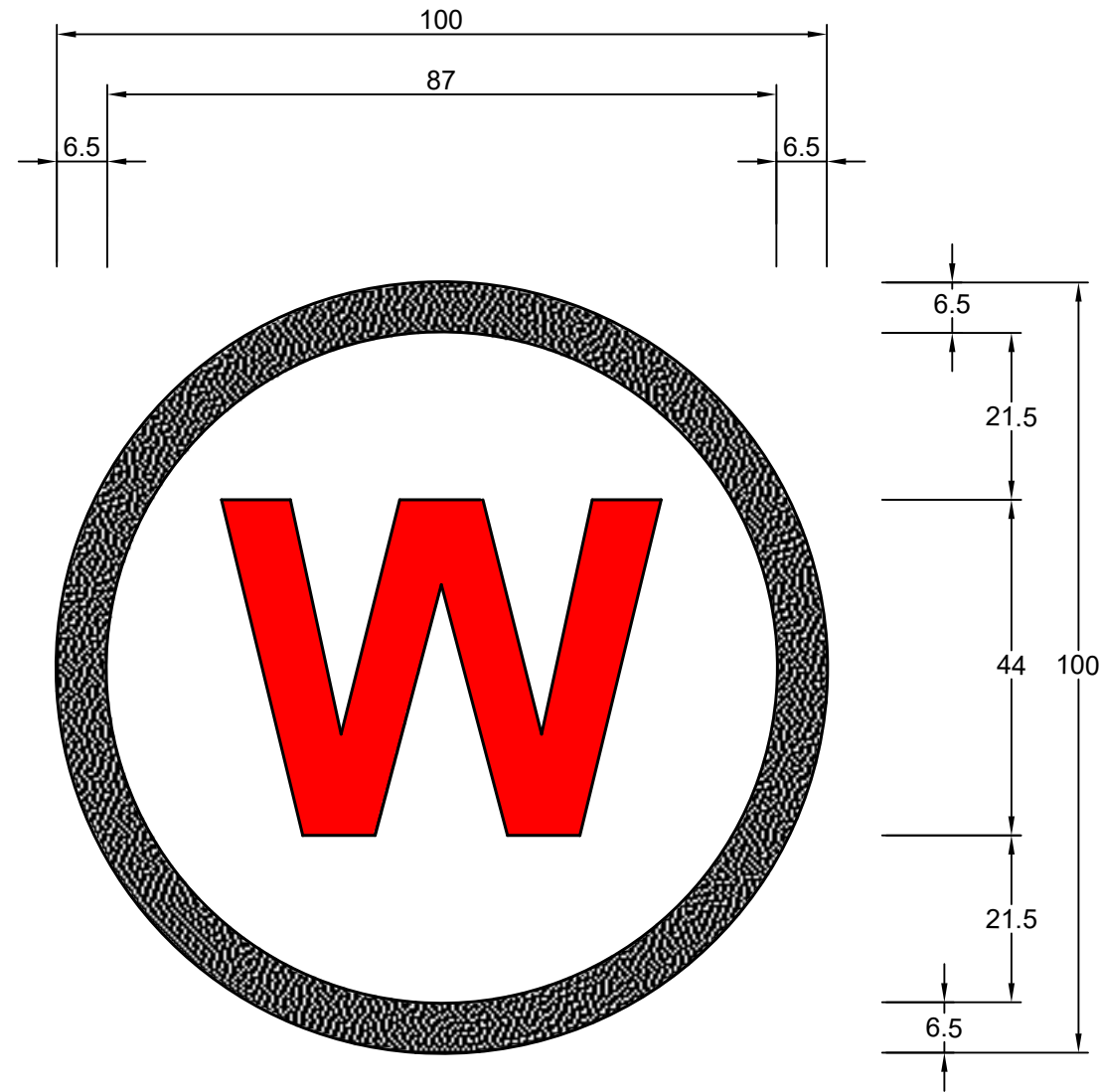
GRID MODULE X = 30mm Y= 30mm



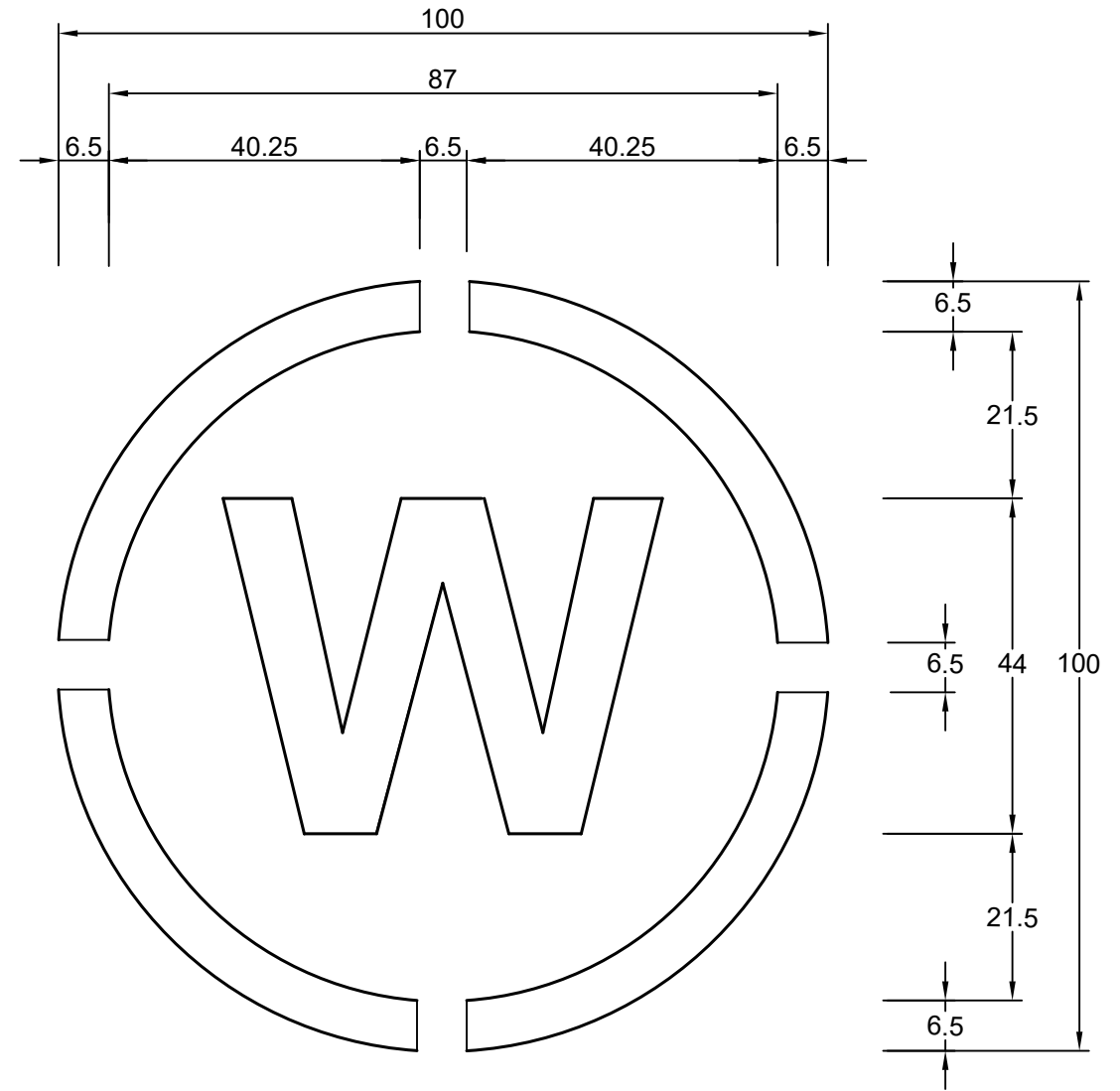
ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			

NOTES
 - all dimensions are in mm
 - written dimensions take precedence over scaled measurements

TITLE
**TASMANIA FIRE SERVICE
 WATER SUPPLY SIGN**

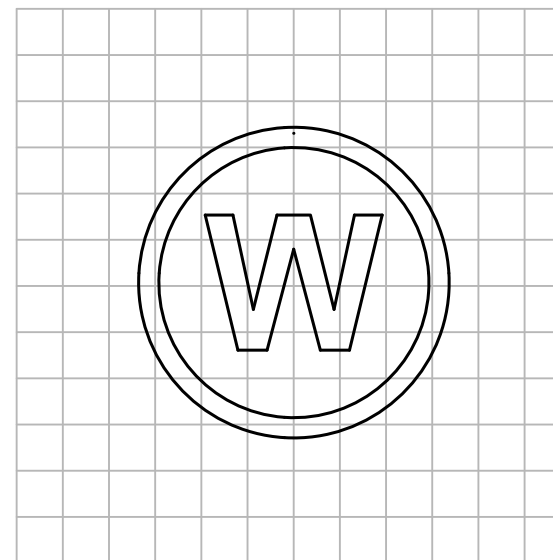


POST AND PAVEMENT DESIGN



TEMPLATE

GRID MODULE X = 15mm Y= 15mm



WHERE A TEMPLATE IS USED, THE CIRCULAR BAND MAY HAVE UP TO FOUR BREAKS OF UP TO 6.5MM IN WIDTH

OVERALL LEGEND DIMENSIONS (mm): 100 x 100, +/- 5

FOR TEMPLATE APPLICATION REQUIREMENTS, REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES

FOR LEGEND SPECIFICATIONS AND MANUFACTURING DETAIL REFER TO TASMANIA FIRE SERVICE WATER SUPPLY SIGNAGE GUIDELINES



ISSUE	APPR'D	DATE	AMENDMENT
A			
B			
C			

NOTES
- all dimensions are in mm - written dimensions take precedence over scaled measurements

TITLE
TASMANIA FIRE SERVICE NON-COMPLIANT FIRE HYDRANT MARKING

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fire.tas.gov.au

Bushfire Planning & Policy GPO Box 1526 Hobart Tasmania 7001
Phone (03) 6230 8600 | Fax (03) 6231 6647 | planning@fire.tas.gov.au

References

- (a) Tasmanian Planning Commission 2017, *Tasmanian Interim Planning Directive No. 1.1, Bushfire-Prone Areas Code*, Tasmania.
- (b) Australian Standards, AS 3959-2009, *Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney NSW.
- (c) Resource Management & Conservation Division of the Department Primary Industry & Water September 2006, TASVEG, *Tasmanian Vegetation Map*, Tasmania.
- (d) Tasmanian Government, Land Information System Tasmania, www.thelist.tas.gov.au

28 June 2017

Our ref: 34-86 (7424)

Town Planner
Meander Valley Council
PO Box 102
WESTBURY Tas. 7303

Attention: Ms. J. Oliver

Dear Jo,

Re: Development Application
Two Lot Subdivision
Mary Street & Suburb Road, Westbury
C. D. & A. C. Bough - owners.

We are pleased to submit this Development Application for a two lot subdivision.

We enclose:

- Plan of Subdivision;
- Copy of the title;
- Application for Planning Approval;
- Bushfire Hazard Management Report prepared by Rebecca Green;
- Waste water and stormwater report prepared by Hydrodynamica;
- Supporting letter;
- Letter to the General Manager re Public open space contribution.

The \$645.00 comprising the application and advertising fee will be paid directly to Council by our clients.

We seek Council's approval for the subdivision and will be pleased to supply additional information as required.

Yours faithfully
COHEN & ASSOCIATES PTY. LTD.

Encs.

ADRIAN FAIRFIELD.

SEARCH OF TORRENS TITLE

VOLUME 41319	FOLIO 1
EDITION 5	DATE OF ISSUE 07-Jun-2012

SEARCH DATE : 03-May-2017

SEARCH TIME : 03.41 PM

DESCRIPTION OF LAND

Town of WESTBURY

Lot 1 on Sealed Plan 41319

Derivation : Whole of Lot 2, 10A-3R-29Ps Granted to J. Taylor
and Whole of Lot 4, 10A-3R-29Ps Granted to T. Watts

Prior CT 4627/56

SCHEDULE 1

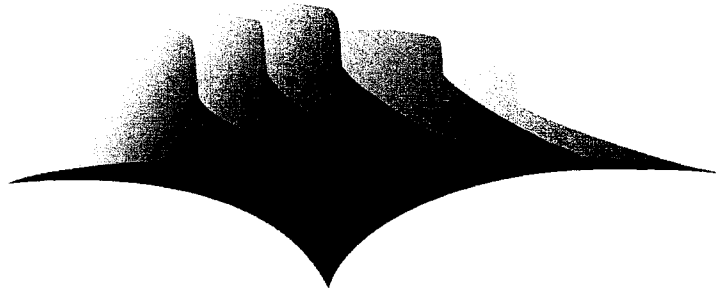
B361676 TRANSFER to COLIN DAVID BOUGH and ANNE CHRISTINE BOUGH

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 41319 FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Meander Valley Council

W O R K I N G T O G E T H E R

Public Open Space contribution

In accordance with Clause E10.0 of the Meander Valley Interim Planning Scheme 2013 the General Manager gives consent that no land is required for public open space but instead there is to be a cash payment in lieu for PA\17\0235 Subdivision (2 lots) at 126 Mary Street, Westbury (CT 41319/1).

Signed:

Martin Gill
GENERAL MANAGER

4 July 2017



COHEN & ASSOCIATES P/L

LAND & AERIAL SURVEYORS
ABN 70 689 298 535

103 CAMERON STREET
PO BOX 990 LAUNCESTON 7250 TAS
TELEPHONE : 03 6331 4633

www.surveyingtas.com.au
EMAIL : admin@surveyingtas.com.au

PLAN OF SUBDIVISION SHEET 1 OF 1

REF: 34-86
(7424)

Municipality: MEANDER VALLEY COUNCIL

Site Address: MARY STREET, WESTBURY

Tasmap Sheet: -

Grid Reference: E: 485300 N: 5401300 (MGA)

Owners: C.D. & A.C BOUGH

Title Refs: 41319-1

Dates: Version A: 16-03-17
Version B:

Scale: 1 : 1000 @ A3

DISCLAIMER: This is a preliminary plan prepared without field survey and forms part of an application to subdivide the land described and is not to be used for any other purpose. Contours and levels may be transcribed from other sources and their accuracy has not been verified. These should not be used. The dimensions, area, location of improvements and number of lots are approximate and may vary as a result of decisions by the Municipality, Land Use Planning Review Panel, engineering or other advice. Easements may not be shown as these are to be determined at the time of survey. The plan is not to be copied unless this note is included.



IMPORTANT NOTE

THIS PLAN WAS PREPARED FOR C. BOUGH
AS AN INDICATIVE SUBDIVISION DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION.

INFORMATION SHOWN ON THIS PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. IN PARTICULAR NO
RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS.


THE AERIAL PHOTOGRAPH HAS BEEN SHOWN FOR IDENTIFICATION PURPOSES ONLY AND SHOULD NOT BE
RELIED UPON FOR AN ACCURATE COMPARISON TO THE FIELD SITUATION.

THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

SCALE 1cm = 10m



Submission to Planning Authority Notice

Council Planning Permit No.	PA\17\0235	Council notice date	6/07/2017
TasWater details			
TasWater Reference No.	TWDA 2017/01051-MVC	Date of response	13/07/2017
TasWater Contact	Phil Papps	Phone No.	(03) 6237 8246
Response issued to			
Council name	MEANDER VALLEY COUNCIL		
Contact details	planning@mvc.tas.gov.au		
Development details			
Address	MARY ST, WESTBURY	Property ID (PID)	7639894
Description of development	Subdivision (2 lots)		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Cohen & Associates	Plan of Subdivision / 1	A	16/03/2017
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater does not object to the proposed development and no conditions are imposed.			
Advice			
Advice to Planning Authority (Council) and developer on fire coverage			
<i>TasWater cannot provide a supply of water for the purposes of firefighting to the lots on the plan.</i>			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
Authorised by			
			
Jason Taylor Development Assessment Manager			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Merrilyn Young

From: Dino De Paoli
Sent: Thursday, 6 July 2017 4:08 PM
To: Justin Simons
Cc: Leanne Rabjohns
Subject: PA\17\0235 - 126 Mary Street, Westbury (CT:41319/1) - Subdivision (2 lots) - Traffic Assessment

A new driveway is proposed to be constructed in Suburb Road approximately 100m west of the intersection with Mary Street to provide access to Lot 2.

The speed zone applicable to this section of residential road is 50km/hr.

The proposed driveway location is considered to be acceptable considering the low speed environment and sight distances in each direction are adequate. It is not considered that the new driveway and traffic to and from the proposed new allotment would adversely impact on the safety or efficiency of the road network.

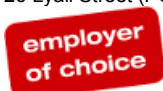
Kind regards

Dino De Paoli | Director Infrastructure Services

Meander Valley Council

working together

T: 03 6393 5340 | F: 6393 1474 | M: 0409 547 797 | E: Dino.DePaoli@mvc.tas.gov.au | W: www.meander.tas.gov.au
26 Lyall Street (PO Box 102), Westbury, TAS 7303



Please consider the environment before printing this email.

To

Mr Martin Gill,

General Manager Meander Valley Council

Dir Sir,

I would like to make a representation regarding a subdivision (Lot 2) at 126 Mary street Westbury (CT: 41319/1)

My family and I are a direct neighbour to the west of this subdivision and have some concerns about a second dwelling in close proximity to our business operations (Wood Yard, Contractors Yard Depot).

historically there has been numerous complaints made regarding my family's business activities including noise from our operations, traffic movements in and out of suburb road, unsightly storage of firewood and wood logs on site.

my concern is that the subdivision will create further issues and complaints of our business operation.

I am concerned that a new access to Lot 2 will create an unsafe intersection at Suburb road from Mary Street.

In the planning notice applicant (Cohen & associates) PA/17/0235 There is some misleading information. The applicant states;

1: There is a wood yard with in 300metres of the property. The wood yard has a council EPN in force which prohibits the use of chainsaws and other noisy machinery. The EPN states that COMBUSTION ENGINES chainsaws cannot be used on the wood yard site. Nothing stating that electric or hydraulic saws can't be used.

2: The EPN also includes a firewood processor, BUT does not prohibit the use of it, it only states that the noise level that it cannot exceed.

3: The EPN does not include any other machinery on site.

4: It states that the owner has a good relationship with their client, unfortunately good is not the right word to use (council would have a substantial file full of complaints from their client).

5: It states that all the processing is done off site on rural properties. This is not true. We do still process split firewood on site.

6: It states that the yard is used for storage only. This is also not true. We process wood on site and it is likely we will bring the firewood processor back into the yard in future.

7: There is some conflicting information from Cohen & associates P/L on page 1 of their document REF: 34-86(7424). It states: *The existing dwelling and access (of 25 years) will be contained within lot 1 with frontage onto Suburb road; a Council owned and maintained road. There will be a new access to proposed Lot 2 from Mary Street.*

Clarification is required as it is my understanding that the access to Lot 1 from Suburb road is only a permit. The property address and true access is off Mary Street.

It states that Suburb Road is Council owned and maintained road. It is my understanding that Suburb road is Crown land because my family has the current lease on that section of Suburb Road.

It states that there will be a new access to proposed Lot 2 from Mary Street but plan of subdivision shows access via Suburb Road.

8: It should be noted in the Bushfire Site Assessment – vegetation analysis that the photos used in Section 3.1.2 are of our property, and not the property in question. In particular the *view looking west*. I am unsure if this is relevant.

While I do not wish to hinder progress, nor to I object to the subdivision itself. I do not want the subdivision to stop my family from conducting our business, as we always have.

Your consideration of the issues I have raised would be appreciated.

Regards,

Michael Burns

22 Arthur Street Westbury

0418-990-885

C&DS 6 REVIEW OF POLICY NO. 79 – PURSUIT OF ILLEGAL BUILDINGS WORKS

1) Introduction

The purpose of this report is for Council to review existing Policy No. 79 – Pursuit of Illegal Buildings Works.

2) Background

The purpose of Policy 79 is to establish a guideline for a procedure for managing undocumented building works. The revised Policy was considered at the 25 July 2017 Council Workshop.

3) Strategic/Annual Plan Conformance

The Annual Plan required this policy to be reviewed in the March 2016.

4) Policy Implications

The process of policy review will ensure that policies are up to date and appropriate.

5) Statutory Requirements

This policy is consistent with the requirements within the Building Act 2016 and the Building Regulations 2016.

6) Risk Management

The provision of this Policy supports transparent decision-making.

7) Consultation with State Government and other Authorities

Not applicable.

8) Community Consultation

Not applicable.

9) Financial Impact

Not applicable.

10) Alternative Options

Council can elect to discontinue or make further amendments to the existing policy.

11) Officers Comments

The title of Policy 79 is proposed to change from "Pursuit of Illegal Buildings Works" to "Undocumented Building Works". This is to better reflect the works covered by this policy. These works could vary including; works at the time they were undertaken may not have been strictly illegal; works for which the records may be missing or don't exist and recognition that building requirements have changed over time.

The definitions have been amended to focus on residential structures and not business related structures. The latter have higher risk and safety to the public. They would need to be dealt with under the Building Act 2016. The building certificate clause has been changed to reflect that the building certificate is not contained in the new Building Act 2016 but is contained in the Building Regulations 2016.

The date of 1993 remains unchanged as it remains the date that predates Council amalgamations and when the 1994 Regulations were released with significant changes for the provision of requirements for occupancy, smoke alarms.

AUTHOR: Lynette While
DIRECTOR COMMUNITY & DEVELOPMENT SERVICES

12) Recommendation

It is recommended that Council confirm the continuation of Policy No. 79 amended as follows:

POLICY MANUAL

Policy Number: 79 Undocumented Building Works

Purpose: To establish guidelines for a procedure for

managing undocumented building works.

Department: Community & Development Services
Author: Lynette While, Director

Council Meeting Date: 9 August 2017
Minute Number:

Next Review Date: March 2020

POLICY

1. Definitions

Undocumented Building works- Building works carried out without either sufficient documentation or a building permit or other valid authorisation, in accordance with the requirements of the Building Act 2016

Class 1a & 10 Domestic Buildings and Structures -

Class 1a

A single dwelling being a detached house, or one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit.

Class 10

A non-habitable building or structure -

Class 10a A private garage, carport, shed or the like.

Class 10b A structure being a fence, mast, antenna, retaining or free standing wall, swimming pool or the like.

Building Certificate - Certificate issued by the General Manager under Regulation 83 of the *Building Regulations 2016* certifying that Council does not intend to take any action in relation to the specified building.

2. Objective

The objectives of this policy are to provide:

- An appropriate cut-off date whereby building works constructed before this date are generally deemed to comply with *section 12* of the *Building Act 2016* and the relevant *Building Regulations*, where insufficient records exist, and

- A clear process to establish the legal status of domestic buildings and structures.

3. Scope

The Policy is applicable to existing Class 1a & 10 Domestic buildings and structures where insufficient records exist of building permits or other valid authorisations as prescribed in the *Building Act 2016*. *This policy is not applicable to any work on any Class 2 – 9 Commercial buildings.*

4. Policy

It is policy that;

- Any class 10 domestic building works which were constructed prior to 1993 will be considered to substantially comply with the building control requirements applicable at the date of construction and will NOT be pursued as illegal building works.
- Any class 1a domestic building works constructed prior to 1993 will NOT be pursued as illegal building works if the Permit Authority is satisfied that the Building was constructed in a manner that was likely to comply with the relevant building standards at the estimated time of construction.
- **Subject to inspection and assessment** the above listed domestic building works will be considered to be fit for purpose, due to their performance over the last twenty (or more) years.
- Council's Permit Authority will determine if a building was built prior to 1993.
- Subject to ensuring the basic health and safety of any occupants of the building, the General Manager will, on application, issue a Building Certificate for a building constructed prior to 1993.
- In determining whether a building provides for the basic health and safety of any occupants, Council may undertake the following;
 - Request or prepare a report identifying that the building works are suitable for occupation, if applicable;
 - Determine the year of construction (where possible);
 - Request or prepare a condition report for the building works; and
 - Require the property owner to carry out any works necessary to make the building safe.
- Undocumented building works determined to have been constructed during or after 1993 will be dealt with in accordance with the requirements of the Building Act 2016.

5. Legislation & Related Council Policies

Building Act 2016

6. Responsibility

The Director Community and Development Services is responsible for the application of the policy.

DECISION:

Policy Number: 79 ——— ~~Pursuit of Illegal Undocumented Building Works~~

Purpose: To establish guidelines for a procedure for managing ~~illegal-undocumented~~ building works.

Department: ~~Community &~~ Development Services
Author: ~~Martin Gill~~ Lynette While, Director

Council Meeting Date: ~~12 March 2013~~ 9 August 2017
Minute Number: ~~44/2013~~

Next Review Date: ~~March 2016~~ 2020

POLICY

1. Definitions

~~Illegal-Undocumented Building works~~- Building works carried out without either sufficient documentation or a building permit or other valid authorisation, in accordance with the requirements of the Building Act ~~2000-2016~~

~~Class 1a & 10 Domestic Buildings and Structures~~ - ~~A habitable building as follows~~

Class 1a

A single dwelling being a detached house, or one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit.

~~Class 1b~~

~~A boarding house, guest house, hostel or the like with a total area of all floors not exceeding 300m², and where not more than 12 reside, and is not located above or below another dwelling or another Class of building other than a private garage.~~

Class 10

A non-habitable building or structure -

Class 10a - A private garage, carport, shed or the like.

Class 10b - A structure being a fence, mast, antenna, retaining or free standing wall, swimming pool or the like.

~~Building Certificate~~ - Certificate issued by the General Manager under ~~Section 119~~ Regulation 83 of the ~~Building Regulations, 2016~~ certifying that Council does not intend to take any action in relation to the specified building. ~~of the Building Act 2000, by which issuing a Building Certificate, Council confirms that it does not propose to order, or commence proceedings for an order or injunction for, the certified building to be demolished, altered, added to or rebuilt.~~

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2. Objective

The objectives of this policy ~~is~~ are to provide:

- An appropriate cut-off date whereby building works constructed before this date are generally deemed to comply with section 12 of the Building Act 2016 and the relevant Building regulations ~~Regulations, where~~ insufficient records exist; and
- A clear process ~~for property owners (and Council Staff)~~ to establish the legal status of domestic ~~the~~ buildings and structures on their property.

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3. Scope

The Policy is applicable to existing Class 1a & 10 Domestic buildings and structures where insufficient records exist of building permits or other valid authorisations as prescribed in the Building Act 2000/2016. This policy is not applicable to any work on any Class 2 – 9 Commercial buildings.

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4. Policy

It is policy that;

- Any class 10 domestic building works which were constructed prior to 1993 will be considered to substantially comply with the building control requirements applicable at the date of construction and will NOT be pursued as illegal building works.
- Any class 1a domestic building works constructed prior to 1993 will NOT be pursued as illegal building works if the Permit Authority is satisfied that the Building was constructed in a manner that was likely to comply with the relevant building standards at the estimated time of construction.
- ~~Any~~ Subject to inspection and assessment the above listed domestic building works ~~constructed prior to 1993~~ will be considered to be fit for purpose, due to their performance over the last twenty (or more) years.
- Council's Permit Authority will determine if a building was built prior to 1993.
- ~~Subject to ensuring the basic health and safety of any occupants of the building, the General Manger will, at the request of the property owner, issue a Building Certificate for a building constructed prior to 1993.~~
- ~~'Illegal building works' determined to have been constructed during or after 1993 will be dealt with in accordance with the requirements of the Building Act 2000.~~
- Subject to ensuring the basic health and safety of any occupants of the building, the General Manger will, on application, issue a Building Certificate for a building constructed prior to 1993.
- In determining whether a building provides for the basic health and safety of any occupants, Council may undertake the following:
 - Request or prepare a report identifying that the ~~illegal~~ building works are suitable for occupation, if applicable;
 - Determine the year of construction (where possible);

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- Request or prepare a condition report for the ~~illegal~~ building works; and
- ~~Advise-Require~~ the property owner ~~of to carry out~~ any works necessary to make the building safe.
- Undocumented building works determined to have been constructed during or after 1993 will be dealt with in accordance with the requirements of the Building Act 2016.

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5. Legislation & Related Council Policies

Building Act ~~2000~~2016

Building Regulations ~~2004~~2016

Meander Valley Council Customer Service Charter

6. Responsibility

—The Director Community and Development Services is responsible for the application of the policy.

C&DS 7 REVIEW OF POLICY 56 – RECREATION FACILITIES PRICING POLICY

1) Introduction

The purpose of this report is for Council to approve the continuation of Policy No 56 – Recreation Facilities Pricing, the supporting guidelines and the relevant fees and charges.

2) Background

Meander Valley Council owns or manages an extensive network of sports grounds and associated buildings. Council considers these assets are fundamental in supporting community health and wellbeing.

Policy No. 56 – Recreation Pricing Policy was first developed in 2003-04 and is reviewed every four years. Previous reviews have seen minimal change to the policy and it is now considered that a more comprehensive review is warranted. Workshop briefings occurred with Council on 2 May and 27 June. Conversation with a range of seasonal sport clubs has indicated support for a standard charging approach for grounds and facilities with charges known in advance.

The reasons for undertaking such a review are as follows:

- To provide a strategic framework and principles to guide the development of user agreements with a consistent and equitable approach to pricing for Meander Valley Council owned and managed facilities.
- To support and encourage partnerships of shared responsibility between Council and users.
- To ensure the Policy is achieving the financial aims of Council whilst reducing the cost burden to Council and ratepayers.
- To ensure that the policy is more fully achieving Council's access and equity objectives for recreation and community facilities.
- To ensure that the Policy is easy to understand and that all users know the costs they will incur before undertaking their recreational programs.

3) Strategic/Annual Plan Conformance

The Annual Plan required Policy No. 56 to be reviewed in December 2016.

4) Policy Implications

The process of policy review will ensure that policies are kept up to date and appropriate.

5) Statutory Requirements

Fees and charges are set in accordance with Sections 73, 205 and 206 of the Local Government Act (LGA) 1993.

6) Risk Management

Achieving a sense of shared responsibility by user groups for facilities provided by Council and providing a more equitable fee model improves overall risk management of those facilities and sustainability of the clubs.

7) Consultation with State Government and other Authorities

Not applicable.

8) Community Consultation

The revised Policy has been provided to all regular outdoor ground / facility user groups seeking comment and consultation.

The following responses have been received:

- Bracknell Recreation Ground:
 - Bracknell Football Club, President Neil Philpott, advised they cannot see any issues with the changed arrangements pertaining to grounds so long as the existing building lease remains in place as agreed (which it will until at least 2021).
 - Bracknell Cricket Club, President Travis Semmens, is still reviewing the policy. The focus for Bracknell Cricket Club is team formation at this time of the year.
- Hagley Recreation Ground facilities:

- Diggers Cricket Club: Outgoing President Paul Fruin, indicated support for the changed policy as it will provide some relief to the high fees they are charged, wherein they pay for a facility that they do not use for 6 months of the year. The certainty of the ground use fees around team numbers is also positive.
- Whitemore Recreation Ground facilities:
 - Whitemore Cricket Club: Advice was provided to President Sam French and awaiting response. The cost to the Cricket Club under the new policy is reduced by \$70.
 - Whitemore Tennis Club: Secretary Libby Lord advised the club is under financial stress due to the current fees for venue usage. They agree with the need to contribute towards facility costs, but do not believe they should have to pay for grounds as they do not use them. The Club is also concerned that they pay 66% proportionally of public amenities cost recovery whereas bike riders pay no contribution but use the amenities on a weekly basis. The tennis club members help to keep the amenities clean for all users. It is proposed that the club does not pay for grounds and pays a lesser amount for public amenities. This would bring the Whitemore Tennis Club in line with Deloraine Tennis Club which pays a peppercorn facility rent to Council and is not charged for any nearby grounds. The Whitemore Tennis Club would have a reduction in their fees of around \$375.
- Deloraine Recreation Ground facilities:
 - Deloraine Football Club: The President and executive members reviewed the policy and advised they don't have any other queries and "it looks ok to us". They will discuss the Policy with the Junior Football Club which has not paid any ground use fees to Council in the past as this was captured in the Senior Football Club agreement. There is a net decrease in ground use fees for the combined Deloraine Football Clubs.
- Hadspen Memorial Centre:
 - Hadspen Chieftains Cricket Club: A meeting was conducted with the Club and the full details of the pricing arrangements for the venue explained. The Club is interested in discussing the possibility of moving to a lease arrangement for the facility. This would bring the Club into line with every other venue / recreation ground of this type. The Club acknowledge the reduced ground use fees and accept that the facility fees are unique to them and require on-going discussion to achieve the best outcome for both parties.

- Prospect Vale Park facilities:
 - Prospect Park Sports Club: President, Michael Walker, believes the policy is more equitable and provides greater support to the small number of volunteers who are managing the largest outdoor facility in the municipality at no cost to council.
 - The following Clubs have responded positively in respect of the ground fees approach: Prospect Junior Football Club, Prospect Senior Football Club, Westside Devils Junior Soccer Club and Launceston City Football (Soccer) Club, Southern Raiders Junior Soccer Club.
 - The Launceston Touch Association has confirmed that they are comfortable to accept the terms of the revised recreation pricing policy. They have also asked a range of questions regarding usage of the grounds, availability, implementation and management of the policy at the venue and clarification has been provided.
- Westbury Recreation Ground facilities:
 - Meander Valley Suns Football & Netball Club: the club fully supports the policy changes given the certainty it gives to their budgeting and cash flow management
 - Westbury Shamrocks Cricket Club: Multiple calls to the President have not yet received a response. The fees for ground and facilities use for Shamrocks would reduce by around \$960 if the club retain the same number of teams in the coming season.

Overall the responses received from the users have been positive in support of the benefits of the policy changes.

Further user meetings are planned to occur and information is being sought from all user groups on an on-going basis as part of the policy process.

9) Financial Impact

The proposed changes to the Policy approach will initially reduce the financial return to Council from seasonal sport clubs by around 11% for 2017-2018 (from estimated \$75,333 to \$66,833).

10) Alternative Options

Council can elect to amend the Policy and implementation guidelines as proposed or continue with the existing Policy.

11) Officers Comments

The Recreation Facilities Pricing Policy is built upon a strong foundation wherein users contribute to the cost of grounds / facilities provided by Council.

There have been numerous difficulties in implementing the current Policy historically and after 13 years it is necessary to amend the Policy and guidelines to make it easier to understand and more transparent for users, more supportive of new participants and more readily able to be implemented and marketed by Council's officers.

The impact of providing a greater concession to key target groups is an incentive to encourage sport participation amongst females and also junior participants and may result in increased use. This may potentially increase income over time.

The amended Pricing Policy will be less complex than currently for Council staff to administer and to promote to existing and potential users.

The Pricing Policy and associated guidelines (including fees and charges) will be transparent to the public and will be known in advance of the season or casual booking.

It is recommended that the Policy be continued with amendments as proposed.

AUTHOR: Daniel Smedley
RECREATION CO-ORDINATOR

12) Recommendation

It is recommended that Council:

- 1. Approves the fees/charges listed for 2017/18.**
- 2. Notes and approves the Recreation Pricing Policy Implementation Guidelines.**
- 3. Continues the existing Policy No, 56 amended as follows:**

POLICY MANUAL

Policy Number: 56	Recreation Grounds / Facilities Pricing
Purpose:	To provide a consistent philosophy to pricing the use of recreation grounds and facilities
Department:	Community & Development Services
Author:	Lynette While, Director
Council Meeting Date:	8 August 2017
Minute Number:	
Next Review Date:	<i>July 2021</i>

POLICY

1. Definitions

- 1.1. **Recreation Facilities:** includes buildings, pavilions, halls, meeting rooms, change-rooms, clubrooms provided by Council for the purpose of recreation.
- 1.2. **Recreation Grounds:** includes parklands, sports fields, reserves, council land provided by Council for the purpose of recreation.
- 1.3. **Lease:** a contract under which an agreed fee is paid by a tenant (or lessee) granted exclusive use of ground and/or facility for an agreed period.
- 1.4. **Licence:** an agreement for permission to enter and use grounds and/or facilities for an agreed purpose for a stated period in exchange for an agreed fee. The licensee does not have exclusive use of the reserve or facility. Council is able to allocate other user groups or allow the general public to use the reserves and/or facilities at other times.
- 1.5. **Regular Hire:** a group, individual or organisation that hires a recreation ground or facility on an ongoing basis for a specified minimum number of bookings.
- 1.6. **Casual Hire:** a group, individual or organisation that hires a recreation ground or facility for casual one-off or specific occasions.
- 1.7. **Community Organisation:** a not for profit group (e.g. Club / Association) established for the benefit of the community.
- 1.8. **Commercial Entity:** an organisation or individual conducting activities for the purposes of deriving a financial return to the proprietors or shareholders.
- 1.9. **Special Committee of Council:** comprises a Chairperson, Secretary and Treasurer and community / council members who are responsible, in conjunction with Council, for the upkeep and maintenance of the facility / ground for which it has been appointed.
- 1.10. **Junior Participants:** sport and recreation participants aged up to 18 years.
- 1.11. **Female Participants:** sport and recreation by female participants aged 18 years and older.
- 1.12. **Inclusion Participants:** sport and recreation by participants with a disability aged 18 years and older and senior aged participants (65 years +).

2. Purpose & Objectives

This policy intends that users of recreation grounds and facilities have transparent information regarding how much they are required to pay and what they are paying for. Council is committed to the following objectives:

- 2.1. To establish principles for the determination of fees and charges based on support levels for leased, licensed, regular and casual hire of council owned or managed recreation grounds and recreation facilities.
- 2.2. To ensure the accountability to the community through an equitable and transparent pricing structure.
- 2.3. To provide an efficient and joint management tool in the allocation, maintenance and operation of Council's recreation grounds and recreation facilities.
- 2.4. To promote the level of responsibility of user groups so that recreation grounds and recreation facilities receive optimum use and ratepayers do not bear the whole cost.
- 2.5. To provide the incentive for more diverse and joint use of fewer grounds and facilities so that Council's resources are effectively used.
- 2.6. To categorise recreation grounds and recreation facilities for casual/non-regular users and define them in terms of the benefits received by users and the rest of the community (refer to "Sports Grounds/Facilities for Casual Users Classifications" within the Recreation Pricing Policy Implementation Guidelines).

This policy also provides the basis and principles from which the more detailed Meander Valley Council *"Recreation Pricing Policy Implementation Guidelines"* have been developed. The specific detail about how fees for users will be determined and implemented is contained within the Guidelines.

3. Scope

This policy applies to all users, hirers and occupiers of Council's recreation grounds and facilities.

The policy does not include Council's aquatic facilities.

4. Policy

Principles

Council will be guided by the following principles when determining hire charges and rents:

- 4.1. Charges are for a specific use on a specific date.

- 4.2. User groups should contribute towards the cost of grounds / facilities provided by Council so that ratepayers do not bear the full cost.
- 4.3. Hire charges for grounds use by regular seasonal users will be based on a per team charge that is initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.
- 4.4. Hire charges for grounds use for casual users will be initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.
- 4.5. Hire charges / rents for facilities will be based on a fixed percentage rate of return (22%) for all facilities and taking account of the average of the previous 5 years operating, maintenance and depreciation costs. The charges will thus reflect the quality of the facilities, services provided, the nature and pattern of use and the ability of user groups to pay and the terms of any lease agreements with Council. The charge/rent is initially set for a period of four years to coincide with policy review and is then annually adjusted for CPI or as determined by Council and approved annually by Council.
- 4.6. User groups are encouraged and rewarded for sharing facilities, encouraging new more diverse user groups and new uses, introducing new recreation and sports and involvement in the management, operation, maintenance and clean up responsibilities.
- 4.7. Responsibilities must be clearly developed in conjunction with user groups and communicated at appropriate times (*e.g. at AGM to new office bearers*).
- 4.8. If recreation facilities are already provided to the public by the private sector at a reasonable and competitive price with professional, semi-professional or commercial interests in place, then Council's hire charges at relevant locations shall compete on a commercial market basis and recover the highest level of operation and maintenance costs in a similar manner to that calculated by the competing service.
- 4.9. Leased facilities will be administered according to the terms and conditions set out in the leases while supporting the community based not for profit organisations as per the pricing policy.

Facility / Ground Categories

All outdoor recreation grounds will be categorised according to their level of amenity for the purposes of managing usage by hirers. The charge will reflect the category of the facility/ground. The associated facilities at the outdoor recreation grounds are subject to any lease arrangements in place.

Concessions

Based on the value Council places on support to junior participation, non-traditional users and innovative scheduling the following concessions will be provided on the hire charges for ground usage only:

- 4.10. Junior only sports and recreations supported by parental / volunteer administration – 50%.
- 4.11. Female and Inclusion the provision of non-traditional or new recreational opportunities – 50%.
- 4.12. Off peak use (to be defined by facility manager or management committee, but normally between 9am and 3pm weekdays) which encourages increased use of facilities by enabling better programming of activities – 25%.
- 4.13. The participation concessions can be cumulative up to a maximum of 75%.

Based on the value Council places on self-reliance the following concession will be provided by Council officers on the hire / rent charges for facility usage only:

- 4.14. The value of any maintenance by the user group expressed as a percentage within the total Operations & Maintenance costs – up to 25%.

5. Legislation

Local Government Act 1993 - responsibility to provide for the health, safety and welfare of the community.

6. Responsibility

Responsibility for the operation of this policy rests with the Director Community and Development Services.

DECISION:

RECREATION PRICING POLICY IMPLEMENTATION GUIDELINES

Policy Number: 56

Recreation Grounds / Facilities Pricing

Purpose:

To provide a consistent philosophy and guide to setting the fees for hire and use of recreation grounds and facilities by the community.

Next Review Date:

December 2021

RECREATION PRICING POLICY IMPLEMENTATION GUIDELINES (Including FEES & CHARGES)

1. Introduction

Meander Valley Council owns or manages an extensive network of sports grounds and buildings, open spaces, stadiums, halls, meeting rooms and other facilities. Council views the sustainable use of these grounds and facilities as integral to the Meander Valley community having equitable access to a wide range of leisure, cultural and educational opportunities and to enhance the health and wellbeing within the community. Council encourages the use of these grounds and facilities by supporting the many groups that use them.

Policy No. 56 Recreation Grounds/ Facilities Pricing was first developed in 2003-04 and is reviewed every four years. The 2017 – 2021 Pricing Policy and associated Implementation Guidelines, including fees and charges, will be transparently available to all users and will be known in advance of the season or casual booking.

Hire charges for facility and grounds use will be initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.

2. Pricing Implementation Guidelines

Determination of Prices for Facilities

Seasonal / Regular Users

Hire charges and rentals for facilities will be established in the following manner:

- The percentage level of return required on operating and maintenance (O&M) expenses, incl. depreciation, for all Council owned sport and recreation facilities is 22%.
- Determine the average annual O&M expenses based on the calculation of a maximum five year rolling average to smooth out any peaks and troughs in O&M requirements from year to year. Where facilities are hired exclusively to clubs or user groups on a

seasonal basis, such clubs or user groups will be responsible for all utility charges during that occupancy.

- The facility use charge will be determined based on an understanding of the total O&M expenses, the dollar return required and the length of a season.
- The facility charge will be initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.
- Determine the gross annual charge, or relevant unit or hourly charge for each user or user group and apply the self-reliance concession available for facility usage up to a maximum 25% concession to determine the actual charge for a particular user or group.
- Facility fees for the regular users of the sport and recreation facilities have been calculated for the following:
 - Bracknell Recreation Ground facilities: Bracknell Football Club.
 - Hagley Recreation Ground facilities: Diggers Cricket Club.
 - Whitemore Recreation Ground facilities: Whitemore Cricket Club; Whitemore Tennis Club.
 - Deloraine Recreation Ground facilities: Deloraine Football Club.
 - Hadspen Memorial Centre: Hadspen Chieftains Cricket Club*.
 - Prospect Vale Park facilities: Prospect Park Sports Club.
 - Westbury Recreation Ground facilities: Meander Valley Suns Football & Netball Club; Westbury Shamrocks Cricket Club.

NOTE * Hadspen Chieftains Cricket Club are currently charged as a seasonal user of the facility and do not take on any facility management responsibility. They have accepted a higher level of service / utility provision by Council, e.g. cleaning / power.

Casual / Non-regular Users & Private Users

Hire charges and rentals for facilities will be established in the following manner:

- For Public Halls owned by Council a "*Going Rate*" or charge will be determined by the responsible Facility Manager after considering hire rates for any similar facilities within the community and the prospective user's capacity to pay.
- A 100% rate of return is applicable for all private sport and recreation facilities located on Council land.

Determination of Prices for Grounds
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Seasonal / Regular Users

Fees for ground usage by seasonal and regular users will be established in the following manner:

- The level of return required on ground usage for all Council owned sport and recreation grounds is based on the number of teams and type of sport being conducted as per the following formula:

SPORT	NOTIONAL PLAYER NUMBERS PER TEAM	SENIOR / JUNIOR	RATE PER TEAM PER SEASON (inc GST)
Football (AFL)	25	Senior Men	\$1,000.00
	20	Senior Women	\$500.00
	20	Junior	\$250.00
Soccer	12	Senior Men	\$500.00
	12	Senior Women	\$250.00
	10	Junior	\$125.00
Cricket	12	Senior Men	\$500.00
	12	Senior Women	\$250.00
	12	Junior	\$125.00
Touch	8	Senior Men	\$250.00
	8	Senior Women	\$125.00
	8	Junior	\$62.50

- When calculating a ground use rate for users the following should be noted:
 - Where sports have a MIXED senior program (eg Launceston Touch) they are calculated on a 1:1 ratio of men and women.
 - Junior teams are defined as teams / programs for players Under 18 years of age as defined by their governing body.
 - The fees are for seasonal use only and cover a period up to 6 months as defined by Council.
 - Where teams use Council grounds outside their normal season, that use, if agreed by Council, will attract additional fees.
- The ground charge will be initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.
- The sport and recreation grounds / regular users included are those located at:
 - Bracknell Recreation Ground – Football Club and Cricket Club
 - Carrick Recreation Ground – Social Soccer Association
 - Deloraine Recreation Ground – Football Club and Junior Football Club. Masters and Auskick programs are additional.
 - Hadspen Recreation Ground – Cricket Club
 - Hagley Recreation Ground – Cricket Club
 - Meander Recreation Ground – nil currently
 - Prospect Vale Park – Soccer Clubs x3, Football Clubs x2 and Touch Association. Academy programs, Auskick or other developmental programs are additional

- Westbury Recreation Ground – Cricket Club and Football Club. Netball and Auskick programs are additional.
 - Whitemore Recreation Ground – Cricket Club and Tennis Club
- Other venue users will be deemed casual users for ground use purposes, e.g. Northern Tasmanian High Schools Sports Association, Tasmanian Touch Football Association, and charged accordingly.

Casual / non-regular Users

Hire charges and fees for ground usage by casual / non-regular users have been established and are set annually by Council and take account of the quality of the facility and capacity to pay. High use facilities have fees and charges which enable Council to better manage usage patterns across the range of potential users.

As well, for all Public recreation grounds / reserves / parks located on Council land no rate of return is applicable. However, there may be some regulatory application fees applicable for the use of these spaces for organised public events.

The charge will be initially set for a period of four years to coincide with policy review and which is then adjusted for CPI or as determined by Council and approved annually by Council.

The fees and charges and rationale for these are contained in Council's document: "Meander Valley Council Sports Grounds / Facilities For Casual Users."

SPORTS GROUNDS / FACILITIES CLASSIFICATIONS

Sports grounds / facilities have been classified into three categories (A, B and C) with 'A' being grounds fully managed by council and 'B' class grounds having some levels of maintenance generally being carried out by user groups. The category C facilities have limited maintenance and limited users.

Each category will correspond to a set charge for use. It is council's objective to recover a minimum of 22% of the total cost of these grounds / facilities, including clubrooms.

The criteria under which sports grounds are rated are detailed below and include:

- a) The cost involved in maintaining a sporting surface to the standard required for the sport.
- b) The presence of irrigation and/or underground drainage system.
- c) The standard of support structures (e.g. fencing, training lights, changing facilities/toilets, parking)
- d) Council involvement in any maintenance.

Sports Grounds / Facilities Categories

Category A1 – A2 Council Maintained (on-going)

Grounds may include all (A1) or some (A2) of the following:-

- Training lights
- Extensive underground drainage system
- Automatic irrigation system
- Synthetic or turf surface
- Highly maintained playing surface by council
- Good quality changing rooms / parking
- Good/high quality support structures (e.g. coaches boxes, scoreboard, interchange boxes)
- High Council management

Category B1 – B2 Council Maintained (periodic)

Grounds may include all (B1) or some (B2) of the following:-

- Training lights
- Limited drainage system
- Limited irrigation system
- Synthetic or turf surface
- Good quality playing surface
- Good support structures
- Moderate quality changing rooms / parking
- Moderate Council management

Category C1 – C2 Council Maintained (seasonal)

Grounds may include all or some of the following:-

- No training lights
- No drainage system
- No irrigation system
- Synthetic surface
- Lower quality playing surface
- Limited support structures, changing facilities, parking
- Minimal Council management

NOTE: Hadspen rental for casual users includes the Clubroom so deemed category A. All other facilities have lease / license holders who determine fees for clubrooms.

MEANDER VALLEY COUNCIL SPORTS GROUNDS / FACILITIES FOR CASUAL USERS 2017-18 FEES/CHARGES <i>GST Inclusive</i>			
SPORTS GROUNDS / FACILITIES	Per Hour	Per Day	Category
Bracknell rec ground / change rooms	\$20.00	\$120.00	B2
Bracknell rec ground only	\$15.00	\$90.00	B2
Bracknell clubrooms	Fee determined by leaseholder		
Carrick recreation ground	\$10.00	\$60.00	C1
Deloraine rec ground / change rooms	\$20.00	\$120.00	B2
Deloraine rec ground only	\$15.00	\$90.00	B2
Deloraine clubrooms	Fee determined by leaseholder		
Hadspen rec. ground / centre	\$30.00	\$180.00	A2
Hadspen rec. ground only	\$20.00	\$120.00	A2
Hagley rec ground / change rooms	\$15.00	\$90.00	C1
Hagley rec ground only	\$10.00	\$60.00	C1
Hagley clubrooms	Fee determined by leaseholder		
Meander recreation ground	\$10.00	\$60.00	C2
Prospect Vale Park - per change-room	\$10.00	\$40.00	A1
Prospect Vale Park - per touch field	\$12.50	\$75.00	A1
Prospect Vale Park - per soccer field	\$20.00	\$120.00	A1
Prospect Vale Park - per football field	\$25.00	\$150.00	A1
Prospect Vale Park – clubrooms	Fee determined by leaseholder		
Westbury rec ground / change rooms	\$20.00	\$120.00	B1
Westbury rec ground only	\$15.00	\$90.00	B1
Westbury clubrooms	Fee determined by leaseholder		
Whitemore rec ground only	\$10.00	\$60.00	C2
Whitemore clubrooms	Fee determined by leaseholder		
Sports Ground Lighting	\$14.00 per hour	NA	
Key Bond (refundable)	\$50.00	NA	
Discounts – Ground Only			
Junior Discount (under 18 years)	50%	NA	
Female & Inclusion Discount	50%	NA	
Off-peak Use Discount (use between 9am and 3pm)	25%	NA	

CORP 1 DELORAIN & DISTRICTS FOLK MUSEUM

RISING DAMP

1) Introduction

The purpose of this report is for Council to approve additional funds to complete corrective building works to address a rising damp issue at the Deloraine & Districts Folk Museum.

2) Background

The Deloraine & Districts Folk Museum at the Great Western Tiers Visitor Information Centre is experiencing rising damp caused by lack of adequate ventilation. Water is penetrating the building foundations through the wall of the Folk Museum and causing damage. The building is failing through erosion of the wall and causing unsafe conditions for Council employees, volunteers and visitors.

A structural assessment was completed by AJL Engineering in late 2015 to provide an initial assessment of the work required and provide an indicative cost. Council considered the remediation work, approved the project and a budget of \$20,000 as part of the 2016-17 Capital Works Program in May 2016.

A subsequent detailed assessment of the required work was completed by AJL Engineering which advised that the work required was more extensive than expected and would require a substantial increase in the capital budget. They provided a design for the project and an opinion of probable cost. The work would involve the use of a heritage approved contractor. The work required would include installation of ventilation drains to allow water to be directed away from the walls. The walls will be injected with a waterproofing agent and will take time to dry out from their current damp state. Repairs to render and paint will be required following this to finalise the interior work in the Folk Museum.

Council considered the proposed additional budget to complete remediation work as part of the 2017-18 Capital Works Program in May 2017. The additional budget allocation was not approved.

In June 2017 there was an incident at the Folk Museum where a bookcase that was attached to a wall started to fall away from the wall fixtures. The bookcase was removed by volunteers on site as it posed a risk. After it was

removed they discovered the reason the bookcase fell away from the wall was that the rising damp has eroded the wall to the point where the fixtures had fallen out. The area concerned is used by volunteers, employees and visitors. The area is not an optimal environment for people to use for long periods as mould could affect the respiratory system.

3) Strategic/Annual Plan Conformance

Supports the objectives of the Community Strategic Plan 2014 to 2024 in particular:

- Future Direction (4) - A healthy and safe community
- Future Direction (6) - Planned infrastructure services

4) Policy Implications

Not applicable.

5) Statutory Requirements

Not applicable.

6) Risk Management

A decision to not complete the remediation work will cause the affected area to be unusable for volunteers and employees other than short periods on the basis of Workplace Health and Safety requirements.

7) Consultation with State Government and other Authorities

Council and AJL Engineers have held discussions with the Tasmanian Heritage Council about the work required. They have advised that "the works include the selective removal of concrete paving slabs from around the heritage building, extension of existing air drains, sub-floor ventilation, new chemical inject damp proofing, poulticing, plaster and render repairs, and repainting. The works are considered to be essential maintenance and repair having no appreciable impact on heritage fabric, and no impact on the place's historic cultural heritage values."

8) Community Consultation

Not applicable.

9) Financial Impact

The recommendation will result in an increase in Council's Capital Works expenditure budget for 2017-18 of \$80,000. The amount has been determined as follows:

Capital works funding approved May 2016	\$20,000
Expenditure on engineering design and advice	(\$6,486)
Capital works funding balance remaining	\$13,514

Remaining probable cost based on engineers opinion	\$93,560
Capital works funding balance remaining	(\$13,514)
Estimated capital works funding required	\$80,046

10) Alternative Options

Council can elect to amend or not approve the recommendation.

11) Officers Comments

It is recommended that Council approve the additional budget of \$80,000 to complete the remediation work as identified in a design by AJL Engineering. Continuing to leave the rising damp area untreated, in its current state, will lead to an increased deterioration of the building.

The remediation work will include the following:

- Excavation of sections of the existing wall
- Installation of air drains
- Installation of sub floor vents and ventilation system
- Chemical injection of damp proofing to affected walls
- Internal plastering
- Internal painting

AUTHOR: Jonathan Harmey
DIRECTOR CORPORATE SERVICES

12) Recommendation

It is recommended that Council:

- 1. approve additional funding of \$80,000 for project 7831 'Folk Museum - Rising Damp Corrective Works'***

- 2. approve the General Manager to accept price variations for project 7831 'Folk Museum - Rising Damp Corrective Works' plus or minus 20% in accordance with Section 82 of the Local Government Act 1993.***

DECISION:

INFRA 1 REVIEW OF BUDGETS FOR THE 2017-2018 CAPITAL WORKS PROGRAM

1) Introduction

The purpose of this report is to provide information to Council on capital works projects budget variations and to seek Council approval for the reallocation of funding within the Capital Works Program.

2) Background

Project budget allocations within the Capital Works Program that are submitted to Council for approval prior to the commencement of each financial year are prepared using a range of methods. In some instances and depending on the availability of resources and time constraints, projects can be thoroughly scoped and accurate estimates prepared using available empirical or supplier information. Conversely, project cost estimates may only be general allowances prepared using the best information available at the time.

During the financial year detailed design, adjustment to project scope and the undertaking of additional works during construction results in project expenditure under and over approved budget amounts. New projects may also be requested for inclusion in the program.

The overall financial objective in delivering the Capital Works Program is to have a zero net variation in the program budget. As part of our ongoing management of projects, Council officers review project time lines, budgets, scope and available resources. Project savings are generally used to offset project overruns and additional funding can be requested to assist with balancing the budget or to finance new projects.

3) Strategic/Annual Plan Conformance

Council's Annual Plan requires Council officers to report on the progress of capital works projects.

4) Policy Implications

Not Applicable

5) Statutory Requirements

Section 82(4) of the *Local Government Act 1993* requires Council to approve by absolute majority any proposed alteration to Council's capital works budget outside the limit of the General Manager's financial delegation of \$20,000.

6) Risk Management

Not applicable.

7) Consultation with State Government and other Authorities

Not applicable.

8) Community Consultation

Not applicable.

9) Financial Impact

The recommended variations in this report will result in a zero net increase to the value of the 2017-2018 Capital Works Program.

10) Alternative Options

Council can amend or not approve the recommendation.

11) Officers Comments

In order to deliver the outcomes required from capital works projects outlined in the Annual Plan, Council officers regularly review project scope, resourcing requirements and committed and forecast expenditure. Typically on a quarterly basis, project information is presented to Council where cost variations have occurred, and formal approval is requested from the Council to reallocate funding within the Capital Works Program where variations are beyond the General Manager's financial delegation.

The table below outlines existing projects in the Capital Works Program, and new projects not previously presented to Council, where reallocation of funding is required.

TABLE 1: 2017-2018 CAPITAL WORKS BUDGET – REALLOCATION OF PROJECT FUNDING

Project No.	Project Name	Costs to date	Original Budget	Proposed Budget Variation	New Budget	Delegation	Comments
6470	63A William St, Westbury - Stormwater renewal	\$995	\$0	\$16,000	\$16,000	GM	Funding allocation from PN6495
6491	Clayton Pl to Tower Hill St, Deloraine - New stormwater	\$4,433	\$0	\$72,000	\$72,000	Council	Funding allocation from PN6495
6404	East Street, Carrick – Stormwater	\$0	\$0	\$20,000	\$20,000	GM	Funding allocation from PN6495
6495	Urban Stormwater Drainage - Program Budget	\$0	\$223,900	-\$108,000	\$115,900	GM	Transfer funds to PN6470, PN6491 & PN6404
	Totals		\$223,900		\$223,900		

PN6470 - 63A William St, Westbury - Stormwater renewal

This project involves the replacement of approximately 23m of existing stormwater pipe and a manhole within the property due to poor condition. The work will be undertaken prior to the commencement of residential building work so that access to the easement for construction of the drain is not impacted.

PN6491 - Clayton Pl to Tower Hill St, Deloraine - New stormwater

The location of the property where the work is being undertaken is shown in image 1 below, and the extent of work highlighted in image 2.



Image 1: Location of works

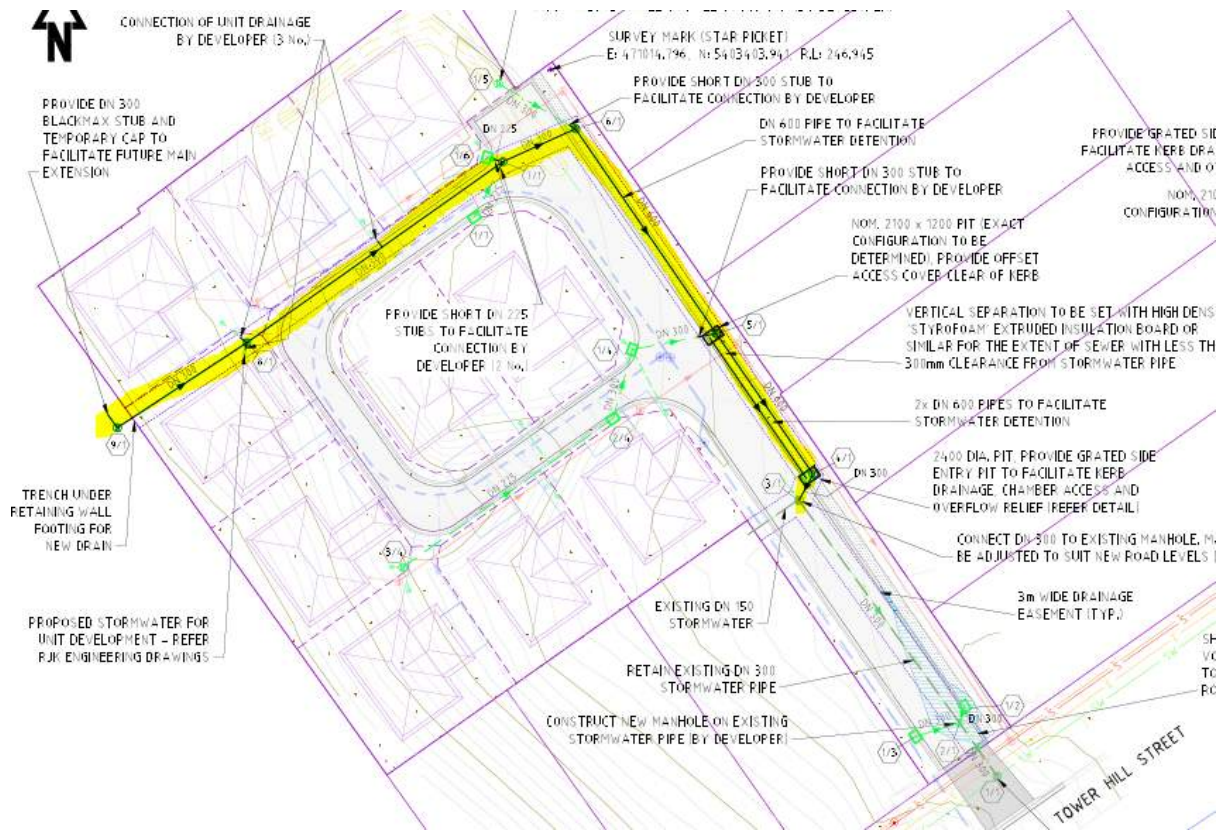


Image 2: Extent of works (highlighted)

A significant amount of work has been undertaken to date in relation to the catchment modelling and design of this stormwater work to match in with a 10 unit development currently under construction by the landowner. Council officers have been in discussion with landowners to ensure an appropriate drainage outcome is achieved that will allow for future development within the catchment. Drawings were prepared by Council and four quotations received from contractors to undertake the work. The owner of the unit development will be contributing to the cost of the work. Construction of the stormwater drainage has already commenced due to time constraints on site with building elements and other services works.

PN6404 – East Street, Carrick - Stormwater

This project involves piping of the open drains adjacent to the intersection of East Street, Percy Street and Charlies Lane, Carrick. It will also include extension and formalisation of a public open drain through land owned by Carrick Park Trotting Club (under lease to Tas Racing Pty. Ltd), 1425 Illawarra Road and 40 Liffey Street.

For this review period the transfer of funding outside the \$20,000 delegation of the General Manager requires Council approval. Overall, there is a zero net variation to the Program budget.

AUTHOR: Dino De Paoli
DIRECTOR INFRASTRUCTURE SERVICES

12) Recommendation

It is recommended that Council approve the following changes to the 2017-2018 Capital Works Program.

<i>Project Name</i>	<i>Original Budget</i>	<i>Variation</i>	<i>New Budget</i>
<i>Clayton Pl to Tower Hill St, Deloraine - New stormwater</i>	<i>\$0</i>	<i>\$72,000</i>	<i>\$72,000</i>

DECISION:

ITEMS FOR CLOSED SECTION OF THE MEETING:

Councillor xx moved and Councillor xx seconded ***“that pursuant to Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015, Council close the meeting to the public to discuss the following items.”***

GOV 1 CONFIRMATION OF MINUTES

Confirmation of Minutes of the Closed Session of the Ordinary Council Meeting held on 11 July, 2017.

GOV 2 LEAVE OF ABSENCE

(Reference Part 2 Regulation 15(2)(h) Local Government (Meeting Procedures) Regulations 2015)

The meeting moved into Closed Session at x.xxpm

The meeting re-opened to the public at x.xxpm

Cr xxx moved and Cr xxx seconded ***“that the following decisions were taken by Council in Closed Session and are to be released for the public’s information.”***

The meeting closed at

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CRAIG PERKINS (MAYOR)